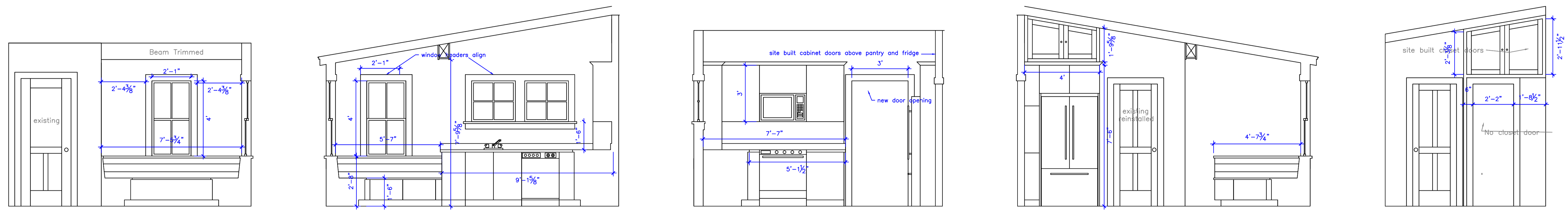


# Meaghan and Richard Engdahl Kitchen 2015 14 Brook Lane Peaks Island, ME 04108

Thompson Johnson  
Woodworks  
115 Island Avenue  
Peaks Island ME 04108  
207.766.5919

Title Page



## Drawing Index:

- A1: Title Page
- A2: Site Plan
- A3: Existing Exterior Elevations
- A4: Existing Floor Plan
- A5: Proposed Exterior Elevations
- A6: Proposed Floor Plan
- A7: Proposed Demolition and Framing
- A8: Proposed Interior Elevations
- A9: Proposed Interior Elevations
- E1: Proposed Lighting and Power

PROJECT  
Engdahl Kitchen 2015  
14 Brook Lane  
Peaks Island, ME 04108

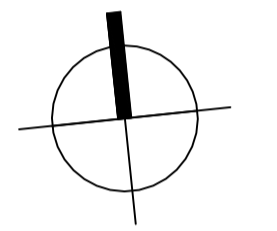
DATE 12-30-14	REVISED
SCALE 3/8"=1'	DRAWN BY Heather

NOTES

A1

Thompson Johnson  
Woodworks  
115 Island Avenue  
Peaks Island ME 04108  
207.766.5919

### Site Plan



PROJECT

Engdahl Kitchen 2015  
14 Brook Lane  
Peaks Island, ME 04108

DATE

12-30-14

REVISED

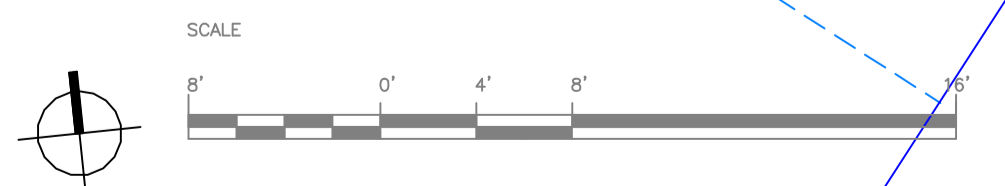
SCALE

1/8"=1'

DRAWN BY

Heather

NOTES



A Site Plan  
scale: 1/8"=1'

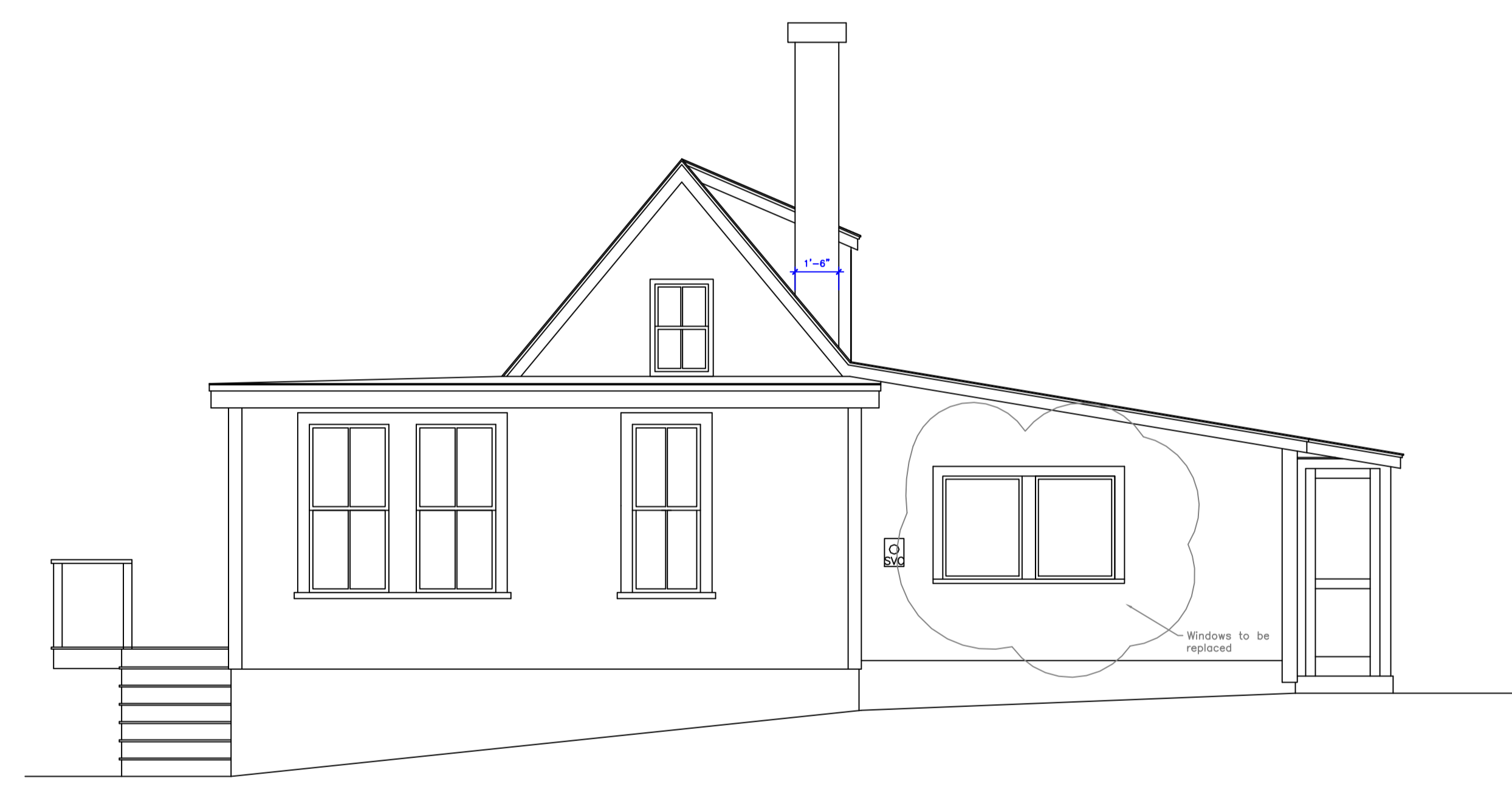
Thompson Johnson  
Woodworks  
115 Island Avenue  
Peaks Island ME 04108  
207.766.5919

Existing Exterior  
Elevations

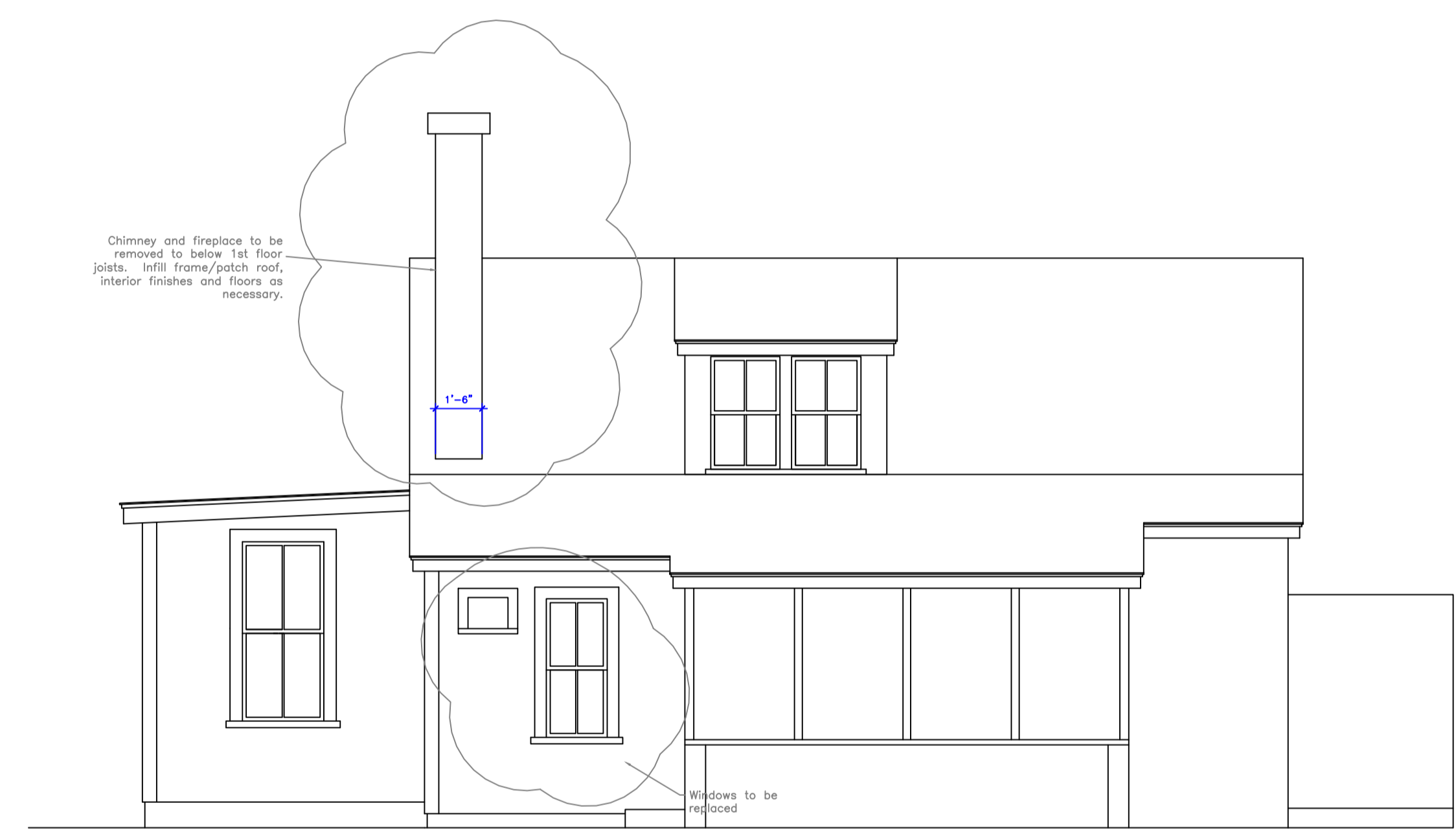
PROJECT  
Engdahl Kitchen 2015  
14 Brook Lane  
Peaks Island, ME 04108

DATE	REVISED
12-30-14	
SCALE	DRAWN BY
1/4"=1'	Heather

NOTES



(A) Existing South Elevation  
scale: 1/4"=1'



(B) Existing East Elevation  
scale: 1/4"=1'

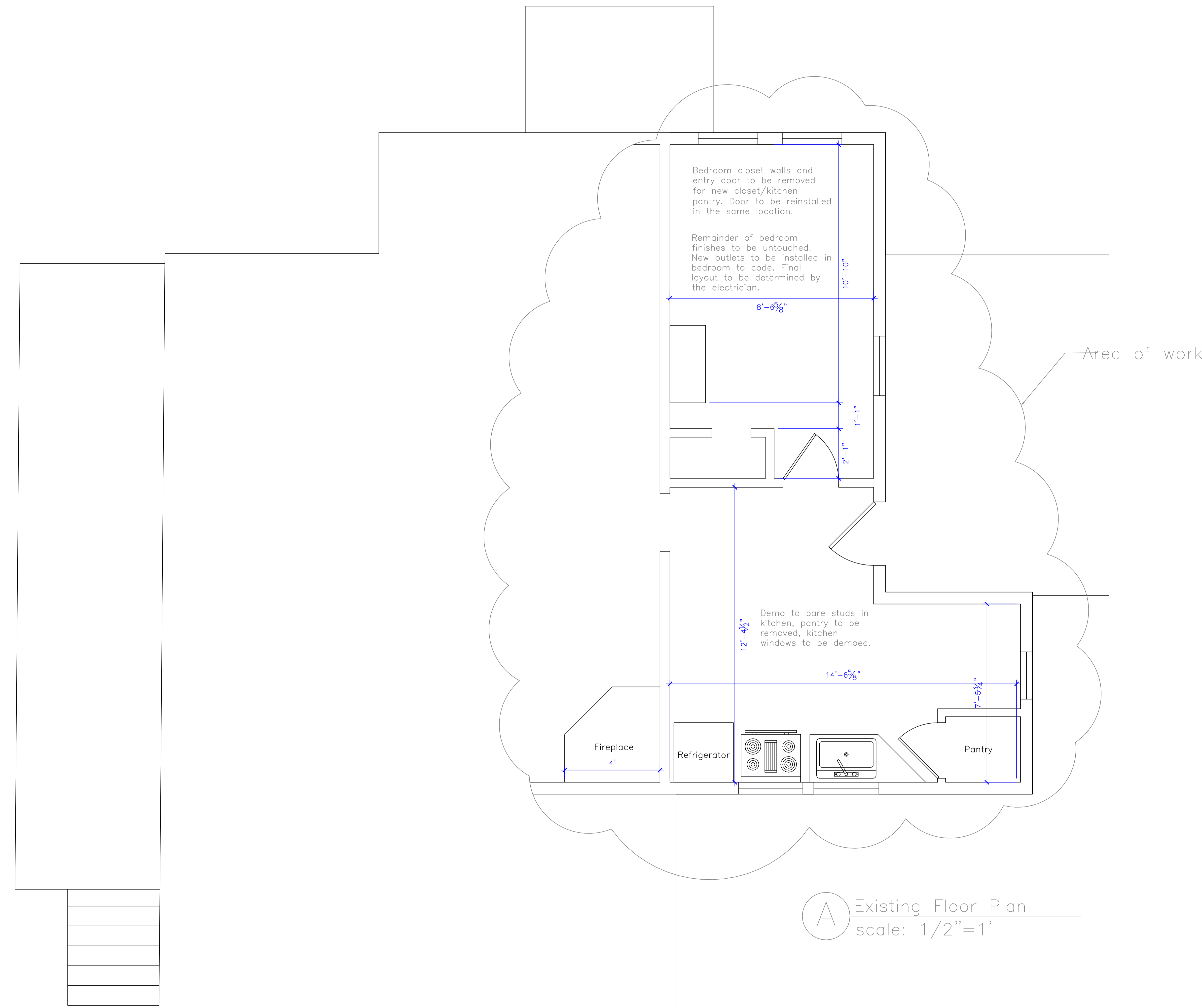
Thompson Johnson  
 Woodworks  
 115 Island Avenue  
 Peaks Island ME 04108  
 207.766.5919

Existing  
 Floor Plan

PROJECT  
 Engdahl Kitchen 2015  
 14 Brook Lane  
 Peaks Island, ME 04108

DATE	REVISION
12-30-14	
SCALE	DRAWN BY
1/2"=1'	Heather

NOTES



A Existing Floor Plan  
 scale: 1/2"=1'

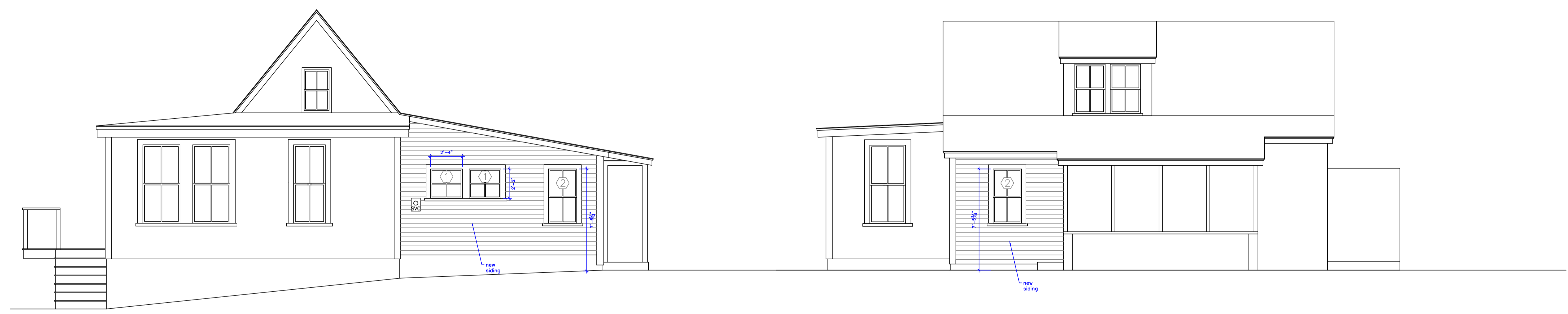
Thompson Johnson  
 Woodworks  
 115 Island Avenue  
 Peaks Island ME 04108  
 207.766.5919

Proposed  
 Exterior  
 Elevations

PROJECT  
 Engdahl Kitchen 2015  
 14 Brook Lane  
 Peaks Island, ME 04108

DATE	REVISED
12-30-14	
SCALE	DRAWN BY
1/4"=1'	Heather

NOTES



(A) Existing South Elevation  
 scale: 1/4"=1'

(B) Existing East Elevation  
 scale: 1/4"=1'

NOTES

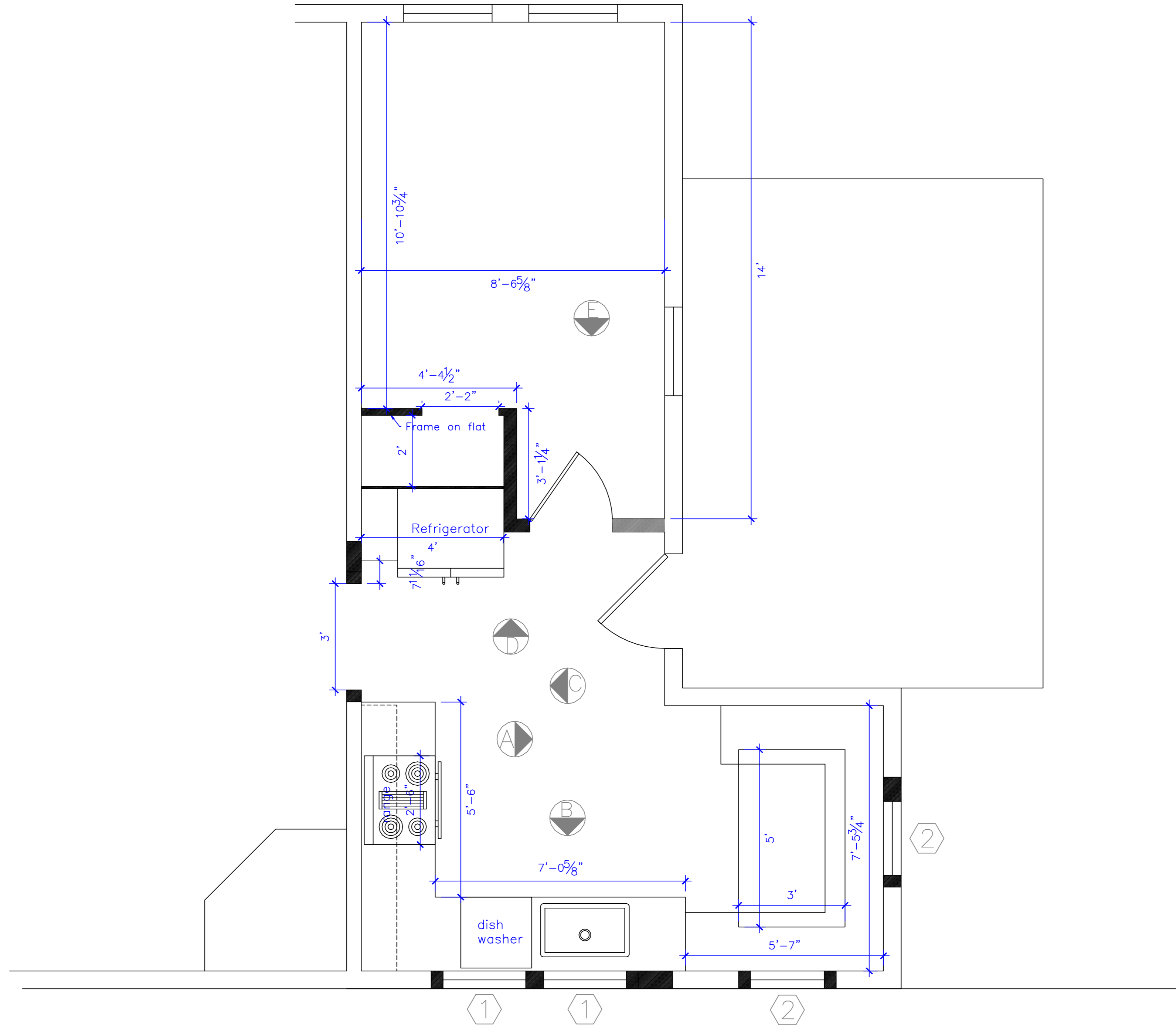
Thompson Johnson  
Woodworks  
115 Island Avenue  
Peaks Island ME 04108  
207.766.5919

Proposed  
Floor Plan

PROJECT  
Engdahl Kitchen 2015  
14 Brook Lane  
Peaks Island, ME 04108

DATE 12-30-14	REVISED
SCALE 1/2"=1'	DRAWN BY Heather

NOTES



A Proposed Floor Plan  
scale: 1/2"=1'

existing wall  
new wall

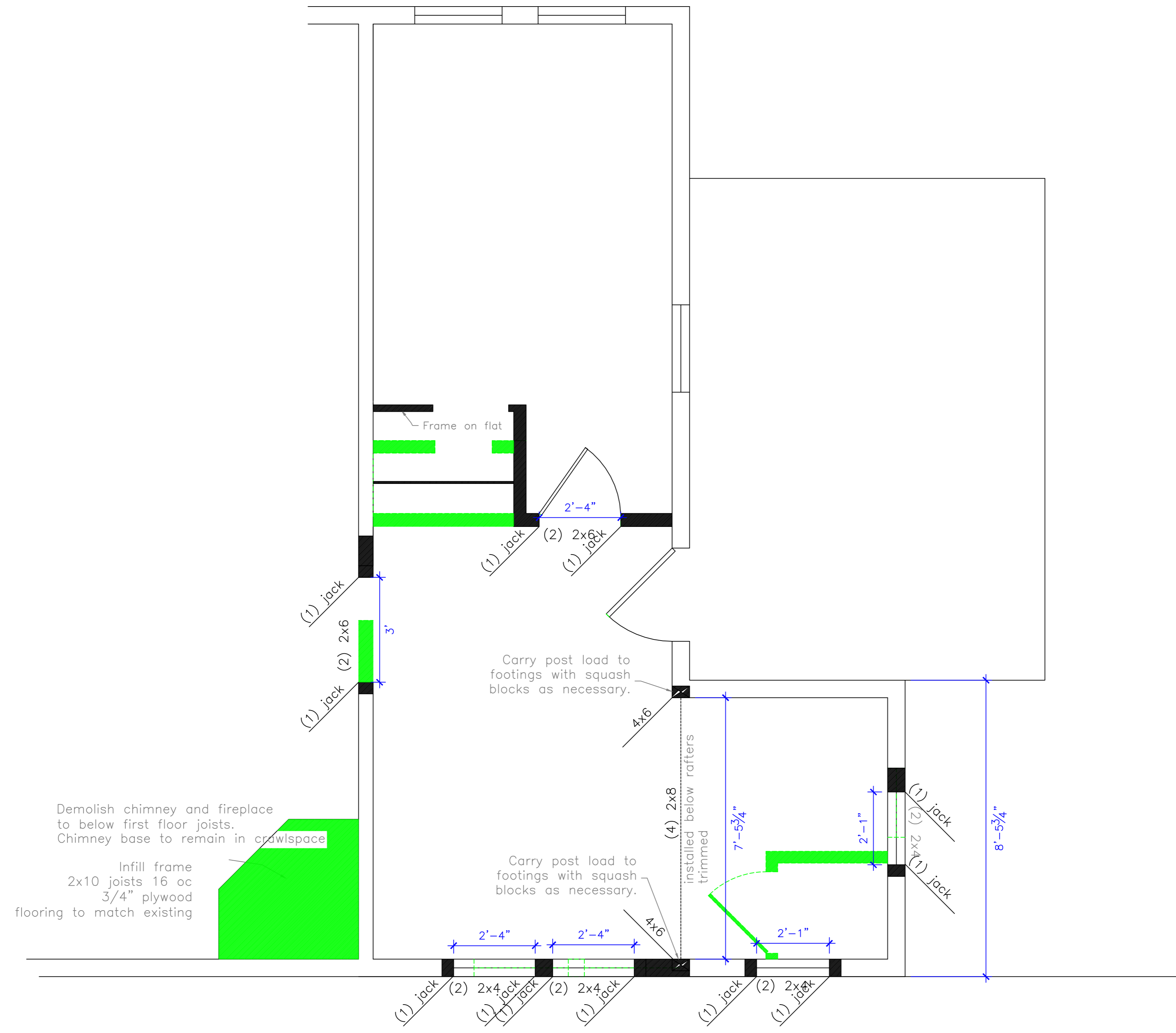
Thompson Johnson  
Woodworks  
115 Island Avenue  
Peaks Island ME 04108  
207.766.5919

### Proposed Demolition and Framing

PROJECT  
Engdahl Kitchen 2015  
14 Brook Lane  
Peaks Island, ME 04108

DATE 12-30-14	REVISED
SCALE 1/2"=1'	DRAWN BY Heather

NOTES



**A** Demolition and Framing Plan  
scale: 1/2"=1'

- existing wall
- new wall
- demolition

NOTES

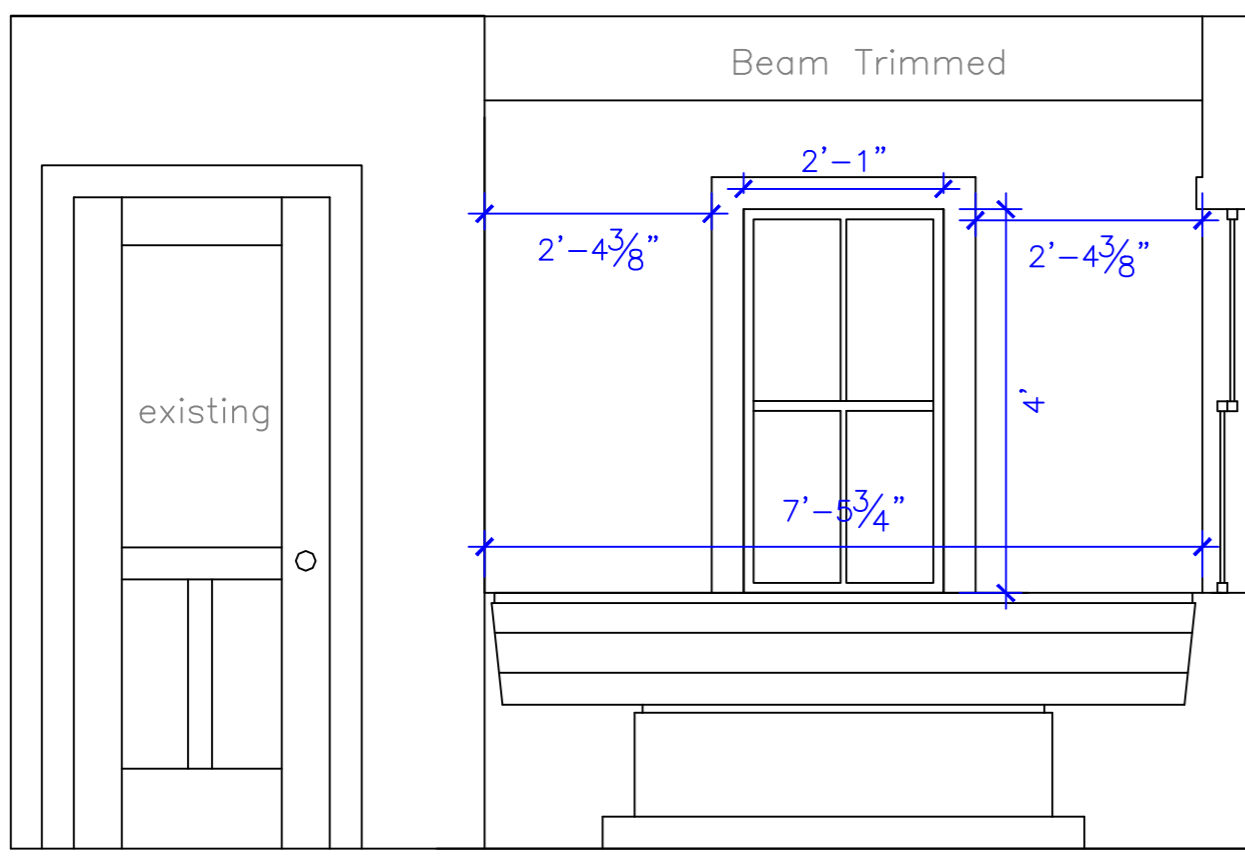
Thompson Johnson  
 Woodworks  
 115 Island Avenue  
 Peaks Island ME 04108  
 207.766.5919

Proposed  
 Interior  
 Elevations

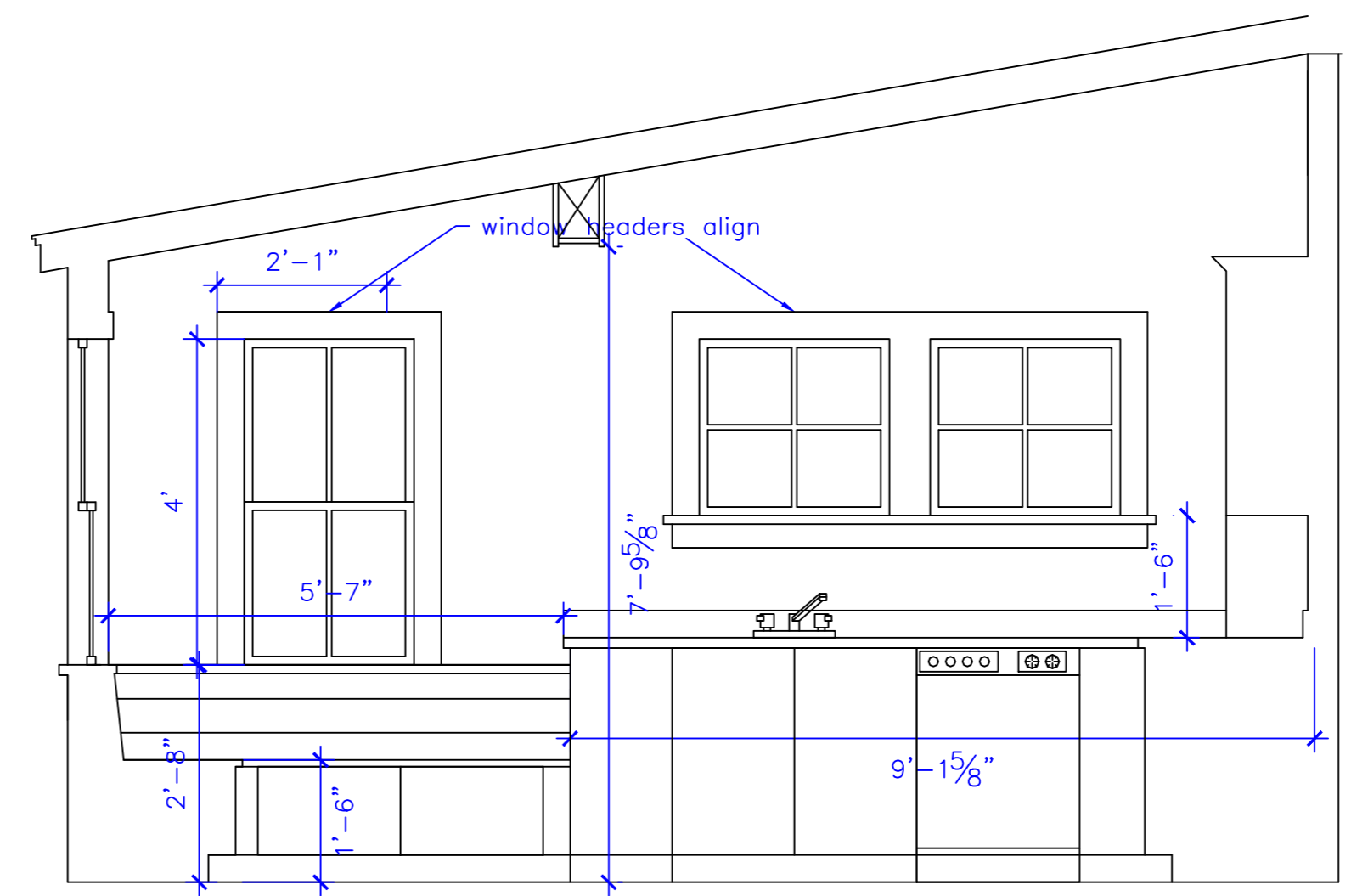
PROJECT  
 Engdahl Kitchen 2015  
 14 Brook Lane  
 Peaks Island, ME 04108

DATE 12-30-14	REVISED
SCALE 1/4"=1'	DRAWN BY Heather

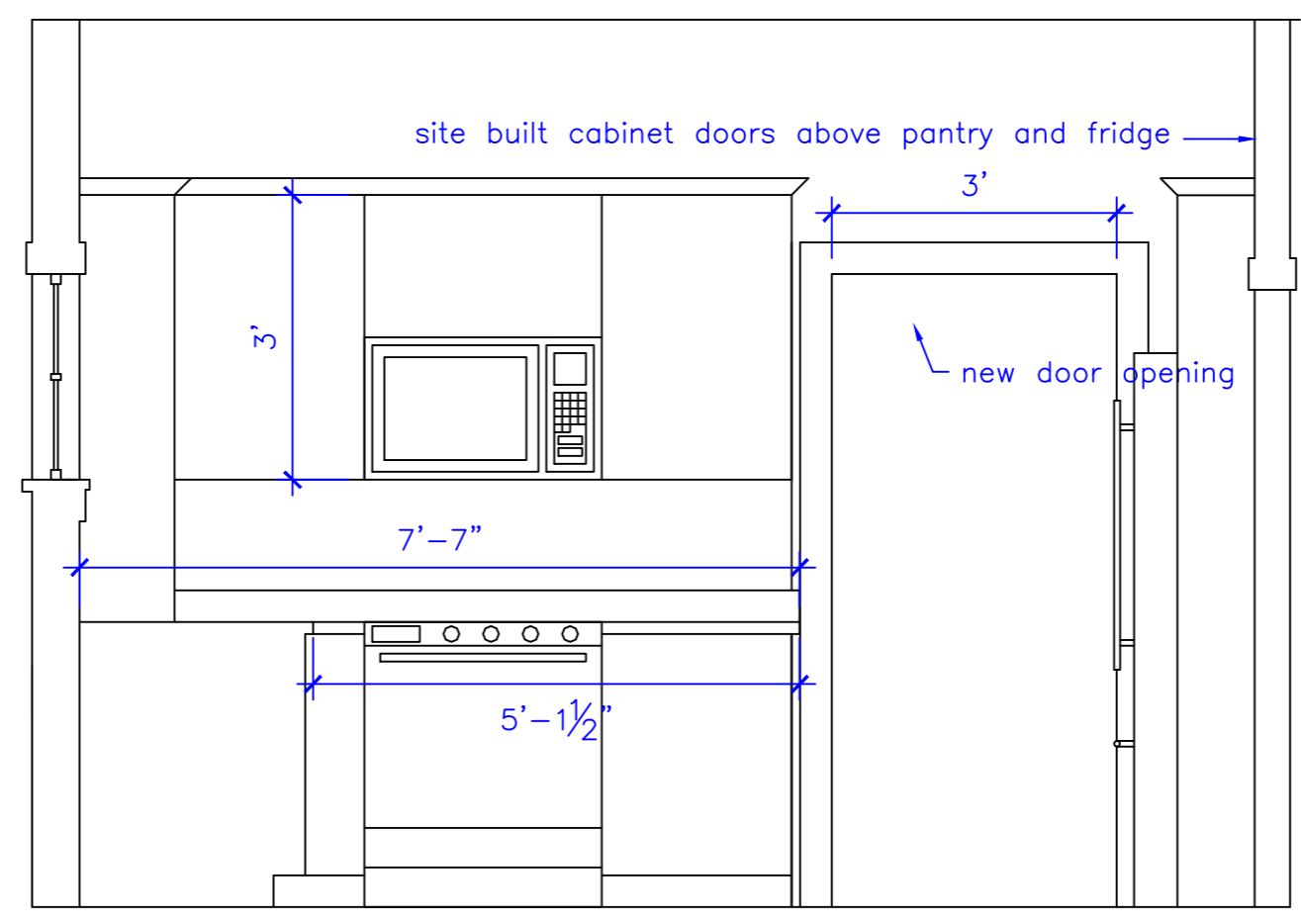
NOTES



A Interior Elevations A, B, C  
 scale: 1/4"=1'



B



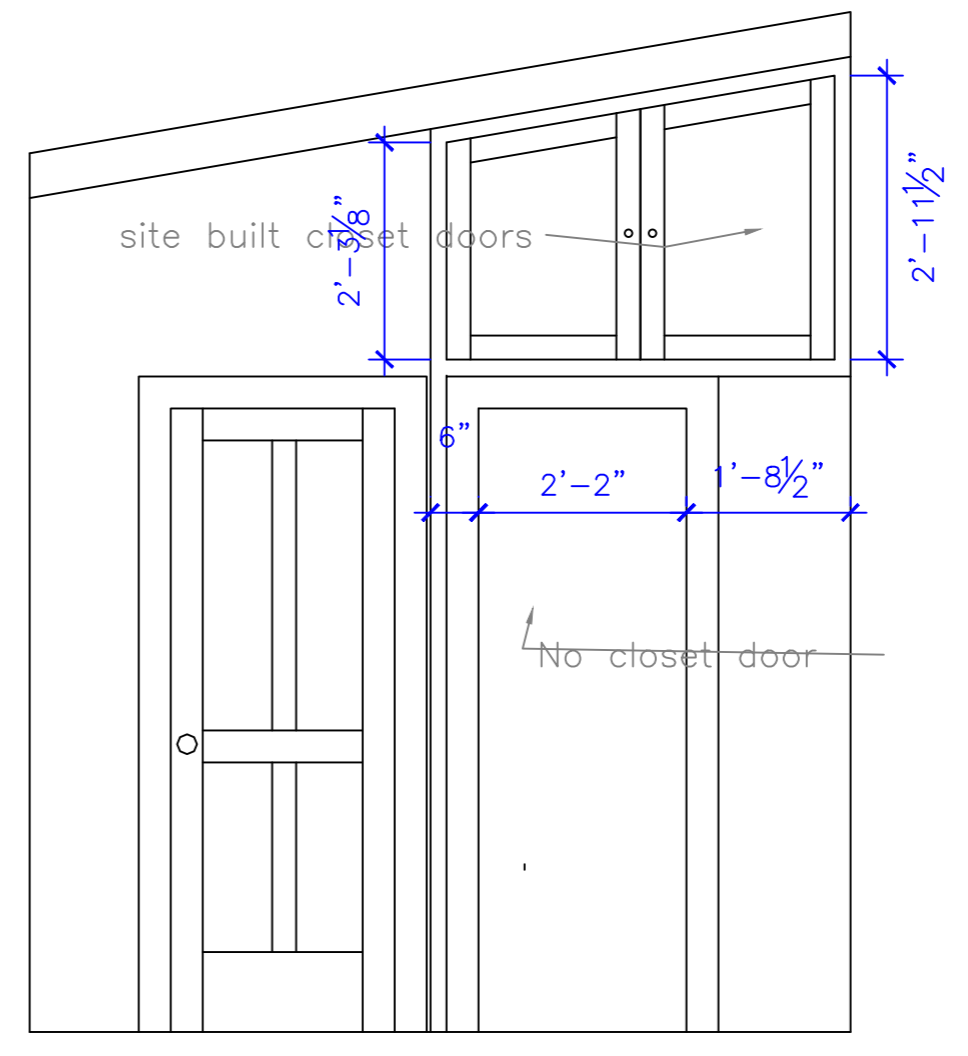
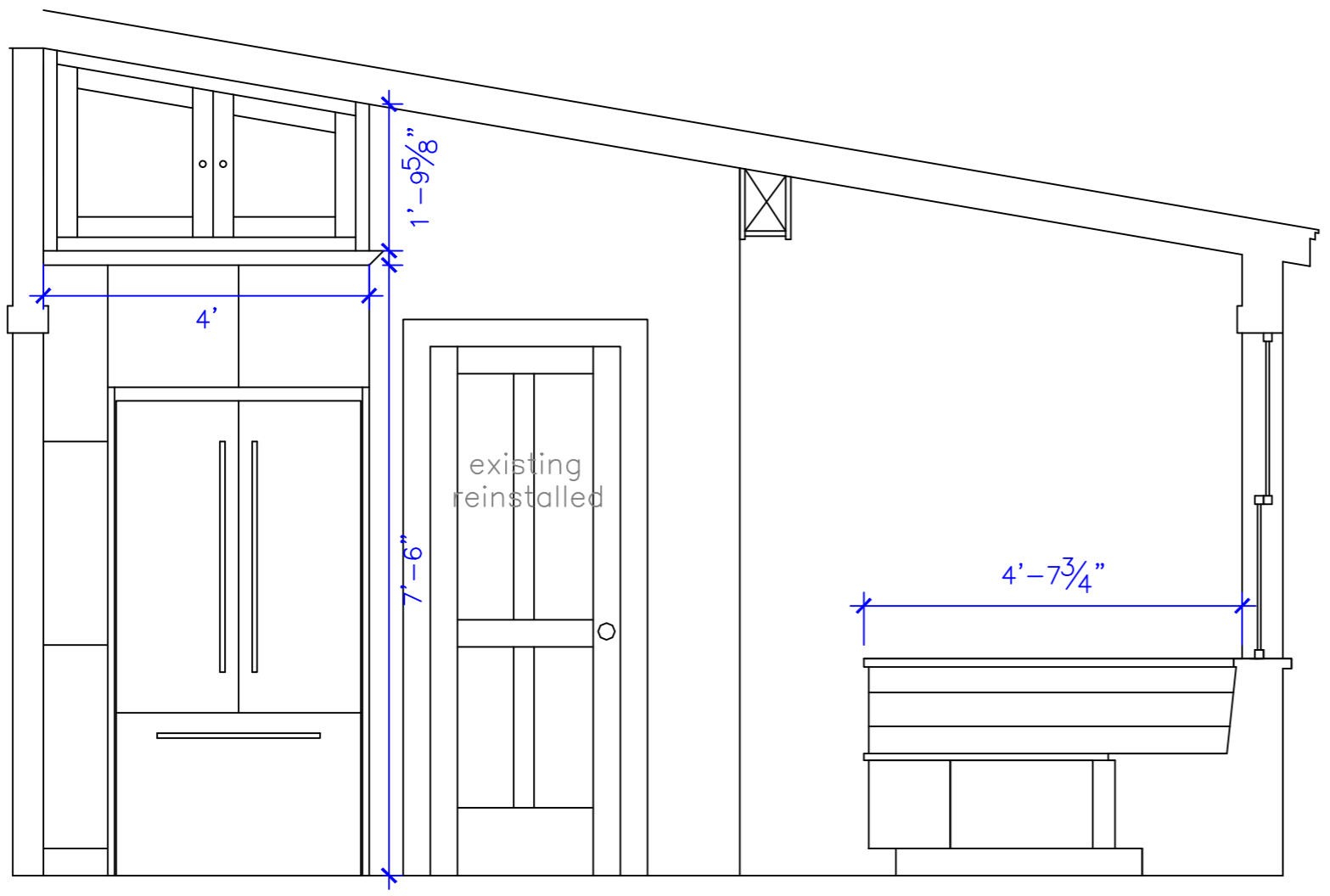
C



NOTES

Thompson Johnson  
 Woodworks  
 115 Island Avenue  
 Peaks Island ME 04108  
 207.766.5919

Proposed  
 Interior  
 Elevations



D Interior Elevations D, E  
 scale: 1/4"=1'

E

PROJECT  
 Engdahl Kitchen 2015  
 14 Brook Lane  
 Peaks Island, ME 04108

DATE 12-30-14	REVISED
SCALE 1/4=1'	DRAWN BY Heather

NOTES

Thompson Johnson  
Woodworks  
115 Island Avenue  
Peaks Island ME 04108  
207.766.5919

### Proposed Lighting and Power

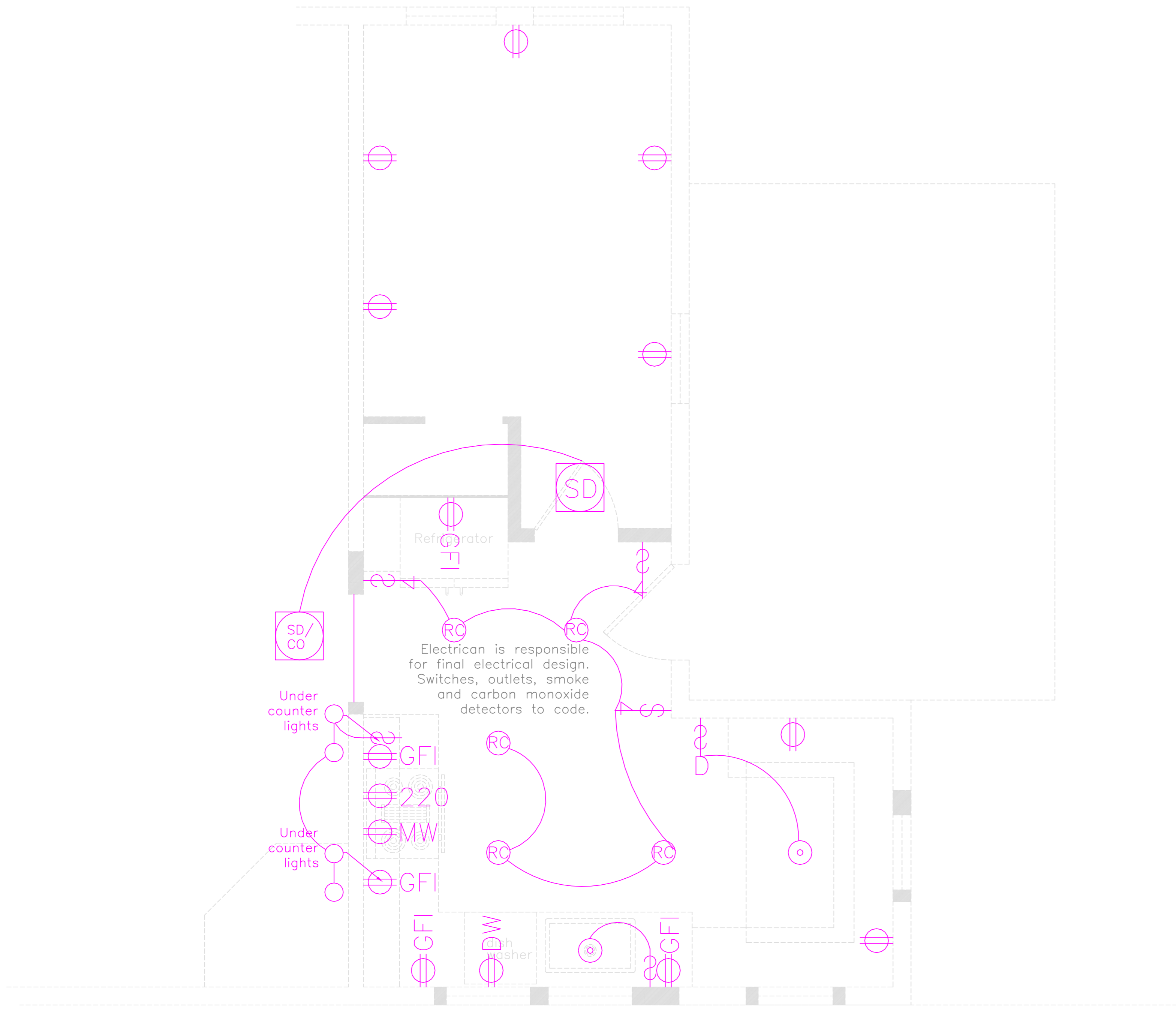
PROJECT  
Engdahl Kitchen 2015  
14 Brook Lane  
Peaks Island, ME 04108

DATE 12-30-14	REVISED
SCALE 1/2"=1'	DRAWN BY Heather

NOTES

- NOTES
- duplex
  - ground-fault circuit interrupter
  - 220 volt
  - switch
  - 3-way switch
  - dimmer switch
  - smoke detector
  - minimum 50 cfm vent fan
  - ceiling mount light fixture
  - pendant light fixture
  - recessed can light fixture
  - wall sconce light fixture
  - wet location wall sconce light fixture
  - trak lighting
  - fluorescent locally switched
  - undercounter
  - ceiling fan w/ integral light
  - ceiling fan

E1



Electrician is responsible for final electrical design. Switches, outlets, smoke and carbon monoxide detectors to code.

A

Lighting and Power  
scale: 1/2"=1'



**Building Inspections - Re: 14 Brook Lane, Peaks Island Kitchen Renovation Permit Application, Fast Track, and Drawing Set**

---

**From:** Building Inspections  
**To:** Building Inspections  
**Date:** 12/31/2014 10:19 AM  
**Subject:** Re: 14 Brook Lane, Peaks Island Kitchen Renovation Permit Application, Fast Track, and Drawing Set

---

Per Tammy, this can be fast tracked.

>>> Building Inspections 12/31/2014 8:29 AM >>>

Please note; due to the work being done outside the existing shell of the house, ie; chimney work and windows/doors, this permit cannot be fast tracked. Please review the fast track form again for review. Once the permit has been issued, it will be delivered to the e-mail address on the application. Also, please review the attached permit review cheat sheet.

>>> Heather Thompson <heather@tjwhome.com> 12/30/2014 5:11 PM >>>

Hello,

Please find attached the permit drawing set, permit application and fast track form for the renovation of the kitchen at 14 Brook Lane, Peaks Island, ME. Please email the invoice for the permit fee to this email.

Please contact me with any questions.

Thank you,  
Heather Thompson  
653-1392

--

+++++

Heather Thompson  
Owner  
Thompson Johnson Woodworks  
115 Island Ave, Peaks Island, ME 04108  
(c) 207-653-1392 (o) 207-766-5919  
[www.tjwhome.com](http://www.tjwhome.com)

# Acknowledgment of Code Compliance Responsibility- Fast Track Project



Inspections Division  
Date: 01/05/15

I, Heather Thompson am the owner or duly authorized owner's agent of the property listed below  
Print Legal Name

14 Brook Lane, Peaks Island, ME 04108  
Physical Address

I am seeking a permit for the construction or installation of:

Kitchen renovation

### Proposed Project Description

I understand that the permits obtained pursuant to this acknowledgement of code compliance responsibility will be in my name and that I am acting as the **general contractor** for this project. I accept full responsibility for the work performed.

I am submitting for a permit authorized by the **State of Maine Uniform Building and Energy Code (MUBEC), Fuel Board Laws and Rules and all locally adopted codes and standards applying to Plumbing, Electrical, Fire Prevention and Protection in anticipation of having it approved or approved with conditions.** I have read the following statement and understand that **failure to comply with all conditions once construction is begun may necessitate an immediate work stoppage until such time as compliance with the stipulated conditions is attained.** I certify that I have made a diligent inquiry regarding the need for concurrent state or federal permits to engage in the work requested under this building permit, and no such permits are required or I will have obtained the required permits prior to issuance of this permit. I understand that the granting of this permit shall not be construed as satisfying the requirements of other applicable Federal, State or Local laws or regulations, including City of Portland historic preservation requirements, if applicable. I understand and agree that this permit does not authorize the violation of regulations.

In addition, I understand and agree that this building permit does not authorize the violation of the **12 M.R.S. § 12801 et seq. - Endangered Species.**

I certify under penalty of perjury and under the laws of the State of Maine the foregoing is true and correct. I further certify that all easements, deed restrictions, or other encumbrances restricting the use of the property are shown on the site plans submitted with this application.

I hereby apply for a permit as a Owner's agent of the below listed property and by so doing will assume responsibility for compliance with all applicable codes, bylaws, rules and regulations.  
Owner or Owner's Agent

I further understand that it is my responsibility to schedule inspections of the work as required and that the City's inspections will, at that time, check the work for code compliance. The City's inspectors may require modifications to the work completed if it does not meet applicable codes. HT INITIAL HERE

Sign Here: Heather Thompson  
Owner or Owner's Authorized Agent

Date: 12-30-14

PLEASE ALSO FILL OUT AND SIGN SECOND PAGE

# Acknowledgment of Code Compliance Responsibility- Fast Track Project

OFFICE USE ONLY

PERMIT # \_\_\_\_\_

CBL # \_\_\_\_\_



Inspections Division  
Date: 01/05/15

THIS PROJECT IS ELIGIBLE FOR FAST TRACK PERMITTING BECAUSE IT IS IN THE FOLLOWING CATEGORY / CATEGORIES (CHECK ALL THAT APPLY):

- One/Two Family Swimming Pools, Spas or Hot Tubs
- One/Two Family Decks, Stairs and Porches (attached or detached) First Floor Only
- One/Two Family Detached One Story Accessory Structures (garages, sheds, etc.) not to exceed 600sq ft with no habitable space
- Home Occupations (excluding day cares )
- One/Two Family Renovation/Rehabilitation (within the existing shell)
- Attached One /Two Family Garages /Additions/Dormers bearing the seal of a licensed design professional
- New *Sprinklered* One and Two Family Homes (bearing the seal of a licensed design professional stating code compliance) – **MUST STILL RECEIVE LEVEL 1 SITE PLAN APPROVAL FROM PLANNING**
- One/Two Family HVAC (including boilers, furnaces, heating appliances, pellet and wood stoves)
- Interior office renovations with no change of use (no expansions; no site work; no load bearing structural changes are eligible) bearing the seal of a licensed design professional stating code compliance
- Interior Demolition with no load bearing demolition
- Amendments to existing permits
- Commercial HVAC systems (with structural and mechanical plans bearing the seal of a licensed design professional stating code compliance)
- Commercial HVAC for Boilers/Furnaces/Heating Appliances
- Commercial Signs or Awnings
- Exterior Propane Tanks
- Residential or Commercial Subsurface Waste Water Systems (No Rule Variance Only)
- Renewal of Outdoor Dining Areas
- Temporary Outdoor Tents and stages under 750 sq ft per tent or stage
- Fire Suppression Systems (Both non-water and water based installations)
- Fences over 6'-0" in height
- Site work only
- Retaining walls over 4ft in height with stamped plans (or approval from inspection staff)

I understand that if the property is located in a historic district this application will also be reviewed by Historic Preservation. I further understand that the Building Inspections Division reserves the right to deny a fast track eligible project.

Sign Here: \_\_\_\_\_

Owner or Owner's Authorized Agent

Date: \_\_\_\_\_

12-30-14



# PORTLAND MAINE

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Inspections Division  
Date: 01/05/15

Jeff Levine, AICP, Director  
Director of Planning and Urban Development

Tammy Munson  
Director, Inspections Division

### Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

Within 24-48 hours, upon receipt of an e-mailed invoice from Building Inspections, which signifies that my electronic permit application and corresponding paperwork have been received, determined complete, entered by an administrative representative, and assigned a permit number, I then have the following four (4) payment options:

- to provide an on-line electronic check or credit/debit card (we now accept American Express, Discover, VISA, and MasterCard) payment (along with applicable fees beginning July 1, 2014),
- call the Inspections Office at (207) 874-8703 and speak to an administrative representative to provide a credit/debit card payment over the phone,
- hand-deliver a payment method to the Inspections Office, Room 315, Portland City Hall,
- or deliver a payment method through the U.S. Postal Service, at the following address:

City of Portland  
Inspections Division  
389 Congress Street, Room 315  
Portland, Maine 04101

Once my payment has been received, this then starts the review process of my permit. *After all approvals have been met and completed, I will then be issued my permit via e-mail.* No work shall be started until I have received my permit.

Applicant Signature: Heather Herby Date: 12-30-14

I have provided digital copies and sent them on: 12-30-14 Date: 12-30-14

NOTE: All electronic paperwork must be delivered to [buildinginspections@portlandmaine.gov](mailto:buildinginspections@portlandmaine.gov) or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



# General Building Permit Application

Inspections Division  
Date: 01/05/15

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Address/Location of Construction: <u>14 Brook Lane, Peaks Island 04108</u>		
Total Square Footage of Proposed Structure:		<u>848</u>
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# <u>92          F          4</u>	Applicant Name: <u>Thompson Johnson Woodworks</u> Address: <u>115 Island Ave</u> City, State & Zip: <u>Peaks Isl, ME 04108</u>	Telephone: <u>766-5919 / 653-1392</u> E-mail: <u>heather@tjwhome.com</u>
Lessee/Owner Name: <u>Meagher + Richard Engdahl</u> (if different than applicant) Address: <u>71 Elm St</u> City, State & Zip: <u>Chelmsford, MA 01824</u> Telephone: <u>978-2561344</u> E-mail: <u>m.fengdahl@gmail.com</u>	Contractor Name: (if different from Applicant) Address:  City, State & Zip:  Telephone:  E-mail:	Cost Of Work: <u>\$ 54,000</u> C of O Fee: \$ _____ Historic Rev \$ _____ Total Fees : \$ <u>608</u>
Current use (i.e. single family) <u>single family, seasonal cottage</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>same</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>Renovate kitchen</u>		
Who should we contact when the permit is ready: <u>Heather Thompson</u>		
Address: <u>115 Island Ave</u>		
City, State & Zip: <u>Peaks Isl, ME 04108</u>		
E-mail Address: <u>heather@tjwhome.com</u>		
Telephone: <u>653-1392 / 766-5919</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so causes an automatic permit denial.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at <http://www.portlandmaine.gov/754/Applications-Fees> or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Heather Thompson      Date: 12-30-14

This is not a permit; you may not commence ANY work until the permit is issued.