

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
 Application And
 Notes, If Any,
 Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 071030

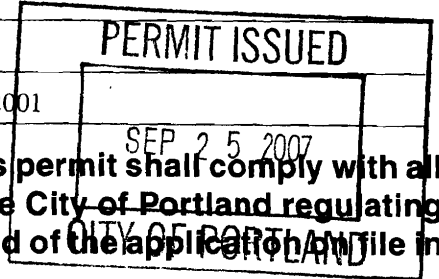
This is to certify that JONES DIANNE D & R SCOTT JONES ITS/L Eddy Houser

has permission to 2116 sf 2 story single family house

AT 661 ISLAND AVE

092 F002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the applicable code in this department.



Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in. 48 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Mahley 9/24/07
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

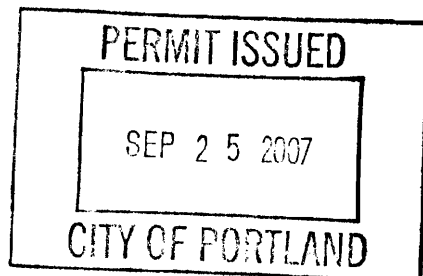
Permit No: 07-1030	Issue Date:	CBL: 092 F002001
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Location of Construction: 661 ISLAND AVE, <i>Peaks Island</i>	Owner Name: JONES DIANNE D & R SCOTT JO	Owner Address: 15535 OLD YORK RD	Phone:
Business Name:	Contractor Name: Leddy Houser	Contractor Address: 429 Preble St Portland	Phone: 2077670903
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: <i>IR-2</i>

Past Use: Single Family / Seasonal Cottage <i>den permit 07-0924</i>	Proposed Use: Single Family 2116 sf 2 story single family house	Permit Fee: \$4,345.00	Cost of Work: \$425,000.00	CEO District: 2
Proposed Project Description: 2116 sf 2 story single family house		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2103</i>	
		Signature: <i>jm 9/24/07</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: dmartin	Date Applied For: <i>33</i> 08/23/2007	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>house within 200' well over 75'</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>panel 9-200c C</i></p> <p><input type="checkbox"/> Subdivision</p> <p><input checked="" type="checkbox"/> Site Plan <i>2007-0146</i></p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p><i>ok w/cond. has</i></p> <p>Date: <i>9/10/07 ABN</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied <i>ABN</i></p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION		Maine Department of Human Services Division of Health Engineering, Station 10-3113 (207) 287-8677 FAX (207) 287-4172	
PROPERTY LOCATION		>> Caution: Permit Required - Attach in Space Below <<	
City, town, or Plantation	PORTLAND; PEAKS ISLAND	Portland	PERMIT # 10412 TOWN COPY
Street or Road	64 ISLAND AVENUE	Date Permit Issued: 9/24/07	\$ 1,100 <input type="checkbox"/> If Double Fee Charged
Subdivision, Lot #		Local Plumbing Inspector Signature: <i>Thomas M. Marley</i>	L.P.I. # 01749
OWNER/APPLICANT INFORMATION		9272	
Name (last, first, MI)	JONES SCOTT & DIANNE		
Mailing Address of <input checked="" type="checkbox"/> Owner <input type="checkbox"/> Applicant	274 RIDGEFIELD ROAD WILTON, CT 06897	Municipal Tax Map - 92 Lot 213 Lot 431 40m 225m on W70d 1 by 155	
Daytime Tel. #		Caution: Inspections Required	
Owner or Applicant Statement		I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application.	
I certify and acknowledge that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit.			
Signature of Owner/Applicant: <i>Terrence Mulhern</i>		Local Plumbing Inspector Signature: _____	
Date: 9-12-07		(1st) Date Approved: _____	
		(2nd) Date Approved: _____	

PERMIT INFORMATION		
TYPE OF APPLICATION	THIS APPLICATION REQUIRES	DISPOSAL SYSTEM COMPONENTS
1. <input type="checkbox"/> First Time System 2. <input checked="" type="checkbox"/> Replacement System Type Replaced: _____ Year Installed: _____ 3. <input type="checkbox"/> Expanded System a. <input type="checkbox"/> Minor Expansion b. <input type="checkbox"/> Major Expansion 4. <input type="checkbox"/> Experimental System 5. <input type="checkbox"/> Seasonal Conversion	1. <input type="checkbox"/> No Rule Variance 2. <input type="checkbox"/> First Time System Variance a. <input type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 3. Replacement System Variance a. <input checked="" type="checkbox"/> Local Plumbing Inspector Approval b. <input type="checkbox"/> State & Local Plumbing Inspector Approval 4. <input type="checkbox"/> Minimum Lot Size Variance 5. <input type="checkbox"/> Seasonal Conversion Approval	1. <input type="checkbox"/> Complete Non-Engineered System 2. <input type="checkbox"/> Primitive System (graywater & all toilet) 3. <input type="checkbox"/> Alternative Toilet, specify: _____ 4. <input type="checkbox"/> Non-Engineered Treatment Tank (only) 5. <input type="checkbox"/> Holding Tank, _____ Gallons 6. <input checked="" type="checkbox"/> Non-Engineered Disposal Field (only) 7. <input type="checkbox"/> Separated Laundry System 8. <input type="checkbox"/> Complete Engineered System (2000 gpd) 9. <input type="checkbox"/> Engineered Treatment Tank (only) 10. <input type="checkbox"/> Engineered Disposal Field (only) 11. <input type="checkbox"/> Pre-treatment, specify: _____ 12. <input type="checkbox"/> Miscellaneous components
SIZE OF PROPERTY	DISPOSAL SYSTEM TO SERVE	TYPE OF WATER SUPPLY
+/- 1,802 <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> acres	1. <input checked="" type="checkbox"/> Single Family Dwelling Unit, No. of Bedrooms: 4 2. <input type="checkbox"/> Multiple Family Dwelling, No. of Units: _____ 3. <input type="checkbox"/> Other: _____ SPECIFY _____ Current Use <input type="checkbox"/> Seasonal <input checked="" type="checkbox"/> Year Round <input type="checkbox"/> Undeveloped	1. <input type="checkbox"/> Drilled Well 2. <input type="checkbox"/> Dug Well 3. <input type="checkbox"/> Private 4. <input checked="" type="checkbox"/> Public 5. <input type="checkbox"/> Other: _____
SHORELAND ZONING		
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)			
TREATMENT TANK EXISTING	DISPOSAL FIELD TYPE & SIZE	GARBAGE DISPOSAL UNIT	DESIGN FLOW
1. <input type="checkbox"/> Concrete a. <input type="checkbox"/> Regular b. <input type="checkbox"/> Low Profile 2. <input checked="" type="checkbox"/> Plastic 3. <input type="checkbox"/> Other: _____ CAPACITY 1000 gallons CHECK CONDITION, REPLACE IF NEC. SOIL DATA & DESIGN CLASS PROFILE CONDITION DESIGN 12 / B / 1 AT Observation Hole - TP 1 Depth _____" OF MOST LIMITING SOIL FACTOR	1. <input type="checkbox"/> Stone Bed 2. Stone Trench 3. <input checked="" type="checkbox"/> Proprietary Device a. <input type="checkbox"/> Cluster array c. <input checked="" type="checkbox"/> linear b. <input checked="" type="checkbox"/> Regular d. <input type="checkbox"/> 20' loaded 4. <input type="checkbox"/> Other: _____ SIZE 1296 <input checked="" type="checkbox"/> sq. ft. <input type="checkbox"/> lin. ft. 27 ELJEN IN-DRAIN UNITS DISPOSAL FIELD SIZING 1. <input type="checkbox"/> Small - 2.0 sq.ft./gpd 2. <input type="checkbox"/> Medium - 2.6 sq.ft./gpd 3. <input checked="" type="checkbox"/> Medium-Large - 3.3 sq.ft./gpd 4. <input type="checkbox"/> Large - 4.1 sq.ft./gpd 5. <input type="checkbox"/> Extra-Large - 5.0 sq.ft./gpd	1. <input checked="" type="checkbox"/> No 3. <input type="checkbox"/> Maybe 2. <input type="checkbox"/> Yes >> Specify one below: a. <input type="checkbox"/> Multi-compartment tank b. <input type="checkbox"/> _____ tanks in series c. <input type="checkbox"/> Increase in tank capacity d. <input type="checkbox"/> Filter on tank outlet EFFLUENT/EJECTOR PUMP 1. <input checked="" type="checkbox"/> Not required 2. <input type="checkbox"/> May be required 3. <input type="checkbox"/> Required >> Specify only for engineered or experimental systems: DOSE: _____ Gallons	360 gallons per day BASED ON: 1. <input checked="" type="checkbox"/> Table 501.1 (dwelling unit(s)) 2. <input type="checkbox"/> Table 501.2 (other facilities) SHOW CALCULATIONS - for other facilities - 4 BEDROOMS AT 90 GALLONS PER DAY EACH 3. <input type="checkbox"/> Section 503.0 (meter readings) ATTACH WATER METER DATA

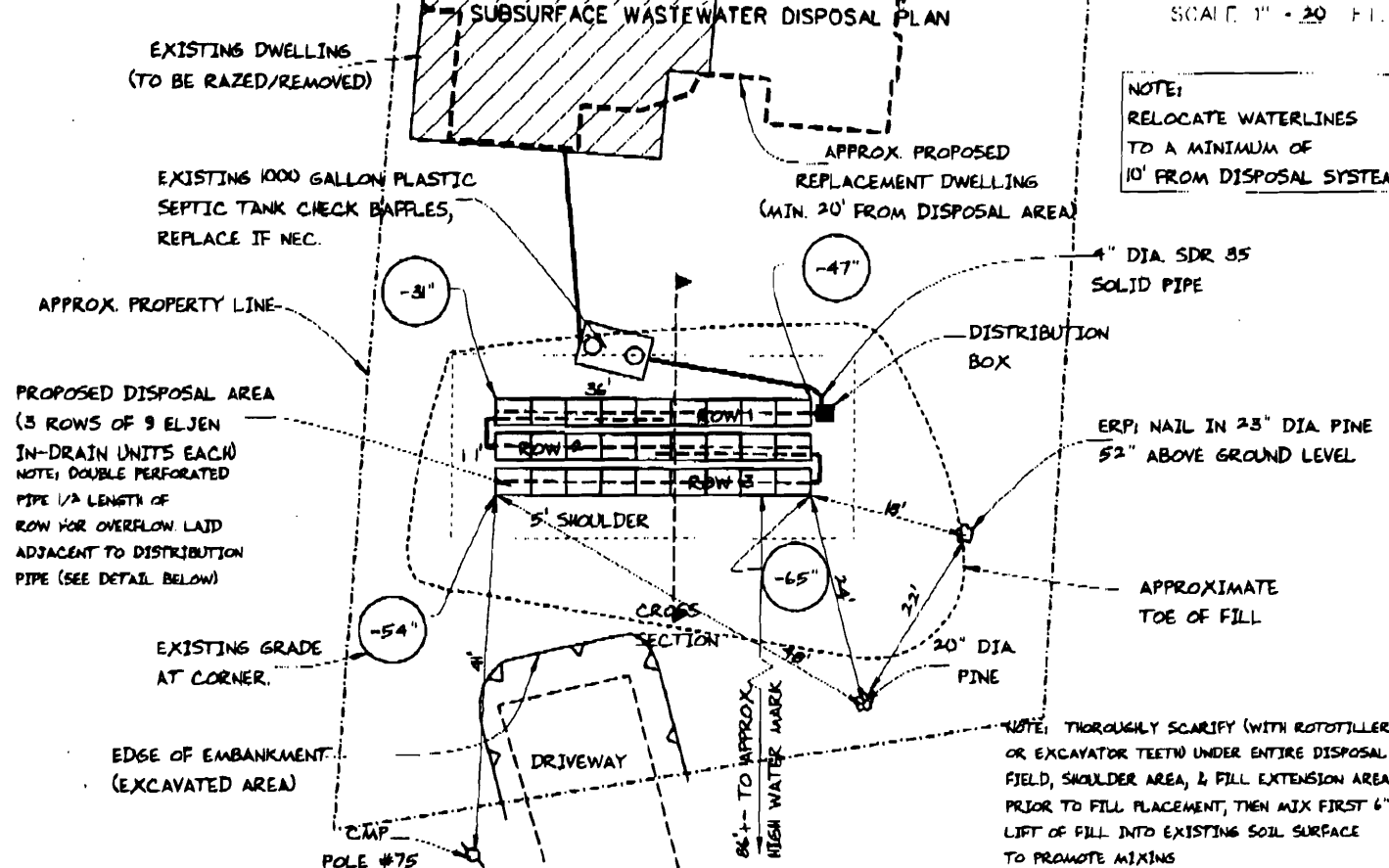
SITE EVALUATOR STATEMENT	
I certify that on 8/17/07 (date) I completed a site evaluation on this property and state that the data reported is accurate and that the proposed system is in compliance with the Subsurface Wastewater Disposal Rules (10 M.A. CMR 211).	
Site Evaluator Signature: <i>Albert Frick</i>	Date: 8/24/2007

ALBERT FRICK (207) 839-5563 AFA@MAINEERR.COM
 Site Evaluator Name Printed Telephone Number E-mail Address
 ALBERT FRICK ASSOCIATES - 95A COUNTY ROAD ROAD GORHAM, MAINE 04038 - (207) 839-5563
 Note: Changes to or deviations from the design should be confirmed with the Site Evaluator

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

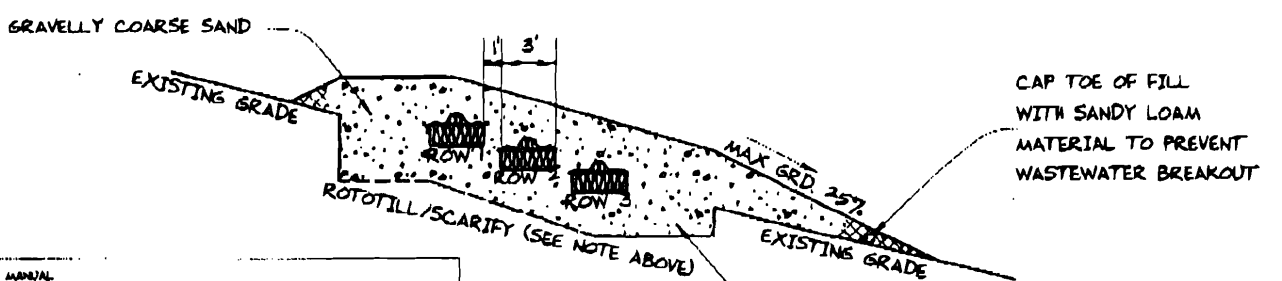
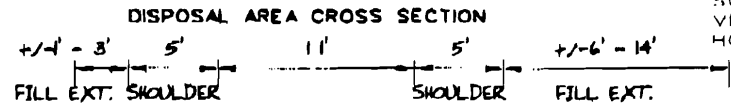
Maine Department of Human Services
Division of Health Engineering, Station 10, SMS
(207) 207-5672 FAX (207) 207-4172

Town, City, Plantation: **PORTLAND; PEAKS ISLAND**
Street, Road, Subdivision: **66 ISLAND AVENUE**
Owner's Name: **SCOTT & DIANNE JONES**



NOTE:
RELOCATE WATERLINES
TO A MINIMUM OF
10' FROM DISPOSAL SYSTEM

FILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		ELEVATION REFERENCE POINT	
Depth of Fill (Upslope)	: 1" - 17"	Finished Grade Elevation		SEE	Location & Description 2" DIA. PINE
Depth of Fill (Downslope)	: 8" - 19"	Top of Distribution Pipe or Proprietary Device		DETAIL	NAIL 52" ABOVE BASE
DEPTH AT CROSS-SECTION (shown below)		Bottom of Disposal Area		BELOW	Reference Elevation is: 0.0' or



SEE ELJEN IN-DRAIN MANUAL ON SERIAL DISTRIBUTION ON SLOPES FOR PROPER PIPING

	ROW 1	2	3
CLEAN FILL	-30"	-38"	-46"
GEOTEXTILE FABRIC	-42"	-50"	-58"
OVER 4" DIA. PERF. PIPE	-46"	-54"	-62"
ELJEN IN-DRAIN UNIT	-53"	-61"	-69"
	-59"	-67"	-75"

REMOVE ALL PORTIONS OF EXISTING DISPOSAL AREA ENCOUNTERED TO A MINIMUM DEPTH OF 2' UNDERNEATH AND 5' ALONGSIDE DISPOSAL AREA AND REPLACE WITH CLEAN GRAVELLY COARSE SAND FILL

Site Evaluator Signature: *Albert Frick* 163
Date: *8/24/2007*
Page 3 of 3
HHE 200 Rev. 10/02



Albert Frick Associates, Inc.

Soil Scientists & Site Evaluators

95A County Road Gorham, Maine 04038
(207) 839-5563

415-4214

TOWN	LOCATION	APPLICANT'S NAME
PORTLAND, PEAKS ISLAND	64 ISLAND AVENUE	SCOTT & DIANNE JONES

1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Department of Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system installer should contact Albert Frick Associates, Inc. 839-5563, if there are any questions concerning materials, procedures or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.

2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and minimum lot size laws) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations. Prior to the commencement of construction/installation, the local plumbing inspector or Code Enforcement Officer shall inform the owner/applicant and Albert Frick Associates, Inc of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.

3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as utility lines, drains, septic systems, water lines, etc.) are based solely upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information. Well locations on abutting properties but not readily visible above grade should be confirmed by the owner/applicant prior to system installation to assure minimum setbacks.

4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank or a septic tank filter shall be connected in series to the proposed septic tank.

5) The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine (such as from water treatment units) and controlled or hazardous substances shall not be disposed of in this system. Additives such as yeast or enzymes are discouraged, since they have not been proven to extend system life.

6) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than every three years. All septic tank, pump stations and additional treatment tanks shall be installed to prevent ground water and surface water infiltration.

ATTACHMENT TO SUBSURFACE WASTEWATER DISPOSAL APPLICATION

TOWN	LOCATION	APPLICANT'S NAME
PORTLAND; PEAKS ISLAND	641 ISLAND AVENUE	SCOTT & DIANNE JONES

- 7) The actual water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed. If the system is supplied by public water or a private service with a water meter, the water consumption per period should be divided by the number of days to calculate the average daily water consumption (water usage (cu. ft.) x 7.48 cu. ft. (gallons per cu. ft.) divided by the # of days in period).
- 8) The general minimum setbacks between a well and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.
- 9) When a gravity system is proposed: BEFORE CONSTRUCTION/INSTALLATION BEGINS, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum slope requirement. In gravity systems, the invert of the septic tank(s) outlet(s) shall be at least 4 inches above the invert of the distribution box outlet at the disposal area. When an effluent pump is required, provisions shall be made to make certain that surface ground water does not enter the septic tank or pump station, by sealing/grouting all seams and connections, and by placement of a riser and lid at or above grade. An alarm device warning of a pump failure shall be installed. Also, when pumping is required of a chamber system, install a "T" connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.
- 10) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chance of leakage or differential setting). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off proprietary devices. Divert the surface water away from the disposal area by ditching or shallow landscape swales.
- 11) Unless noted otherwise, fill shall be gravelly coarse sand, which contains no more than 5% fines (silt and clay).
- 12) Do not install systems on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.
- 13) Seed all filled and disturbed surfaces with perennial grass seed, then mulch with hay or equivalent material to prevent erosion. Alternatively, bark or permanent landscape mulch may be used to cover system, Woody trees or shrubs are not permitted on the disposal area or fill extensions.



Albert Frick Associates, Inc.
 Soil Scientists & Site Evaluators
 95A County Road Gorham, Maine 04038
 (207) 859-5563

Fill Estimation Worksheet

Albert Frick Associates Inc.

95A County Road

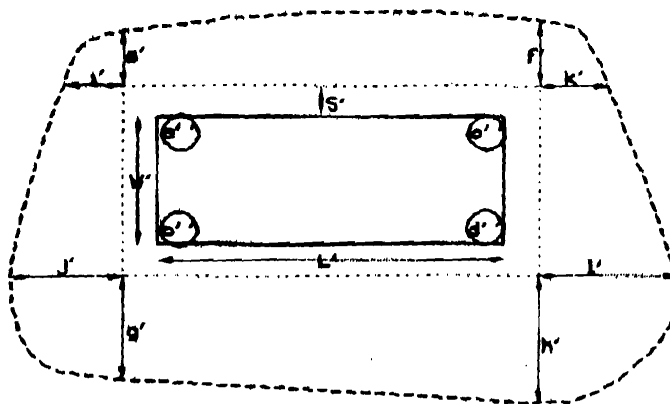
Gorham, Me 04038

839-5563 FAX - 839-5564

E-Mail - Alberfrick@worldnet.att.net

Town: Portland (Peaks Island)
 Project owner/applicant: Scott Jones
 661 Island Avenue
 Portland (Peaks Island)

This worksheet is being provided as a complimentary tool to assist in estimating the **approximate** amount of fill required to construct the proposed system. This worksheet does not substitute for a personal visit to the site for your own estimate. These calculations are intended to serve as a check to your work. Site features beyond the model (terrain) can vary to effect model projections.



Length (L)	<u>36</u> feet
Width (W)	<u>11</u> feet
Shoulder (S)	<u>5</u> feet
<u>Depth of fill:</u>	
upper left (a)	<u>1</u> Inches
upper right (c)	<u>17</u> inches
lower left (b)	<u>8</u> Inches
lower right (d)	<u>19</u> Inches
<u>Fill Extension:</u>	
left up (e)	<u>1</u> feet
right up (f)	<u>3</u> feet
left down (g)	<u>6</u> feet
right down (h)	<u>14</u> feet
upper left (i)	<u>1</u> feet
lower left (j)	<u>6</u> feet
upper right (k)	<u>3</u> feet
lower right (l)	<u>14</u> feet
Cost of fill per yard= \$	

Body	34 cubic yards
Fill Down	10 cubic yards
Fill Up	2 cubic yards
Fill left	1 cubic yards
Fill right	5 cubic yards
Fill upleft	1 cubic yards
Fill upright	1 cubic yards
Fill downleft	1 cubic yards
Fill downright	4 cubic yards

SubTotal=	59 cubic yards
Shrinkage %=	15 %
Total Backfill	68 cubic yards

Adjusted cost of Total
 Backfill= \$ -

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-1030	Date Applied For: 08/22/2007	CBL: 092 F002001
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Location of Construction: 661 ISLAND AVE	Owner Name: JONES DIANNE D & R SCOTT JO	Owner Address: 15535 OLD YORK RD	Phone:
Business Name:	Contractor Name: Ledy Houser	Contractor Address: 429 Preble St Portland	Phone: (207) 767-0903
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family 2116 sf 2 story single family house	Proposed Project Description: 2116 sf 2 story single family house
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 09/10/2007**Note:** **Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed structure, it may be required to be located by a surveyor.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 09/24/2007**Note:** Called contractor Ledy Houser and requested more info to issue permit. **Ok to Issue:**

- 1) A copy of the enclosed chimney or fireplace disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 2) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 3) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 4) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Molly Casto **Approval Date:** 09/24/2007**Note:** **Ok to Issue:**

- 1) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) The two existing pine trees between the front plane of the house and the street identified on the approved site plans must be preserved. If they are lost, two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 5) Erosion and Sedimentation control shall be established prior to soil disturbance, and shall be done in accordance with Best Management Practices, Maine Department of Environmental Protection Technical and Design Standards and Guidelines.

Comments:

8/23/2007-dmartin: Permit is on my desk I've been trying to reach Ledy Houser to get sf of cottage that is to be demo'd. That info is needed for the Developmental Review sheet. Called Eric Sokol 9/5/07 asking for SF of demo'd bldg. Left voicemail

9/5/2007-dmartin: Peter Houser called today and gave the sf of the demo'd bldg.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>661 ISLAND AVE., PEAKS ISLAND, PORTLAND, ME</u>		
Total Square Footage of Proposed Structure/Area <u>2,116 SQ. FT.</u>		Square Footage of Lot <u>11,802 SQ. FT.</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>92 F 2/3</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>SCOTT + DIANNE JONES</u> Address <u>274 RIDGEFIELD RD.</u> City, State & Zip <u>WILTON, CT 06897</u>	Telephone: <u>410/262-3713</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>425,000</u> C of O Fee: \$ <u>75</u> Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY DWELLING (TO BE DEMO'D UNDER SEPARATE PERMIT)</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SINGLE FAMILY DWELLING</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>NEW WOOD FRAME CONSTRUCTION WITHIN FOOTPRINT + SETBACKS OF EXISTING (TO BE DEMO'D) COTTAGE. 4 BEDROOMS, 2 STORIES.</u>		
Contractor's name: <u>LENNY-HOUSEL ASSOC.</u> Address: <u>429 PREBLE ST.</u> City, State & Zip <u>SOUTH PORTLAND, ME 04106</u> Telephone: <u>207/767-0903</u> Who should we contact when the permit is ready: <u>ERIC SOKOL</u> Telephone: <u>207/699-2998 x101</u> Mailing address: <u>WINKELMAN ARCHITECTURE, 41 UNION WHARF, PORTLAND, ME 04101</u>		

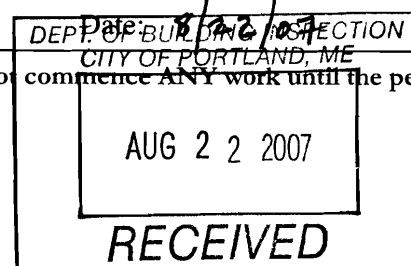
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

This is not a permit; you may not commence ANY work until the permit is issued



4/530

Applicant: Scott & Dianne Jones

Date: 9/10/07

Address: 661 Island Ave

C-B-L: 092-F-002

permit # 07-103

CHECK-LIST AGAINST ZONING ORDINANCE

Date - ^(permit # 07-0924) ~~demolished~~ old cottage (1885) - replace w/ new single family

Zone Location - IR-2

Interior or corner lot -

Proposed Use/Work - build 2 story single family

Sewage Disposal - private - existing four bedroom septic system

Lot Street Frontage - N/A - existing ^{house} lot

Front Yard - 25' min. coverage - 64' to deck steps - ~~3~~ scaled

Rear Yard - 25' min - 28' scaled

Side Yard - 20' min. - right 20.75' scaled

- left 3' but w/in footprint of existing house that demolished

Projections -

Width of Lot - 80' min. - replacing existing house so N/A

Height - 35' max from grade - 29.75' from lowest point

Lot Area - replacing existing w/ age - 11802 sq ft ~~223~~

Lot Coverage Impervious Surface - 20% = 2360.4

total proposed structure 2116 - sides

Area per Family - N/A existing single family

shed 112
store 15

Off-street Parking - ~~2 spaces required~~ existing parking ok if rebuilt w/ one year.

2243

Loading Bays - N/A

Site Plan - minor / minor 2007-0146

Shoreland Zoning/ Stream Protection - house w/in 250' shoreland zone - passed 75' high water mark - house is 75' from road - road is 70' from shore.

Flood Plains - panel 90 - zone C

BUILDING PERMIT INSPECTION PROCEDURES

Thursday -

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- Footing/Building Location Inspection: Prior to pouring concrete
- Re-Bar Schedule Inspection: Prior to pouring concrete
- Foundation Inspection: Prior to placing ANY backfill
- Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of Applicant/Designee _____ Date _____
Signature of Inspections Official _____ Date 9.25.07

CBL: 92-7002- Building Permit #: 071030

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2007-0146

Application I. D. Number

8/22/2007

Application Date

Jones Dianne D &

Applicant

15535 Old York Rd , Monkton , MD 21111

Applicant's Mailing Address

Winkelman Architecture

Consultant/Agent

Applicant Ph: (710) 262-3713 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Marge Schmuckal

661 - 661 Island Ave, Portland, Maine

Address of Proposed Site

092 F002001

Assessor's Reference: Chart-Block-Lot

2 Story Single Family House

Project Name/Description

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Apt 0 Condo 0 Other (specify) _____

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- Site Plan (major/minor) Zoning Conditional - PB Subdivision # of lots _____
 Amendment to Plan - Board Review Zoning Conditional - ZBA Shoreland Historic Preservation DEP Local Certification
 Amendment to Plan - Staff Review Zoning Variance Flood Hazard Site Location
 After the Fact - Major Stormwater Traffic Movement Other _____
 After the Fact - Minor PAD Review 14-403 Streets Review

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 8/23/2007

Zoning Approval Status:

Reviewer _____

- Approved Approved w/Conditions See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4
PORTLAND, ME 04101

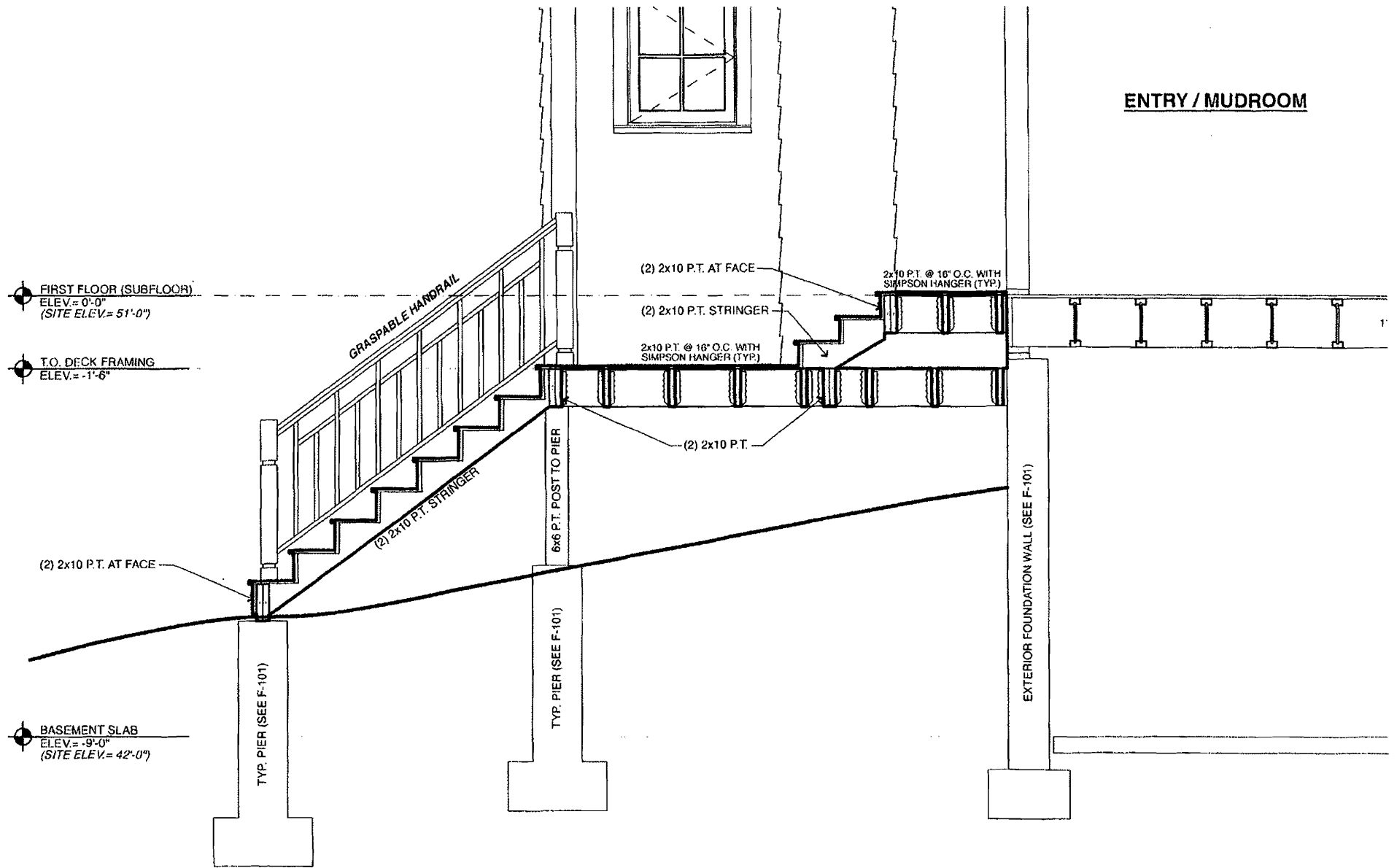
PH: 207.699.2998 FAX: 207.699.2991 WWW.WINKARCH.COM

17 September 2007

to: Tom Markley
re: Jones Residence, 661 Island Avenue, Peaks Island, Portland, ME
Porch framing section.

Tom,
Attached are framing details as discussed...let me know if you need anything else.

Thanks,
Eric



PORCH STAIR SECTION

JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME

0 1 2 4

DATE: 9/17/07



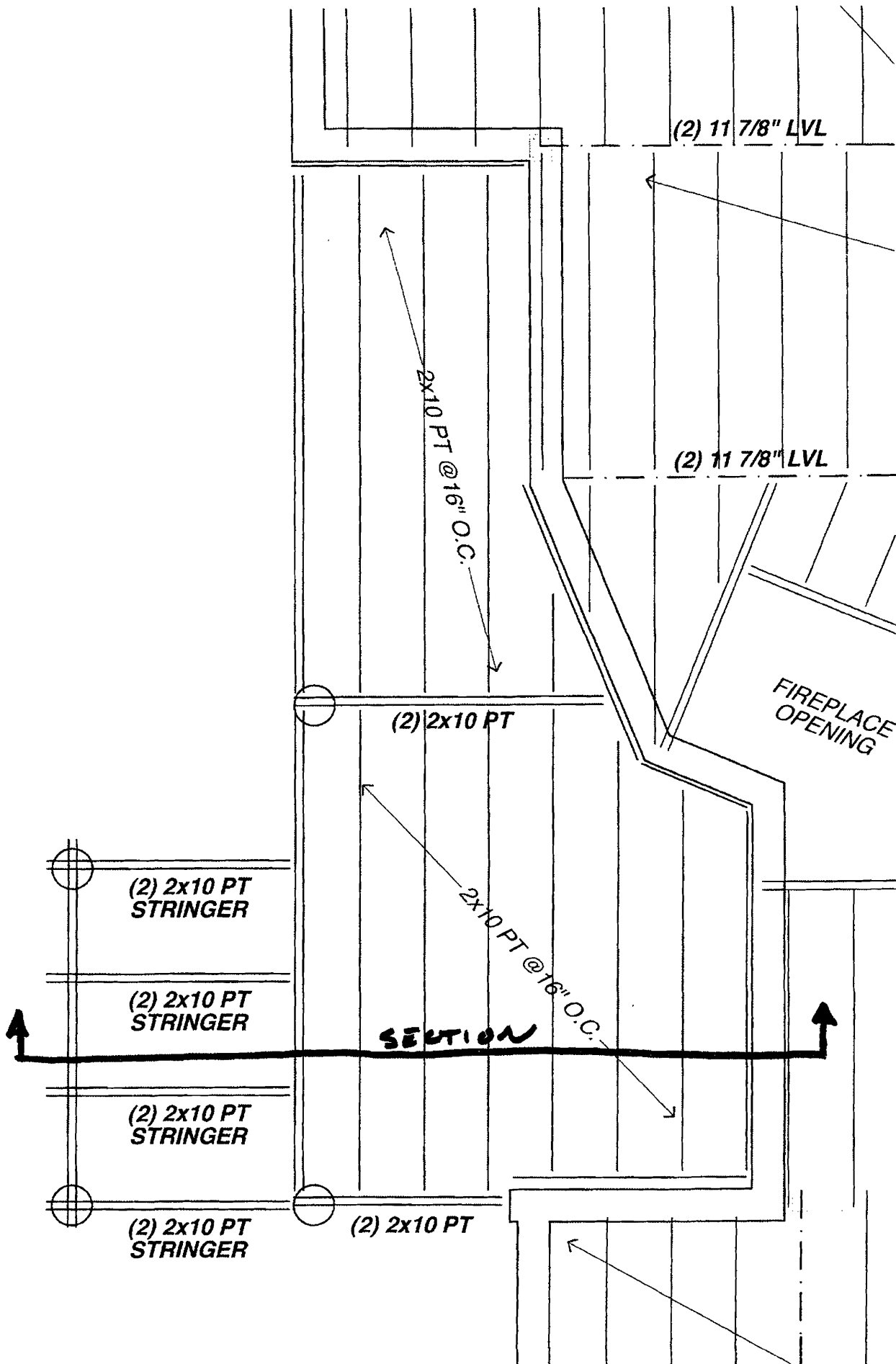
41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998

SK

PORCH STAIR PLAN
JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME

0 1 2 4
DATE: 9/17/07

WINKELMAN ARCHITECTURE
41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998





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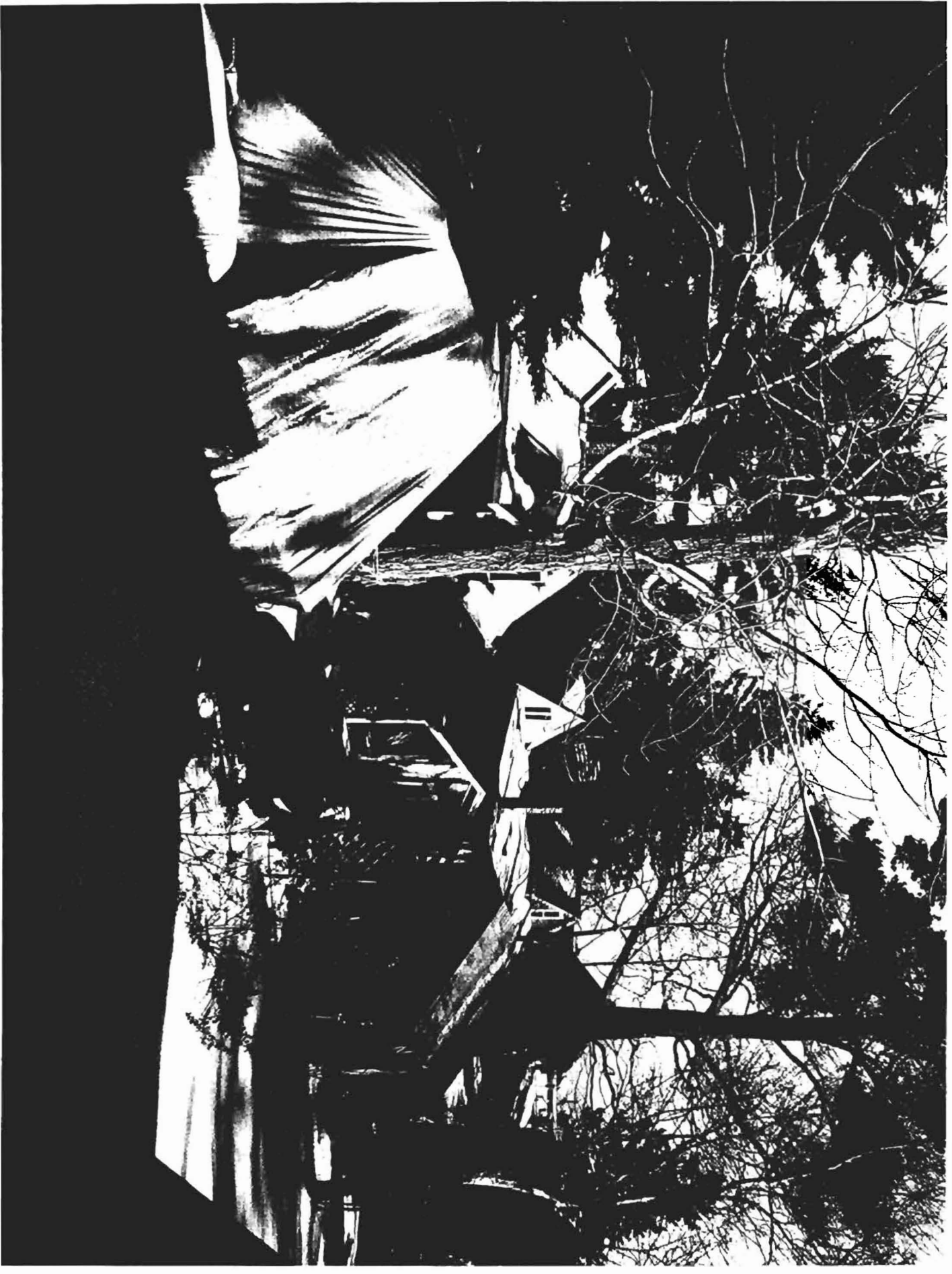
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OUTLINE SPECIFICATION: Jones Residence: 661 Island Avenue, Peaks Island, ME.

Winkelman Architecture: Phone 207-699-2998, Eric at x 101. Fax 207-699-2991

Builder: Leddy Houser Associates, Paul Leddy, Peter Houser,
429 Preble Street, South Portland, ME. 207/767-0903.

Scope (for budget purposes): Exterior envelope including exterior door and windows, roofing, cladding and site work within 10' of structure. Interiors including frame partitions, floor framing (with sub-flooring), interior trim, carpentry and millwork, flooring, wall and ceiling finishes, plumbing, mechanical and electrical.

NOT INCLUDED in this scope: Finish grading, landscaping (walls, walkways, etc.) landscape planting, driveway finish, appliances, window treatments, decorative light fixtures (see lighting schedule), and furnishings.

Note: All subs should be familiar with the existing site conditions before quoting budget prices.

1. General Requirements:

- A) Required Shop Drawings: steel fabrications, all custom windows, custom doors, custom moldings, architectural millwork.
- B) Similar or equivalent materials shall be submitted to architect and owner for review and approval prior to ordering or use in construction.
- C) General Contractor shall furnish and pay for a job site phone and fax for the duration of the project.

2. Site Work:

- A) Clearing and grubbing of building site.
- B) Excavation (does not include blasting) for footings/foundation.
- C) Excavation and trenching for perimeter drainage system and its out-fall, or sump.
- D) Foundation perimeter drainage system (includes separate 4" interior drainage system.)
- E) Excavation, (does not include blasting), and trenching for water, sewer and electrical/telephone/communications service.
- F) Back filling of foundation walls to be with existing excavated fill. Extra fill to be provided as required (\$37/yard per Lionel Plante Associates quote.)
- G) Trenching shall be with sand and gravel, filled and 95% compaction in maximum 12" lifts.
- H) Rough grading, see Site Plan for scope of work.
- I) Erosion control: silt fencing, hay bales & vegetative buffers. Refer to Maine Erosion Control and Sediment Control Handbook for construction: Best Management Practices, Section 14 - Sediment Barriers. Also Zoning and Building Code Ordinance of the City of Portland, Maine.
- J) Loam and seed areas disturbed by building and site work as required.

3. Concrete:

- A) 2800 PSI @ 28 days: concrete footings, pads, foundation walls, & slab on grade.
- B) Concrete foundation walls: reinforce w/bars as noted on drawings.
- C) Footings: reinforce w/ bars as noted on drawings.
- D) 10" x 5/8" dia. anchor bolts at 4'-0" o.c., or as otherwise shown on drawings.
- E) General Contractor to coordinate with plumber and electrician for proper location of bond-outs.

4. Masonry:

- A) Mason to review and verify code compliance and optimal performance standards of fireplace and chimney as specified. Masonry fireplaces, chimneys and solid fuel-burning appliances shall conform to current NFPA 211.
- B) Concrete masonry unit foundation under fireplaces and chimneys as required.
- C) Cast-in-place steel reinforced concrete hearths.
- D) Fire brick lined fireboxes, design per drawings.
- E) Masonry fireplaces will be as drawn and detailed:
 - 1) Seasonal Porch: CMU core with full height beach stone (smooth round stones) veneer (all sides).
 - 2) Living Room: CMU core with beach stone (smooth round stones) veneer. Exposed veneer on exterior and interior surround only at first floor. Exposed veneer on all sides above second floor (see elevations).
- F) 1 3/4" thick Bluestone chimney caps.
- G) Flashing at chimney: per drawings and details. 16 oz. zinc coated copper thru-flashing to flue liners (full pan), zinc coated copper step flashing.

5. Metals:

- A) Structural steel: Beams and columns shall be ASTM A36 strength, size to be shown on plan. Provide all necessary attachment plates and connecting hardware as required or as noted on structural drawings and in structural notes.

6. Wood:

- A) Rough Framing:
 - 1) NOTE: Seasonal Porch to have exposed framing on walls and ceiling. Typical framing lumber, #2 spruce or equivalent.
 - a) Walls: painted 2x4 studs visible to interior, painted horizontal board sheathing (1x4, 1x6, 1x8 mixed width T&G #2 pine with square edge visible), 3" rigid insulation (between 2x sleepers?), 1/2" plywood sheathing.
 - b) Roof: painted 2x10 rafters visible to interior, painted horizontal board sheathing (1x4, 1x6, 1x8 mixed width T&G #2 pine with square edge visible), 5 1/2" rigid insulation (between 2x sleepers), 1/2" plywood sheathing.
 - 2) Wood frame construction shall be in accordance with the City of Portland adopted International Residential Code and /or local code officer requirements.
 - 3) Structural framing shall be #2 grade spruce or equal strength wood, kiln dried in nominal dimensions shown.
 - 4) Pressure treated southern yellow pine shall be used in all conditions where wood is within 6" of the ground, in direct contact with concrete, for building sills and as shown on the drawings.
 - 5) Laminated veneer lumber (LVL) shall be Micro Lam by Trus Joist Mac Millan, Versa-Lam by Boise Cascade or approved equal in lengths and sizes as shown on drawings. At locations where more than one member is used side by side, 1/2" through-bolt at minimum intervals of 2'-0" o.c.
 - 6) Manufactured joists shall be TJI by Trus Joist Mac Millan, BCI by Boise Cascade or approved equivalent. Lengths and sizes as shown on drawings.
 - 7) Sheathing:
 - a) Floors: 3/4" Huber Advantech structural panels.
 - b) Walls: 1/2" CDX plywood or Huber Advantech structural panels.
 - c) Roof: 5/8" CDX plywood (if 24" o.c. framing.) 1/2" CDX plywood (if 16" o.c. framing.), or Huber Advantech structural panels.
 - d) Note: Any other products require submittals for review by architect.
- B) Fasteners: joist hangers, connectors, and tie-downs by Simpson or equivalent.

- C) Siding & Exterior carpentry:
- 1) Wall shingles: Frazier, pre-finished with Cabot semi-transparent stain, non-rebutted or resquared, clear Eastern White Cedar shingles. Stainless steel fasteners. Refer to Section 9 Finishes for more information. Weave shingles at outside corners. Inside corners: 5/4x5/4 white cedar ground.
 - 2) Exterior walls below first floor level to be 5/4x10 vertical board on 1x3 batten, #2 pine.
 - 3) Exterior at Guest Bed / Kids' Bed gabled form (where applicable: see drawings) to be 5/4x3 batten on 1x10 vertical board, #2 pine.
 - 4) Window and door trim for solid stain finish shall be back-primed 5/4 x 4", #2 or better pine.
 - 5) Soffits and ceilings of covered porches to be Eastern White Pine 1x4 tongue and groove.
 - 6) Decks and exterior stairs to be 5/4 x 4 douglas fir (clear finish—Thompson's Water Seal?) with fir handrails with 1x4 ornamental balustrade (painted-front deck only.)
 - 7) All exterior fasteners to be stainless steel.
- D) Interior Trim & Carpentry
- a) Poplar (or suitable paint grade equivalent) casing and trim for door and windows: 5/4x5" head casing, 1x4 jambs w/ 3/8" bead to interior, 5/4 sill 1x3 apron.
 - b) Poplar (or suitable paint grade equivalent) 1x6 base w/ 5/8" scotia.
- E) Kitchen and Bathroom cabinets
- 1) Kitchen cabinets: salvage and reuse all existing cabinets. New cabinets to be purchased (Home Depot? Owner to provide spec of existing) as needed to fill in. Allow \$4,000 for cabinets and installation.
 - 2) Kitchen island to be fabricated and installed by owner (freestanding piece of furniture).
 - 3) Kitchen countertops and backsplash: Slate, approx. 55 square feet. Allow \$6000 for material and installation.
 - 4) Pantry: simple, painted cabinets below counter, painted, open shelves above. Allow \$2500 for cabinets, shelves, and installation. Countertops in Pantry to be laminate with wood nosing, approx. 36 square feet.
 - 5) First Floor bathroom: allow \$ 1000 for vanity, and installation. Countertop and backsplash to be slate, approx. 5 square feet.
- F) Wood flooring, walls and ceilings:
- 1) NOTE: owners would like to salvage and reuse a good deal of the interior boarding, sheathing, and structural beams from the existing cottage. Intent is to try to incorporate some of this salvaged material in each room of the house. Extent and design will be determined once material has been removed, inventoried and inspected.
 - 2) Floors:
 - a) Entry / Seasonal Porch: 1x4 fir as interior floor (to match look of exterior decking – keep radiused edge, but no gap at joints).
 - b) Living Room (octagonal): reuse pine boarding from Living Room of existing cottage (salvaged by owner).
 - c) Kitchen / Pantry: 12x12 cork floor. Spec and color TBD.
 - d) Family / Dining / Hall / Guest Bed / Upstairs Hall: 1x3 fir.
 - e) Upstairs Bedrooms: 1x4, 1x6, 1x8 random layout tongue and groove poplar (square edge), painted.
 - 3) Walls:
 - a) Main House: 1/2" drywall. Salvage material? See note above.
 - b) Seasonal Porch / Entry: painted, exposed framing (see section 6 Wood). North walls of entry adjacent to Living and Dining to be shingled as exterior of house.
 - 4) Ceilings:
 - a) Main House: 1/2" drywall. Salvage material? See note above.
 - b) Living Room: slightly raised, octagonal field of salvaged boarding in ceiling.
 - c) Seasonal Porch / Entry: painted, exposed framing (see section 6 Wood).

7. Thermal & moisture protection:

- A) General: all doors, windows, siding, and trim to be installed mindful of proper flashings and splines. Housewrap functions as a secondary water barrier and is to be installed with seams properly lapped for proper drainage, and all tears taped. Felt splines are to be installed behind all trim/siding intersections and lapped below for proper drainage out through siding or other flashings. At sill lap felt spline over sill rough opening, install window, lap bottom of strip out into siding, typ. head cap flash.
- B) Damp proofing - 2 coats bituminous damp proofing on concrete foundation walls below grade.
- C) Exterior air infiltration barrier: 15 lb. lapped black felt.
- D) Vapor barrier: 6 mil. clear poly vapor barrier, lapped and taped.
- E) Electrical/mechanical, by others to precede insulation.
- F) Insulation values:
 - 1) Exterior frame walls: 4" Corbond (or equivalent) spray foam insulation (R-28).
 - 2) Rim joists below first floor: 4" Corbond (or equivalent) spray foam insulation (R-28).
 - 3) Roof: 6" Corbond (or equivalent) spray foam insulation (R-41).
 - 4) Walls and ceiling of Seasonal Porch / Entry to have rigid insulation (see section 6 Wood).
 - 5) Acoustic insulation: 3 1/2" fiberglass batt insulation. Provide in walls surrounding all baths and between adjoining bedrooms.
- G) Shingle Roof (gabled forms):
 - 1) 3-tab asphalt shingles. IKO "Aristocrat" 25 year.
 - 2) Lapped 15lb felt underlayment.
 - 3) Ice and water shield self-seal membrane (36" w.) along all eaves, up valleys, crickets, and all roof pitches less than 4:12.
- H) Metal Roof (shed forms on Main House, Entry, Seasonal Porch):
 - 1) Site formed standing seam roof, spec TBD (Fabral?)
 - 2) Hips to be formed standing seam, not premanufactured caps.
 - 3) Lapped 15lb felt underlayment.
 - 4) Ice and water shield self-seal membrane (36" w.) along all eaves, up valleys, crickets, and all roof pitches less than 4:12.
- I) Ventilation: N/A if spray foam is used per manufacturer's specs.
- J) Provide new hot-dipped galvanized half round gutters (allow 20 l.f.) and round galvanized downspouts. Locations per drawings.
- K) Masonry flashing shall be 16 oz. zinc coated copper.
- L) Sealants: 25 yr. Siliconized acrylic or better sealants for interior and exterior joints.

8. Doors and windows: (refer to door and window schedule)

- A) Exterior door hardware: Key all exterior doors alike. See door schedule for more info.
- B) LePage Doors and Windows: Wood, primed, insulated glazing, 7/8" SDL. Half screens at all double hung units. Full aluminum screens at casements & awnings. Primed interior. Provide jamb extensions as required.
- C) Screen doors to be custom (by GC?)
- D) Interior Doors: Brosco five panel pine door, available through Brockway-Smith Co., Portland, ME 800.442.6734. Sizes per door schedule.
- E) Interior door hardware: Allow \$50 per door. Passage or privacy per door schedule.

9. Finishes:

- A) Tile & Stone: provide bullnose cap, round outside corners, round inside corners, etc., as required for all tiles. Provide 1/2" Durock backing substrate at all walls, 1/2" plywood underlayment all floors.
 - 1) First Floor shower: custom shower pan. River rock (tile on mats) base with 3x6 subway tile walls. Frameless glass.
 - 2) Bathroom floors: 12x12 slate tile.
 - 3) Vanity top at first floor bath: Slate, 3cm thick with arris edge. Slate backsplash. Approx. 5 square feet.
- B) Wood floor and walls: see Section 6 for details

- C) Interior painting: three coat finish, paint products by Benjamin Moore
 - 1) Painted wood and trim: 1 coat Benjamin Moore Fresh Start Acrylic primer, 2 coats Acrylic finish.
 - 2) Walls: 1 coat Benjamin Moore Fresh Start Acrylic primer, two coats Acrylic finish. Benjamin Moore, color to be selected by owner.
- D) Exterior painting and finishing (trim only):
 - 1) Wall Shingles: Frazier, pre-finished with Cabot stain.
 - 2) Trim: Benjamin Moore, color to be selected. 1 coat of Moorcraft Super Spec Latex Exterior primer, 2 coats Moorcraft Super Spec Latex House and Trim paint. Back prime all trim boards. Paint over knots with stain hiding primer.
 - 3) Doors (if painted): 1 coat of Moorcraft Super Spec Latex Exterior primer, 2 coats Moorcraft Super Spec Latex House and Trim paint, color to be selected. If stained: stain and seal door with alkyd resin based stain/sealer. Finish with 3 coats min. water-borne finish (per door specifications). Stain interior sides of all doors.
 - 4) Wood decking, porches: fir, stain or clear finish TBD.

10. Specialties:

- A) Bath and Closet Accessories.
 - 1) Owner to supply all mirrors, towel bars and bath accessories, General Contractor to provide blocking and installation.
 - 2) Closets: shelf and rod.

11. Equipment: All appliances to be supplied by owner (some reused from existing cottage), installed by contractor.

12. Furnishing: N/A

13. Special Construction: N/A

14. Conveying Systems: N/A

15. Mechanical:

- A) Plumbing (see floor plans for plumbing layout.)
 - 1) All plumbing shall meet the requirements of the Maine State Plumbing Code.
 - 2) Include gas piping where required.
 - 3) When possible locate and pitch supply and drain lines to provide seasonal drainback.
 - 4) Provide fiberglass acoustical insulation on all interior living space waste lines 2" and greater.
 - 5) Hot water supply: Superstor tank, separate boiler zone.
 - 6) Provide three exterior frost-free hose bibs.
 - 7) Faucets, fills and drains: see plumbing schedule (verify with client)
 - 8) General Contractor to coordinate rough framing and fixture alignment.
 - 9) Venting in PVC. Locate stacks on southeast side of roof slopes.
 - 10) All principle waste lines in PVC piping. Piping shall be greater than 2" dia.
 - 11) Provide venting for all bathroom exhaust fans.
 - 12) Plumbing fixtures: allow \$4000 for all fixtures. Reuse clawfoot tub from existing cottage in second floor bath.

B) Heating

- 1) Option 1: Rinnai monitor heater (reuse existing kerosene?) in main Living area (services Living / Dining / Family?). Remainder to be electric radiant. **NOTE: detailing of electric radiant heat needs to be confirmed with installer, as wood floors will be nailed down (1x3 sleepers on subfloor with electric mats in between?), not floating.** No boiler. Domestic hotwater via electric or "on demand" system.
- 2) Option 2:
 - a) Provide propane fired hot water heating system, with engineered heat loss calculations and system layout.
 - b) Superstor tank with separate zone for domestic hot water supply. Four zones, radiant first floor, hydronic hot water (fin tube) on second floor. Zones as follows:
 - 1) Kitchen/Dining Room/Living Room/Family Room.
 - 2) Guest Suite (downstairs).
 - 3) Entry/Seasonal Porch.
 - 4) Upstairs.

16. Electrical:

- A) Provide 200 amp buried service, 40 breaker panel; all electrical to comply with National Electrical Code.
- B) Provide buried telephone and allow (2) 2" conduits for future computer/communications lines.
- C) Fixtures: owner to supply interior and exterior electrical fixtures including exhaust fans. There will be a detailed lighting design for the entire house.
- D) Provide networked cat. 5 wiring with common hub to Kitchen, Living Room, Family Room, Seasonal Porch, Guest Bed (first), Master Bed, Kids' Bed, Office.
- E) Provide cable TV wiring with common hub and splitter.
- F) Provide networked telephone wiring to Kitchen, Living Room, Family Room, Seasonal Porch, Guest Bed (first), Master Bed, Kids' Bed, Office.

End of specifications.

JONES RESIDENCE
661 Island Avenue, Peaks Island, ME

INTERIOR FINISH SCHEDULE * PRELIMINARY

NOTES:

- Owners would like to salvage and reuse a good deal of the interior boarding, sheathing, and structural beams from the existing cottage. Intent is to try to incorporate some of this salvaged material in each room of the house. Extent and design will be determined once material has been removed, inventoried and inspected.
- Typical trim (unless noted otherwise):
 - a. Doors/windows: 5/4 x 5 head with cap, 1x4 jambs with 3/8" diameter bead to interior, 5/4 sill, 1x3 apron.
 - b. Base: 1x6 with cap.
- Closets (for pricing purposes): shelf and rod.
- Doors to be five panel pine: paint grade.

FIRST FLOOR

ENTRY / MUDROOM:

- FLOORS: 1x4 fir to match exterior decking. Keep radiused edge (per exterior decking boards), no gap.
- WALLS: exposed 2x4 studs, exposed horizontal boarding (on exterior side of studs) with square edge. All painted. Walls adjacent to Living / Dining to be shingled per exterior of house.
- CEILING: exposed 2x10 rafters, exposed horizontal boarding (on exterior side of rafters) with square edge. All painted.
- TRIM: Typical trim, painted.

SEASONAL PORCH

- FLOORS: 1x4 fir to match exterior decking. Keep radiused edge (per exterior decking boards), no gap.
- WALLS: exposed 2x4 studs, exposed horizontal boarding (on exterior side of studs) with square edge. All painted. Walls adjacent to Living / Dining to be shingled per exterior of house.
- CEILING: exposed 2x10 rafters / collar ties, exposed horizontal boarding (on exterior side of rafters) with square edge. All painted.
- TRIM: Typical trim, painted.
- FIREPLACE: "Beach Stone" fireplace (floor to ceiling), mantel to be salvaged timber from existing cottage.

KITCHEN:

- FLOORS: 12x12 cork tile (exact spec TBD). Slate inset (approx. 2' x 3') into floor at entry door.
- WALLS: Drywall.
- CEILING: Drywall.
- TRIM: Typical trim, painted.

- REMARKS:

- a. Cabinets: cabinets from existing cottage to be reused (owner to provide specs and quantity). Additional, matching cabinets to be purchased as required.
- b. Island to be built / provided by owner.
- c. Appliances: By owner / reuse existing.
- d. Countertops: soapstone or slate.

PANTRY:

- FLOORS: 12x12 cork tile (exact spec TBD).

- WALLS: Drywall.

- CEILING: Drywall.

- TRIM: Typical trim, painted.

- REMARKS:

- a. Cabinets: open shelves, painted. 24" deep below countertops, 14" deep above.
- b. Laminate countertops.
- c. Pocket door to have screen panel.
- d. Washer / Dryer under 36" deep countertop (northwest wall).

POWDER ROOM / BATH:

- FLOORS: 12 x 12 Slate tile (exact spec TBD).

- WALLS: Drywall.

- CEILING: Drywall.

- TRIM: Typical trim, painted.

- REMARKS:

- a. Vanity in powder room: painted. Slate top.
- b. Pedestal sink in Bath.
- c. Fully tiled shower enclosure with glass doors. River rock base / 3x6 subway tile on walls.
- d. Pocket door between Powder Room and Bath to have translucent glass (white lami).

DINING:

- FLOORS: 1x3 fir.

- WALLS: Drywall.

- CEILING: Drywall.

- TRIM: Typical trim, painted.

LIVING ROOM:

- FLOORS: Octagonal field of salvaged pine boarding from existing cottage. Fir border at walls (3 boards?)

- WALLS: Drywall.

- CEILING: Drywall. Octagonal field of salvaged boarding (raised / inset) in center. Painted?

- TRIM: Typical trim, painted.

- MILLWORK: Columns (non structural) turned from salvaged beams.

- FIREPLACE: "Beach Stone" surround only. Remainder of fireplace to be sheathed in painted, salvaged boarding. Mantel to be salvaged beam from existing cottage.

STAIR:

- TREADS: Fir treads. Painted risers.

- WALLS: Drywall.

- CEILING: Drywall.

- REMARKS:

- a. Fir handrail. Painted balusters.
- b. Reuse newel post from existing cottage.

GUEST BEDROOM:

- FLOORS: 1x3 fir.
- WALLS: Drywall.
- CEILING: Drywall.
- MILLWORK: Painted adjustable shelves.

FAMILY ROOM:

- FLOORS: 1x3 fir.
- WALLS: Drywall.
- CEILING: Drywall.
- MILLWORK: Painted adjustable shelves, painted built in daybed with drawers below.

SECOND FLOOR:

HALLWAY:

- FLOORS: 1x3 fir.
- WALLS: Drywall.
- CEILING: Drywall.
- TRIM: Typical trim, painted.
- MILLWORK: adjustable shelves in linen closet (painted).

MASTER BEDROOM:

- FLOORS: 1x4, 1x6, 1x8 random layout tongue and groove poplar (square edge), painted.
- WALLS: Drywall.
- CEILING: Drywall.
- TRIM: Typical trim, painted.

BATHROOM:

- FLOORS: 12 x 12 slate tile (exact spec TBD).
- WALLS: 1x4 T&G vertical wainscot (salvaged?) with edge bead (to approx. 60" high). Drywall above.
- CEILING: Drywall.
- TRIM: Typical trim, painted.
- REMARKS: Salvage, refurbish and reuse clawfoot tub from existing cottage.

BEDROOM (southwest):

- FLOORS: 1x4, 1x6, 1x8 random layout tongue and groove poplar (square edge), painted.
- WALLS: Salvaged boarding from upstairs of existing cottage (existing stain finish?). Drywall behind?
- CEILING: Drywall.
- TRIM: Typical trim, painted.

BEDROOM / OFFICE (northwest):

- FLOORS: 1x4, 1x6, 1x8 random layout tongue and groove poplar (square edge), painted.
- WALLS: Drywall.
- CEILING: Drywall.
- TRIM: Typical trim, painted.
- MILLWORK: Built in desk at window (painted). 30" high, open below with adjustable shelves above, on sides.

661 Island Ave
Red Is Island

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST		
Soil type/Presumptive Load Value (Table R401.4.1) _____				
Component	Submitted Plan	Findings	Revisions	Date
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	24x24 Pad footings 1" wall	OK		
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	4" exterior/interior drain Fabric OK	OK		
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	NA	NA		
Anchor Bolts/Straps, spacing (Section R403.1.6)	5/8 mchn Bolts @ 48"			
Lally Column Type (Section R407)	Con Lally			
Girder & Header Spans (Table R 502.5(2))				
Built-Up Wood Center Girder Dimension/Type	LVL's	OK		
Sill/Band Joist Type & Dimensions	2x8 TJI	OK		
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	11 7/8 TJI	OK		
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	11 7/8 TJI	OK		
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x10 16" OC			

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	8:12 Pitch 3 (1 1/8 Ridge Ben) 2x10 16" OC 2 (2x10) Headers	OK
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	Floors 3/4 Advantec 5/8 Corb n CDX Walls 1/2 CDX plywood on Advantec	OK
Fastener Schedule (Table R602.3(1) & (2))	Per IRC 2703 (Simpson) Equivalent	
Private Garage (Section R309) Living Space ? (Above or beside)		
Fire separation (Section R309.2)	NA	NA
Opening Protection (Section R309.1)		
Emergency Escape and Rescue Openings (Section R310)	Egress Windows	OK
Roof Covering (Chapter 9)	25 year asphalt shingles Ice Water shield felt underlay	OK
Safety Glazing (Section R308)	OK	OK
Attic Access (Section R807)	22x30	OK
Chimney Clearances/Fire Blocking (Chap. 10)	per IRC	OK
Header Schedule (Section 502.5(1) & (2))	2 (2x8)	OK
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	R 28 walls R 41 ceilings	OK

Type of Heating System		
Means of Egress (Sec R311 & R312) Basement		
Number of Stairways 2		
Interior		
Exterior		
Treads and Risers (Section R311.5.3)	7.5 rise 10 inch net clear	
Width (Section R311.5.1)	3 ft min	
Headroom (Section R311.5.2)	6" 8 minimum	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36 Guard - handrail ok	
Smoke Detectors (Section R313) Location and type/Interconnected	5 pike to Peter House each Bedroom/comm. Hall wired Battery Backup	OK
Draftstopping (Section R502.12) and Fireblocking (Section (R602.8)		
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	NA	
Deck Construction (Section R502.2.1)	From r porch 2x10 stringers 4x4 post anchors 2 (2x12) Beams 2x6 Joists	OK

WINDOWS AND EXTERIOR DOORS

MAIN LEVEL

UNIT	Type	Manf. No.	Unit R.O.			Interior Finish	Remarks
			Width	Unit R.O. Height	R.O. From Subfloor		
		WH2430/ WH1P5662/					
A-1	Double Hung/Picture	WH2430	10'-1 1/2"	5'-9 1/2"	7'-6 1/2"	primed	Picture window factory muller to double hung flankers.
B-1	Casement	WC2230	2'-5"	3'-1 1/2"	6'-4"	primed	
C-1	Reverse Cottage Double Hung	CUSTOM	6'-4 1/4"	7'-7 1/4"	8'-8 1/4"	primed	(2) reverse cottage double hungs muller.
D-1	Reverse Cottage Double Hung	CUSTOM	4'-8"	7'-7 1/4"	8'-8 1/4"	primed	
E-1	Reverse Cottage Double Hung	CUSTOM	4'-8"	7'-7 1/4"	8'-8 1/4"	primed	
F-1	Reverse Cottage Double Hung	CUSTOM	38 3/4"	7'-7 1/4"	8'-8 1/4"	primed	
G-1	Outswing French with sidelight	CUSTOM	6'-4 1/2"	8'-3 1/4"	8'-3 1/4"	primed	French door and sidelight. Door slab approx. 42" wide, with narrow sidelight. (2 to 1 visible glass). No screen door.
H-1	Picture	CUSTOM	4'-2 1/2"	6'-9 1/4"	8'-3 1/4"	primed	
I-1	Double Hung	(2) WH2434	5'-1 1/4"	6'-5 1/2"	8'-3 1/4"	primed	Two units muller.
J-1	Double Hung	WH2418	30 3/4"	3'-9 3/4"	6'-11"	primed	
K-1	Entry Door (Inswing)	Simpson	3'-2 1/2"	6'-11"	6'-11"	primed	
L-1	Casement	WC2642	2'-9"	4'-1 1/2"	6'-11"	primed	R.O. is set so that countertop aligns with interior sill.
M-1	Casement	(3) WC3042	8'-10 1/2"	4'-1 1/2"	6'-11"	primed	(3) units muller. R.O. is set so that countertop aligns with interior sill.
N-1	Casement	WC2230	2'-5"	3'-1 1/2"	6'-11"	primed	
O-1	Casement	WC2230	2'-5"	3'-1 1/2"	6'-11"	primed	
P-1	Casement	WC2230	2'-5"	3'-1 1/2"	6'-11"	primed	Shower location. Interior wood to be Western Red Cedar (mahogany?).
Q-1	Casement	WC2230	2'-5"	3'-1 1/2"	6'-11"	primed	
R-1	Casement	WC2260	2'-5"	5'-6 1/2"	6'-11"	primed	Casing by GC. Leave sill long (6"-8" each side).
S-1	Casement	WC2260	2'-5"	5'-6 1/2"	6'-11"	primed	
T-1	Casement	WC2230	2'-5"	3'-1 1/2"	6'-4"	primed	Casing by GC. Leave sill long (6"-8" each side).
U-1	Casement	WC2230	2'-5"	3'-1 1/2"	6'-4"	primed	

SEASONAL PORCH

UNIT	Type	Manf. No.	Unit R.O.			Interior Finish	Remarks
			Width	Unit R.O. Height	R.O. From Subfloor		
AA-1	Inswing French	CUSTOM Custom width DH with transom	6'-4 1/2"	8'-3 1/4"	8'-3 1/4"	primed	French doors. Active door slab approx. 44" wide, with narrow passive slab. (2 to 1 visible glass). Screen door by GC.
BB-1	Double Hung/Operable Transom	above.	4'-1"	7'-5"	9'-5 1/4"	primed	Double hung muller to transom. Transom sash to match double hung but operate as awning. Casing by GC.
BB-1a	Operable transom	Custom transom WC3054 / WA3022 transom	4'-1"	1'-8"	1'-11"	primed	
CC-1	Casement/Awning Transom	above.	3'-1"	7'-5"	9'-5 1/4"	primed	Casement muller to awning transom. Casing by G.C. on this unit.
CC-1a	Awning	Awning (2) WC3054 / WA3022 transom	3'-1"	1'-8"	1'-11"	primed	
DD-1	Casement/Awning Transoms	above.	6'-1"	7'-5"	9'-5 1/4"	primed	(2) Casements (structural mull), muller to (2) awning transoms (structural mull between awnings). Casing by G.C. on this unit.
DD-1a	Awnings	(2) WA3022 WC3054 / WA3022 transom	6'-1"	1'-8"	1'-11"	primed	
EE-1	Casement/Awning Transom	above.	3'-1"	7'-5"	9'-5 1/4"	primed	Casement muller to awning transom. Casing by G.C. on this unit.
EE-1a	Awning	Awning Custom width DH with transom	3'-1"	1'-8"	1'-11"	primed	
FF-1	Double Hung/Operable Transom	above.	4'-1"	7'-5"	9'-5 1/4"	primed	Double hung muller to transom. Transom sash to match double hung but operate as awning. Casing by GC.
FF-1a	Operable transom	Custom transom	4'-1"	1'-8"	1'-11"	primed	Transom sash to match double hung but operate as awning. Casing by G.C. on this unit.
GG-1	Casement	WC2230	2'-5"	3'-1 1/2"	7'-9"	primed	
HH-1	Double Hung	WH4032	3'-10 3/4"	6'-1 1/2"	7'-9"	primed	Casing by GC. Leave sill long (6"-8" each side).
II-1	Double Hung	(2) WH4032	7'-8 1/4"	6'-1 1/2"	7'-9"	primed	
JJ-1	Double Hung	WH2032	2'-2 3/4"	6'-1 1/2"	7'-9"	primed	Casing by GC. Leave sill long (6"-8" each side).
KK-1	Inswing French	CUSTOM	6'-4 1/2"	8'-3 1/4"	8'-3 1/4"	primed	
LL-1	Picture (triangular)	Custom unit	13'-0"	7'-7"	18'-2 1/2"	primed	French doors. Active door slab approx. 44" wide, with narrow passive slab. (2 to 1 visible glass). Screen door by GC. Custom unit per elevations.

UPPER LEVEL

UNIT	Type	Manf. No.	Unit R.O.			Interior Finish	Remarks
			Width	Unit R.O. Height	R.O. From Subfloor		
		Custom width unit muller to (2)WH2428					
A-2	Double Hungs	flankers	9'-2"	5'-5 1/2"	7'-4"	primed	Three units muller.
B-2	Double Hung	WH2822	2'-10 3/4"	4'-5 1/2"	6'-11"	primed	
C-2	Inswing French	WF3079	2'-9 3/4"	6'-11"	6'-11"	primed	

**BOUNDARY SURVEY AND TOPOGRAPHIC PLAN
OF LAND AT 661 ISLAND AVENUE, PEAKS ISLAND,
PORTLAND, CUMBERLAND COUNTY, MAINE.**

MADE FOR R. SCOTT AND DIANNE D. JONES
15535 OLD YORK ROAD, MONKTON, MARYLAND, 21111
MADE BY NORTHEASTERN LAND SURVEYING
16 COLLEGE AVENUE, GORHAM, MAINE, 04038
(207) 839-2090

DECEMBER 2, 2006
JOB # 06-004
SHEET 1 OF 1

SCALE 1" = 10'



HIGH TIDE WATER MARK OBSERVED
THURSDAY, DECEMBER 7, 2006 1:
QUET AND CALM DAY WITH LITTLE
WIND. HIGH TIDE LINE NOT DETERMINED
BY STATISTICAL MEAN ELEVATION.

ATLANTIC OCEAN
CASCO BAY
DIAMOND PASS

- 1) OWNERS OF RECORD ARE R. SCOTT AND DIANNE D. JONES
- 2) DEED OF RECORD IS CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK 17381 PAGE 338.
- 3) CADASTRAL REFERENCE: CITY OF PORTLAND TAX MAP 92 BLOCK F LOTS 2 & 3 AND ALSO TAX MAP 92 BLOCK A LOT 17.
- 4) ZONING: THE PARCEL IS IN THE "IR-2" AND SHORELAND PROTECTION ZONES. CURRENT ZONING, STATUS AND REQUIREMENTS MUST BE CHECKED AND VERIFIED WITH THE CITY OF PORTLAND AND ALL APPLICABLE REGULATORY BODIES BEFORE BUILDING IMPROVEMENTS OR CONVEYING LAND OR INTEREST.
- 5) ELEVATIONS AND TOPOGRAPHIC LINES SHOWN ARE BASED ON A BENCH MARK (BRASS DISC IN LEDGE AT END OF ISLAND AVENUE) WITH AN ASSUMED ELEVATION OF 15.12' N.A.V.D. 1929. BENCHMARK ELEVATION IS PER THE CITY OF PORTLAND (ENGINEERING) AND IS APPROXIMATE ONLY. ELEVATIONS ARE NOT TO ENGINEERING TOLERANCES AND ARE FOR GENERAL BUILDING LOCATION AND LANDSCAPE DESIGN ONLY.
- 6) ISLAND AVENUE WAS ORIGINALLY LAID OUT BY THE STERLING HEIRS WITH A 30' RIGHT OF WAY. THE WIDTH WAS WIDENED TO 50' AND LAID OUT BY THE CITY OF PORTLAND ON DECEMBER 5, 1905. ITS LOCATION ON THIS SURVEY IS PER VARIOUS ROAD SURVEY PLANS FOUND IN THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT (ENGINEERING DIVISION).
- 7) BROOK LANE WAS LAID OUT BY ORDER OF THE CITY COUNCIL AUGUST 6, 1917 WITH A RIGHT OF WAY WIDTH OF 30' (SEE PLAN REFERENCE #2)
- 8) THE PARCEL DESIGNATED AS TM 92-A-17 DOES PARTIALLY FALL WITHIN A "SPECIAL FLOOD HAZARD AREA", (ZONE A2 - EL 9) PER F.E.M.A. SEE COMMUNITY #230051 PANEL 0009B, EFFECTIVE DATE JULY 17, 1986. THE PARCELS DESIGNATED TM 92-F-2 AND TM 92-F-3 DO NOT APPEAR TO FALL WITHIN A "SPECIAL FLOOD HAZARD AREA" (ALSO 230051/0009B).
- 9) THE ABOVE REFERENCED DEED OF RECORD (17381/338) GIVES AS ITS THIRD CALL FOR PARCEL TWO "THENCE DEFLECTING TO THE RIGHT 90°40' TO AN IRON ROD DRIVEN INTO THE GROUND". NO DISTANCE IS GIVEN. ALL PREVIOUS DEEDS IN THIS CHAIN FOUND DURING THE COURSE OF THIS SURVEY GIVE THE CALL AS "THENCE DEFLECTING TO THE RIGHT 90° FORTY (40) FEET...". A DISTANCE OF 40' IS SHOWN ON THIS SURVEY AND IT IS ASSUMED THAT 17381/338 CONTAINS A SCRIVENERS ERROR.
- 10) UTILITY LOCATION SHOWN IS APPROXIMATE. THIS PLAN MAY NOT SHOW ALL UTILITIES USED OR IN DISUSE. ALL APPROPRIATE OFFICES AND THE "DIGSAFE" PROGRAM SHOULD BE CONTACTED BEFORE DOING ANY EXCAVATION. THERE IS PHYSICAL EVIDENCE THAT UNDERGROUND/UNDERWATER CABLES (POSSIBLY TELEPHONE AND/OR OTHER UTILITIES) EXIST ON THE PARCEL DESIGNATED AS TM 92-A-17. AN ENCUMBRANCE MAY EXIST.
- 11) THIS PLAN IS NOT INTENDED TO DEPICT LIMITS OR EXTENTS OF FEE TITLE OWNERSHIP. AN OPINION OF TITLE SHOULD BE RENDERED BY AN ATTORNEY.
- 12) THE PARCEL IS SUBJECT TO ALL RIGHTS, COVENANTS, RESTRICTIONS AND EASEMENTS OF RECORD.
- 13) NORTHEASTERN LAND SURVEYING AND THE SIGNING SURVEYOR RESERVE THE RIGHT TO BE HELD HARMLESS FROM ALL THIRD PARTY CLAIMS.

- 1) "MAP OF THE JOSIAH STERLING ESTATE, PEAKS ISLAND, MAINE DIVIDED ACCORDING TO THE WILL BY CHARLES L. JACK AND JAMES B. JONES, COMMISSIONERS" DATED 1902 FROM SURVEYS BY J.B. JONES, 1897-B. RECORDED IN THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT (ENGINEERING DIVISION) IN FILE 9/7.
- 2) "LAYING OUT PLAN OF BROOK LANE" DATED JULY 1917. RECORDED IN THE CITY OF PORTLAND PARKS AND PUBLIC WORKS DEPARTMENT (ENGINEERING DIVISION).
- 3) "PLAN SHOWING SUBDIVISION OF PROPERTY DEVELOPED BY QUINCY M. STERLING PEAKS ISLAND, MAINE" SURVEYED JULY 1922 BY A.E. SKILLIN, SURVEYOR. RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 14 PAGE 89.
- 4) "STANDARD BOUNDARY SURVEY TOPOGRAPHIC SITE PLAN - BROOK LANE AND PLEASANT AVENUE, PEAKS ISLAND, PORTLAND, MAINE, CUMBERLAND COUNTY PREPARED FOR CURTIS C. RINDLAUF, 2 BROOK LANE, PEAKS ISLAND, ME. DATED MARCH 24, 1992 BY GARY E. JOHNSON. UNRECORDED.

EMBOSSSED SEAL
(PLAN NOT VALID WITHOUT)

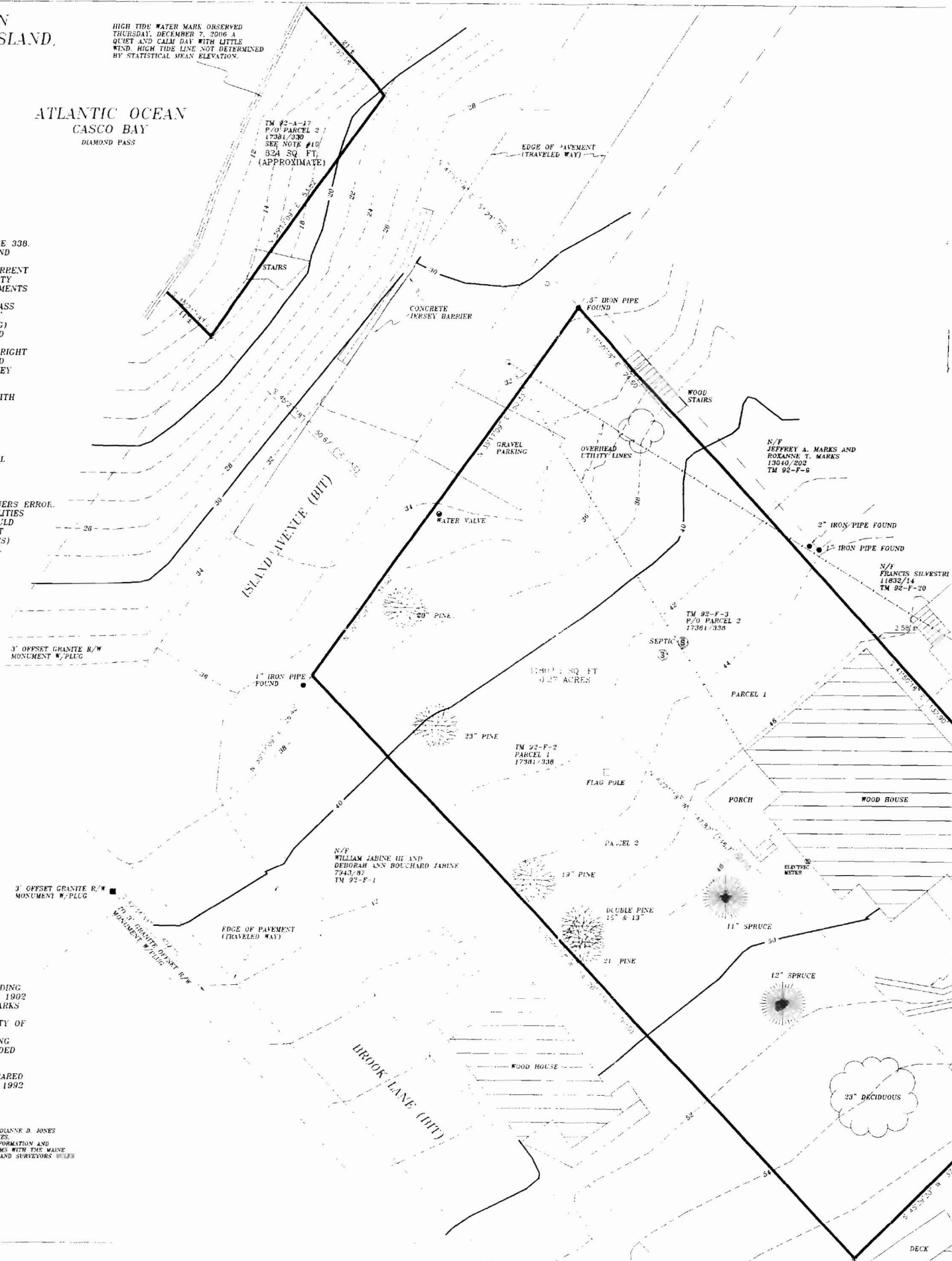
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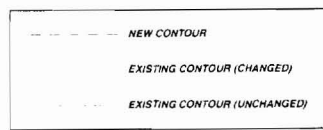


I HEREBY STATE TO R. SCOTT AND DIANNE D. JONES
ALONE AND EXCLUSIVE OF ALL THIRD PARTIES
THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND
BELIEF THIS PLAN SUBSTANTIALLY CONFORMS WITH THE MAINE
BOARD OF LAND SURVEYING FOR PROFESSIONAL LAND SURVEYORS RULES
EFFECTIVE APRIL 1, 2001.

EUGENE SCHLEGEL
PLS 2053

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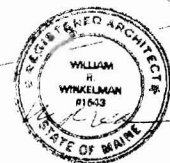
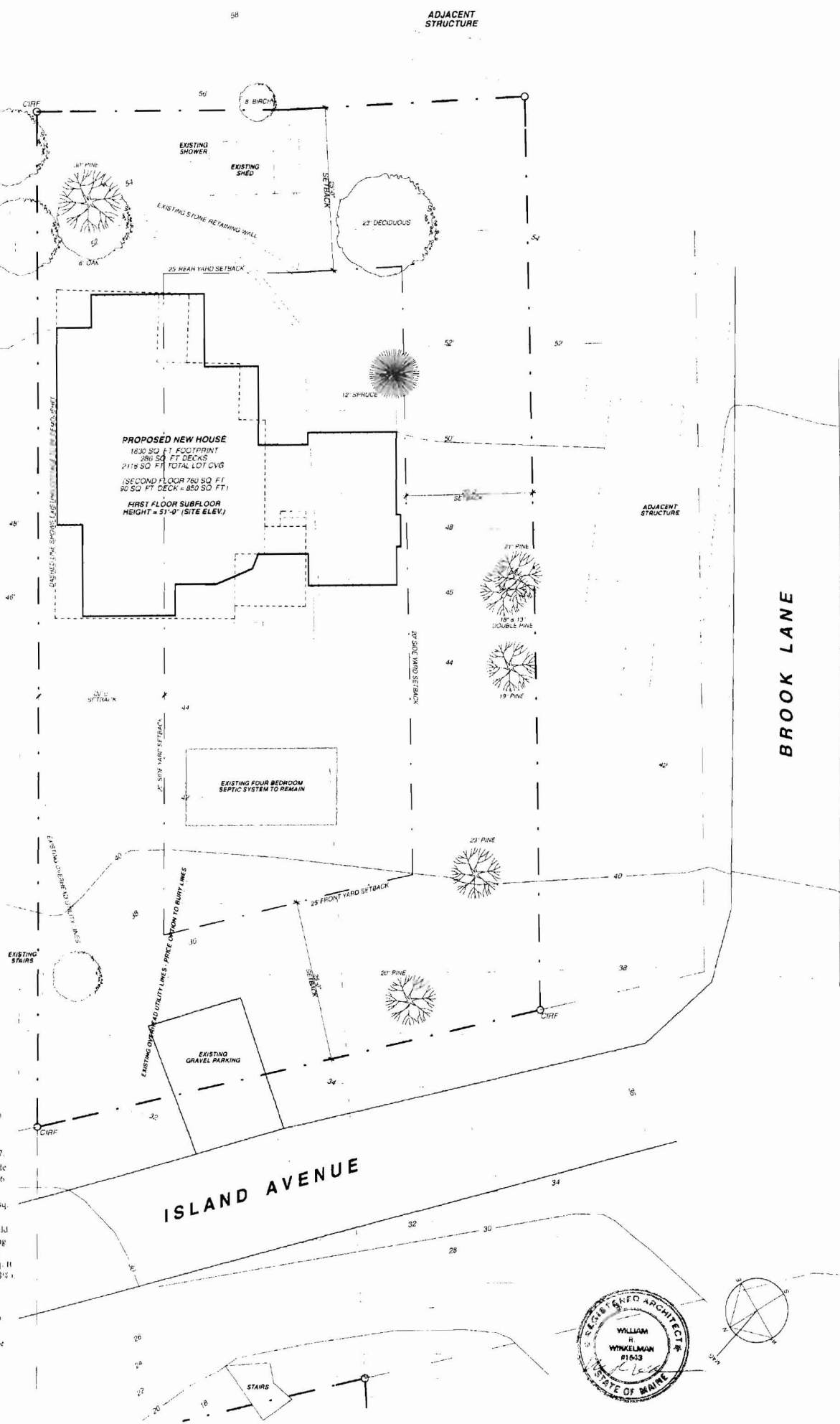
Address: 611 Island Avenue, Peaks Island, Portland, Maine.
Lot: Lot # 92-F-2, 92-F-3 (11,802 sq. ft.) IR-2.
Owner: Scott and Dianne Jones, 274 Ridgely Road, Wilton, CT 06897.
Builder: Leddy Houser Associates, 429 Preble Street, South Portland, Maine 04106 207-767-0903.
Existing: Two story structure. Approx. 1613 sq. ft. (footprint).
Proposed: Demolish existing cottage and rebuild new two story cottage within existing footprint and lot setbacks. Approx. 1830 sq. ft. house footprint + 266 sq. ft. decks = 2116 sq. ft. lot coverage (18%).
Parking: Existing driveway (unchanged).
Grading: Unchanged.
Septic: Existing 4 bedroom septic system to remain unchanged.
Utilities: City water, existing electrical service from pole to be buried.

Soil fence by G.C. as required by regulations

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SITE PLAN

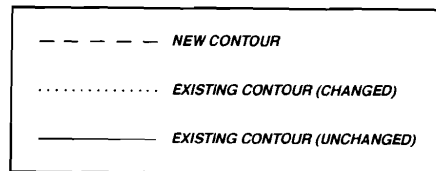
JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME



WINKELMAN ARCHITECTURE

DATE: 8/22/07

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998



Address: 611 Island Avenue, Peaks Island, Portland, Maine.

Lot: Lot# 92-F-2 / 92-F-3 (11,802 sq. ft.)

Zone: IR-2.

Owner: Scott and Dianne Jones. 274 Ridgefield Road, Wilton, CT 06897.

Builder: Leddy Houser Associates, 429 Preble Street, South Portland, Maine 04106. 207/767-0903.

Existing: Two story structure. Approx. 1613 sq. ft. (footprint).

Proposed: Demolish existing cottage and rebuild new two story cottage within existing footprint and lot setbacks. Approx. 1830 sq. ft. house footprint + 266 sq. ft. decks = 2116 sq. ft. lot coverage (18%).

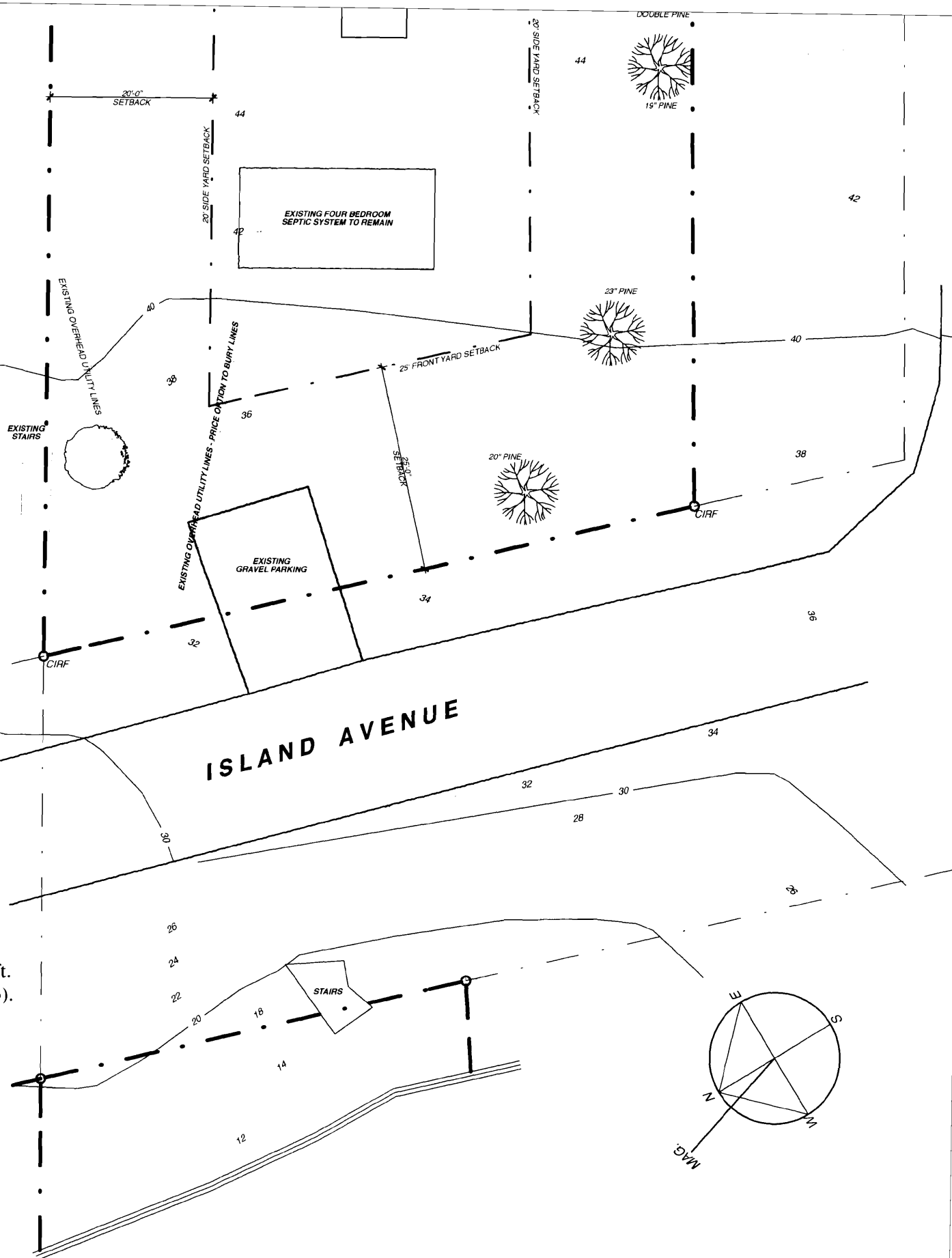
Parking: Existing driveway (unchanged).

Grading: Unchanged.

Septic: Existing 4 bedroom septic system to remain unchanged.

Utilities: City water, existing electrical service from pole to be buried.

Silt fence by G.C. as required by regulations.



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SITE PLAN

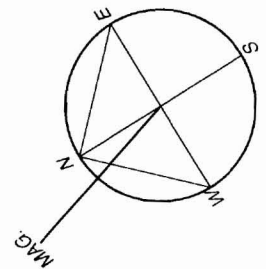
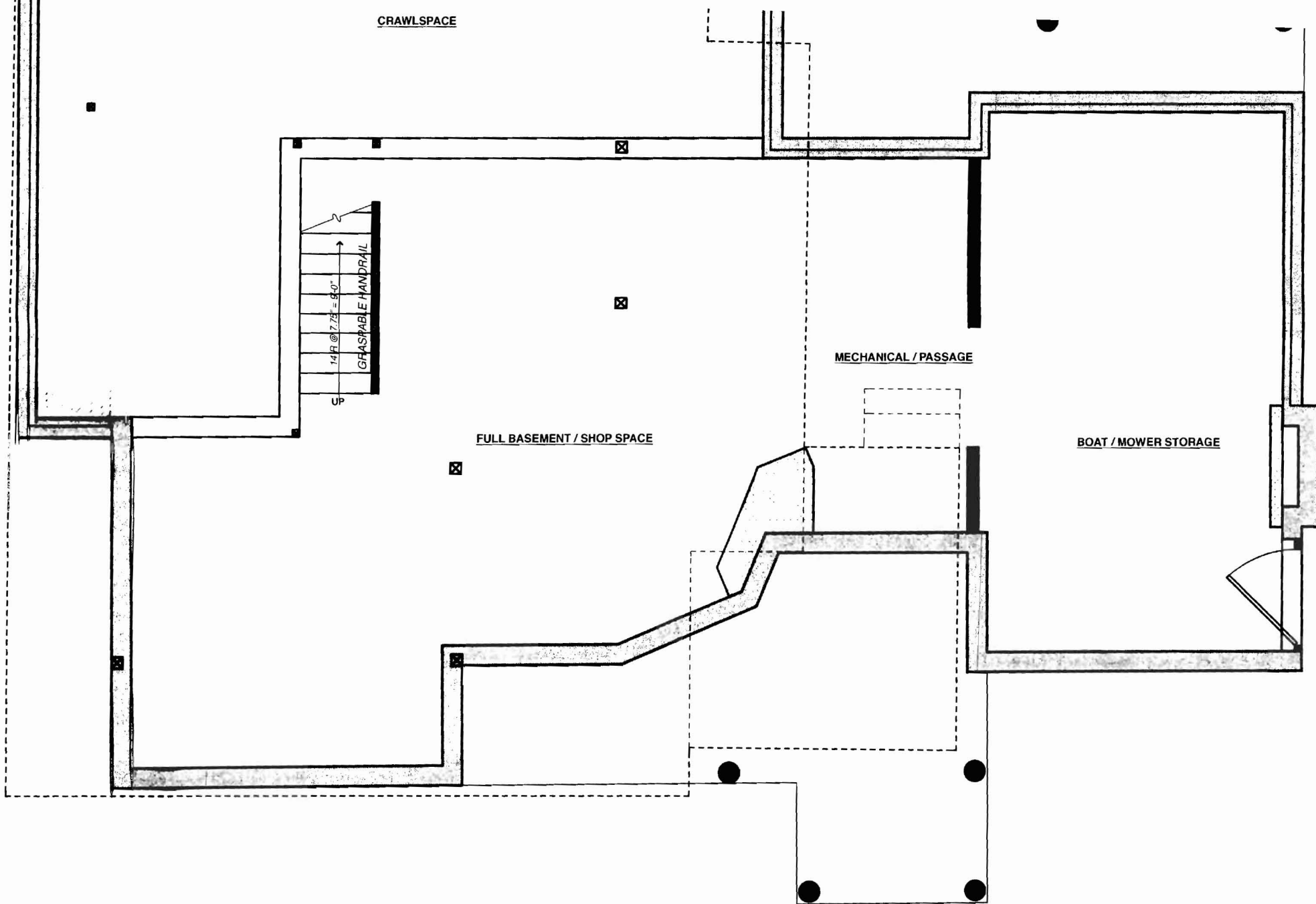
JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME

0 2 4 8 16 32

DATE: 8/22/07

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998



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BASEMENT FLOOR PLAN

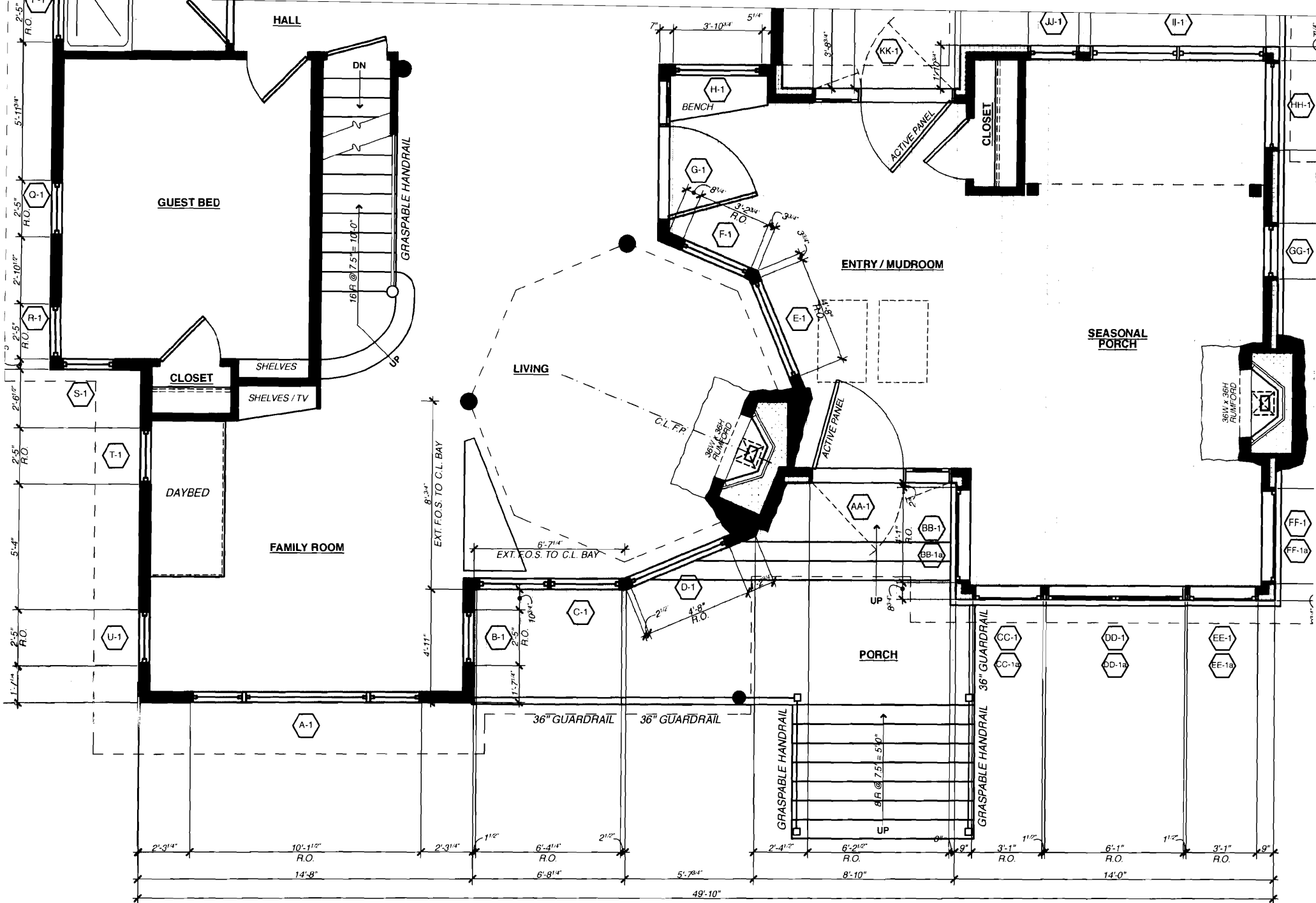
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661 ISLAND AVE., PEAKS ISLAND, ME

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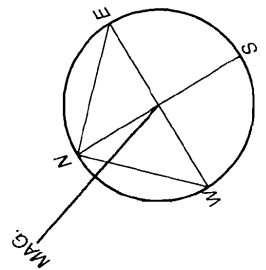
DATE: 8/22/07

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04107
PH: 207.699.2991



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FIRST FLOOR PLAN

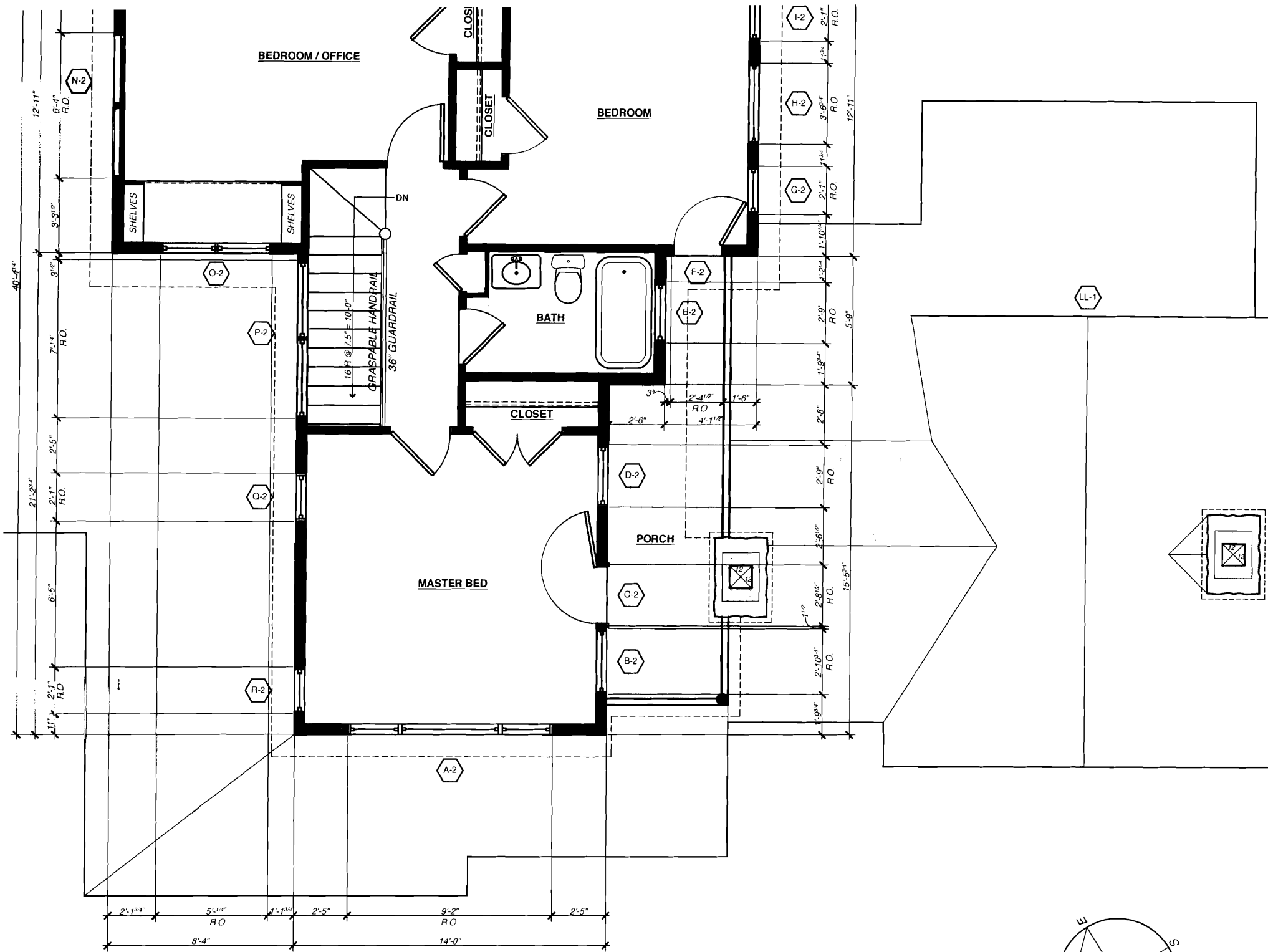
JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME

0 1 2 4 8

DATE: 8/22/07

WINKELMAN ARCHITECTURE

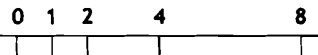
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PH: 207.699.2998



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SECOND FLOOR PLAN

JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME

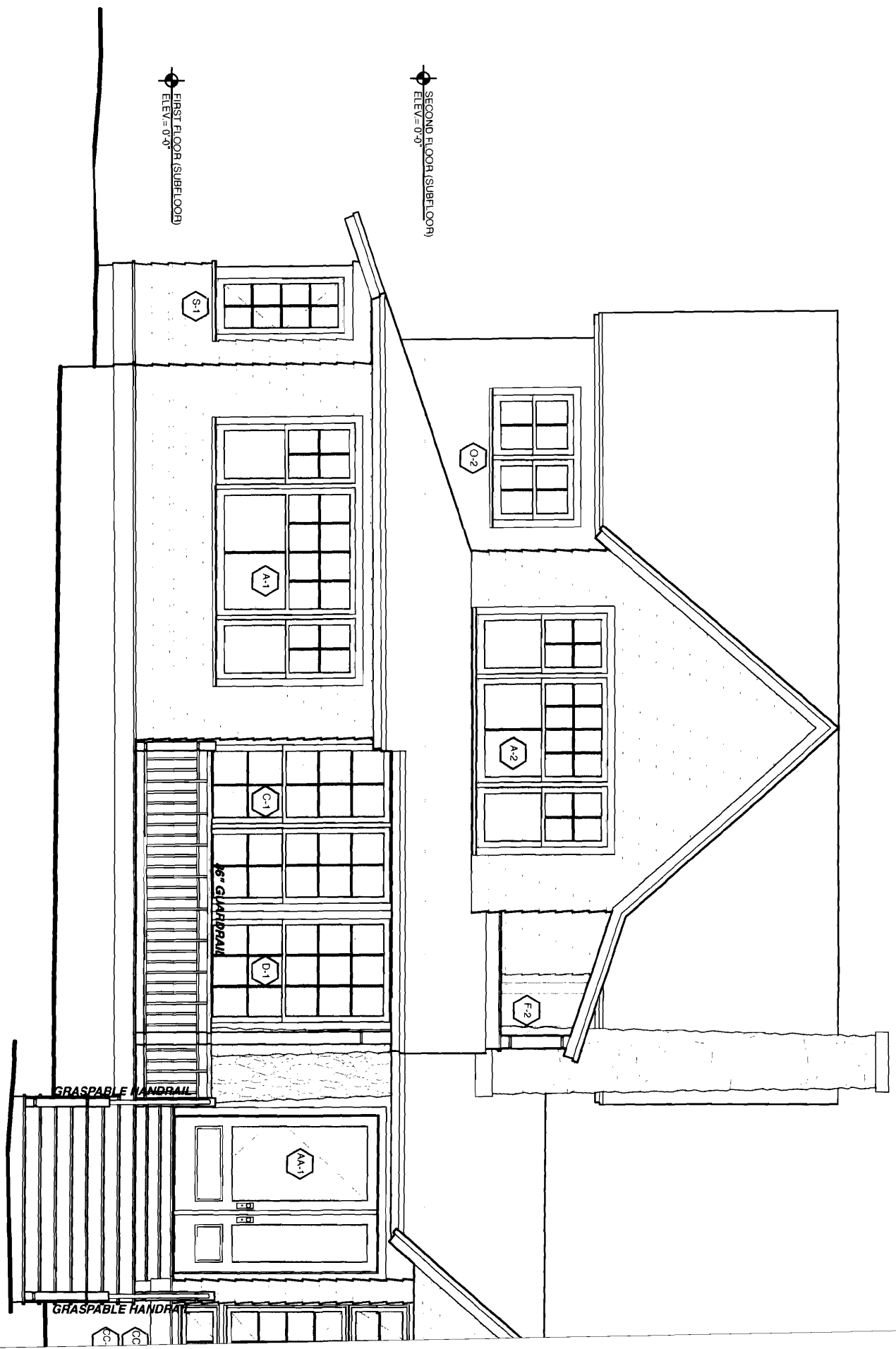


DATE: 8/22/07

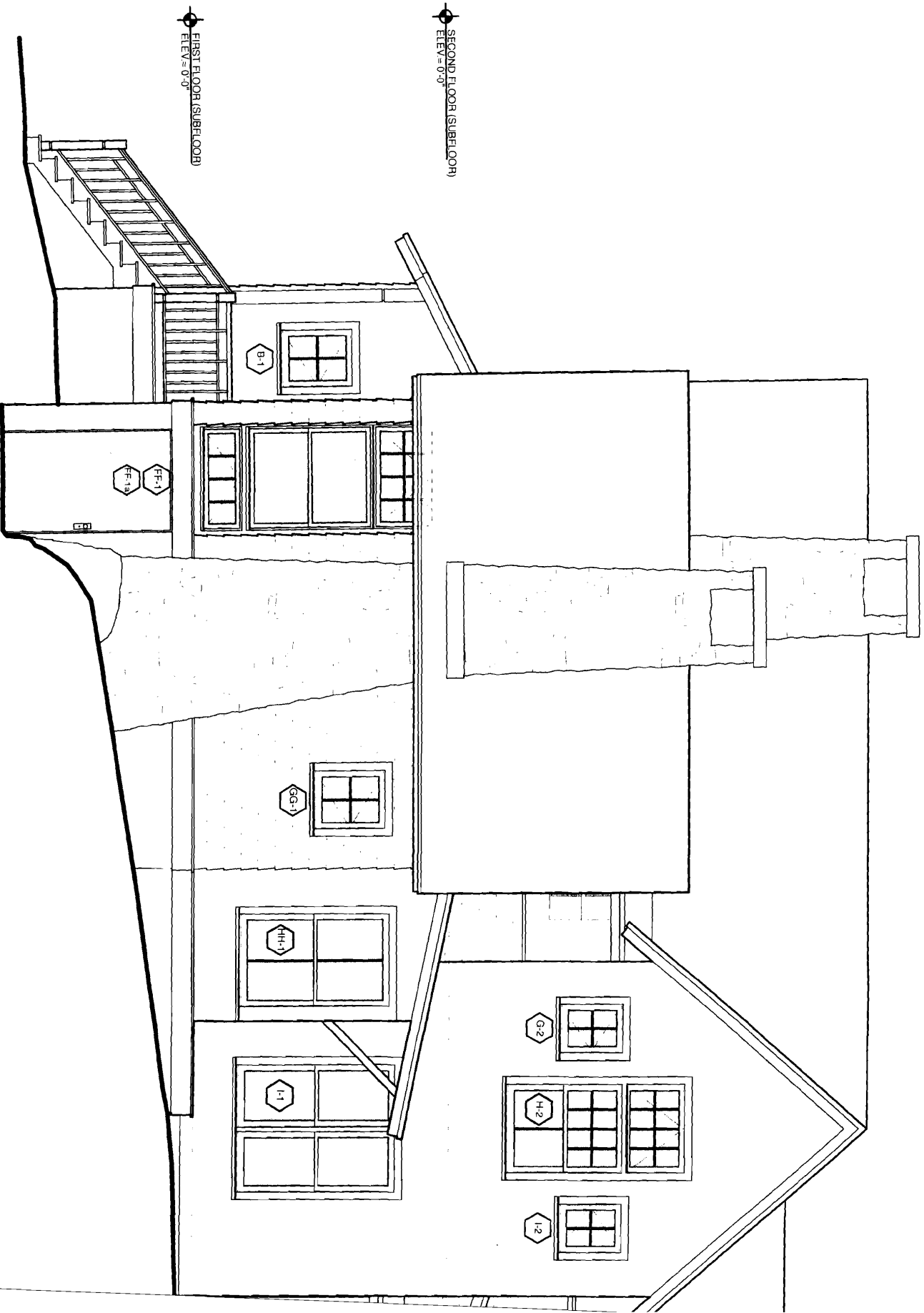
WINKELMAN ARCHITECTURE

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PH: 207.699.2998

NORTHWEST ELEVATION



SOUTHWEST ELEVATION



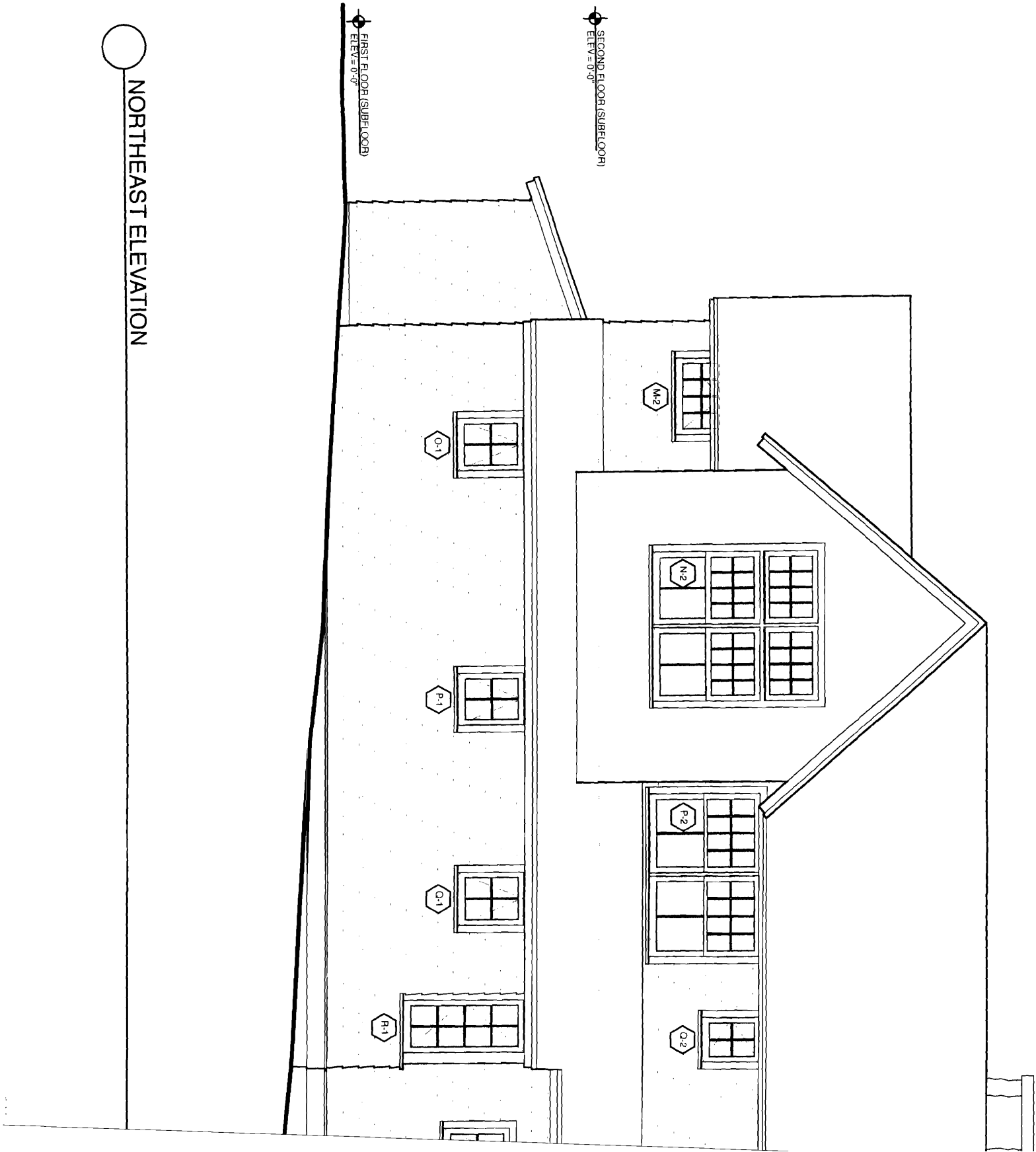
SOUTHEAST ELEVATION



SECOND FLOOR (SUBFLOOR)
ELEV = 0'-0"

FIRST FLOOR (SUBFLOOR)
ELEV = 0'-0"

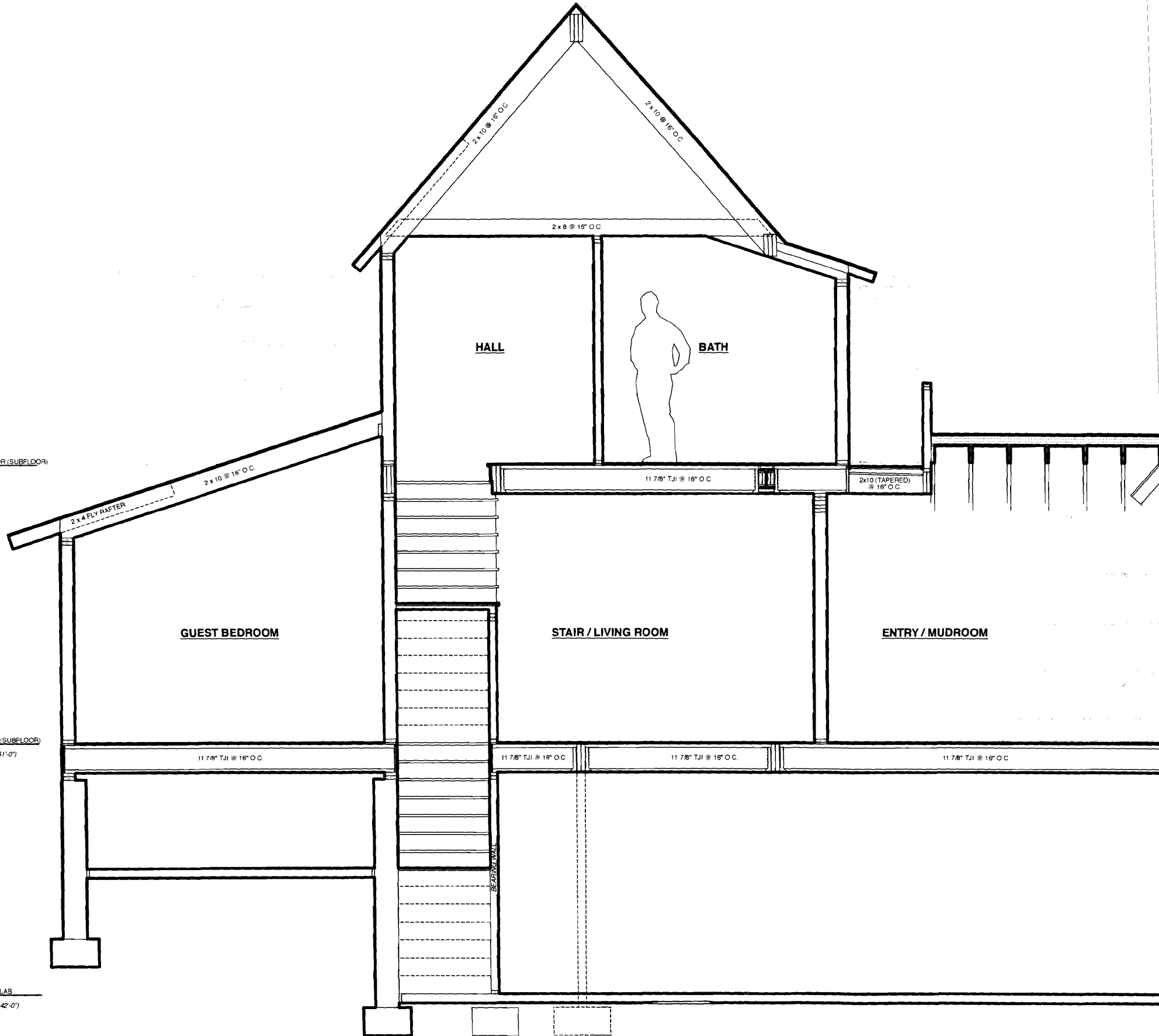
NORTHEAST ELEVATION

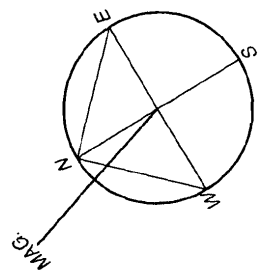
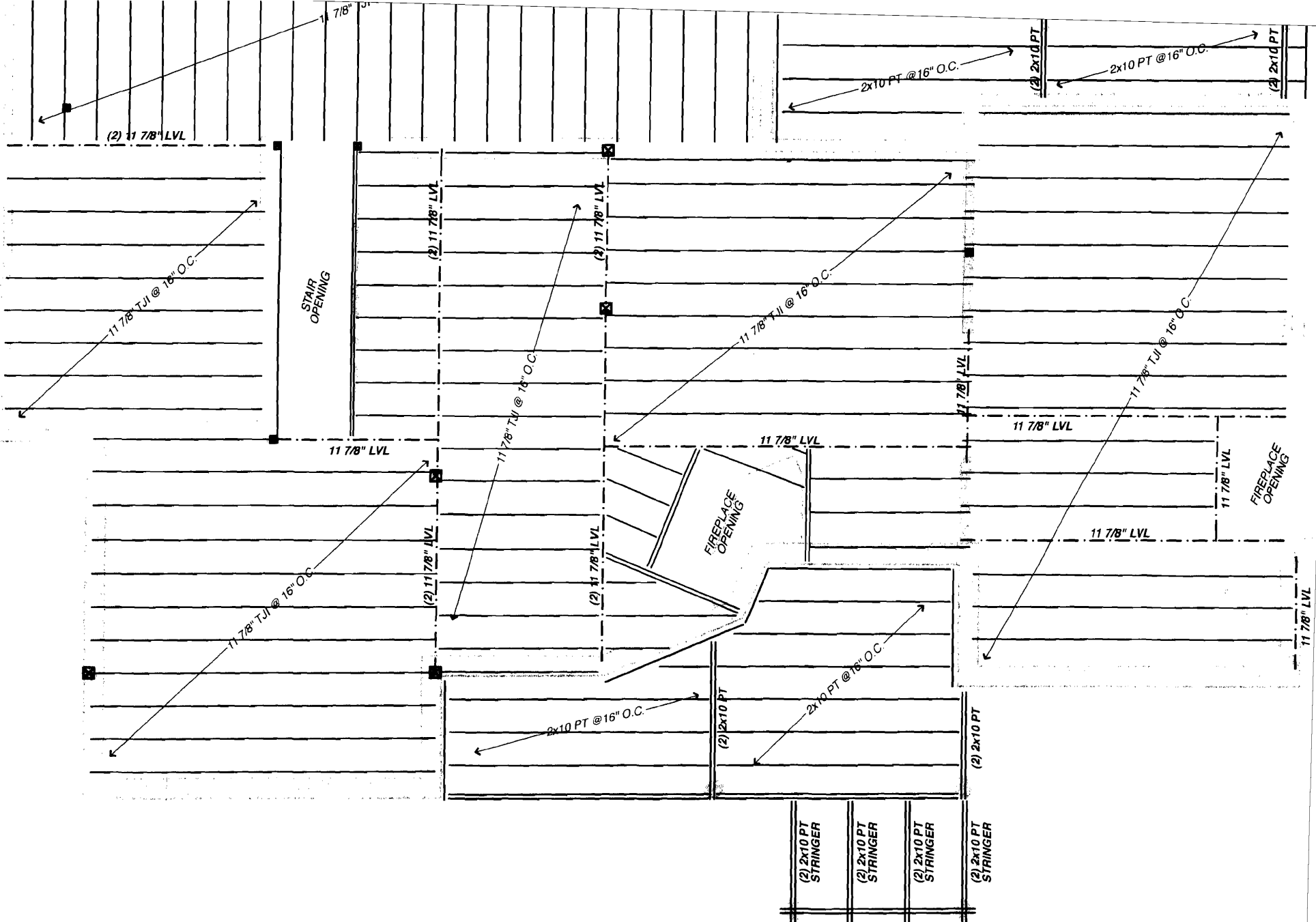


SECOND FLOOR (SUBFLOOR)
ELEV = 13'-0"

FIRST FLOOR (SUBFLOOR)
ELEV = 0'-0"
(SITE ELEV = 51'-0")

BASEMENT SLAB
ELEV = -9'-0"
(SITE ELEV = 42'-0")

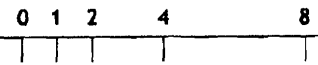




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FIRST FLOOR FRAMING

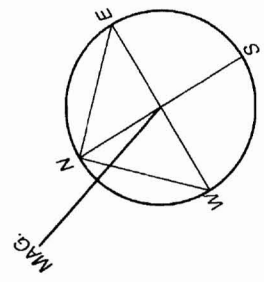
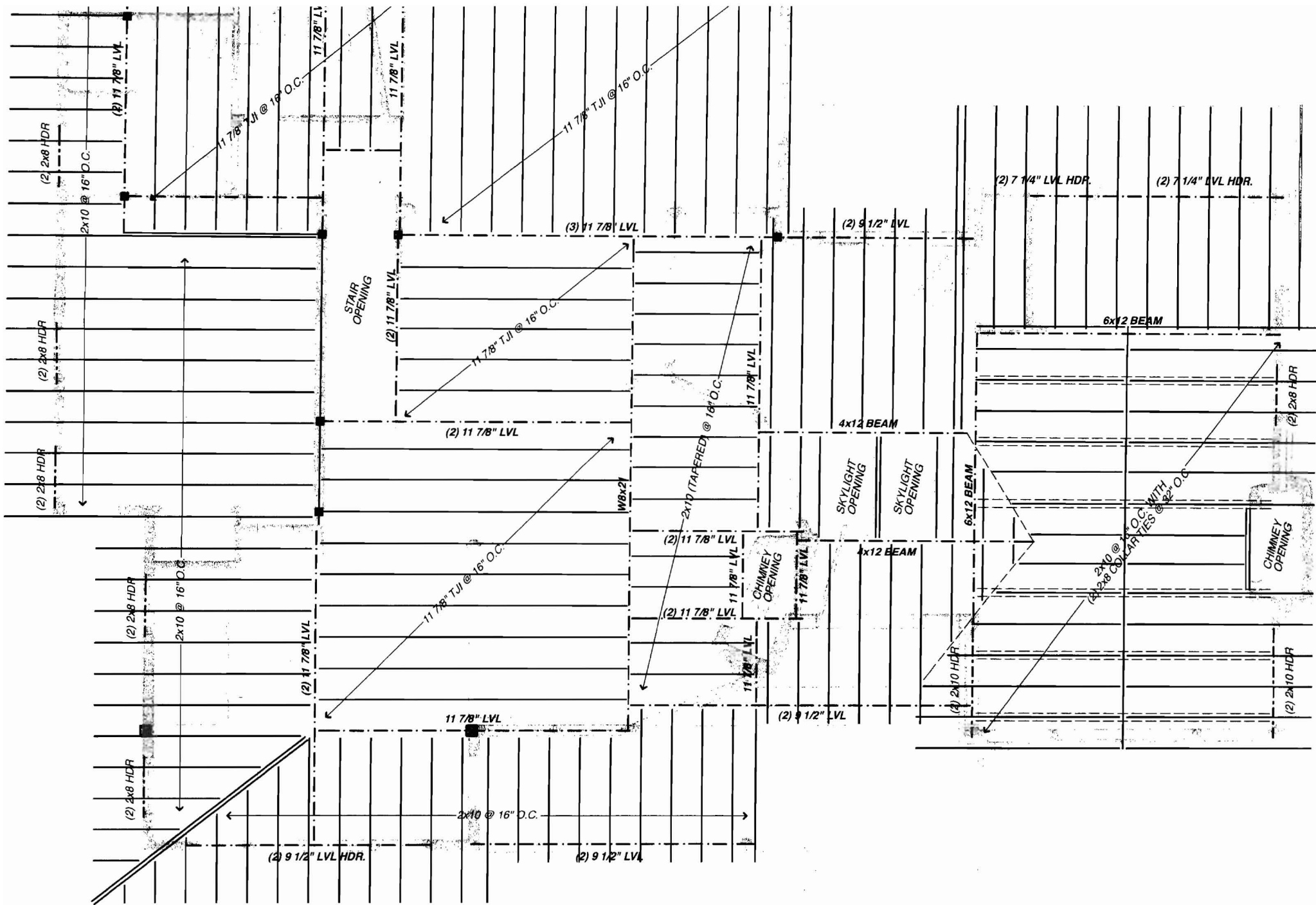
JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME



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SECOND FLOOR FRAMING

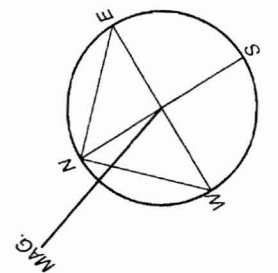
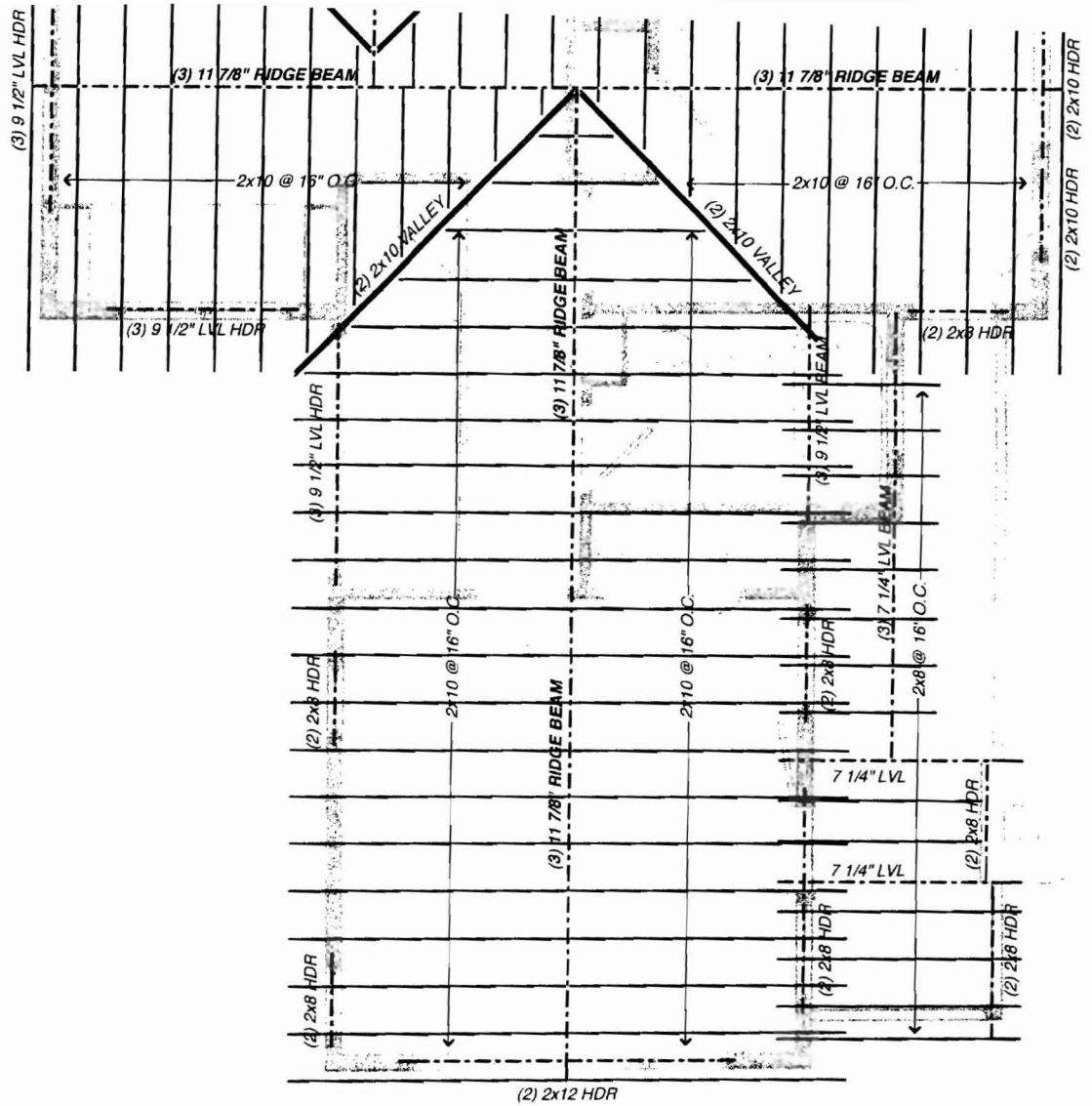
JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME

0 1 2 4 8

DATE: 8/22/07

WINKELMAN ARCHITECTURE

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ROOF FRAMING PLAN

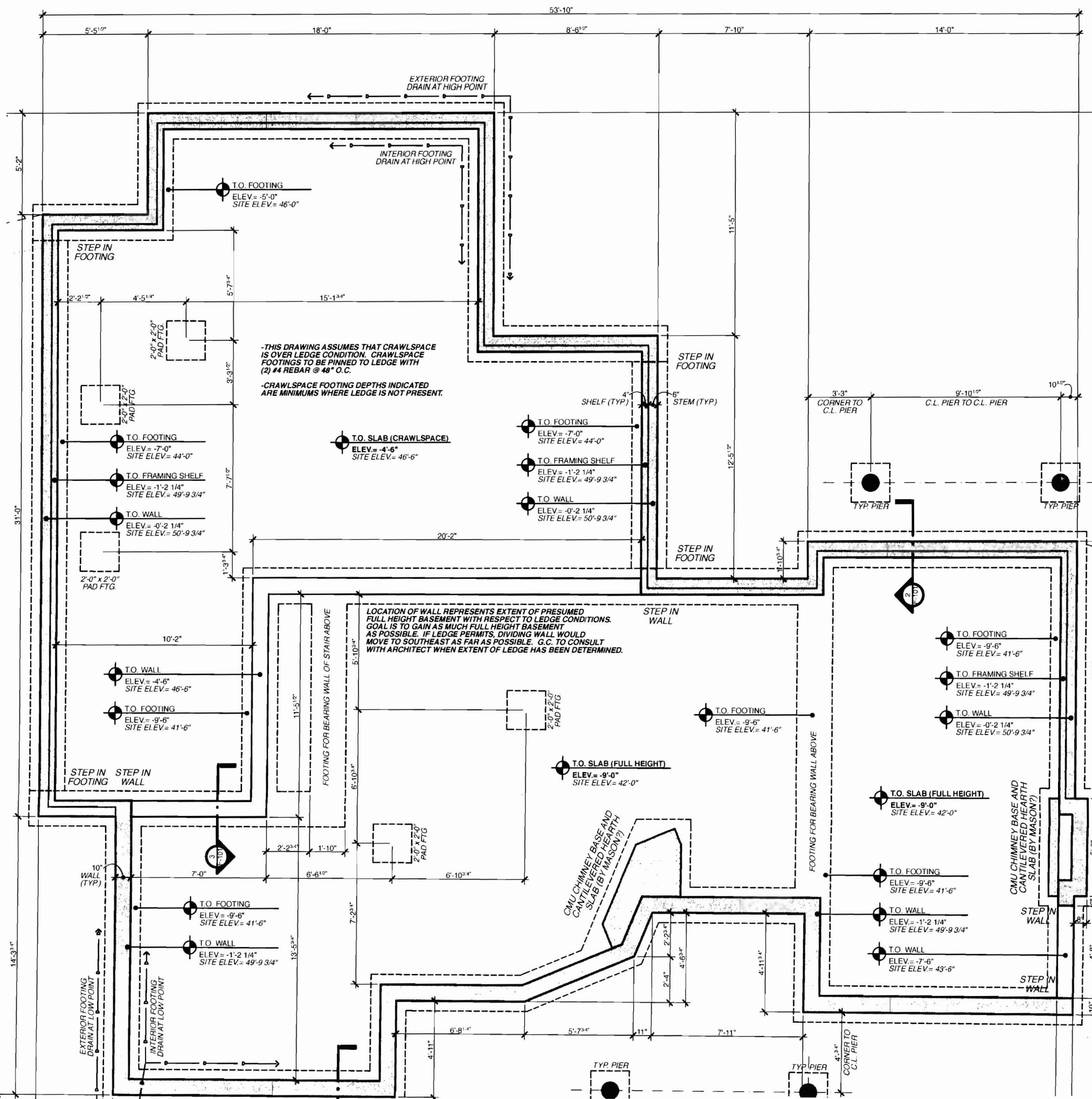
JONES RESIDENCE
661 ISLAND AVE., PEAKS ISLAND, ME

0 1 2 4 8

DATE: 8/22/07

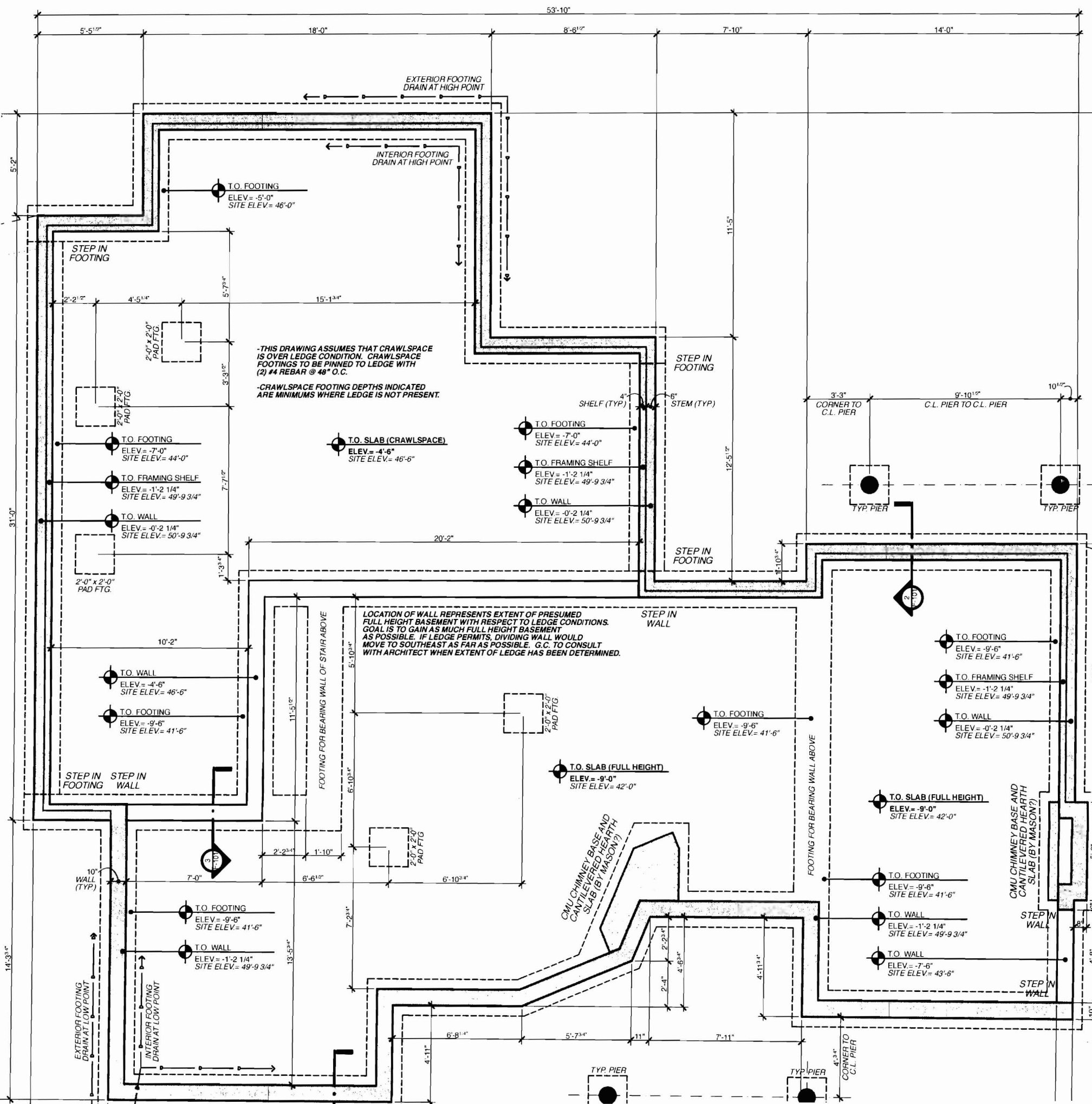
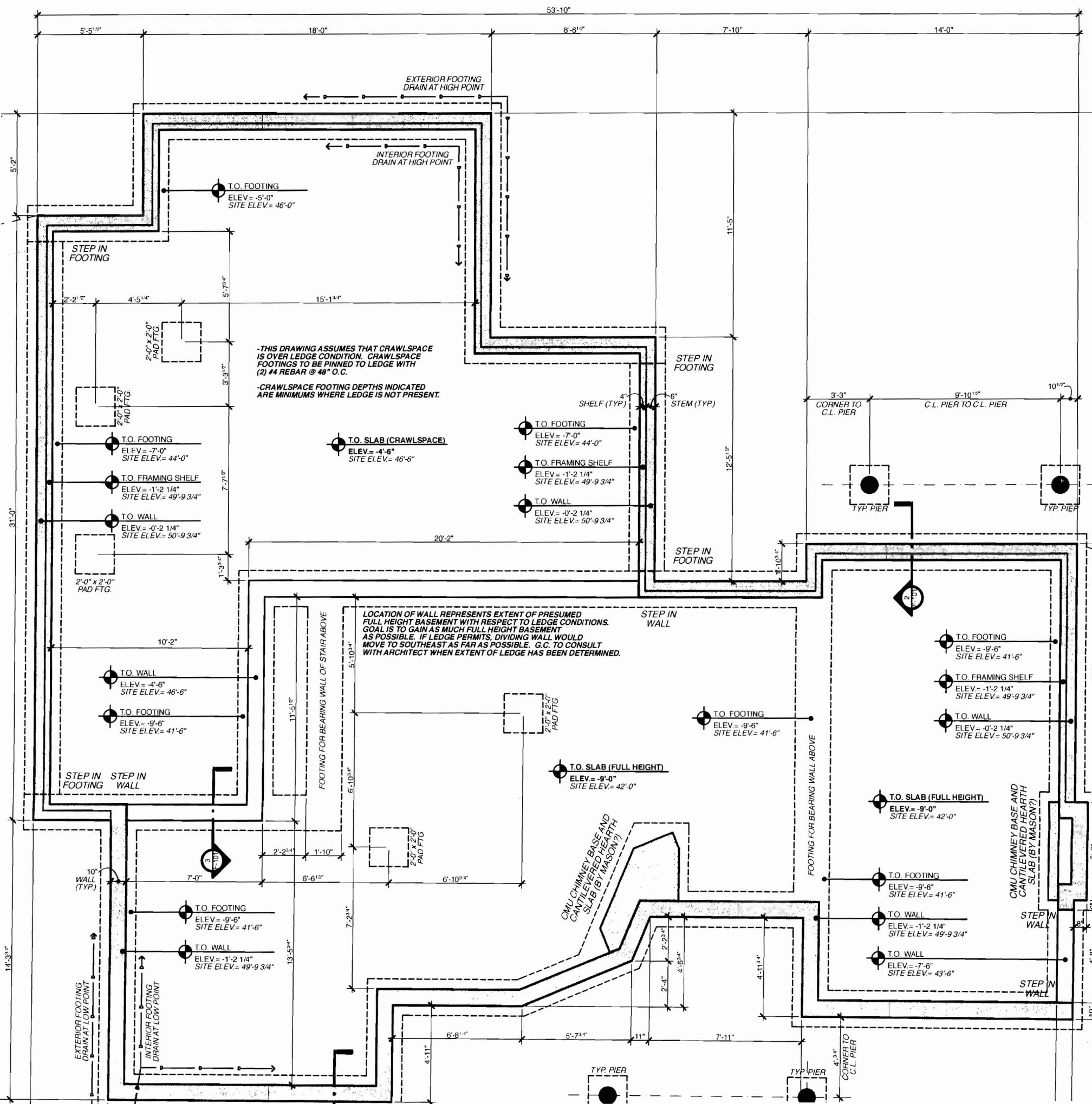
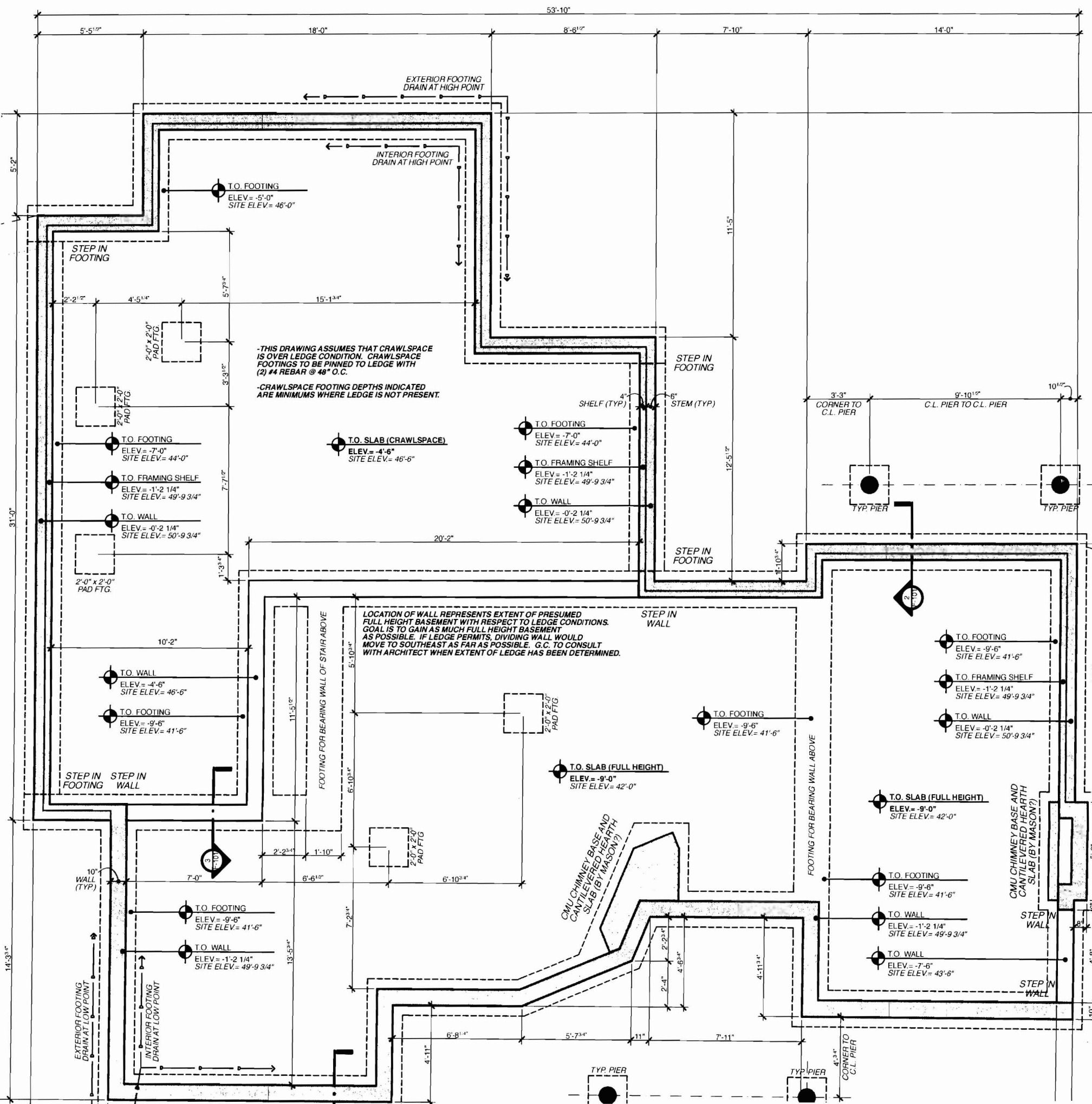
WINKELMAN ARCHITECTURE

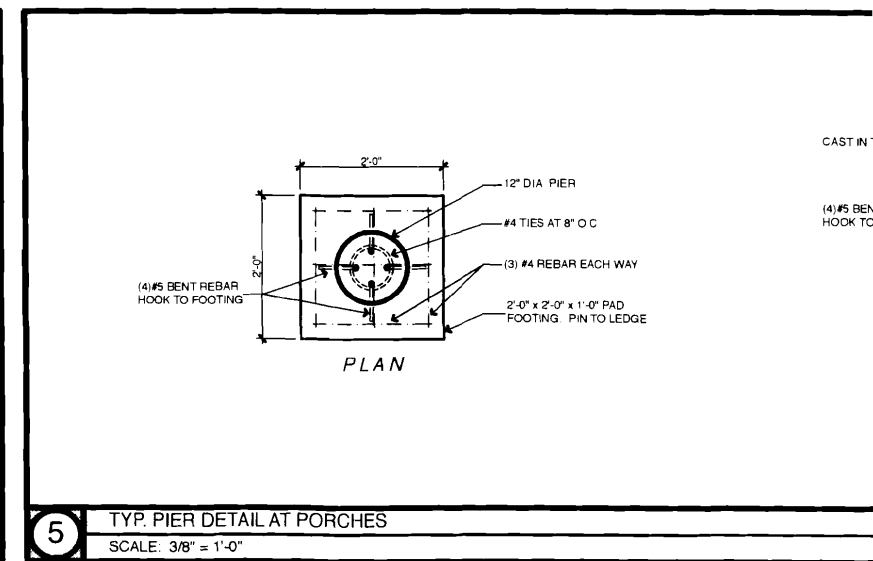
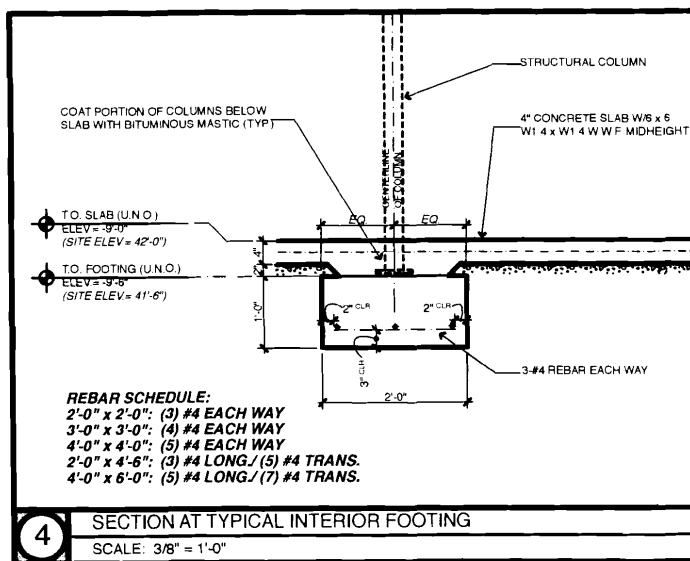
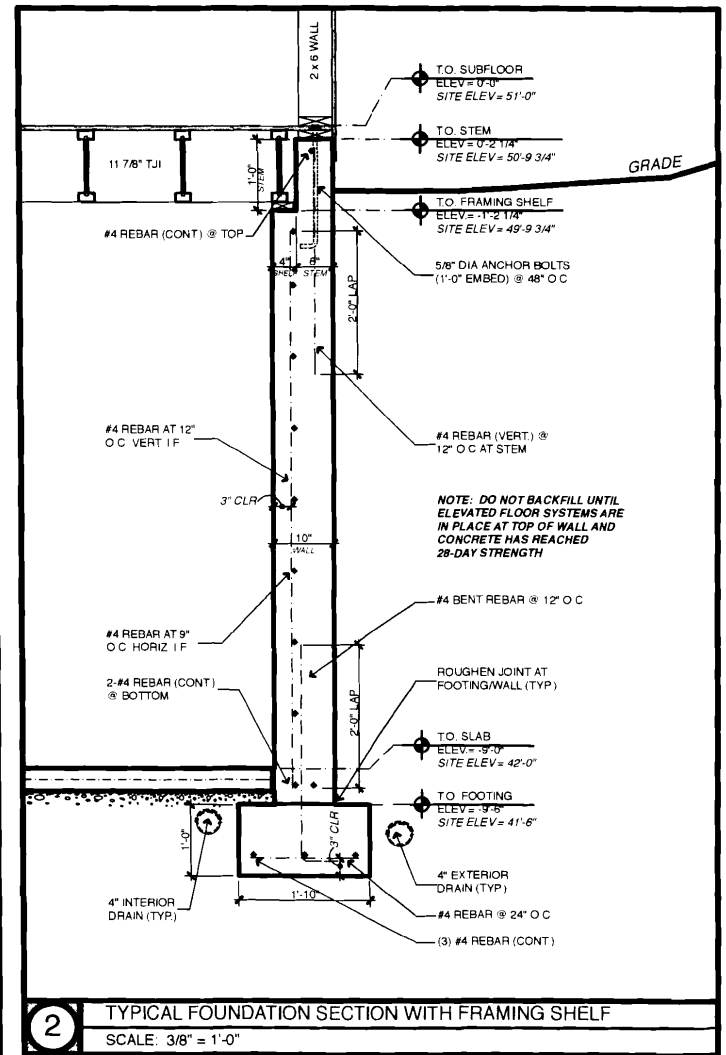
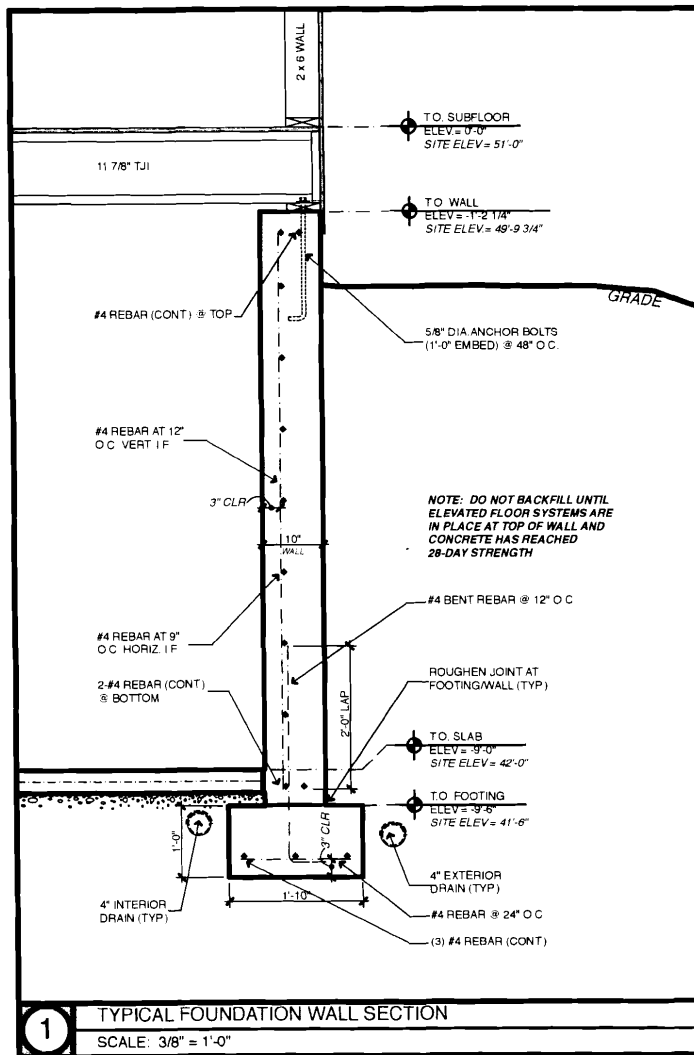
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-THIS DRAWING ASSUMES THAT CRAWLSPACE IS OVER LEDGE CONDITION. CRAWLSPACE FOOTINGS TO BE PINNED TO LEDGE WITH (2) #4 REBAR @ 48" O.C.
 -CRAWLSPACE FOOTING DEPTHS INDICATED ARE MINIMUMS WHERE LEDGE IS NOT PRESENT.

LOCATION OF WALL REPRESENTS EXTENT OF PRESUMED FULL HEIGHT BASEMENT WITH RESPECT TO LEDGE CONDITIONS. GOAL IS TO GAIN AS MUCH FULL HEIGHT BASEMENT AS POSSIBLE. IF LEDGE PERMITS, DIVIDING WALL WOULD MOVE TO SOUTHEAST AS FAR AS POSSIBLE. G.C. TO CONSULT WITH ARCHITECT WHEN EXTENT OF LEDGE HAS BEEN DETERMINED.





CAST IN T

(4) #5 BENT
HOOK TO