

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 061793

PERMIT ISSUED

FEB 27 2007

CITY OF PORTLAND

This is to certify that MURPHY KAREN L & JOY A MAKEY JTS/CUSTOMER AT

has permission to Replace existing stairs and landing

AT 562 ISLAND AVE

092 A019001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is closed-in. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

1/30/07 *Chy SA*
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1793	Issue Date:	CBL: 092 A019001
-----------------------	-------------	---------------------

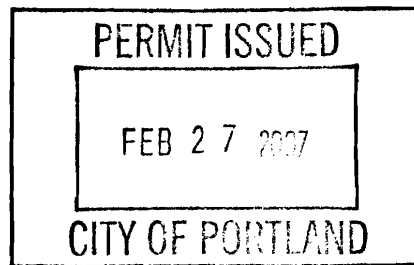
Location of Construction: 562 ISLAND AVE, Peaks Island	Owner Name: <i>John Kinkey</i> MURPHY KAREN L & JOHN A M	Owner Address: 53 THOMAS PARK # 3	Phone:
Business Name:	Contractor Name: CUSTOM FLOAT SERVICES	Contractor Address: 36 UNION WHARF Portland	Phone: 2077723796
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	Zone: <i>IB IR2</i>

Past Use: Seasonal Single Family	Proposed Use: Seasonal Single Family Replace existing stairs and landing	Permit Fee: \$90.00	Cost of Work: \$6,410.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>IR-2</i> Type: <i>SB</i> <i>IB</i> <i>IRC 2003</i>	

Proposed Project Description: Replace existing stairs and landing	Signature:	Signature: <i>1/30/07</i> <i>AM</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 12/14/2006	Zoning Approval
-----------------------------	---------------------------------	------------------------

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>with</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>site plan exemption received 1/22/07</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>OK with conditions</i> 3/12/07	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ABM</i> Date: _____
---	--	---	--



CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- | | | |
|-------------------------------------|---------------------------------------|--|
| <input checked="" type="checkbox"/> | Footing/Building Location Inspection: | Prior to pouring concrete |
| <input checked="" type="checkbox"/> | Re-Bar Schedule Inspection: | Prior to pouring concrete |
| <input checked="" type="checkbox"/> | Foundation Inspection: | Prior to placing ANY backfill |
| <input checked="" type="checkbox"/> | Framing/Rough Plumbing/Electrical: | Prior to any insulating or drywalling |
| <input checked="" type="checkbox"/> | Final/Certificate of Occupancy: | Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point. |

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects **DO** require a final inspection

~~X BT~~ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

~~==~~ **CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

<u>Bernard Fournier</u>	<u>2/27/07</u>
Signature of Applicant/Designee	Date
<u>Donna Martin Hamon</u>	<u>2 27 07</u>
Signature of Inspections Official	Date

CBL: 92 A 019 Building Permit #: 07-1793

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1793	Date Applied For: 12/14/2006	CBL: 092 A019001
-----------------------	---------------------------------	---------------------

Location of Construction: 562 ISLAND AVE	Owner Name: MURPHY KAREN L & JOHN A M	Owner Address: 53 THOMAS PARK # 3	Phone:
Business Name:	Contractor Name: CUSTOM FLOAT SERVICES	Contractor Address: 36 UNION WHARF Portland	Phone (207) 772-3796
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Commercial	

Proposed Use: Seasonal Single Family Replace existing stairs and landing	Proposed Project Description: Replace existing stairs and landing
---	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 01/22/2007

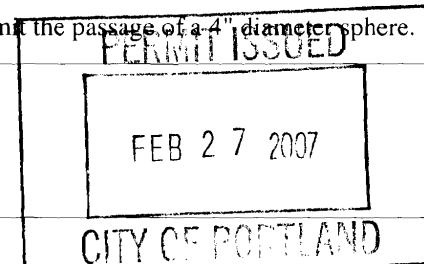
Note:**Ok to Issue:**

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) No vegetation is to be removed for the replacement - Best management practices and erosion control measures shall be taken.
- 3) The area of stairs rebuild shall not be increased in size from the original stairs.
- 4) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 5) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 6) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 01/30/2007

Note:**Ok to Issue:**

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.
- 3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 4) Open risers are permitted, provided that the opening between treads does not permit the passage of a 4" diameter sphere.

**Comments:**

12/18/2006-amachado: Spoke to Bub Fournier at Custom Float Services. Told him that we needed a plot plan. Told him that he needed minor site plan review.

1/22/2007-gg: received partial exemption on 1/19/07. /gg

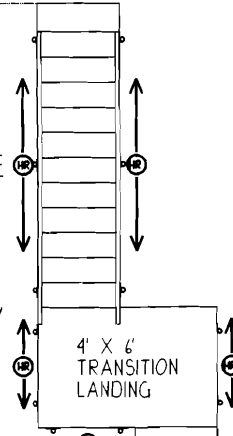
1/29/2007-csh: Called Bub Fournier w/ ?'s 1/29/07 left msg

1/30/2007-csh: Spoke w/ Bub Fornier about requirement of maintaining less tha 30"or ballasters required, and that open risers are permitted provided that the opening between treads does not allow the passage of a 4" diameter sphere.

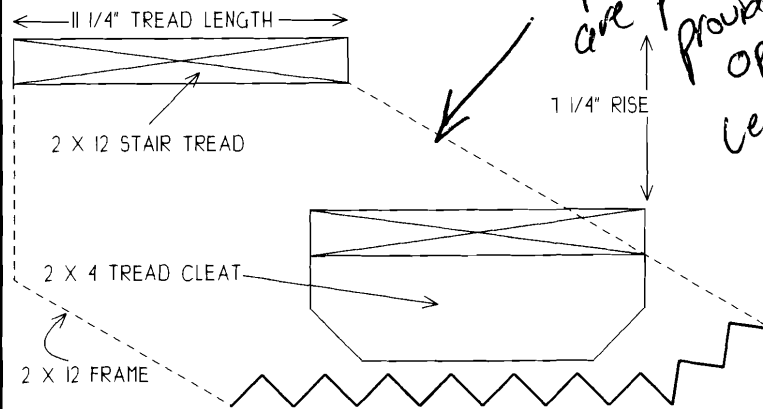
PLAN VIEW OF STAIRCASE WITH HARDWARE AND HANDRAIL LOCATIONS

TOP OF BANKING

12' STAIRCASE

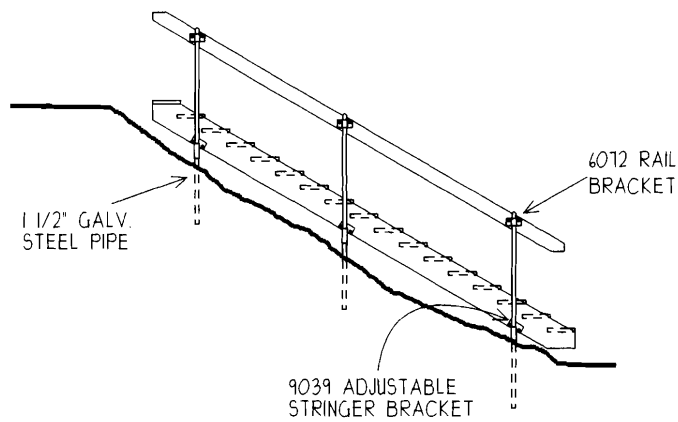


STAIR DIMENSION DETAIL



*DETAIL AT DIFFERENT SCALE

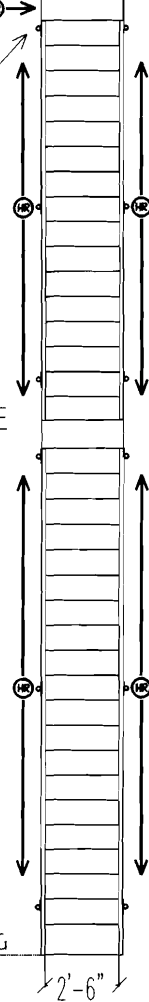
PROFILE VIEW OF STAIRCASE SECTION WITH POST DETAIL



Any Grade over 30" must have Guards NO openings over 4"

36' STAIRCASE

PIPE AND HARDWARE LOCATIONS



BOTTOM OF BANKING

2'-6"

12x3 = 36
36x3 = 108
416 = 24
168 # Total

GALLEY STAIRS

FOR JOHN MAKEY DATE 11-16-06
DRAWN BY BHF SCALE 1/4"

DESIGNED BY Custom Float Services
A Division of Custom Float Services, Inc.



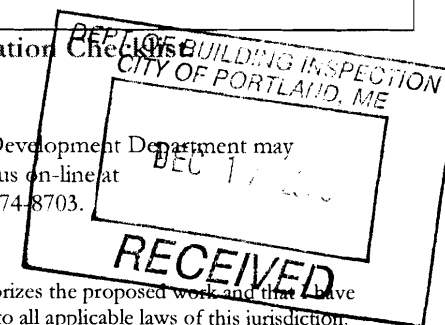
General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>562 Island Ave Peaks Island</u>		
Total Square Footage of Proposed Structure		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>92 A 19</u>	Owner: <u>John Makey</u>	Telephone: <u>(508)</u> <u>509-0445</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Bub Fournier</u> <u>Custom Float Services</u> <u>36 Union Wharf</u> <u>Portland, ME 04112 772-3796</u>	Cost Of Work: \$ <u>6,410.00</u> Fee: \$ <u>30 + 50</u> C of O Fee: \$ <u>80.00</u>
Current Specific use: <u>RESIDENTIAL</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>RESIDENTIAL</u>		
Project description: <u>Replace existing stairs and landing</u>		
Contractor's name, address & telephone: <u>Custom Float Services</u> <u>PO Box 7302 36 Union Wharf Portland, ME 04101</u>		
Who should we contact when the permit is ready: <u>Bub Fournier</u>		Phone: <u>(207) 772-3796</u>
Mailing address: _____		

Please submit all of the information outlined in the Commercial Application Checklist.
Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.



I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Bub Fournier</u>	Date: <u>12/11/06</u>
---	-----------------------

This is not a permit; you may not commence ANY work until the permit is issued.

v# 5931



Residential Additions/Alterations Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations existing & proposed
- Detail removal of all partitions & any new structural beams
- Detail any new walls or permanent partitions
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation/sound transmission ratings (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

If there are any additions to the footprint or volume of the structure, any new or rebuilt structures or, accessory detached structures a plot plan is required. A plot must include:

- The shape and dimension of the lot, footprint of the proposed structure and the distance from the actual property lines. Structures include decks, porches; bow windows, cantilever sections and roof overhangs, sheds, pools, garages and any other accessory structures must be shown with dimensions if not to scale.
- Location and dimensions of parking areas and driveways
- A change of use may require a site plan exemption application to be filed.

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

**Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost
This is not a Permit; you may not commence any work until the Permit is issued.**

Applicant: John Mackey owner

Date: 1/10/07

Address:

C-B-L: 92-A-19

Date -

old lot

CHECK-LIST AGAINST ZONING ORDINANCE

NOT really an applicant

14-449(a)

sedimentation

erosion control measures?

what zone?

Zone Location -

IR-2

expanded I-B to F

width? 2'6"

Customs Float Services

Bub Fournier

36 Union Wharf
PO Box 7302

Interior or corner lot -

Proposed Use/Work -

Sevage Disposal -

Lot Street Frontage -

Front Yard -

Rear Yard -

Side Yard -

Projections -

Width of Lot -

Height -

Lot Area -

Lot Coverage/ Impervious Surface -

Area per Family -

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

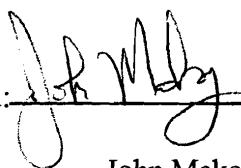
Section II

Letter of Authorization

To whom it may concern:

Either Bub Fournier or Scott Dyer, both of *Custom Float Services, 36 Union Wharf, Portland, Maine*, are authorized to apply for and receive such permits as necessary from all permitting authorities (local and state) in order to remove and replace stairs providing waterfront access at my property located at 562 Island Ave Peaks Island Portland, Maine.

Signed: _____



Date: _____

Nov. 30, 2006

John Makey
53 Thomas Park #3
S. Boston, MA 02127

related equipment. No setback shall be required for piers, docks, retaining walls, or any other structures which require direct access to the water as an operational necessity.

2. The first floor elevation or openings of all buildings and structures including basements shall be elevated at least one (1) foot above the elevation of the one hundred (100) year flood, the flood of record, or in the absence of these, the flood as defined by soil types identified as recent flood plain soils.

3. Notwithstanding the requirements of this section, stairways or similar structures may be allowed with a permit from the building authority to provide shoreline access in areas of steep slopes or unstable soils, provided that:

→ a. The structure is limited to a maximum of four (4) feet in width;

b. The structure does not extend below or over the normal high water line of a water body or upland edge of a wetland, unless permitted by the department of environmental protection pursuant to 38 M.R.S.A. Section 480-C; and

c. The applicant demonstrates that no reasonable access alternative exists on the property.

14-449 (a) 3,

(b) *Piers, docks, wharves, bridges and other structures and uses extending over or beyond the normal high water line of a water body or within a wetland:*

1. Access from shore shall be developed on soils appropriate for such use and constructed so as to control erosion;

2. The location shall not interfere with existing developed or natural beach areas;

3. The facility shall be located so as to minimize adverse effects on fisheries;

- that the facility produces no discharge of effluent or contaminated stormwater. Existing facilities which do not meet the setback requirement may remain, but must meet the no discharge provision within the five-year period.
3. Agricultural activities involving tillage of soil greater than forty thousand (40,000) square feet in surface area, or the spreading, disposal or storage of manure within the shoreland zone shall require a soil and water conservation plan to be filed with the building authority.
 4. There shall be no new tilling of soil within seventy-five (75) feet, horizontal distance, from water bodies or within twenty-five (25) feet, horizontal distance, of tributary streams and wetlands when such new tilling, by itself or combined with all other contiguous tillage, shall exceed forty thousand (40,000) square feet in surface area. Operations in existence on the effective date of this section and not in conformance with these provisions may be maintained by shall not be expanded. When the new tilling, by itself or combined with all other contiguous tillage, shall total forty thousand (40,000) square feet or less, the tillage shall be set back a minimum of twenty-five (25) feet from all water bodies, tributary streams or wetlands.
 5. Livestock grazing areas established after the effective date of this section shall not be permitted within seventy-five (75) feet, horizontal distance, of water bodies or within twenty-five (25) feet, horizontal distance, of tributary streams and wetlands. Livestock grazing associated with farm activities commenced prior to the effective date of this section shall be allowed to continue provided that such activity is conducted in accordance with a soil and water conservation plan filed with the building authority.

➔ (m) *General site plan features:* The planning board or planning authority shall approve a site plan located

14-449(m)

within a shoreland zone if it finds that the following standards, in addition to the standards set forth in section 14-526, are met:

1. The proposal will maintain safe and healthful conditions;
2. The proposal will not result in water pollution, erosion, or sedimentation to surface waters;
3. The proposal will adequately provide for the disposal of all wastewater;
4. The proposal will not have an adverse impact on spawning grounds, fish, aquatic life, bird or other wildlife habitat;
5. The proposal will conserve shore cover and visual, as well as actual, points of access to inland and coastal waters;
6. The proposal will protect archaeological and historic resources;
7. The proposal will not adversely affect existing commercial fishing or maritime activities;
8. The proposal will avoid problems associated with flood plain development and use; and
9. The proposal is in conformance with the standards set forth in this section.

(Code 1968, § 602.19A.D; Ord. No. 499-74, § 10, 8-19-74; Ord. No. 38-85, § 1, 7-15-85; Ord. No. 15-92, § 29, 6-15-92; Ord. No. 164-97, § 12, 1-6-97)

Sec. 14-450. Reserved.

DIVISION 26.5. FLOOD PLAIN MANAGEMENT REGULATIONS*

*Editor's note--Ord. No. 660-86, adopted July 7, 1986, amended Ch. 14, Art. III, by the addition of Div. 26A, §§ 14-450.1--14-450.8, which provisions have been included herein as Div. 26.5 at the discretion of the editor in order to conform with the existing numbering of divisions contained in this article.













This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	092 A019001
Location	562 ISLAND AVE
Land Use	SEASONAL
Owner Address	MURPHY KAREN L & JOHN A MAKEY JTS 53 THOMAS PARK # 3 SOUTH BOSTON MA 02127
Book/Page	22828/303
Legal	92-A-19 ISLAND AVE PEAKS ISLAND 9144SF

Current Assessed Valuation

Land	Building	Total
\$341,100	\$17,100	\$358,200

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1920	Cottage	1	446	0.21	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
1	1		3	Unfin	Pier/slab

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
-------------	-----------------	-------------------	-------------	--------------	------------------

Sales Information

Date	Type
07/01/2005	LAND + BLDING
01/30/2001	LAND + BLDING
06/01/1993	LAND + BLDING

*house has
to be in the
IR-2 zone*

Picture and S

Picture	Sketch
----------------	---------------

[Click here to view Tax R](#)

Any information concerning tax payments should be di
mailed.

New Search!



Custom Float Services

By Brown Ship Chandlery, Inc.

December 4, 2006

City of Portland, Maine
Planning and Development Dept.
389 Congress St. Room 308
Portland, ME 04101
(207) 874-8683

To Whom It May Concern:

Custom Float Services is representing Mr. John Makey of 53 Thomas Park #3 South Boston, MA 02127 in applying for a City of Portland building permit. Custom Float Services has been contracted for replacement of existing landing and stairs for waterfront access on Mr. Makey's property at 562 Island Ave. Peaks Island, Portland. In addition to this city permit, we have notified Maine DEP of the proposed project and filed for Permit by Rule under Chapter 305 of DEP rules. The following are attached for your review:

- Letter of Authorization to obtain necessary permits signed by the property owner.
- Completed City of Portland general building permit application with fee.
- Construction drawings of the proposed project.
- Pictures of the site.
- Residential additions/alterations permit application checklist.

If you have any questions regarding this application, please contact me.

Sincerely,



Bub Fournier
Custom Float Services
bfournier@customfloat.com
(207) 772-3796



APPLICATION FOR EXEMPTION FROM SITE PLAN REVIEW

Applicant _____

Application Date _____

Applicant's Mailing Address _____

Project Name/Description _____

Consultant/Agent/Phone Number _____

Address of Proposed Site _____

CBL: _____

Description of Proposed Development:

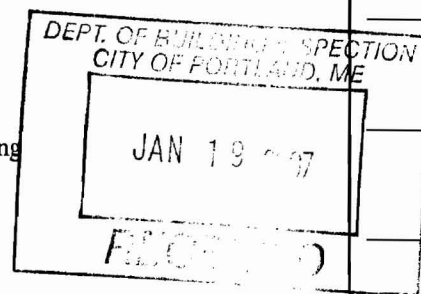
Please Attach Sketch/Plan of Proposal/Development

Criteria for Exemptions:
See Section 14-523 (4) on back side of form

- a) Within Existing Structures; No New Buildings, Demolitions or Additions
- b) Footprint Increase Less Than 500 Sq. Ft.
- c) No New Curb Cuts, Driveways, Parking Areas
- d) Curbs and Sidewalks in Sound Condition/Comply with ADA
- e) No Additional Parking/ No Traffic Increase
- f) No Stormwater Problems
- g) Sufficient Property Screening
- h) Adequate Utilities

Applicant's Assessment
(Yes, No, N/A)

Planning Office
Use Only



Planning Division Use Only



Custom Float Services

By Brown Ship Chandlery, Inc.

January 3, 2006

City of Portland, Maine
Planning and Development Dept.
389 Congress St. Room 308
Portland, ME 04101
(207) 874-8683

To Whom It May Concern:

Custom Float Services is representing Mr. John Makey of 53 Thomas Park #3 South Boston, MA 02127 in applying for a City of Portland building permit. Enclosed is the requested site plan which Custom Float Services has developed based on field measurements and the City of Portland's tax map 92. The following are also enclosed for your records:

- Copy of Application for Permit By Rule sent to Maine DEP December 5, 2006
- Map 92 of the City of Portland Assessor's Plan.
- Peaks Island Zoning Map developed in 2005.

The Maine DEP office on Canco Road here in Portland has assured me that the Permit By Rule will be sufficient as far as they are concerned, as this is a reconstruction of an existing structure.

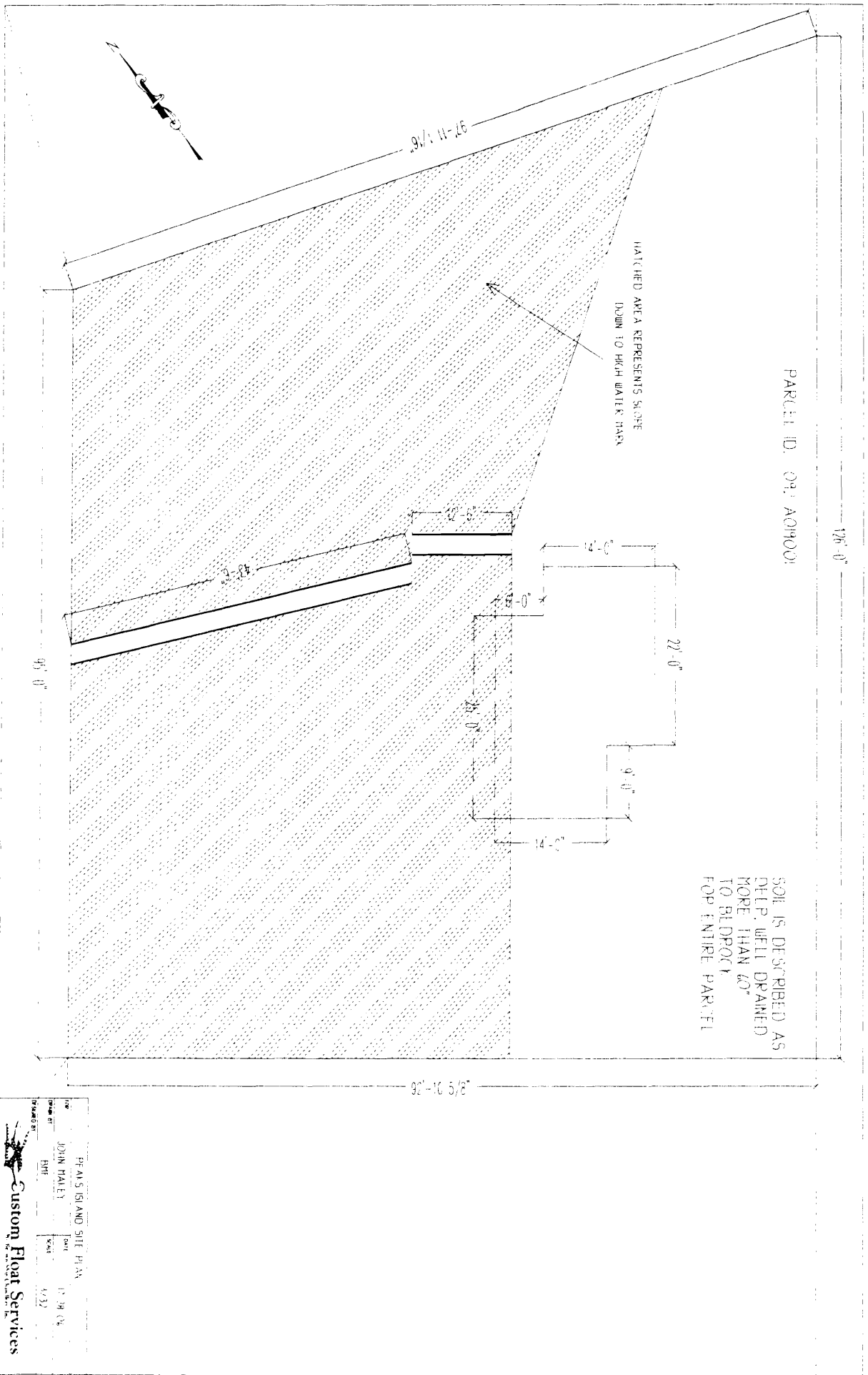
It was mentioned that the property in which we would like to replace the stairs falls on the line between zones IR-2 and I-B. Map 92 of the City of Portland Assessor's Plan available on the city's website is not detailed enough to determine where the line actually is. The Peaks Island Zoning Map developed in 2005 clearly shows that the cove in which Mr. Makey owns property is not included in the business zone. This map was developed by the Peaks Island Exchange and is visible on the web at the address below:

http://www.pinainfo.org/Documents/PIE_Maps.htm

Thank you for your time and assistance in working through this process. Please contact me if you have any questions.

Sincerely,

Bub Fournier
Custom Float Services
(207) 772-3796



PEARL'S ISLAND SITE PLAN

Prepared by:	JOHN HALEY	Date:	12-28-04
Checked by:	BMT	Scale:	AS SHOWN

Custom Float Services

DEPARTMENT OF ENVIRONMENTAL PROTECTION
PERMIT BY RULE NOTIFICATION FORM
 (For use with DEP Regulation, Chapter 305)

PLEASE TYPE OR PRINT IN BLACK INK ONLY

Name of Applicant: (owner)		John Makey			Applicant Mailing Address:		53 Thomas Park #3			
Town/City:		South Boston			State:		Massachusetts			
Zip Code:		02127	Daytime Telephone No: (include area code)		(508) 509-0445		Project Location: (town)		Peaks Island, Portland, Maine	
County:	Cumberland		Map #:	092	Lot #:	A019001	Name of Wetland or Waterbody:		Casco Bay	
Name of Agent:		Bub Fournier / Custom Float Services Scott Dyer / Custom Float Services				Agents Telephone No: (include area code)		(207) 772-3796		
Detailed Directions to Site:		From ferry landing on Peaks Island, take left on Island Ave. Bear right and then take another left to stay on Island Ave. 562 Island Ave is a small cottage with blue shutters on left 1.25 miles from ferry landing.								
					UTM Northing: (if known)				UTM Easting: (if known)	
Description of Project:		Replace existing wooden galley stairs with wood framed galley stairs set on pipe.								
					Part of a larger project?			Yes	<input checked="" type="checkbox"/>	No

(CHECK ONE) This project: does does not involve work below mean low water.

I am filing notice of my intent to carry out work which meets the requirements for Permit By Rule (PBR) under DEP Rules, Chapter 305. I and my agents, if any, **have read** and will comply with all of the standards in the Sections checked below.

- | | | |
|---|---|---|
| <input type="checkbox"/> Sec. (2) Act. Adjacent to Protected Natural Res. | <input type="checkbox"/> Sec. (8) Shoreline stabilization | <input type="checkbox"/> Sec. (14) REPEALED |
| <input type="checkbox"/> Sec. (3) Intake Pipes | <input type="checkbox"/> Sec. (9) Utility Crossing | <input type="checkbox"/> Sec. (15) Public Boat Ramps |
| <input checked="" type="checkbox"/> Sec. (4) Replacement of Structures | <input type="checkbox"/> Sec. (10) Stream Crossing | <input type="checkbox"/> Sec. (16) Coastal Sand Dune Projects |
| <input type="checkbox"/> Sec. (5) REPEALED | <input type="checkbox"/> Sec. (11) State Transportation Facilities | <input type="checkbox"/> Sec. (17) Transfers/Permit Extension |
| <input type="checkbox"/> Sec. (6) Movement of Rocks or Vegetation | <input type="checkbox"/> Sec. (12) Restoration of Natural Areas | <input type="checkbox"/> Sec. (18) Maintenance Dredging |
| <input type="checkbox"/> Sec. (7) Outfall Pipes | <input type="checkbox"/> Sec. (13) F&W Creation/Enhance/Water Quality Improvement | |

I authorize staff of the Departments of Environmental Protection, Inland Fisheries & Wildlife, and Marine Resources to access the project site for the purpose of determining compliance with the rules. I also understand that **this permit is not valid until approved by the Department or 14 days after receipt by the Department, whichever is less.**

I have attached the following required submittals. **NOTIFICATION FORMS CANNOT BE ACCEPTED WITHOUT THE NECESSARY ATTACHMENTS:**

- Attach** a check for \$55 (non-refundable) made payable to: "Treasurer, State of Maine".
- Attach** a U.S.G.S. topo map or Maine Atlas & Gazetteer map with the project site clearly marked.
- Attach** all other required submissions as outlined in the PBR Sections checked above.

By signing this Notification Form, I represent that the project meets all applicability requirements and standards in the rule and that the applicant has sufficient title, right, or interest in the property where the activity takes place.

Signature of Agent or Applicant:	Date:
---	--------------

Keep a copy as a record of permit. Send the form with attachments via certified mail to the Maine Dept. of Environmental Protection at the appropriate regional office listed below. The DEP will send a copy to the Town Office as evidence of the DEP's receipt of notification. No further authorization by DEP will be issued after receipt of notice. Permits are valid for two years. **Work carried out in violation of any standard is subject to enforcement action.**

AUGUSTA DEP
STATE HOUSE STATION 17
AUGUSTA, ME 04333-0017
(207)287-2111

PORTLAND DEP
312 CANCO ROAD
PORTLAND, ME 04103
(207)822-6300

BANGOR DEP
106 HOGAN ROAD
BANGOR, ME 04401
(207)941-4570

PRESQUE ISLE DEP
1235 CENTRAL DRIVE
PRESQUE ISLE, ME 04769
(207)764-0477

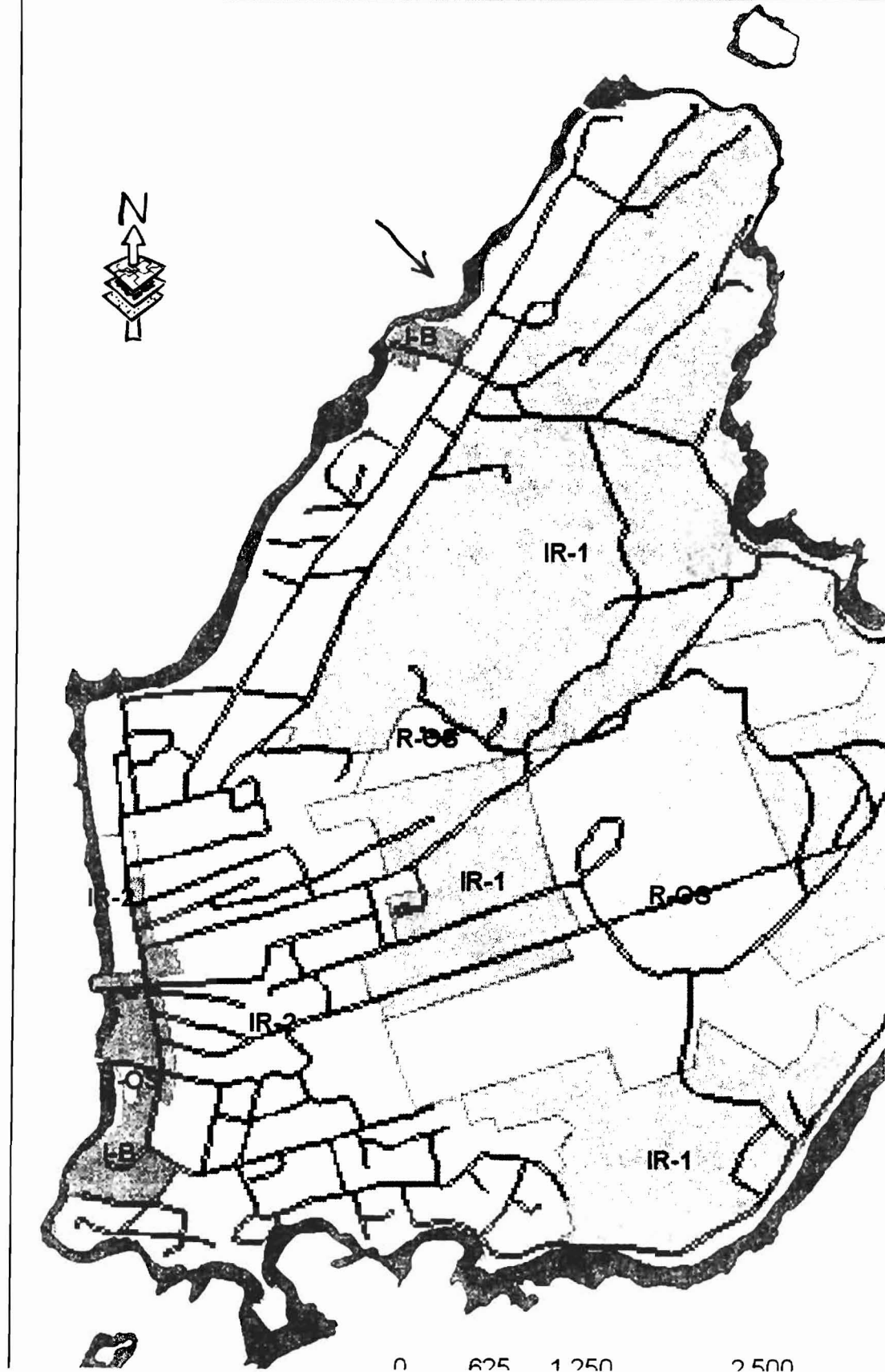
OFFICE USE ONLY	Ck.#	Date	Staff	Staff	
PBR #	FP		Acc. Date	Def. Date	After Photos

No 92
PEAKS ISLAND



SHEET 91 - B
NOTE FROM RECORDED PLAN: A ROAD IS RESERVED 20 FT. WIDE RUNNING EAST AND WEST ACROSS THESE LOTS
LOCATED ON MOST CONVEYANCE INSTRUMENTS

Peaks Island Zoning



related equipment. No setback shall be required for piers, docks, retaining walls, or any other structures which require direct access to the water as an operational necessity.

2. The first floor elevation or openings of all buildings and structures including basements shall be elevated at least one (1) foot above the elevation of the one hundred (100) year flood, the flood of record, or in the absence of these, the flood as defined by soil types identified as recent flood plain soils.

3. Notwithstanding the requirements of this section, stairways or similar structures may be allowed with a permit from the building authority to provide shoreline access in areas of steep slopes or unstable soils, provided that:

→ a. The structure is limited to a maximum of four (4) feet in width;

14-449 (2) 3, b. The structure does not extend below or over the normal high water line of a water body or upland edge of a wetland, unless permitted by the department of environmental protection pursuant to 38 M.R.S.A. Section 480-C; and

c. The applicant demonstrates that no reasonable access alternative exists on the property.

(b) *Piers, docks, wharves, bridges and other structures and uses extending over or beyond the normal high water line of a water body or within a wetland:*

1. Access from shore shall be developed on soils appropriate for such use and constructed so as to control erosion;

2. The location shall not interfere with existing developed or natural beach areas;

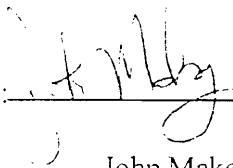
3. The facility shall be located so as to minimize adverse effects on fisheries;

Letter of Authorization

To whom it may concern:

Either Bub Fournier or Scott Dyer, both of *Custom Float Services, 36 Union Wharf, Portland, Maine*, are authorized to apply for and receive such permits as necessary from all permitting authorities (local and state) in order to remove and replace stairs providing waterfront access at my property located at 562 Island Ave Peaks Island Portland, Maine.

Signed: _____



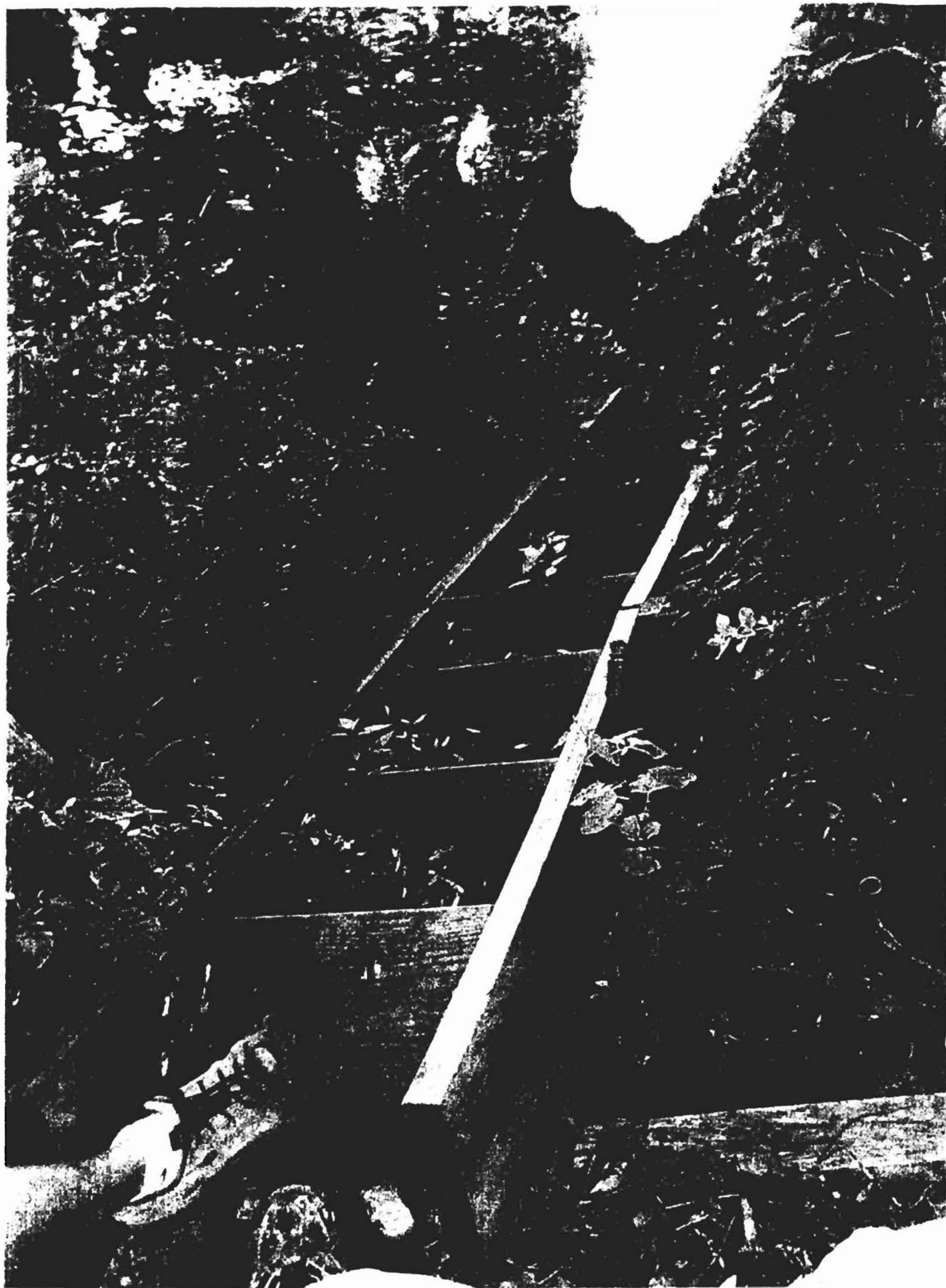
Date: _____

Nov. 30, 2006

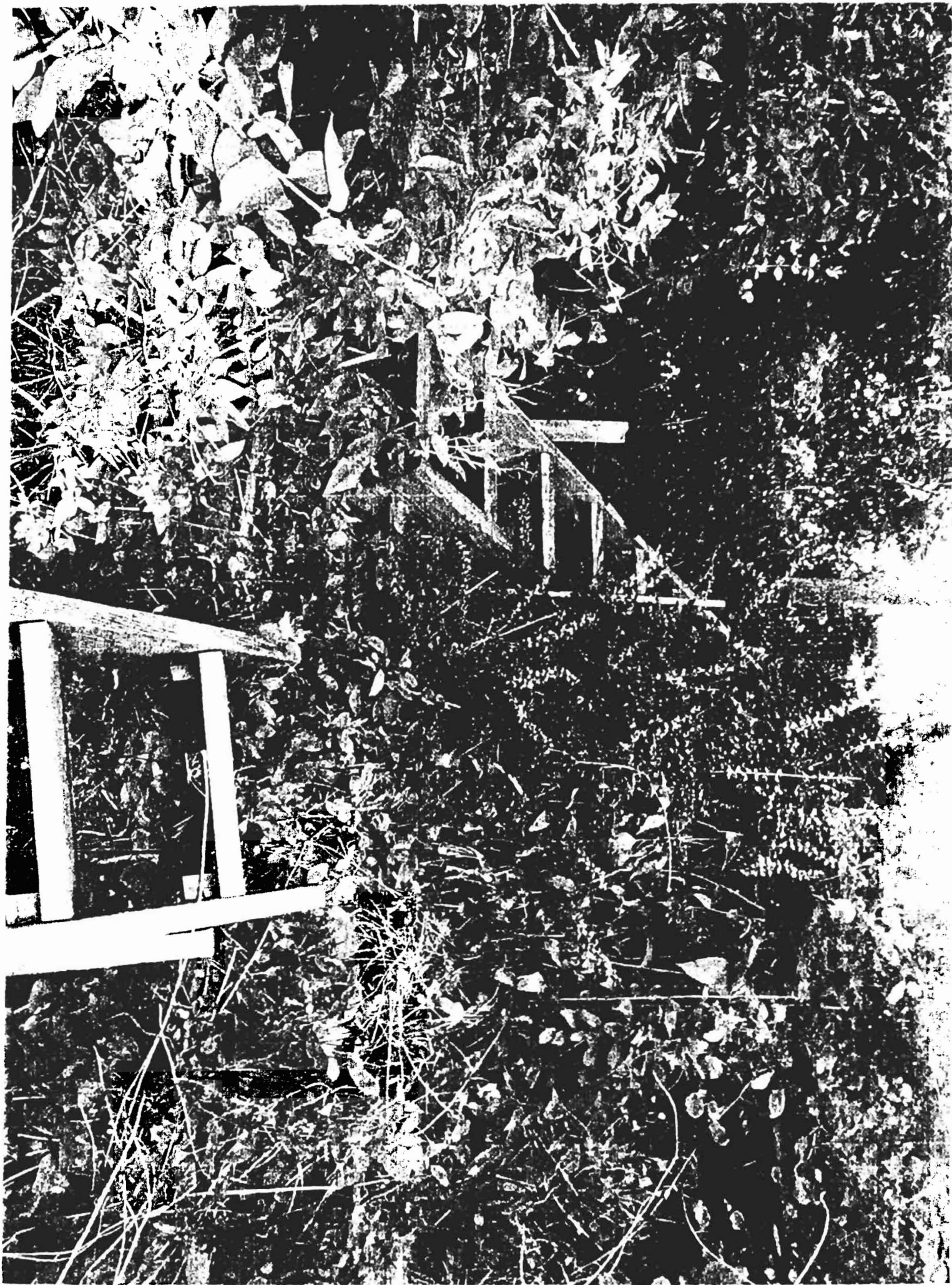
John Makey
53 Thomas Park #3
S. Boston, MA 02127





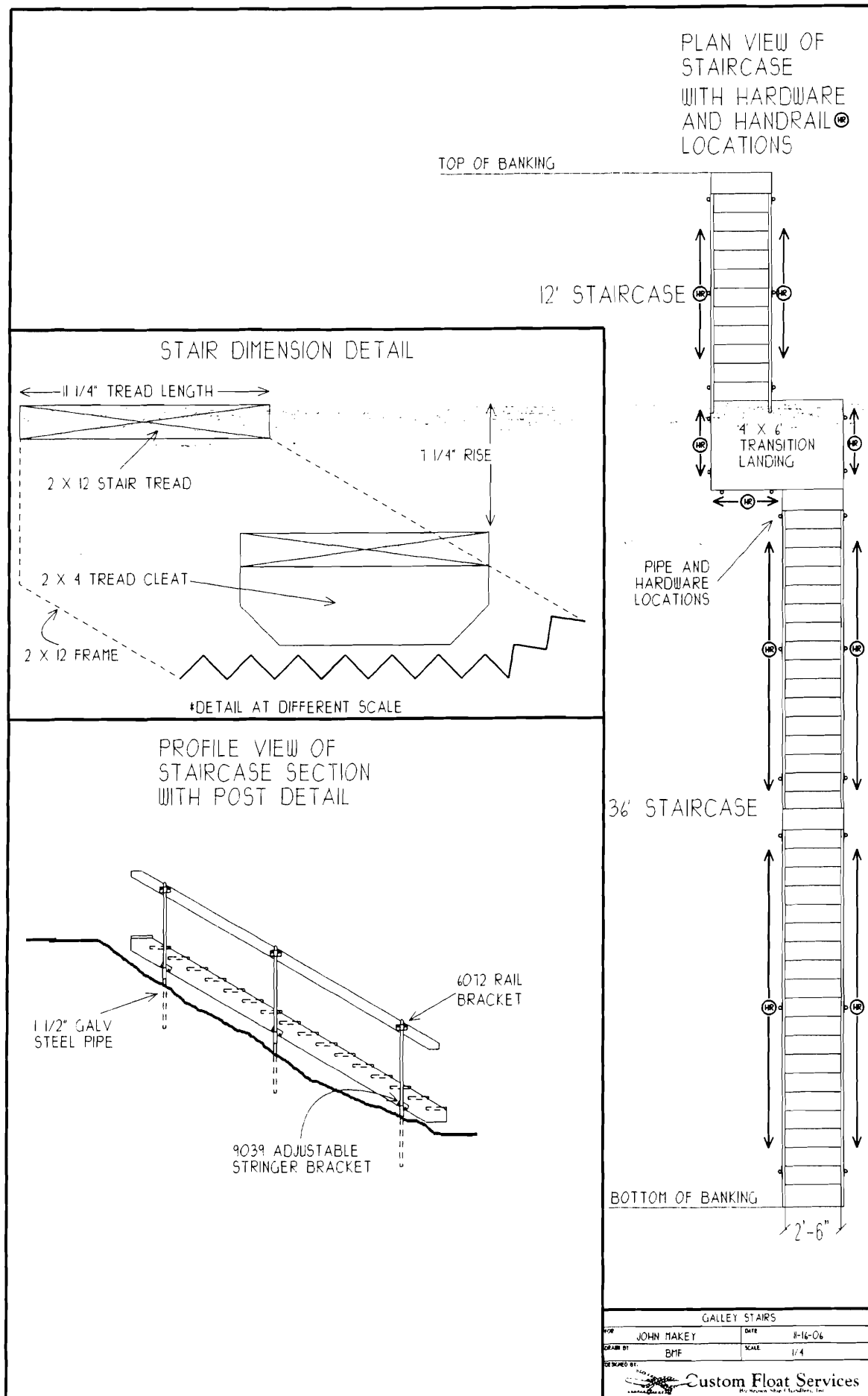






562 Island AVE, PI

092-A-019



that the facility produces no discharge of effluent or contaminated stormwater. Existing facilities which do not meet the setback requirement may remain, but must meet the no discharge provision within the five-year period.

3. Agricultural activities involving tillage of soil greater than forty thousand (40,000) square feet in surface area, or the spreading, disposal or storage of manure within the shoreland zone shall require a soil and water conservation plan to be filed with the building authority.
4. There shall be no new tilling of soil within seventy-five (75) feet, horizontal distance, from water bodies or within twenty-five (25) feet, horizontal distance, of tributary streams and wetlands when such new tilling, by itself or combined with all other contiguous tillage, shall exceed forty thousand (40,000) square feet in surface area. Operations in existence on the effective date of this section and not in conformance with these provisions may be maintained but shall not be expanded. When the new tilling, by itself or combined with all other contiguous tillage, shall total forty thousand (40,000) square feet or less, the tillage shall be set back a minimum of twenty-five (25) feet from all water bodies, tributary streams or wetlands.
5. Livestock grazing areas established after the effective date of this section shall not be permitted within seventy-five (75) feet, horizontal distance, of water bodies or within twenty-five (25) feet, horizontal distance, of tributary streams and wetlands. Livestock grazing associated with farm activities commenced prior to the effective date of this section shall be allowed to continue provided that such activity is conducted in accordance with a soil and water conservation plan filed with the building authority.

→ (m) *General site plan features:* The planning board or planning authority shall approve a site plan located

14-449(m)

within a shoreland zone if it finds that the following standards, in addition to the standards set forth in section 14-526, are met:

1. The proposal will maintain safe and healthful conditions;
2. The proposal will not result in water pollution, erosion, or sedimentation to surface waters;
3. The proposal will adequately provide for the disposal of all wastewater;
4. The proposal will not have an adverse impact on spawning grounds, fish, aquatic life, bird or other wildlife habitat;
5. The proposal will conserve shore cover and visual, as well as actual, points of access to inland and coastal waters;
6. The proposal will protect archaeological and historic resources;
7. The proposal will not adversely affect existing commercial fishing or maritime activities;
8. The proposal will avoid problems associated with flood plain development and use; and
9. The proposal is in conformance with the standards set forth in this section.

(Code 1968, § 602.19A.D; Ord. No. 499-74, § 10, 8-19-74; Ord. No. 38-85, § 1, 7-15-85; Ord. No. 15-92, § 29, 6-15-92; Ord. No. 164-97, § 12, 1-6-97)

Sec. 14-450. Reserved.

DIVISION 26.5. FLOOD PLAIN MANAGEMENT REGULATIONS*

*Editor's note--Ord. No. 660-86, adopted July 7, 1986, amended Ch. 14, Art. III, by the addition of Div. 26A, §§ 14-450.1--14-450.8, which provisions have been included herein as Div. 26.5 at the discretion of the editor in order to conform with the existing numbering of divisions contained in this article.



From: "Bernard Fournier" <bfournier@customfloat.com>
To: <bab@portlandmaine.gov>
Date: 1/17/2007 3:09:51 PM
Subject: Replacement Stairs on Peaks Island

Barbara Barhydt
City of Portland Planning Dept.
(207) 874-8699
bab@portlandmaine.gov

Barbara:

Thank you for your help in Custom Float Services request to replace stairs at 562 Island Ave. on Peaks Island. These stairs provide water access to Casco Bay by descending the steep bank on the property's northwest side. The system of stairs and landing that we propose utilizes 1 ½" steel galvanized pipe as legs to support both the stairs and transition landing. In this design, there is no need or plan to cut any vegetation at the site. Installation of the pipes is carried out by pounding the pipes into the bank, making sure they are plumb when they go in. We have never experienced any disruption to the soil that would cause erosion in this application. Custom Float Services understands the need to keep the bank as stable as possible and has chosen this design because of its low impact nature. If you require any further information from us, please don't hesitate to call.

Best regards,

Bub Fournier

PO Box 7302 36 Union Wharf
Portland, ME 04112
Toll Free 1-888-844-9666
Fax (207) 772-8471
bfournier@customfloat.com



Custom Float Services

... ..

