

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 081176

This is to certify that BEEBE MICHAEL RESIDENCE TRUST (D) W Bunton

has permission to Build 256sf Addition, 150sf alterations

AT 582 ISLAND AVE, PEAKS ISLAND

092 A002001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is started or closed-in. FOUR NOTICES REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name _____

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1176	Issue Date:	CBL: 092 A002001
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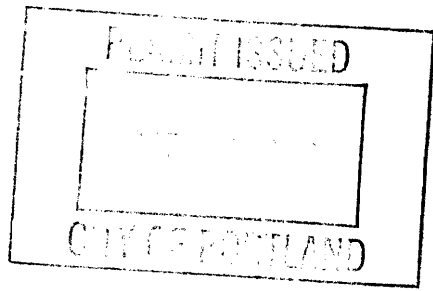
Location of Construction: 582 ISLAND AVE, PEAKS ISLAN	Owner Name: BEEBE MICHAEL RESIDENCE T	Owner Address: 582 ISLAND AVE	Phone: 207-699-2998
Business Name:	Contractor Name: Bill Bunton	Contractor Address: 87 Middle Road Cumberland	Phone: 2077740111
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IR-2

Past Use: Single Family Home	Proposed Use: Single Family Home - Build 256sf Addition, 150sf Alterations	Permit Fee: \$1,320.00	Cost of Work: \$130,000.00	CEO District: 1
Proposed Project Description: Build 256sf Addition, 150sf Alterations		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>GB</i> <i>IRC 2003</i>	
		Signature: <i>[Signature]</i>		

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: lmd	Date Applied For: 09/17/2008	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>within 75' using 30' rule</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 9 Zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Denied Date: <i>9/10/08</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-1176	Date Applied For: 09/17/2008	CBL: 092 A002001
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Business Name:	Contractor Name: Bill Bunton	Contractor Address: 87 Middle Road Cumberland	Phone: (207) 774-0111
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Build 256sf Addition, 150sf Alterations	Proposed Project Description: Build 256sf Addition, 150sf Alterations
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 10/03/2008

Note:**Ok to Issue:**

- 1) A portion of this property is located within the 75' of HWM in Shoreland zoning and is therefore limited in expansion. Nothing is being expanded closer to the HWM.

Floor area maximum allowable expansion (ie 30%) is 264.3 sq ft - Is proposing 130.8 sq ft expansion
Volume area maximum allowable expansion (ie 30%) is 2382.8 cu ft - Is proposing 2357.8 cu ft expansion.

Any future expansion shall use these figures for compliance. Separate permits shall be required for review and approval.

- 2) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 4) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 10/06/2008

Note:**Ok to Issue:**

- 1) Fastener schedule per the IRC 2003
- 2) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.

Comments:

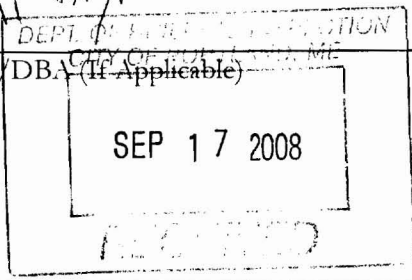
9/19/2008-mes: I had several questions for Will W. concerning first the lot size which he will be e-mailing me the information from the suveyor - then my research of the microfiche showed that in May of 1989 a permit was taken out for renovations on this building which may affect the shoreland zoning 30% max requirements for the lifetime of the structure. Will will do a little more research on his end. I faxed a copy of the permit to him. I also found that the rear deck may be real new and it is not permitted and closer to the water - it is not on the current nor the 1989 assessor's records.

10/3/2008-mes: Will W. met with me today concerning the rear deck and when it was built. He did quite a bit of forensic research concerning the building of the rear deck and how it fits into the calculations for the 30%. He actually found pictures from October 1989 showing the deck being built. The deck was part of the permit issued in May, 1989. Therefore the deck (and small side dormer) can not be used for figuring out the 30% maximum floor area and maximum volume. Will & I went over the revised figures to confirm compliance. The revisions are well documented and meet the max. 30% rule.



General Building Permit Application

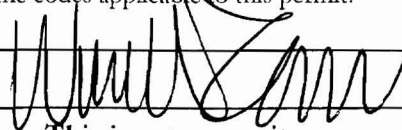
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>582 ISLAND AVE, PEAKS ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>AN ADDITION OF 250 SF</u>		Square Footage of Lot <u>20,520 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>92 A 2</u>	Applicant must be owner, Lessee or Buyer* Name <u>WILL WINKELMAN, ARCHITECT</u> Address <u>41 UNION WHARF, STE 4</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Telephone: <u>699-2998</u> <u>x100</u>
Lessee/DBA (If Applicable) <u>699</u> 	Owner (if different from Applicant) Name <u>MICHAEL BEEBE</u> Address <u>582 ISLAND AVE</u> City, State & Zip <u>PEAKS ISLAND, ME 04108</u>	Cost Of Work: \$ <u>130,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? <u>-</u> Proposed Specific use: <u>SMALL ADDITION + RENO FOR BIGGER KITCHEN + LIVING SPACE</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>BUILD 250 SF ADDITION (+ SOME 150 SF RENOVATION) TO EXIST HOUSE FOR BIGGER KITCHEN + LIVING.</u>		
Contractor's name: <u>BILL BUNTON</u> Address: <u>87 MIDDLE RD, CUMBERLAND, ME 04021</u> City, State & Zip <u>CUMBERLAND, ME 04021</u> Telephone: <u>653-7050</u> Who should we contact when the permit is ready: <u>WILL WINKELMAN, ARCHITECT</u> Telephone: <u>699-2998</u> Mailing address: <u>41 UNION WHARF, STE 4: PORTLAND 04101</u> <u>x100</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: 

Date: 9 10, 08

This is not a permit; you may not commence ANY work until the permit is issue

BEEBE HISTORY

10.1.08

- > PREVIOUS OWNER: ~~EDWARDS~~
BUILT 1970? ED WILLIAMS?
DID APD ~ EXPANSIONS.
- > LISTED 87-88 FOR SALE
- > AUG 31 88 : BEEBE PURCHASE
(EXPANSIONS HAD BEEN MADE)
- > WINTER 88 - FALL 89 : RENOVATIONS + DECK
- > MAY 89 : PERMIT APP. (TYPICAL ISLAND BUILD
FIRST, PERMIT SECOND)
ALLEN COFFIN, BUILDER
- > FALL 08 : THIS ADDITION/EXPANSION APP.

Fax Form

Michael Beebe
582 Island Avenue
Peaks Island, ME 04108

Tel: 207-766-2120

Fax: 207-766-2120

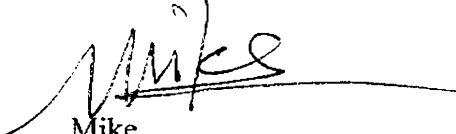
TO: Will Winkelman,
FAX: 699-2991
DATE: 9/19/08
TOTAL PAGES: 2 Total

REFERENCE: Beebe Peaks

Will,

The transfer of Deed for our Peaks House occurred on August 31, 1988.

I am faxing you a copy of Portland Island Realty's offer sheet on the property. Let me know if more is needed.



Mike



CITY OF PORTLAND, MAINE

389 CONGRESS STREET
PORTLAND, MAINE 04101
(207) 874-8300

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT

P. SAMUEL HOFFSES, CHIEF
INSPECTION SERVICES DIVISION

Shore Front Lot
Island Avenue, Peaks Island

May 23, 1989

Mr. Michael Beebe
8 Seaspray Reach
Yarmouth, Maine 04096

Dear Mr. Beebe:


This is in reference to an application for renovations to a two story, single dwelling located on Island Avenue, Peaks Island. We believe that we have an incorrect reference by the City Assessor's Office for this lot. Your agent identified the lot as Chart 92-F-24, which is an interior lot having no shore frontage.

We have searched the Assessor's Chart #92 and determined that the shape of your lot most resembles the shore front lot identified as Chart 92-A-2 on the City Assessor's records which most equals the size and shape of the lot which is described by the plot plan which accompanies your building permit application. The lot size is 18,827 square feet with 204.4 feet of street frontage on Island Avenue, and it is also a shore front property. This is located within the IR-2 Island Residence Zone.

Please confirm the exact location of the building which is to be renovated and which is a single family dwelling with shore frontage. It appears that 92-F-24 is not a shore front lot and does not have frontage on Island Avenue.

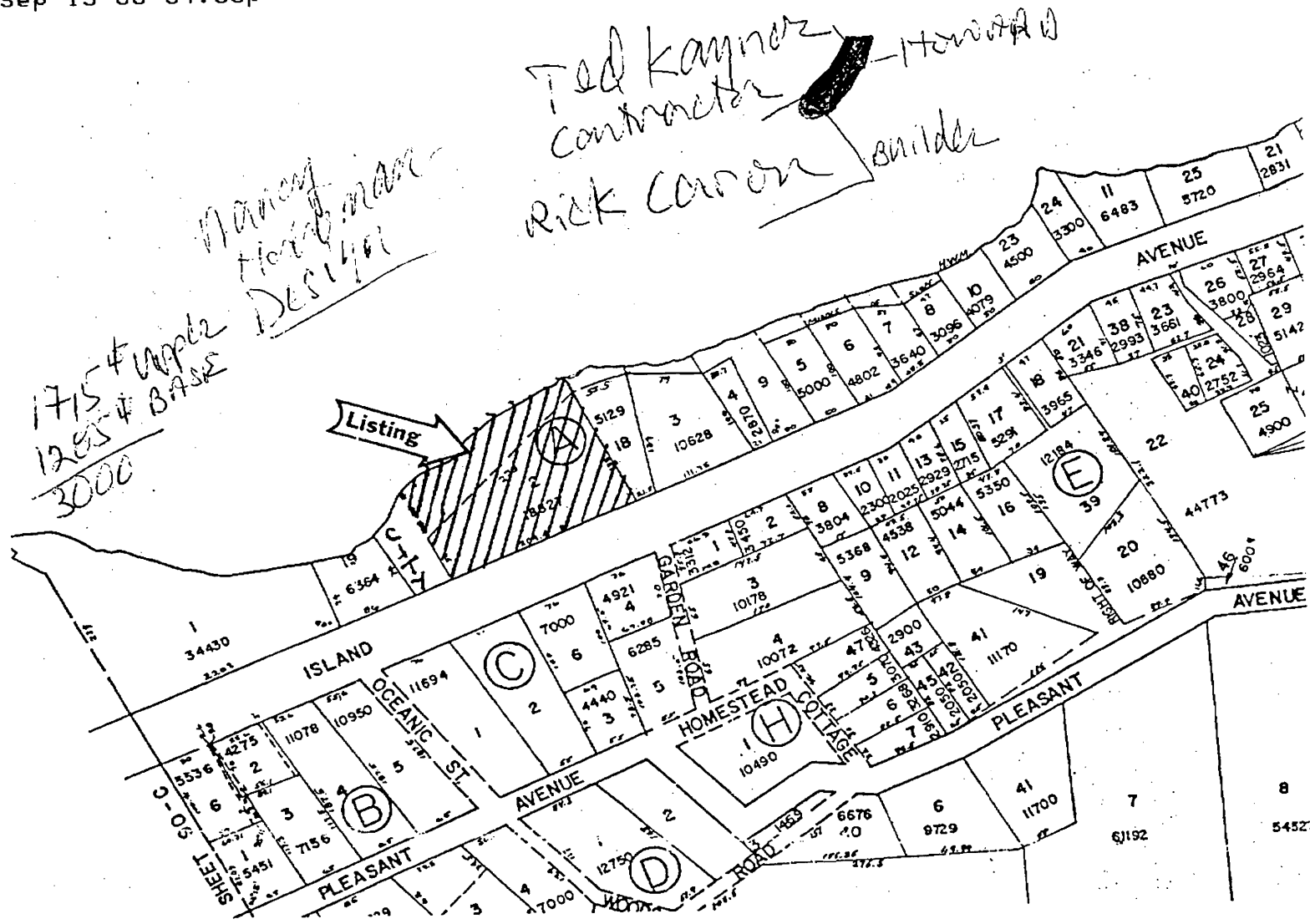
We shall need to have confirmation of which lot is involved before we can proceed to issue this building permit for renovations to interior and exterior of the building. Please advise just which property you own.

Sincerely,


William D. Giroux
Zoning Enforcement Officer

cc: P. Samuel Hoffses, Chief, Inspection Services
Arthur Addato, Code Enforcement Officer
Warren J. Turner, Administrative Assistant

*called
5/30/89
yes*



Williams

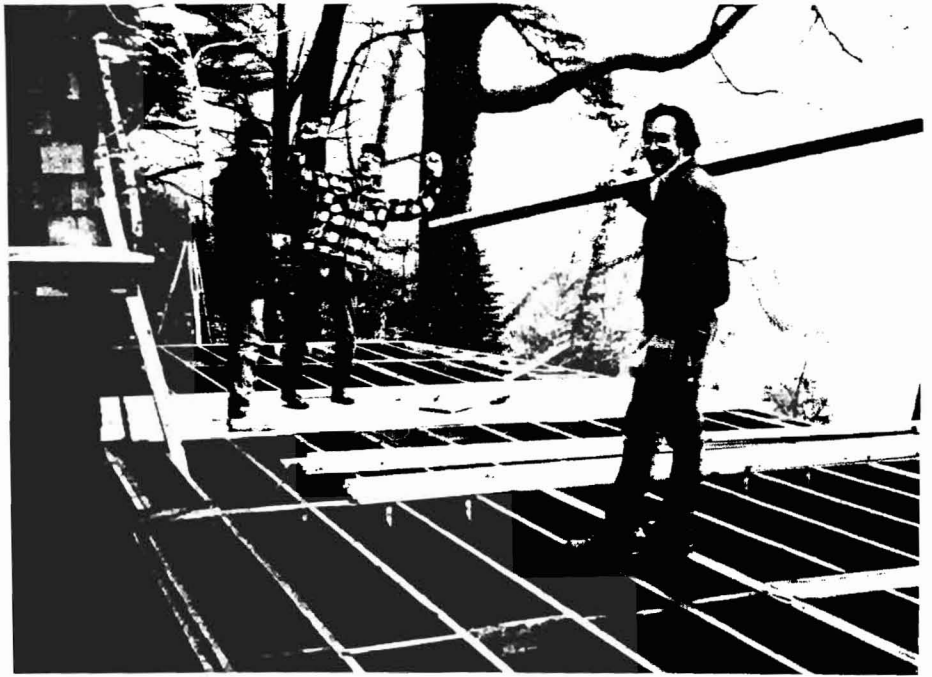
Code P.I.	Lot 92-A-2 Approximately 18,827 Sq. Ft	Location Island Ave. Peaks Island (Almost to North end of Island)	Price \$ 245,000
Rooms-Bed. 8-2	Baths 2	Age * 22±	Color Natural
Taxes \$1,893.39-88	Year 87	Style Contemp.	
Sashes Most Dble. Pane	Heat Elec.	Hot Water Elect.	Sewer Septic
Water City	Basement With Office Full - 1,285 Sq. Ft.	Garage/Other 16' x 19½'	
1st Level 2 Liv. Rms. each 12'x22' with great views to water. 2 levels. Sun Porch 12'x36'-BR #1 10' x 21' - Br #2 12' x 12+' Kitchen & Dinette area 12' x 26' 2 Baths - 6' x 8' & 5' x 8'			
Basement Level-Under all but Sunporch Office-Heated & dehumidified 9½' x 13'			
Outbuildings - Greenhouse - 11'x8' Boathouse - 8'x8' Garden House 8'x10' Grounds - Beautiful vegetable and flower gardens, mooring in front. Wide views of Diamond Islands-Sunsets Near tennis courts.*Much expansion & updating done recently.			



Offering subject to error, omission, prior sale, or change without notice

Port Island Realty

334 FORE STREET
P.O. BOX 7341
PORTLAND, ME.
04112
(207) 775-7253



Deck on
water side

The opposite side HAS A
date stamp of October 1984
(would copy)



10/3/08

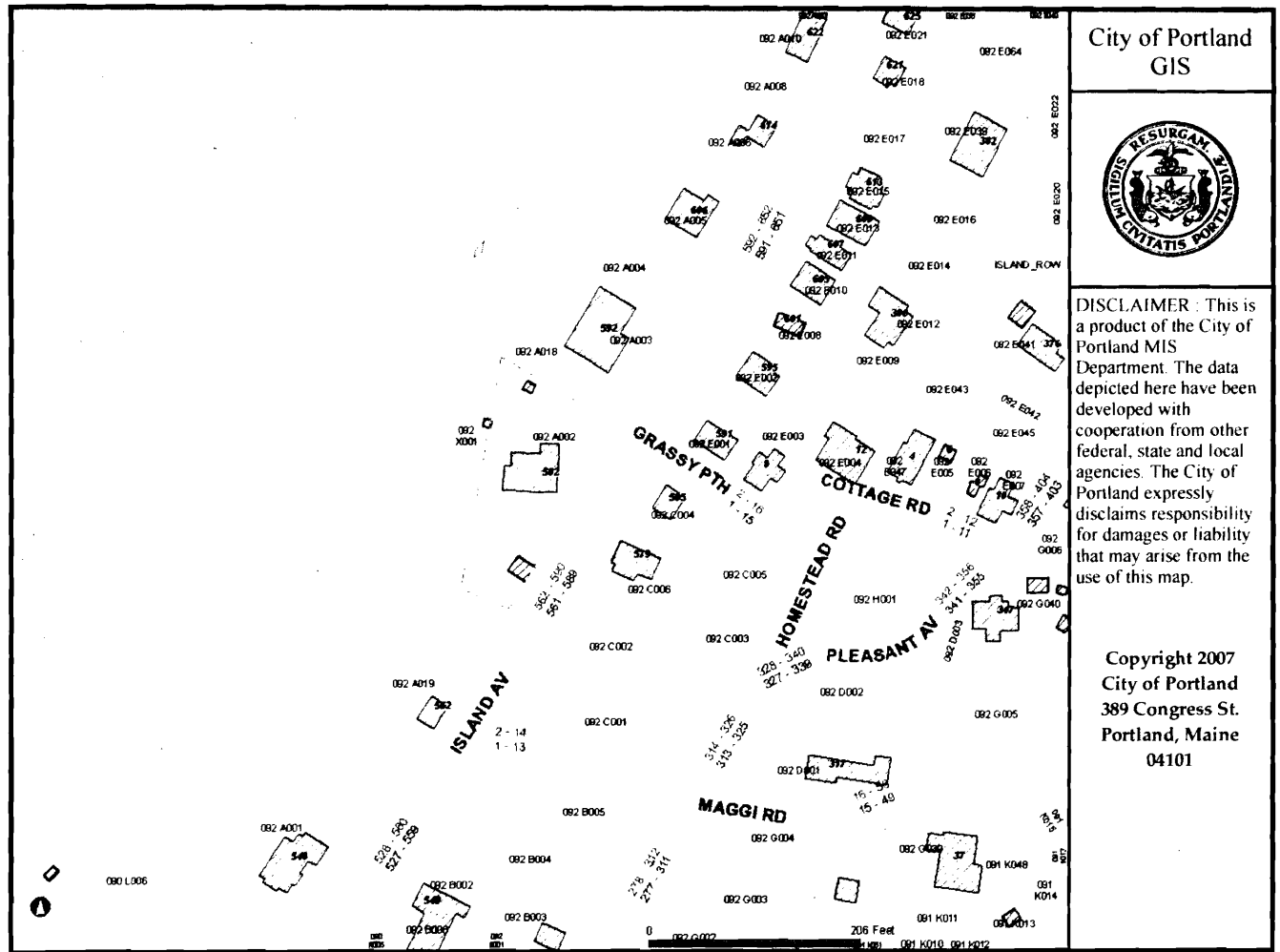


Deck

No observable
Date on the side


10/3/08





092-A-002

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	092 A002001
Location	582 ISLAND AVE
Land Use	SINGLE FAMILY
Owner Address	BEEBE MICHAEL RESIDENCE TRUST 582 ISLAND AVE PEAKS ISLAND ME 04108
Book/Page	14595/256
Legal	92-A-2 ISLAND AVE PEAKS ISLAND 18827 SF

Current Assessed Valuation

Land	Building	Total
\$391,800	\$277,800	\$669,600

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1960	Contemp	1	2737	0.432	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
4	3		7	Full Fin./wh	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1970	16X20	C	A

Sales Information

Date	Type	Price	Book/Page
03/01/1999	LAND + BLDING		14595-256

Picture and Sketch

Picture	Sketch	Tax Map
----------------	---------------	----------------

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

New Search!

PERMIT # 002149 CITY OF Portland BUILDING PERMIT APPLICATION MAP # _____ LOT# _____

Please fill out any part which applies to job. Proper plans must accompany form.

Owner: Michael Beebe 846-3711

Address: 8 Seaspray Reach, Yarmouth,

LOCATION OF CONSTRUCTION 92-A-2 92-A-2 Island Avenue, Peaks Island

CONTRACTOR: Alan Coffin SUBCONTRACTORS: 766-4416

ADDRESS: Gurnet Bridge, Box 2018, Brunswick, 04011

Est. Construction Cost: \$55,000± Type of Use: single family

Building Dimensions: 1 W Sq. Ft. Stories Lot Size

Proposed Use: Seasonal Condominium Apartment

Conversion: Explain Interior and Exterior renovations: plot plan,

COMPLETE ONLY IF THE NUMBER OF UNITS WILL CHANGE floor plans and construct

Residential Buildings Only: plans submitted.

Of Dwelling Units: 4 # Of New Dwelling Units: 4

Foundations:

1. Type of Soil: _____
2. Set Backs - Front _____ Rear _____ Side(s) _____
3. Footings Size: _____
4. Foundation Size: _____
5. Other: _____

Floors:

1. Sills Size: _____ Sills must be anchored.
2. Girder Size: _____
3. Lally Column Spacing: _____ Size: _____
4. Joists Size: _____ Spacing 16" O.C.
5. Bridging Type: _____ Size: _____
6. Floor Sheathing Type: _____ Size: _____
7. Other Material: _____

Exterior Walls:

1. Studding Size _____ Spacing _____
2. No. windows _____
3. No. Doors _____
4. Header Sizes _____ Span(s) _____
5. Bracing: Yes _____ No _____
6. Corner Posts Size _____
7. Insulation Type _____ Size _____
8. Sheathing Type _____ Size _____
9. Siding Type _____ Weather Exposure _____
10. Masonry Materials _____
11. Metal Materials _____

Interior Walls:

1. Studding Size _____ Spacing _____
2. Header Sizes _____ Span(s) _____
3. Wall Covering Type _____
4. Fire Wall if required _____
5. Other Materials _____

For Official Use Only

Date: May 22, 1989 Sub-division: Yes/No _____

Ins. to Fire Limits _____

Blow Code _____

Time Limit _____

Estimated Cost: \$55,000

Value: \$295,000

Permit Expiration: _____

Owner: _____

PERMIT ISSUED

1. Ceiling Joists Size _____

2. Ceiling Strapping Size _____ Spacing _____

3. Type Ceiling: _____

4. Insulation Type _____

5. Ceiling Height: _____

MAY 31 1989

City Of Portland

Roof:

1. Truss or Rafter Size _____
2. Sheathing Type _____
3. Roof Covering Type _____
4. Other: _____

Chimneys:

Type: _____ Number of Fire Places: _____

Heating:

Type of Heat: _____

Electrical:

Service Entrance Size: _____ Smoke Detector Required: Yes _____ No _____

Plumbing:

1. Approval of soil test if required: Yes _____ No _____
2. No. of Tubs or Showers _____
3. No. of Flushes _____
4. No. of Lavatories _____
5. No. of Other Fixtures _____

Swimming Pools:

1. Type: _____
2. Pool Size: _____ x _____ Square Footage _____
3. Must conform to National Electrical Code and State Law.

Zoning:

District: _____ Street Frontage Req: _____ Provided _____

Required Setbacks: Front _____ Back _____ Side _____

Review Required:

Zoning Board Approval: Yes _____ No _____ Date: _____

Planning Board Approval: Yes _____ No _____ Date: _____

Conditional Use: _____ Variance _____ Site Plan _____ Subdivision _____

Shore and Floodplain Mgmt: _____ Special Exception _____

Other: (Explain) _____

Date Approved: _____

Permit Received By: Nancy Grossman

Signature of Applicant: [Signature] Date: 5/22/89

Signature of CEO: [Signature] Date: _____

Inspection Dates: _____

increase in the number of nonconforming units in a building which is nonconforming as to the number of dwelling units or will become nonconforming as a result of such alteration, modification or addition.

(f) In addition to the other provisions of this section, the following standards shall apply to nonconforming structures within a shoreland zone or to nonconforming additions to structures within a shoreland zone and in existence on June 15, 1992: *Boys' Club*

- (1) If any portion of a structure is less than the required setback from the normal high water line of a tributary stream, other water body or upland edge of a wetland *after* January 1, 1989, that portion of the structure shall not be expanded by thirty (30) percent or more of either floor area or volume during the lifetime of the structure.
- (2) Construction or enlargement of a foundation beneath the existing structure shall not be considered an expansion of the structure, provided that the structure and new foundation are placed such that the setback requirement is met to the greatest practical extent as determined by the building authority, based upon the criteria specified in subsection (3) below; that the completed foundation does not extend beyond the exterior dimensions of the structure; and that the foundation does not cause the structure to be elevated by more than three (3) additional feet beyond the height of the structure on the foundation prior to the installation of the new foundation.
- (3) A nonconforming structure may be relocated within the boundaries of the parcel on which the structure is located, provided that the site of the relocation conforms to all setback requirements to the greatest practical extent as determined by the board of appeals and further provided that the applicant demonstrates that the present subsurface wastewater disposal system meets the requirements of state law, the State of Maine Subsurface Wastewater Disposal Rules (rules), and all applicable sections of this Code or that a new system can be installed in compliance with state law, such rules, and all applicable sections of this Code. In no event

FAX



To: Will Winklerman
Fax Number: 699-2991
From: Marge Schmuckel
Fax Number:
Date: 9/19/08
Regarding: 582 Island Ave - PI
Total Number Of Pages Including Cover: ~~3~~ 4
Phone Number For Follow-Up:

Comments:

Will,
Another "complication". I am seeing
that the huge FEAT Deck was never
permitted & is not allowed - It is
not being shown on the 1989 card -
I am also not seeing it on the current
Assessor's info -
When did that go up? - My first reaction is
that it should be removed -

City Of Portland, Maine
Inspections Division Services
389 Congress St Room 315 Portland Me 04101-3509
Phone: (207) 874-8703 or (207) 874-8693
Fax: (207) 874-8716

<http://www.portlandmaine.gov/>

M. Arge

CHART	LETTER	BLOCK	LOT	UNIT NO.	CARD NUMBER	NUMBER	STREET NAME	CLASS	STREET CODE	STREET NO.	LAND USE	ROUTE
192		A	002		1 OF 1	110	ISLAND AVE	RF	111		11	3

OWNER & MAILING ADDRESS	DEED BOOK	DEED PAGE	DEED DATE	SALES DATA
Peter M.H. + N.M.				MO YR TYPE AMOUNT SOURCE VALUE
				200
				201
				202

LEGAL DESCRIPTION	TYPE	VALIDITY CODES
	1 Land	Valid Sale
	2 Land and Buildings	A. Relative Sale
	3 Building	B. Intra Corporation
		C. Included Excessive Personal Property
		D. Changed After Sale/Assmt.
		E. To or From Government
		F. Transfer of Convenience
		G. Partial Sale of Assessed Unit
		H. Court Order Decree
		I. Bankruptcy Proceeding
		J. Undivided Interest
		K. To or From Non-Profit Organization
		L. Repossession/Sale of Foreclosed Property
		M. Zoning Change
		N. Other

LIVING UNITS	ZONE	NC	NEIGHBORHOOD	PARTIAL	ACCOUNT NO.	FRAME NUMBER	PLANNING DISTRICT
001	IR2	[]	100		B14266		

LAND DATA & COMPUTATIONS									
0 NONE	N	ACTUAL FRONTAGE	EFFECTIVE FRONTAGE	EFFECTIVE DEPTH	ACTUAL UNIT PRICE	DEPTH FACTOR	EFFECTIVE UNIT PRICE	INFLUENCE FACTOR	LAND VALUE

LOT									
1 Regular Lot	L							[]	%
2 Apartment Site	L							[]	%

SQUARE FEET									
1 Primary Site	S	5	18,827	SQUARE FEET				3	105
2 Secondary Site	S			SQUARE FEET				[]	%
3 Undeveloped	S			SQUARE FEET				[]	%
4 Residual								[]	%
5 Waterfront								[]	%

ACREAGE									
1 Primary Site	A			ACRES				[]	%
2 Secondary Site	A			ACRES				[]	%
3 Undeveloped	A			ACRES				[]	%
4 Marshland								[]	%
5 Waterfront								[]	%

0 TOTAL									
	S			SQUARE FEET					

GROSS									
1 Irregular Lot	3	Residual							
2 Site Value	4	Homesite							
	9	Minus R.D.W.							

PROPERTY FACTORS								VALUE SUMMARY		PREVIOUS ASSESSMENT	
TOPOGRAPHY	411	UTILITIES	421	STREET/ROAD	441	TRAFFIC		LAND		LAND	
1	ALL PUBLIC	1	PAVED	1	LIGHT	1					
2	PUBLIC WATER	2	SEMI-IMPROVED	2	MEDIUM	2					
3	PUBLIC SEWER	3	UNPAVED	3	HEAVY	3					
4	GAS	4	PROPOSED	4	NONE	4					
5	WELL	5	CURB & GUTTER	5							
6	SEPTIC	6	SIDEWALK	6							
7	NONE	7	ALLEY	7							
8			NONE	8							

DATE INSPECTED	COLLECTOR
8/30/89	

MARKET REVIEW TOTAL VALUE	REASON	DATE	REVIEWER

EXEMPT VALUE	REASON	DATE

PORTLAND, MAINE

PRC-360

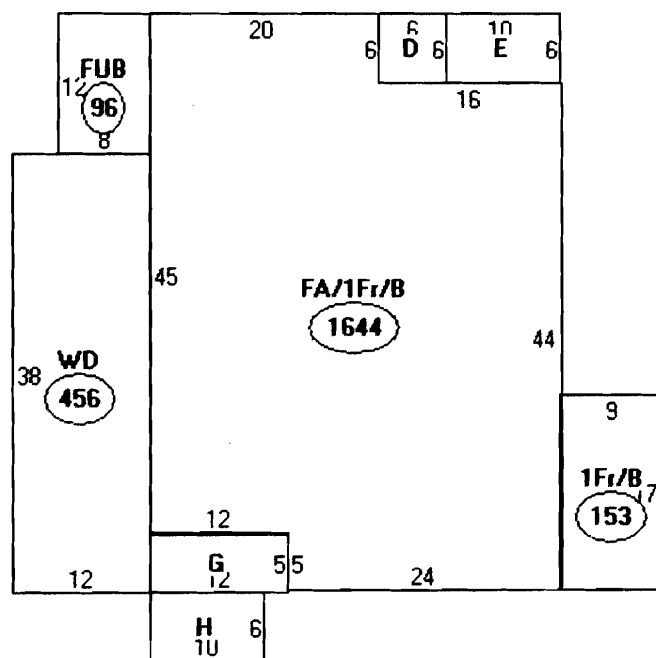
MEMORANDUM VR. ROUND WATER.
 DWLB TOTALLY REPAIRED IN 1985. BASICALLY A NEW HOUSE
 BUILT ON THE PREVIOUS FOOTPRINT. DRY ALL OAK TRIM.
 RECESSED FIXTURES. OAK STAIRCASE. EURO-KITCHEN
 W/ W CARPET. SWANLIN LIVING RM. (BT. IS ONLY 90%)
 OF 12' F.R. LIVING AREA.
 STEEP TO WATER. EURO-STYLE KITCHEN/APPLIANCES.

SIGNATURE: X OWNER WOULDNT SIGN

DATE INSPECTED: 8/30/89
 COLLECTOR: [Signature]

951 LAND VALUE REASON DATE REVIEWER
 961 MARKET REVIEW TOTAL VALUE R MONTH/DAY/YEAR REVIEW
 971 EXEMPT VALUE REASON DATE

DELETE 505-533					NOTES									
V	VACANT	<input checked="" type="checkbox"/> DWELLING	<input type="checkbox"/> OTHER											
1.0	1.5	2.0	2.5	3.0										
EXTERIOR WALLS					<p>WATER</p> <p>NAT. WD STAIRWELL</p> <p>3X50 STAIRWAY TO</p> <p>10 CONC PATIO</p> <p>X SHED</p> <p>ISSUE</p> <p>10 CONC PATIO</p> <p>16</p> <p>12 WD</p> <p>20</p> <p>6</p> <p>6</p> <p>10 CONC PATIO</p> <p>16</p> <p>X SHED</p> <p>N/V</p> <p>12</p> <p>WD</p> <p>45</p> <p>A-FELWH</p> <p>KEL</p> <p>B</p> <p>44</p> <p>9</p> <p>17 /SCR</p> <p>B</p> <p>12</p> <p>5</p> <p>12</p> <p>24</p> <p>6</p> <p>10</p> <p>BRICK PATIO</p>									
STYLE					<p>1 RAISED RANCH</p> <p>2 SPLIT LEVEL</p> <p>3 RANCH</p> <p>4 CAPE</p> <p>5 OLD STYLE</p> <p>6 COLONIAL</p> <p>7 CONDO</p> <p>8 CONTEMP.</p> <p>9 TOWNHSE/ROW</p> <p>10 COTTAGE</p> <p>11 BUNGALOW</p> <p>12 DUPLEX</p> <p>13 MANSION</p> <p>14 GAMBREL</p> <p>15 GARRISON</p> <p>16 OTHER</p>									
ERECTED 1 960 EST 1 REMODELED 19 89														
LIVING ACCOMMODATIONS														
TOTAL ROOMS 07														
FULL BATHS 3														
NO. KITCHEN 1 YES														
REMODELED 2 NO														
BASEMENT														
HEATING														
HEATING FUEL TYPE														
HEATING SYSTEM TYPE														
ATTIC														
INTERIOR CONDITION														
PHYSICAL CONDITION														
SFLA														
CONDO LEVEL														
CONDO TYPE														
OTHER FEATURES														
GROUND FLOOR AREA														
GRADE FACTOR														
COST & DESIGN FACTOR														
CDU														
MARKET ADJUSTMENT														
RESIDENTIAL														
POOLS														
ADDITION CODES														
DWELLING COMPUTATIONS														
OTHER BUILDINGS & YARD IMPROVEMENTS														
MISCELLANEOUS IMPROVEMENTS														
TOTAL GROSS VALUE														

CurrentDescriptor/AreaA: FA/1Fr/B
1644 sqftB: WD
456 sqftC: FUB
96 sqftD: 1Fr/CPAT
36 sqftE: CPAT
60 sqftF: 1Fr/B
153 sqftG: OFF
60 sqftH: MP
60 sqft

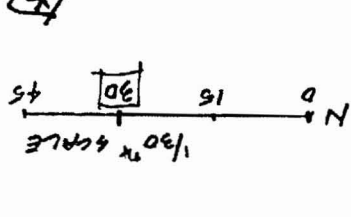
SITE PLAN

BEER RESIDENCE ADDITION • PEAKS ISLAND

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101 - PH: 207.699.2998

WINKELMAN ARCHITECTURE

9-10-08



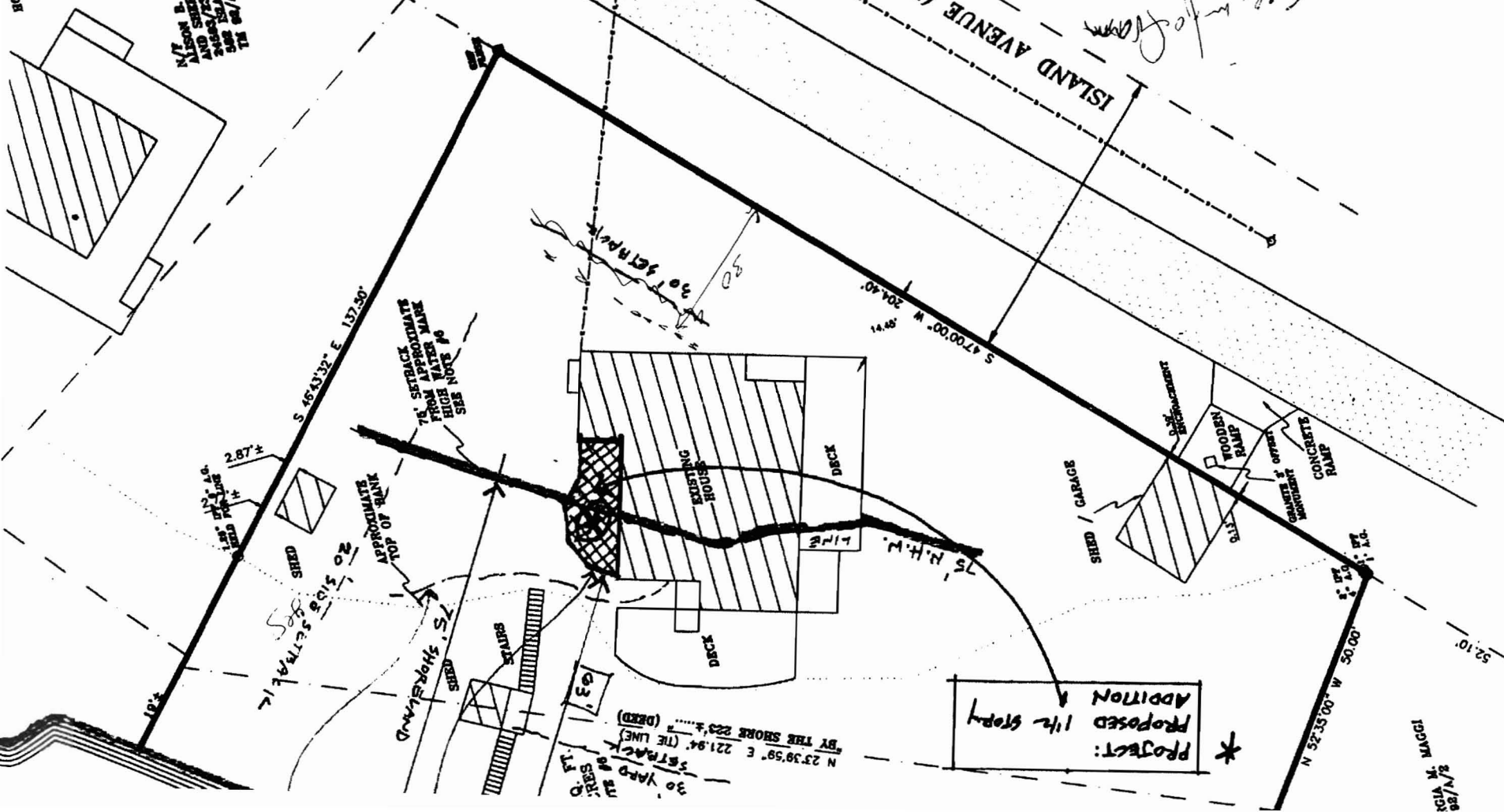
Notes on pg 2/3 Winkelman 10.5.08
 30% 15pxis.

* SITE COVERAGE SUMMARY:
 Lot: 20,520 SF
 18,927' x 20% = 3765.4' MAX?
 * MAY ALLOWED COVERAGE = 5,304 SF
 EXISTING HOUSE, DECKS, SHEDS, GARAGE +
 WOODEN STAIRS COVER: 3,070.9 SF (PER SUPERVISOR)
 PROPOSED ADDITION ADDS: + 250 SF,
 NEW TOTAL SITE COVERAGE = 3,972 SF (OK)

60' R/W WIDTH (BITUMINOUS) ISLAND AVENUE

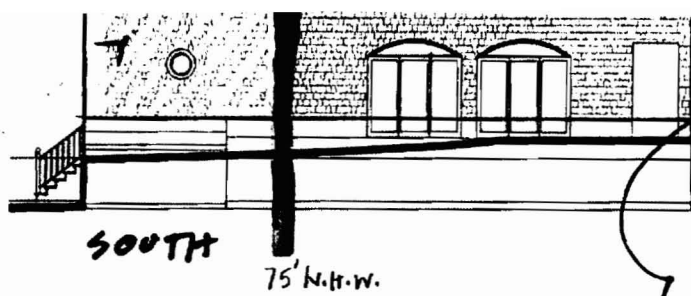
See notes from

N/E ALISON B. AINSWORTH
 AND SHERIDAN ALBERT
 3485/3500 AVENUE
 500 ISLAND AVENUE
 THE 08/10/04.16



* PROJECT: Proposed 1st story addition

8/11/08
 LUCIA M. MACGI



SOUTH

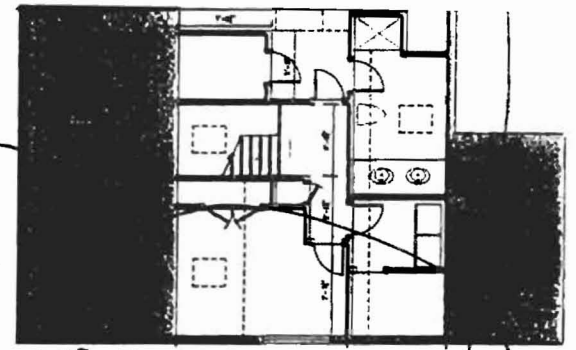
75' N.H.W.



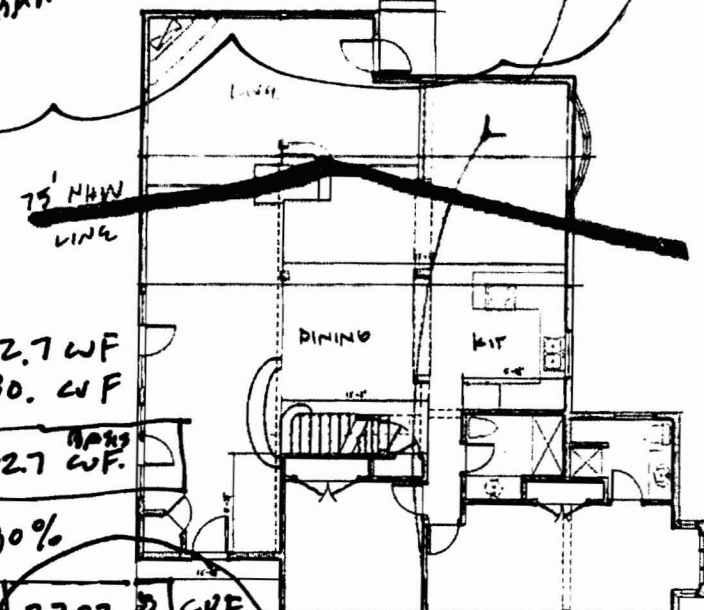
NORTH

1/16" SCALE

LESS DORMER
THAT WAS VOLUME
BUILT IN 89
THAT SHOULD NOT BE
PART OF 30% FLOOR
OR VOLUME EXPANSION
BASIS: (1815-22 SF AREA / -80 WF VOL)



2ND FLR. PLAN
- 1815-22 SF AREA / -80 WF VOL



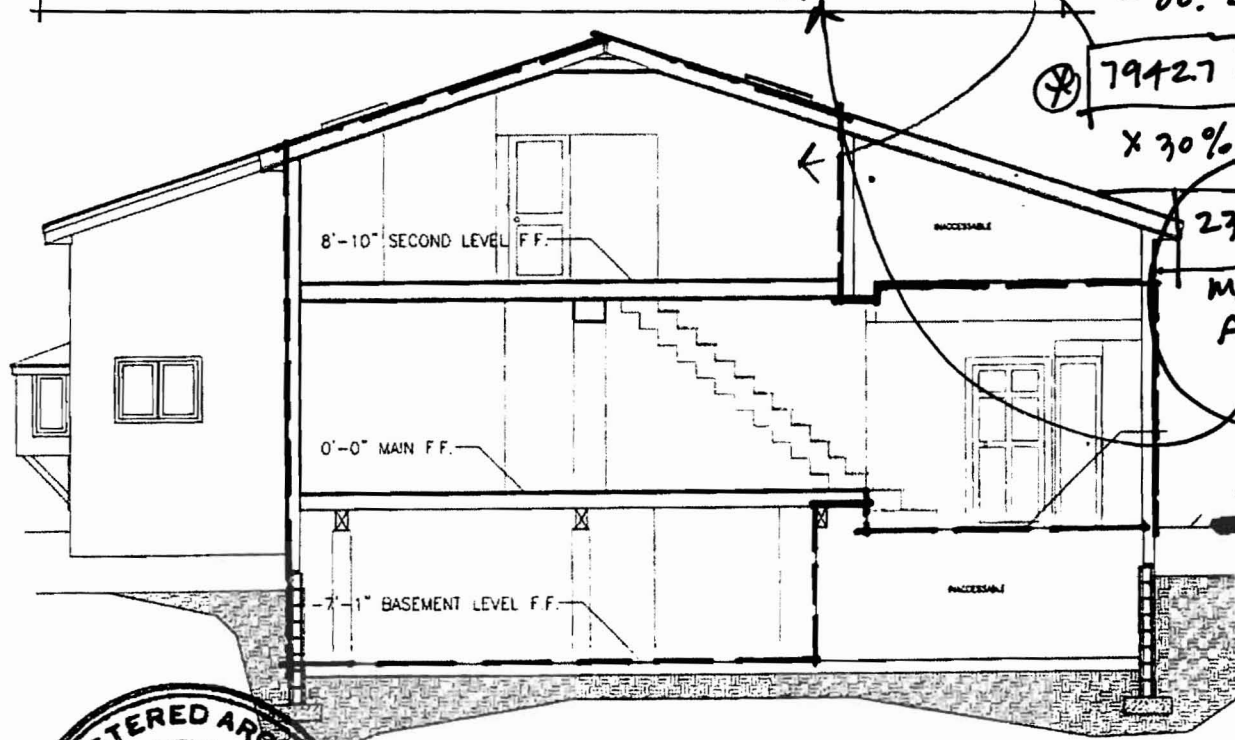
75' N.H.W.
LINE

8022.7 WF
- 80. WF

7942.7 WF
x 30%

2382.2 CUF
MAX VOL ALLOW.
FLR. PLAN

EXISTING 'VOLUME' WITHIN THE 75' N.H.W. LINE IS: ~~8122.7~~ CUF
30% ALLOWABLE (LIFETIME) VOLUME EXPANSION: ~~2436.8~~ CUF MAX

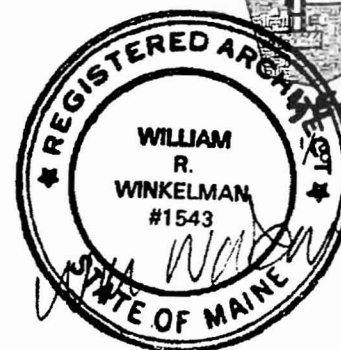


8'-10" SECOND LEVEL F.F.

0'-0" MAIN F.F.

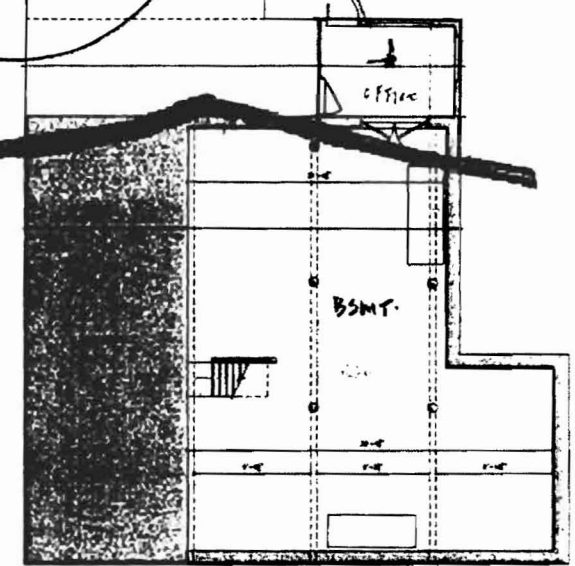
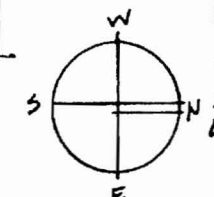
-7'-1" BASEMENT LEVEL F.F.

75'



SECTION LOOKING EAST
SCALE

NOTE: VOLUME + AREA CALCULATIONS
DONE BY WILL WINKELMAN; 9.10.08
WORK SHEETS AVAIL BY REQUEST (AT 1/4 SCALE)



BASEMENT

1/16" SCALE

14 32

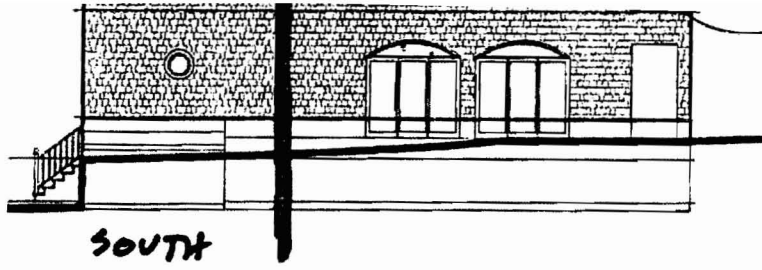
SITE: EXISTING STRUCTURE.

2
OF 5

BEEBE RESIDENCE ADDITION - PEAKS ISLAND

WINKELMAN ARCHITECTURE

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9.10.08



SOUTH



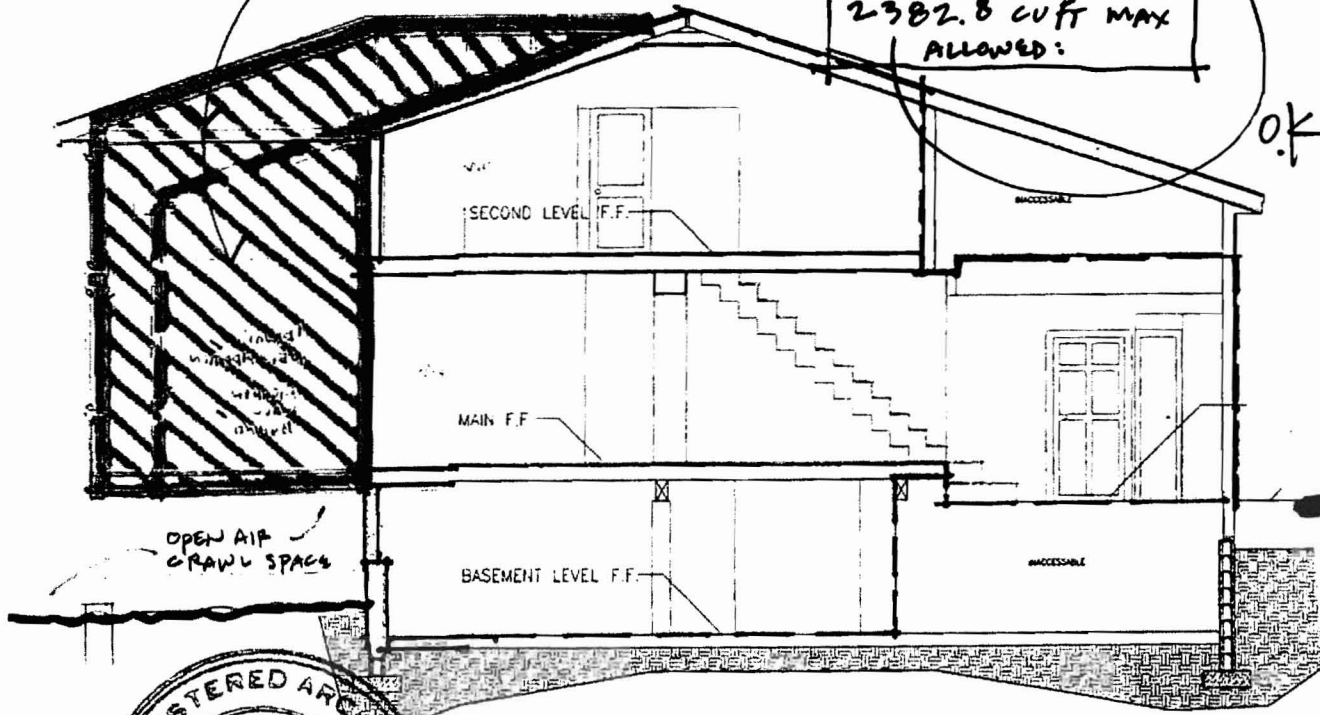
NORTH
1/16" SCALE

EXIST GRADE BELOW UNCHANGED

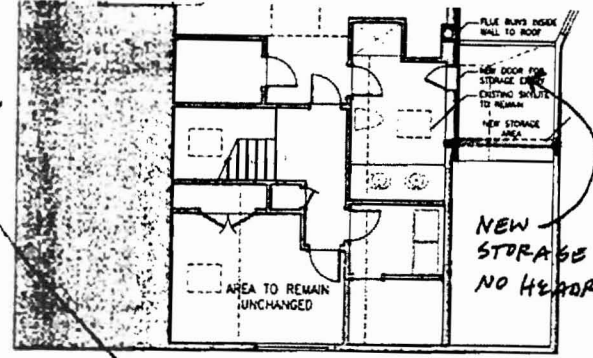
OPEN AIR CRAWL SPACE BELOW

PROPOSED 'VOLUME' EXPANSION WITHIN THE 75' N.H.W. LINE: 2357.8 CU FT
[30% = ~~(0.3)~~ max ALLOWED] OK

2382.8 CU FT MAX ALLOWED: OK

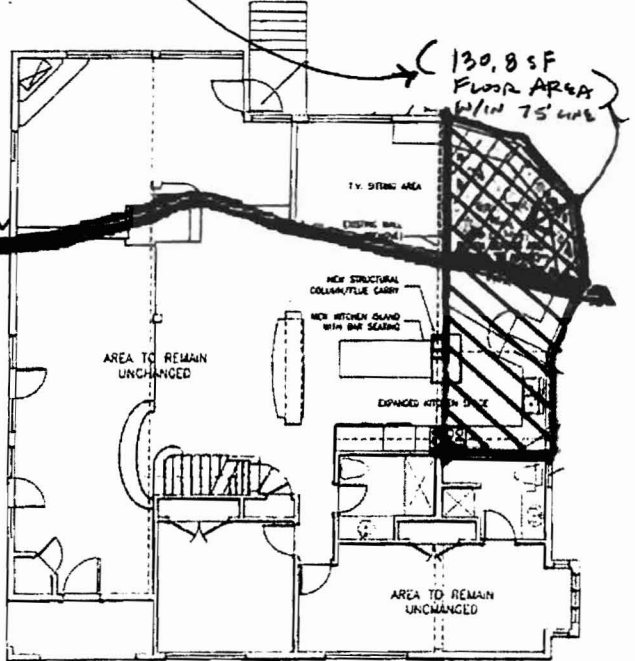


SECTION LOOKING EAST
1/8" SCALE



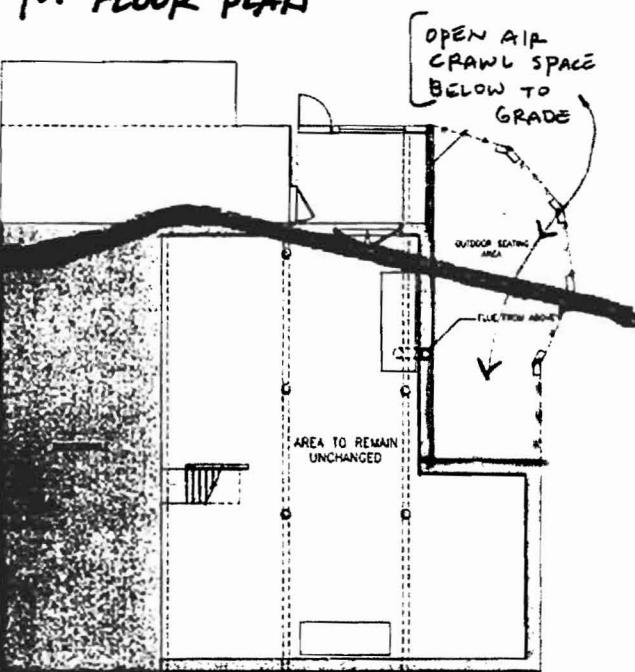
2ND FLOOR PLAN

NEW STORAGE AREA, NO BEDROOM



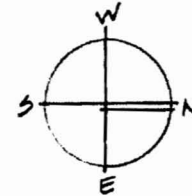
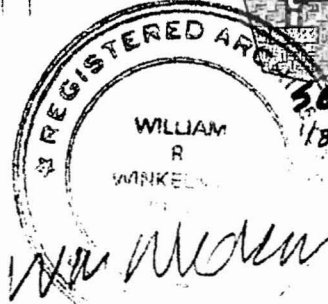
1ST FLOOR PLAN

130.8 SF FLOOR AREA WITHIN 75' LINE



BASEMENT

OPEN AIR CRAWL SPACE BELOW TO GRADE



1/16" SCALE
0 16' 32'

9.10.08

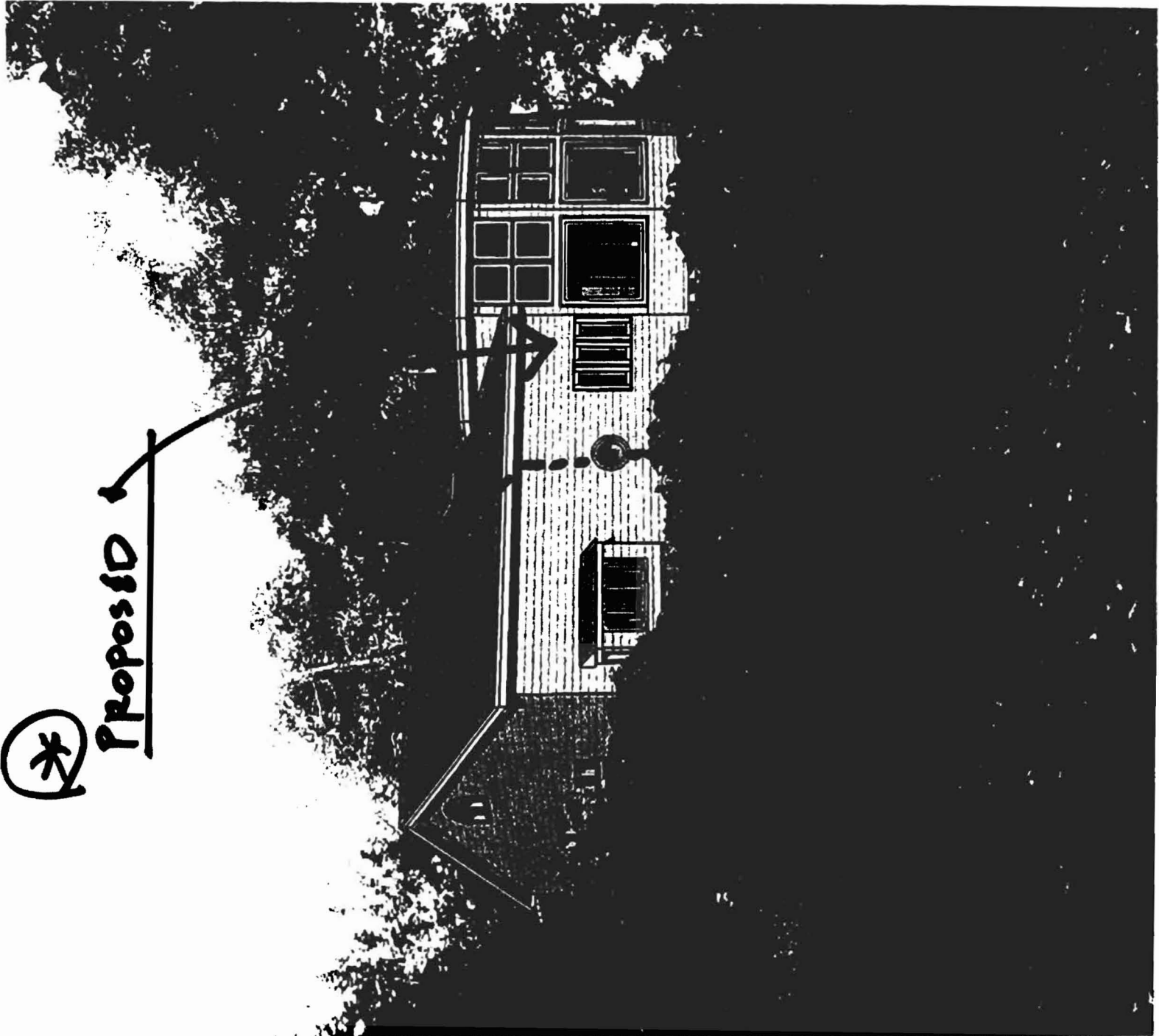
WINKELMAN ARCHITECTURE

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SITE: PROPOSED ADDITION.
3 OF 5 BEEBE RESIDENCE ADDITION - PEAKS ISLAND

9.10.08

SITE: PROPOSED ADDITION: PHOTO



9.10.08

SITE: 5 OF 5

PHOTOS: EXISTING



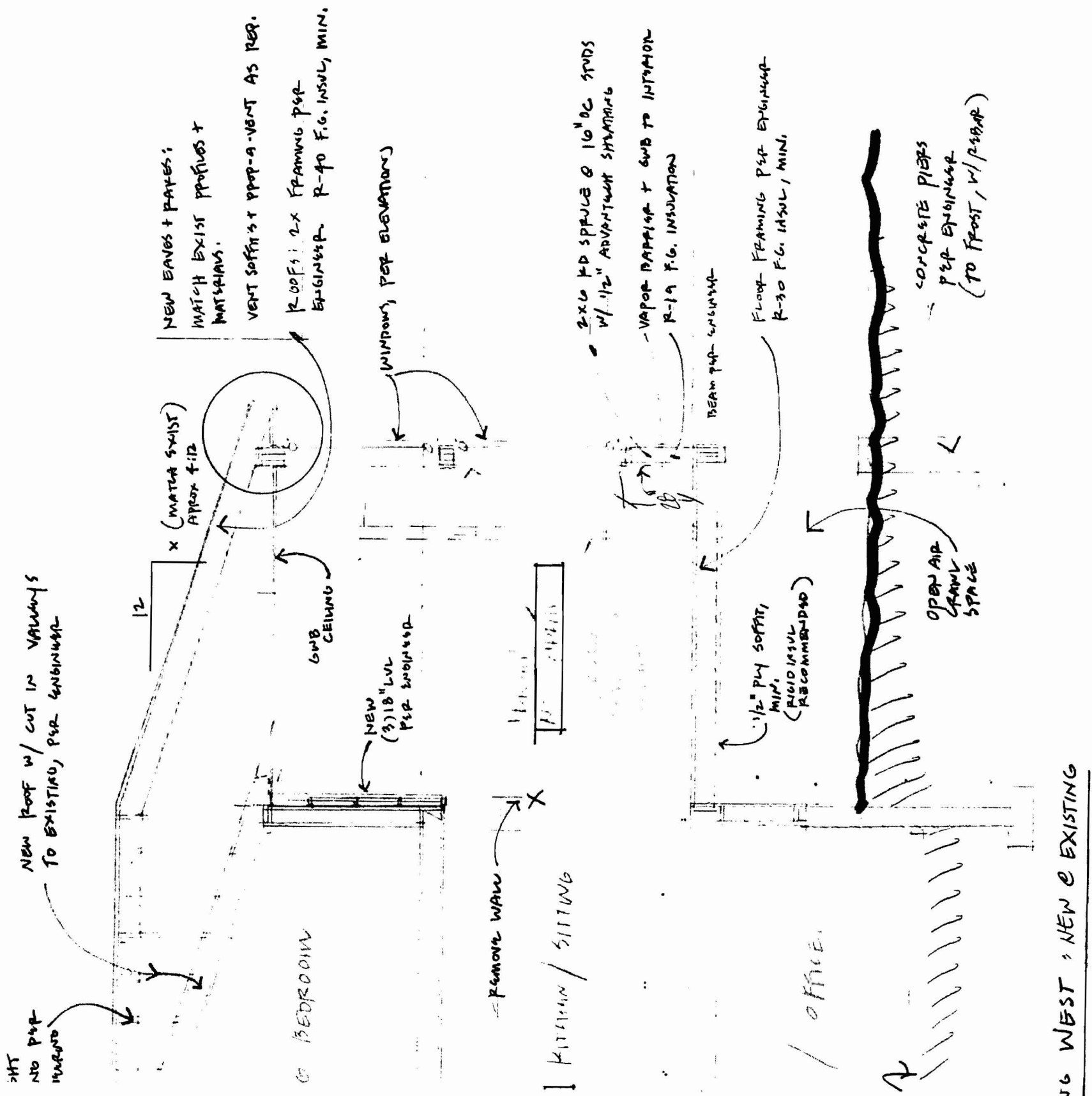
EXISTING: WEST



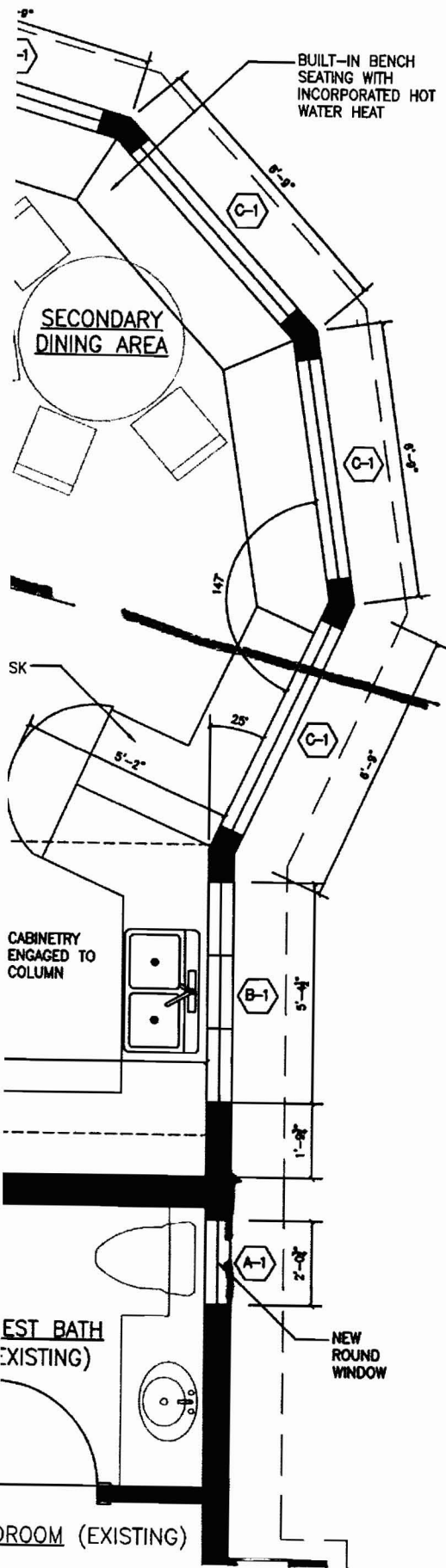
F PROPOSED
TION



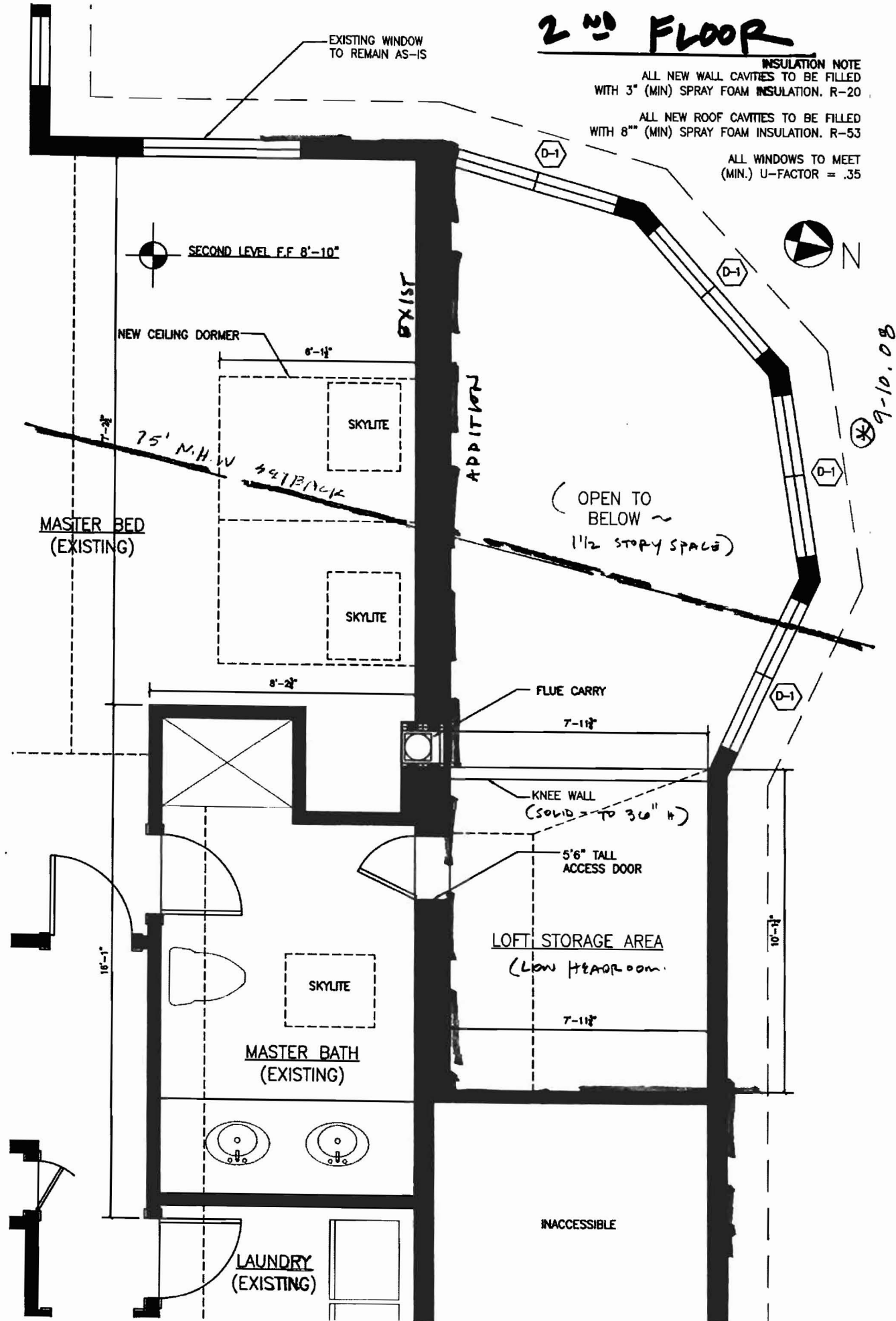
9-10-08



1ST LEVEL



2ND FLOOR



WINKELMAN ARCHITECTURE

0 1 2 4 8

PROPOSED PLANS- LEVELS 1 + 2

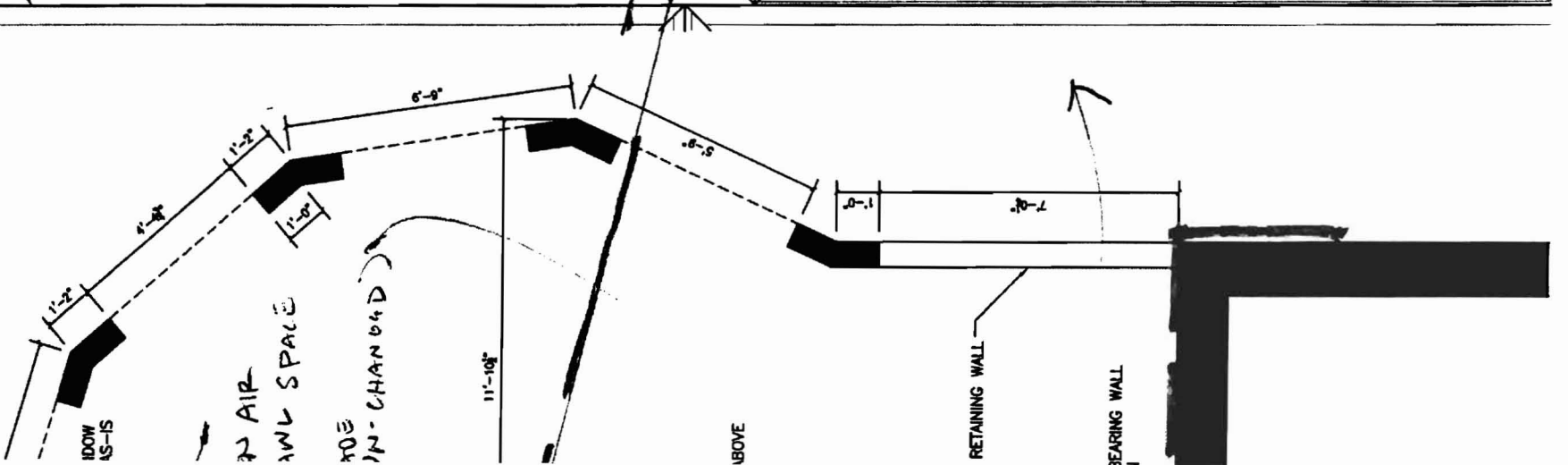
A.1

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PH: 207.699.2998

SCALE: 1/4" = 1'-0"
DATE:

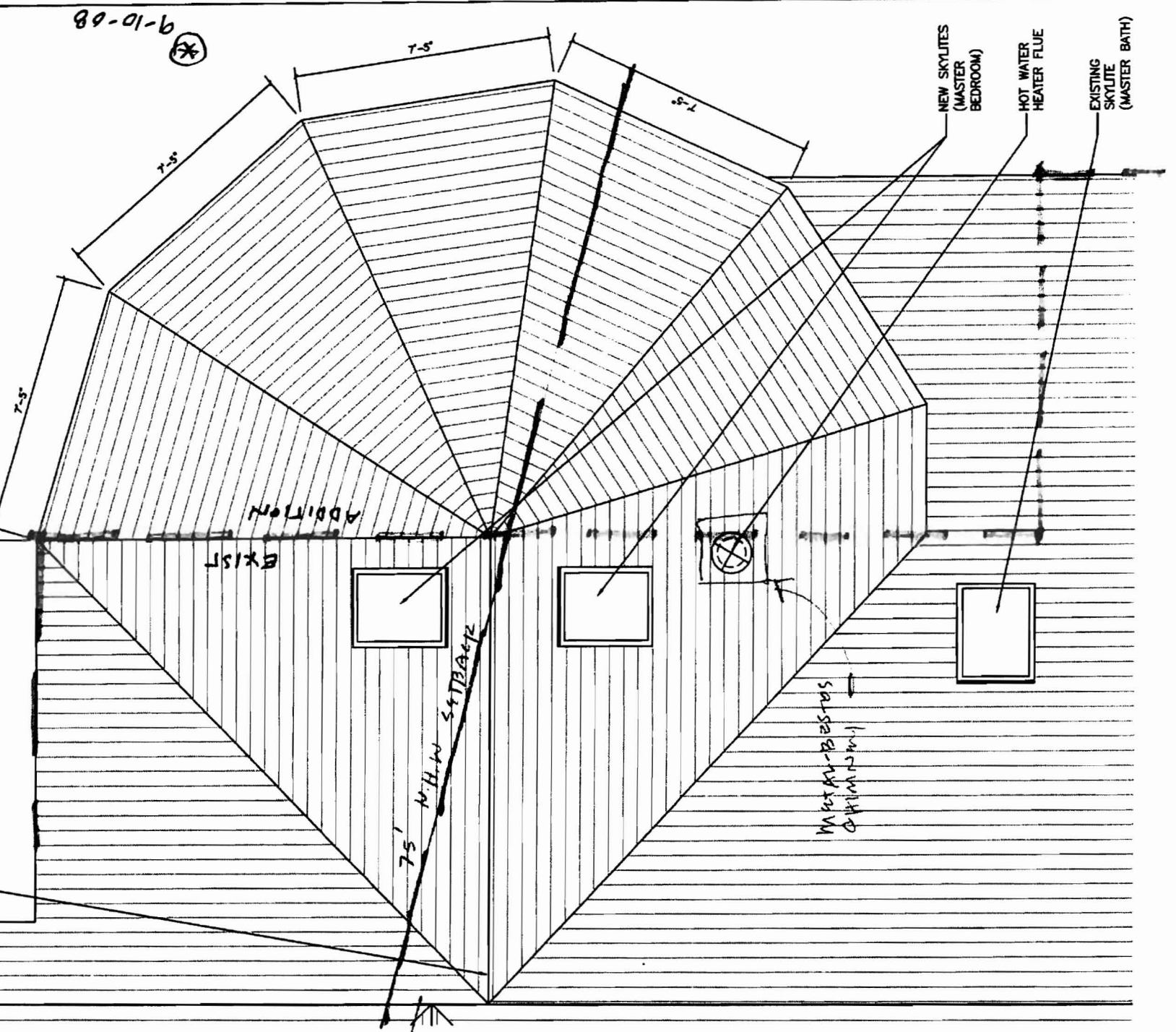
BEEBE RESIDENCE
582 ISLAND AVE, PEEKS ISLAND, ME

SEMENT



ROOF PLAN

INSULATION NOTE
 ALL NEW WALL CAVITIES TO BE FILLED WITH 3" (MIN) SPRAY FOAM INSULATION. R-20
 ALL NEW ROOF CAVITIES TO BE FILLED WITH 8" (MIN) SPRAY FOAM INSULATION. R-53
 ALL WINDOWS TO MEET (MIN.) U-FACTOR = .35



PH: 207.699.2998

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101

SCALE: 1/4" = 1'-0"

DATE:

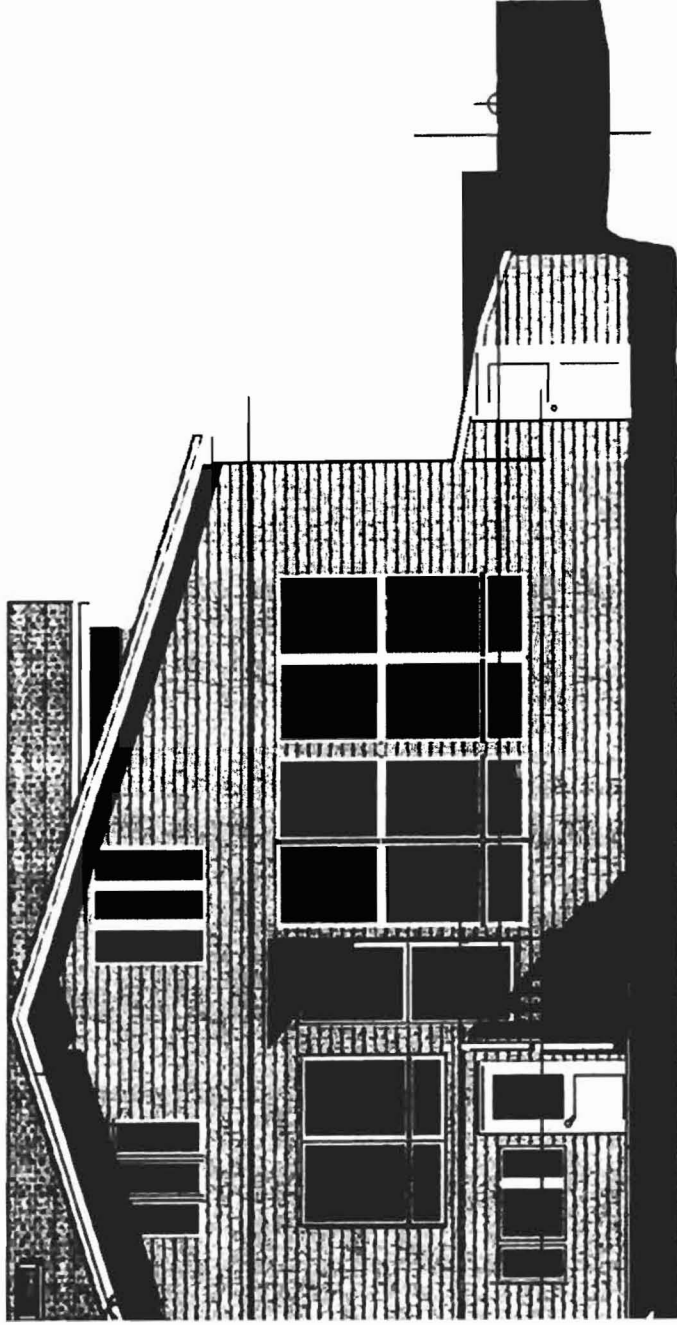
BEEBE RESIDENCE
 582 ISLAND AVE, PEEKS ISLAND, ME

ARCHITECTURE
 WINKELMAN

PROPOSED PLANS - BASEMENT + ROOF

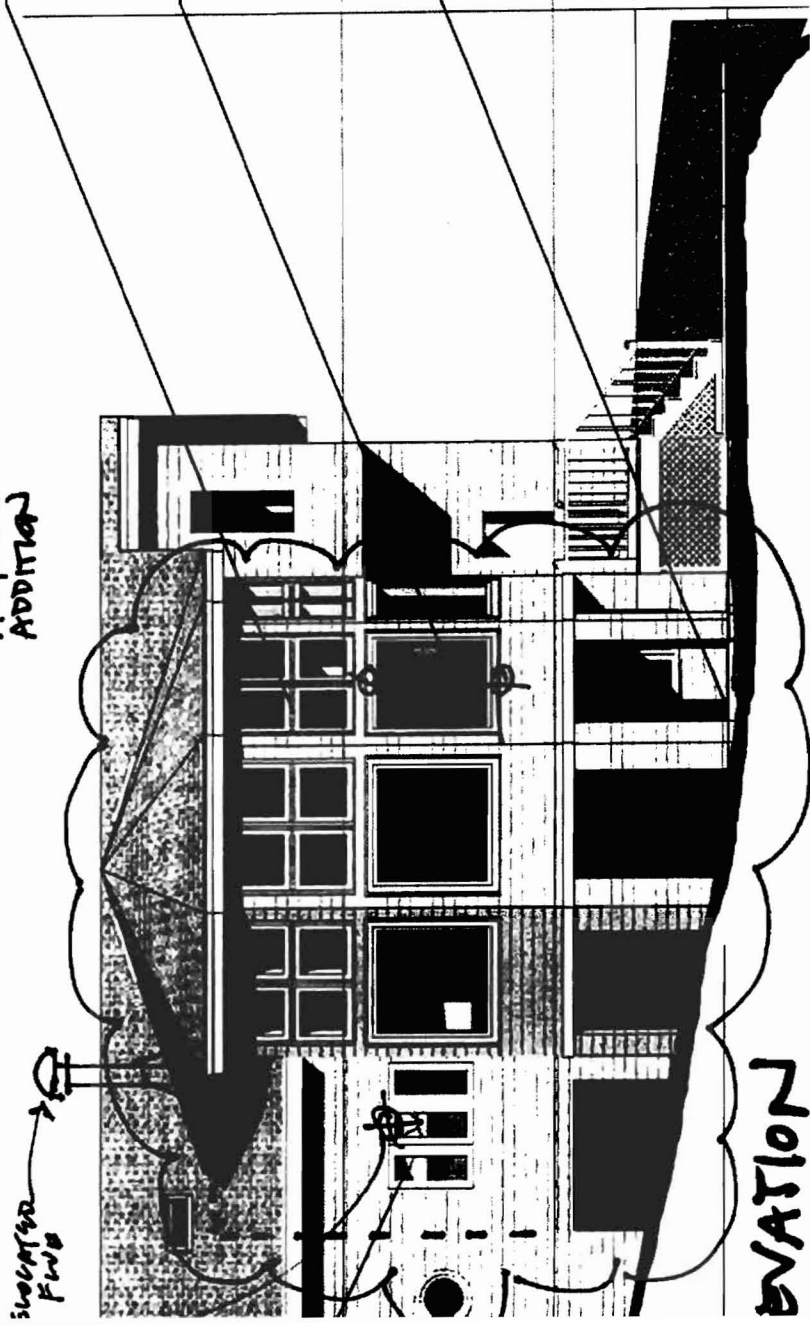
A.2

EXIST ↑

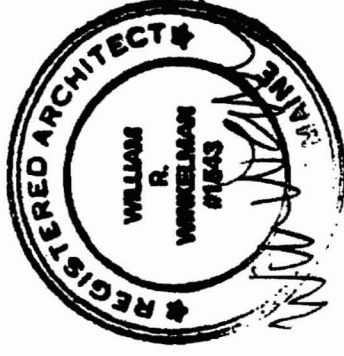


WEST ELEVATION

PROPOSED
ADDITION



ELEVATION



-1'-8 1/4" MID MAIN F.F.

NEW AWNING WINDOWS

(D1) UNIT STYLE: AWNING
MULLING: 4 UNITS
R.O. WIDTH: 30 3/4"
R.O. HEIGHT: 28 3/4"
MAKE/MODEL #: JELD-WEN ECA3028

NEW PICTURE WINDOWS

(C1) UNIT STYLE: PICTURE
MULLING: N/A UNITS
R.O. WIDTH: 66 3/4"
R.O. HEIGHT: 66 3/4"
MAKE/MODEL #: JELD-WEN ECCP6666

8"-10" SECOND LEVEL F.F.

NEW OUTDOOR SEATING AREA

-3'-5 3/8" LOWER MAIN F.F.

-7'-3 1/2" OFFICE F.F.

ARCHITECTURE

WINKELMAN

9-10-08

PROPOSED - NE/NW ELEVATION

A.3

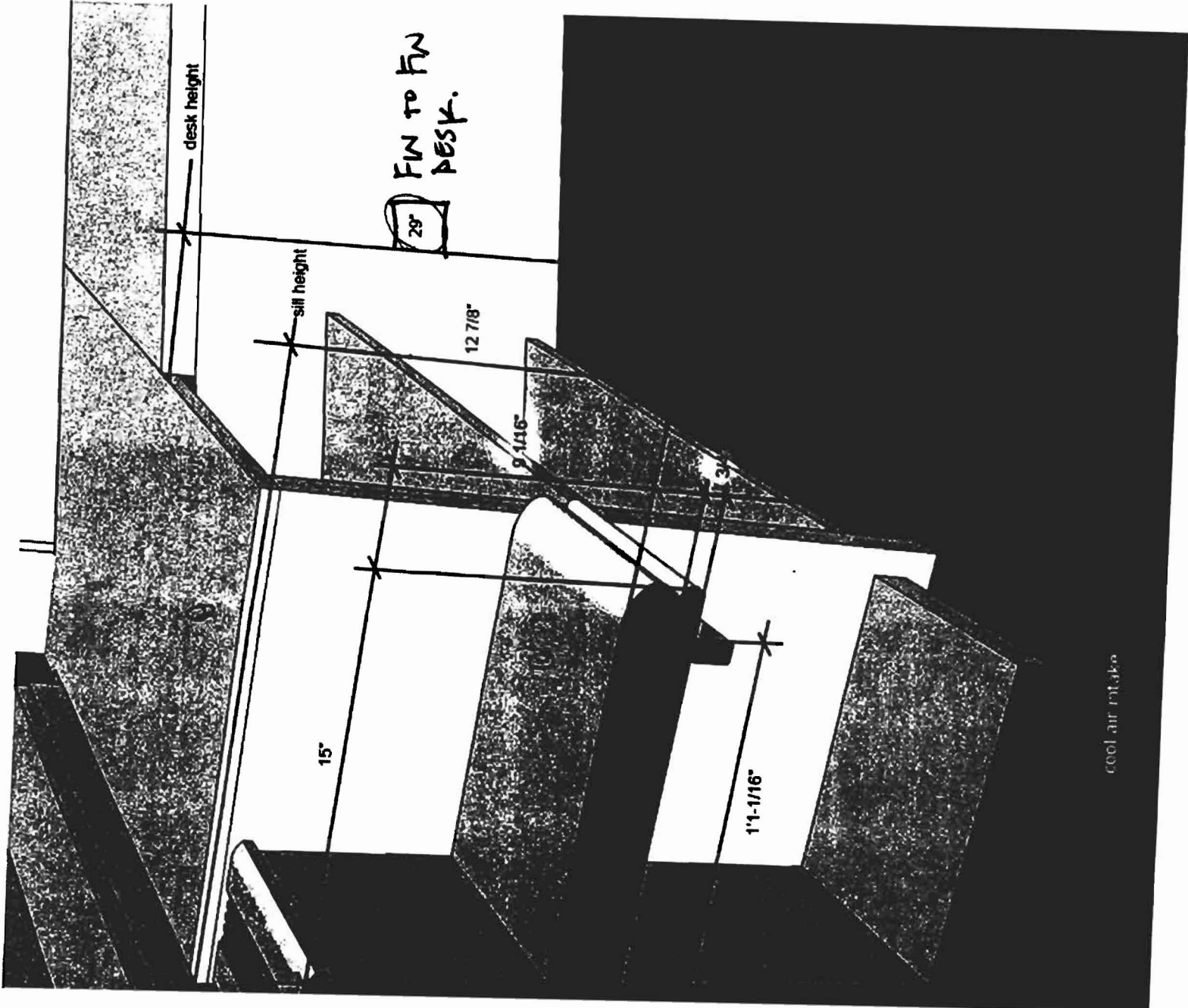
BEBBE RESIDENCE

582 ISLAND AVE, PEEKS ISLAND, ME

SCALE: 1/8" = 1'-0"

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9.18.08

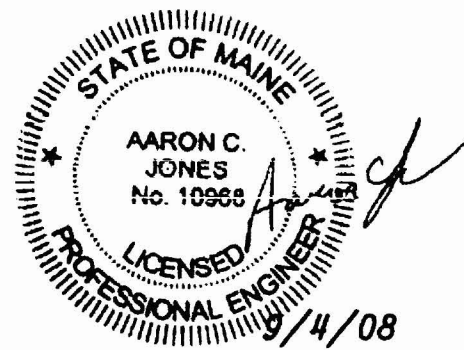


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SI#08-0051



FRAMING NOTES:

- * (N) = number of studs in built-up stud columns below, nail all laminations with 16d at 12" o.c. full height
- * T = Header Trimmer
- * K = King Stud
- * One trimmer and one king stud each side of openings in stud walls U.O.N.
- * Header sizes shown are minimum. Headers may be standardized at largest size at contractor's option. (If not indicated, min. Header is 3 - 2X8 for 2x6 stud walls, or 2-2x8 for 2x4 stud walls)
- * Layout joists to avoid plumbing and other floor penetrations.
- * At main floor columns and at opening jambs wider than 5'-0", install 2 - 1 3/4" x joist depth x 1'-0" Microlam block. See also plans for exceptions.
- * At dropped beams bearing on built-up studs, bear beams on stud end grain. Form a pocket by extending king studs to the wall top plate each side of the beam. At wood beams, nail king studs to beam with minimum 5-16d each side. At steel beams, install 2X6 vertical blocking between beam flanges and nail king studs thereto. At interior columns, brace bottom of beams with 2x diagonals cut to fit tight to beam web at bottom flange. Nail braces to joists.
- * Pre-engineered I-Joists shall be continuous over intermediate bearings as is possible. Block between joists under bearing walls and over interior shear walls. Install web stiffeners per manufacturer.
- * 2x6 nailer plates on all dropped steel beams unless otherwise noted. Attach per general structural notes.
- * All stud bearing walls shall be thickness indicated with studs at 16" o.c. Non-bearing partitions may be light gauge steel studs or dimension lumber at owner's option.
- * See plans and/or General Structural Notes for OSB sheathing nailing. STAPLES SHALL NOT BE USED TO ATTACH OSB SHEATHING. ALL EDGES SHALL BE BLOCKED AND NAILED BETWEEN STUDS.

STRUCTURAL ERECTION AND BRACING REQUIREMENTS

- * The structural drawings illustrate the completed structure with all elements in their final positions, properly supported and braced. The contractor, in the proper sequence, shall provide proper shoring and bracing as may be required to achieve the final completed structure.
- * These plans have been engineered for construction at one specific building site. Builder assumes ALL responsibility for use of these plans at Any Other building site. Plans shall not be used for construction at any other building site without specific review by the engineer.
- * Observations of foundation reinforcing or framing required by the owner, lender, insurer, building department or any other party will be accomplished by the engineer at the owner's expense. At least 24 hours advance notice is requested.
- * All slabs on grade shall be separated from adjacent structural and finish elements to allow free movement of the slab, unless specifically shown and noted otherwise.

not allow aluminum to contact treated wood.

Top and Bottom Plates: SPF

Studs U.O.N: 2 x 4 and 2 x 6 to 8'-0": stud grade
2 x 4 over 8'-0": standard and better
2 x 6 over 8'-0": No. 2 and better

Joists: SPF No. 2 and better, See Plan

Trusses: See Plan

Columns: Douglas Fir No. 1, Fb=1350 psi, E=1,600,000 psi

Beams: Douglas Fir No. 1, Fb=1200 psi, E=1,600,000 psi

Laminated Veneer Lumber (LVL): Manufactured 1 3/4" wide Microlams (ML) by Trus Joist or equivalent.

Fb=2,600 psi, E=1,900,000 psi, Fv=285 psi, depth noted on plans.

Rim Joists = 1-1/4" x depth indicated laminated strand lumber by Trus Joist. No substitutions.

Plywood and oriented strand board (OSB) sheathing shall be engineered grades with APA grade stamp indicating appropriate maximum spacing of supports.

Floor sheathing: nominal 3/4", APA Sturd-i-floor @ 24 inch o.c. tongue & groove glued and nailed.

Roof sheathing: minimum 1/2" CDX plywood, or 15/32" OSB, APA 32/16, nailed.

Wall sheathing: 1/2" CDX plywood or 7/16" OSB, APA 24/16, blocked and nailed.

Interior wall sheathing with 8d commons at 6" o.c. at panel edges, and 12" o.c. intermediate framing U.N.O.

CHECK AND NAIL ALL EDGES BETWEEN STUDS. Sheathing shall be continuous from bottom edge to top plate. Cur in "L" and "T" shapes around openings. Lap sheathing over rim joists min. 4" at all joints to tie upper and lower stud walls together. Minimum height of sheathing panels shall be 16" to insure that plates are tied to studs. Use minimum 3-8d per stud and nail plates with edge nail spacing. Nail plates at all perimeter walls and at designated shear walls shall be nailed as for braced panels with 3 16d 1 1/2" long box nails (coated or deformed shank) per 16". 12d nails are not acceptable.

SEAL ALL EXTERIOR WALLS. SHEATH INTERIOR WALLS AS SHOWN ON THE DRAWINGS.

Minimum nailing shall comply with IBC Table 2304.9.1 except where more or larger nailing shown on drawings.

Roof rafters, joists, trusses, beams shall be anchored to supports with metal framing anchors.

Double joists under partitions where joists are parallel to partitions.

Provide continuous wall studs each side of wall openings equal to one half or greater of number of studs interrupted by openings.

Wall studs shall be continuous from floor to floor or from floor to roof.

Diagonal bracing bridge all dimension lumber roof and floor joists at midspan and provide solid blocking or rim joists at joist supports and joist ends. See prefabricated I-joist recommendations for blocking.

Prefabricated plywood Web I-type joists shall be installed per the manufacturer's recommendations.

Do not cut or notch chords in any manner. Holes in webs shall not exceed manufacturer's published limits.

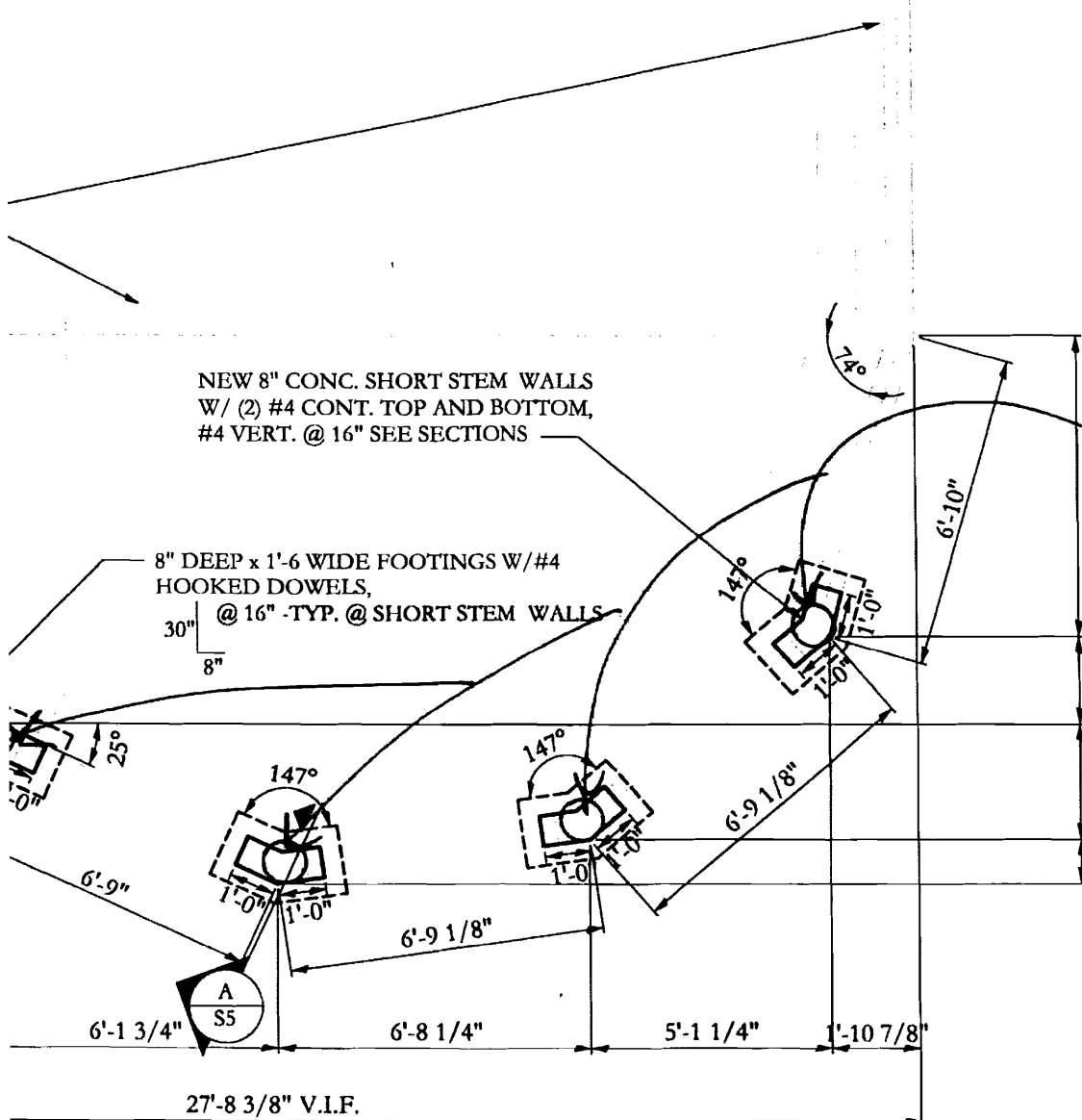
Use metal connectors: Simpson Strong Tie unless otherwise noted, installed with number and type of nails to achieve maximum rated capacity. Note that heavy duty and skewed hangers may require special order.

Beams shall be braced against rotation at points of bearing.

Pack grout all beam pockets full after beams are set.

Unless otherwise indicated, install two lengths of solid blocking x joist depth x 12 inches long in floor joist raftering under column loads. Columns must have a continuous load path to foundation.

Drill holes for lag bolts shall be 60% to 70% of lag shank diameter in compliance with AITC criteria.

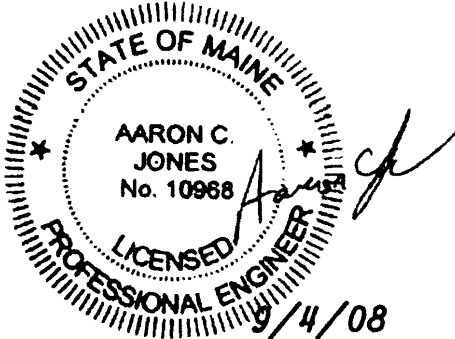


NEW 8" CONC. SHORT STEM WALLS
W/ (2) #4 CONT. TOP AND BOTTOM,
#4 VERT. @ 16" SEE SECTIONS

8" DEEP x 1'-6" WIDE FOOTINGS W/#4
HOOKED DOWELS,
30" @ 16" -TYP. @ SHORT STEM WALLS

ALT PIERS:
12" ϕ SONOTUBE
W/ 2 #4 VERT BAR,
TO 24" X 24" X 10" TH
MONOLITHIC FOOTING
W/ VERT REBAR BENT,
+ (HOOKED)
(2) #4 EA W/

NOTE: ALL DIMENSIONS ARE BASED ON ARCH.
BACKGROUNDS. DIMENSIONS SHOULD BE
COORDINATED W/ LATEST ARCH. DRAWINGS



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WINKELMAN ARCHITECTURE

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8
4
2
0 1 2 4 8

SCALE: 1/4" = 1'-0"
DATE: 9/4/08

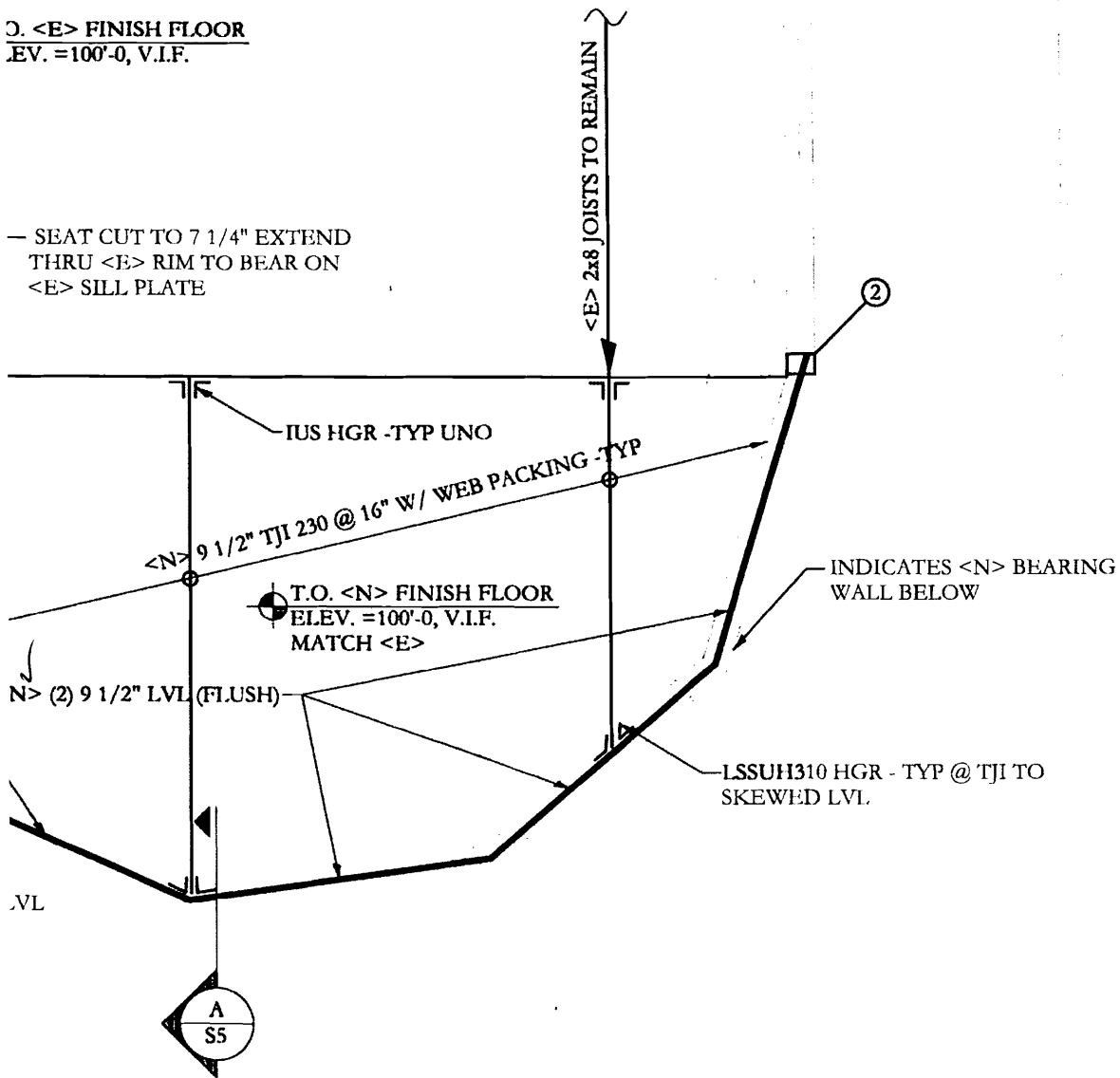
FOUNDATION PLAN

BEEBE RESIDENCE
Peaks Island, ME

S1

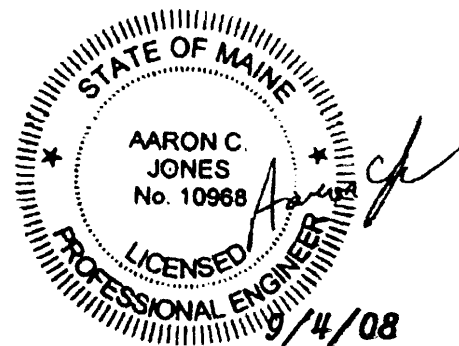
C. <E> FINISH FLOOR
ELEV. = 100'-0, V.I.F.

— SEAT CUT TO 7 1/4" EXTEND
THRU <E> RIM TO BEAR ON
<E> SILL PLATE



FRAMING PLAN SYMBOLS KEY

□	WOOD POST
(X)	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
←	TRUSS OR JOIST BEARING
⌋	FLUSH FRAMED JOIST BEARING WITH HANGER
▨	INDICATES OVER FRAMING, SEE PLAN
▨	WOOD STUD BEARING WALL BELOW
▨	SHEAR WALL
"X" T	NUMBER OF TRIM STUDS UNDER HEADER
"X" K	NUMBER OF KING STUDS ADJACENT TO HEADER
<E>	EXISTING
<N>	NEW



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MAIN LEVEL FRAMING PLAN

WINKELMAN ARCHITECTURE

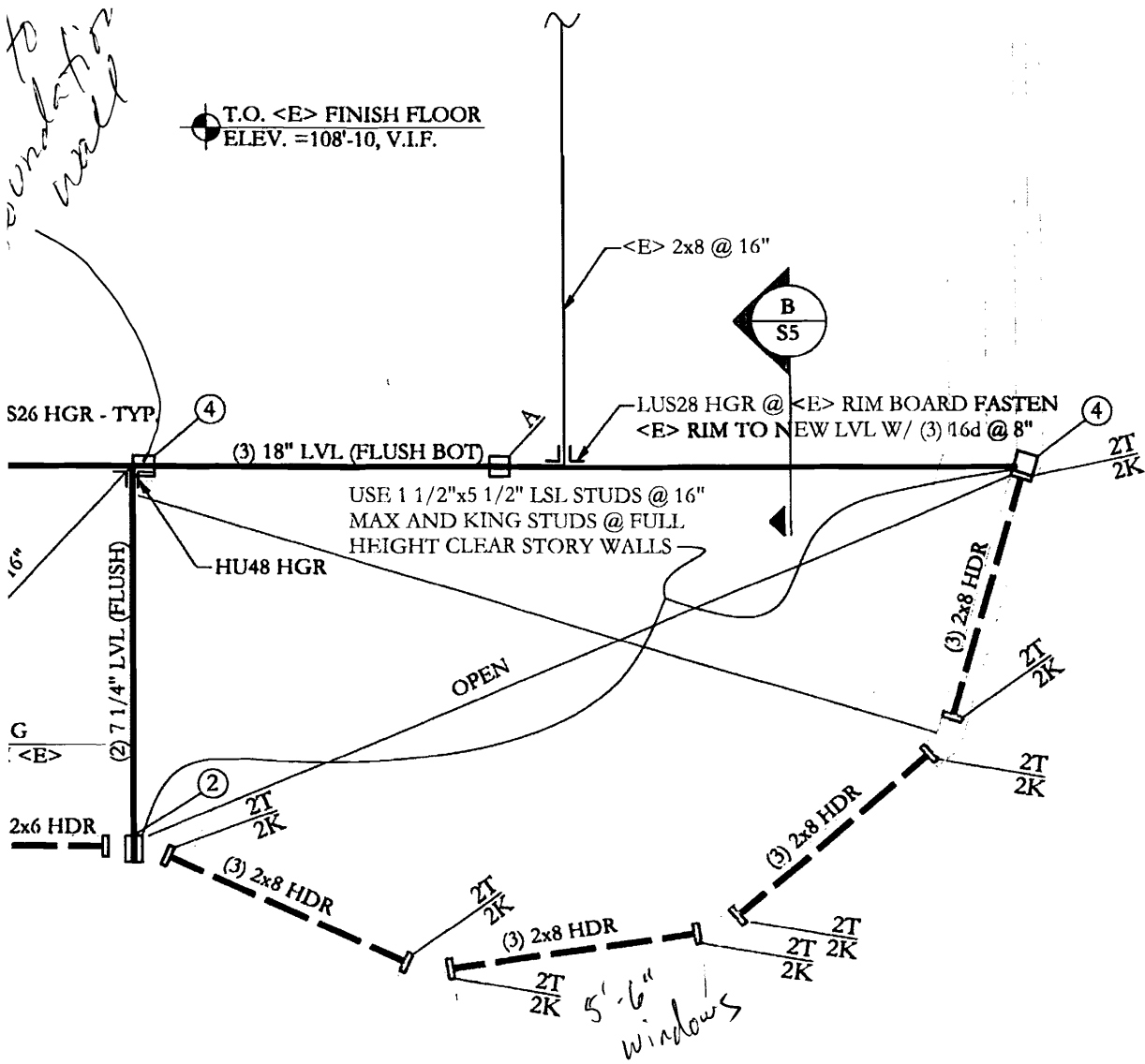
0 1 2 4 8

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SCALE: 1/4" = 1'-0"
DATE: 9/4/08

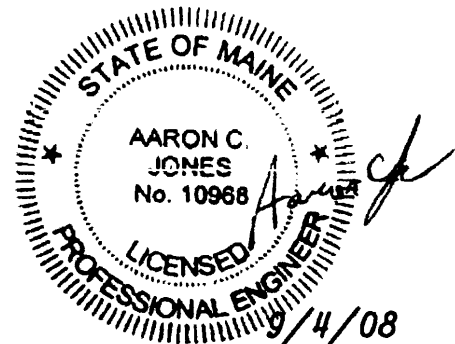
BEEBE RESIDENCE
Peaks Island, ME

S2



FRAMING PLAN SYMBOLS KEY

□	WOOD POST
(X)	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
←	TRUSS OR JOIST BEARING
┌	FLUSH FRAMED JOIST BEARING WITH HANGER
▨	INDICATES OVER FRAMING, SEE PLAN
▩	WOOD STUD BEARING WALL BELOW
▧	SHEAR WALL
"X" T	NUMBER OF TRIM STUDS UNDER HEADER
"X" K	NUMBER OF KING STUDS ADJACENT TO HEADER
<E>	EXISTING
<N>	NEW



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SI#08-0051

UPPER LEVEL FRAMING PLAN

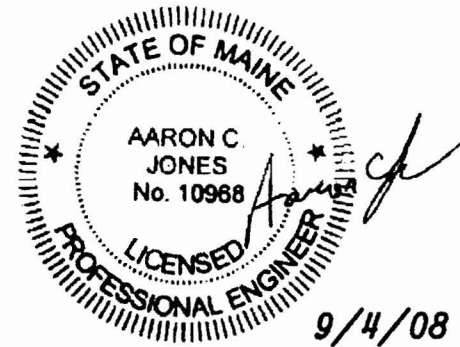
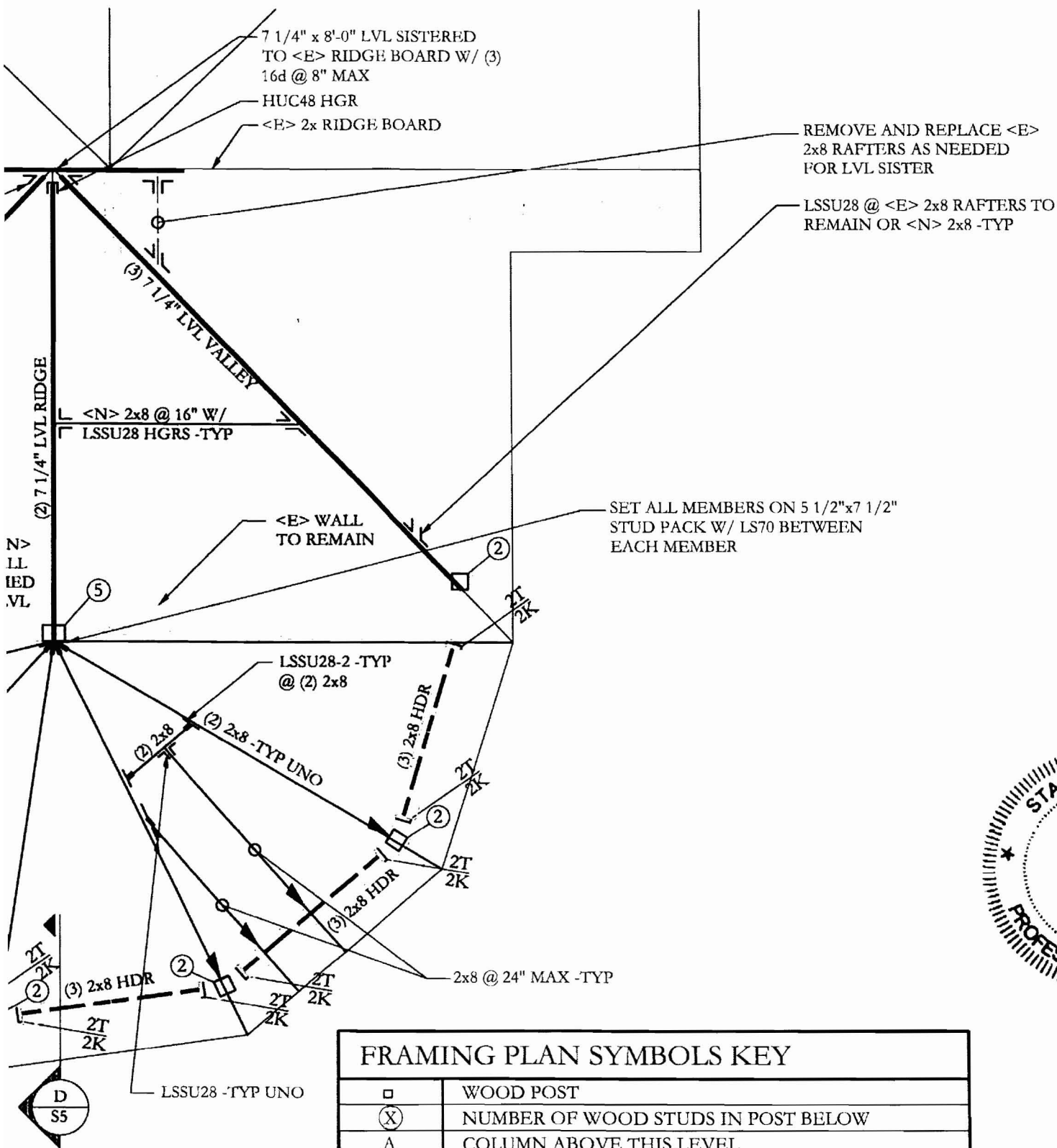
WINKELMAN ARCHITECTURE

BEEBE RESIDENCE
Peaks Island, ME

SCALE: 1/4" = 1'-0"
DATE: 9/4/08

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998

S3



FRAMING PLAN SYMBOLS KEY

□	WOOD POST
(X)	NUMBER OF WOOD STUDS IN POST BELOW
A	COLUMN ABOVE THIS LEVEL
C	COLUMN CONTINUOUS THROUGH THIS LEVEL
←	TRUSS OR JOIST BEARING
┌	FLUSH FRAMED JOIST BEARING WITH HANGER
▨	INDICATES OVER FRAMING, SEE PLAN
▨	WOOD STUD BEARING WALL BELOW
▨	SHEAR WALL
"X" T	NUMBER OF TRIM STUDS UNDER HEADER
"X" K	NUMBER OF KING STUDS ADJACENT TO HEADER
<E>	EXISTING
<N>	NEW

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ROOF FRAMING PLAN

WINKELMAN ARCHITECTURE

BEEBE RESIDENCE
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SCALE: 1/4" = 1'-0"
DATE: 9/4/08

S4

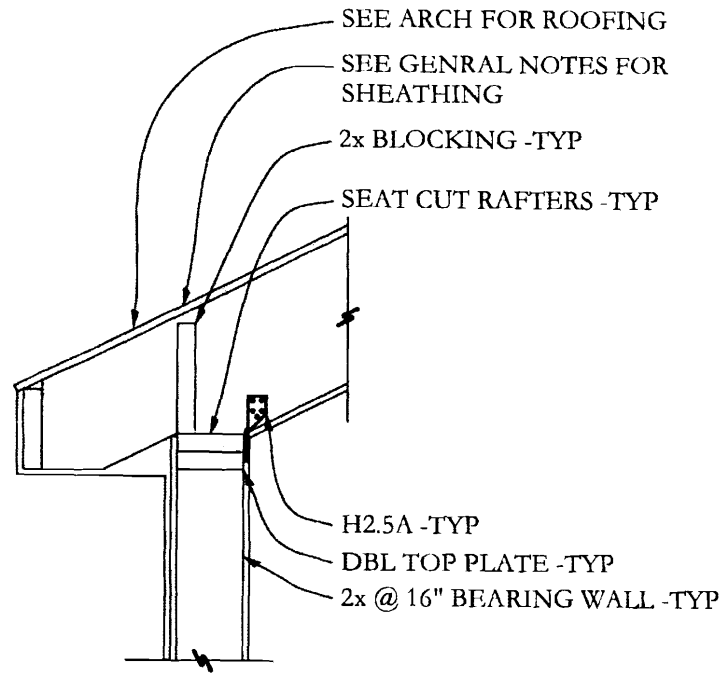
<E> 2x4 WALL

<E> 2x8 TO REMAIN

CUT <E> RIM AS NEEDED

3" MIN BEARING ON <E> PLATE

<E> CMU FND WALL



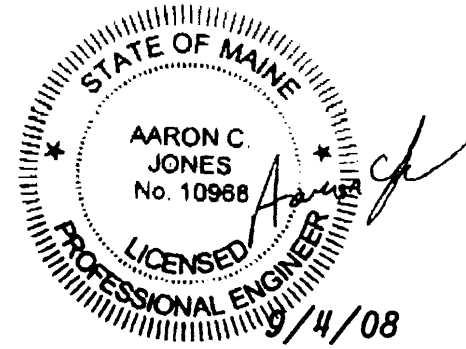
SECTION



3/4"=1'-0

1'-0

00'-0",
MATCH EXISTING

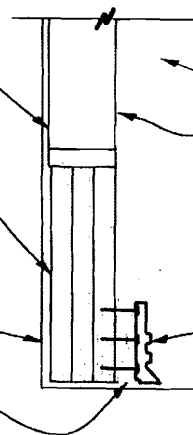


<N> 2x6 @ 16" B.W.

<N> (3) 18" LVL, FLUSH BOTTOM
W/ <E> FRAMING

SEE ARCH FOR FINISHES -TYP

FASTEN <E> 2x8 RIM TO <N>
LVL BEAM W/(3) 16d @ 8" - TYP.



SECTION



3/4"=1'-0

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SECTIONS

WINKELMAN ARCHITECTURE

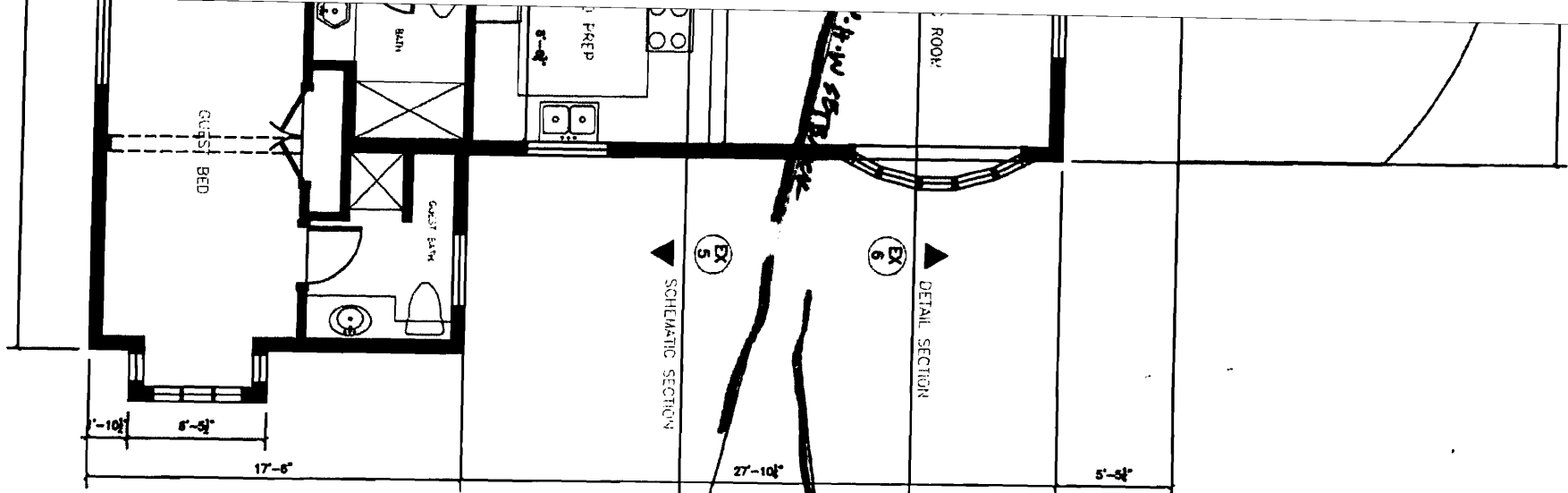
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BEEBE RESIDENCE
Peaks Island, ME

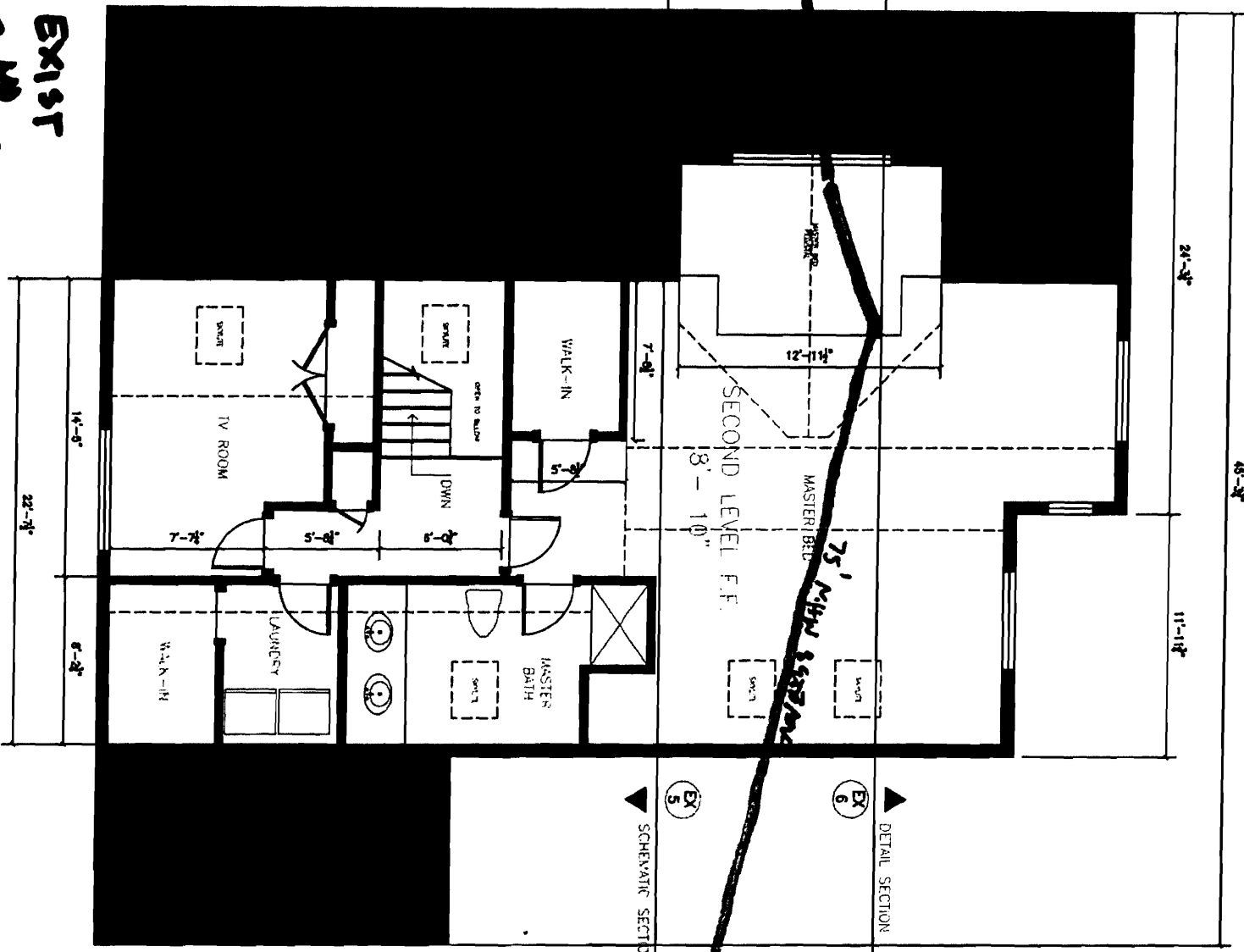
SCALE: 1/4" = 1'-0"
DATE: 9/4/08

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S5



LEVEL ONE



EXIST
2ND FLOOR

AS-BUILTS

LEVEL TWO

EX 1

EXISTING PLANS - LEVELS 1 + 2

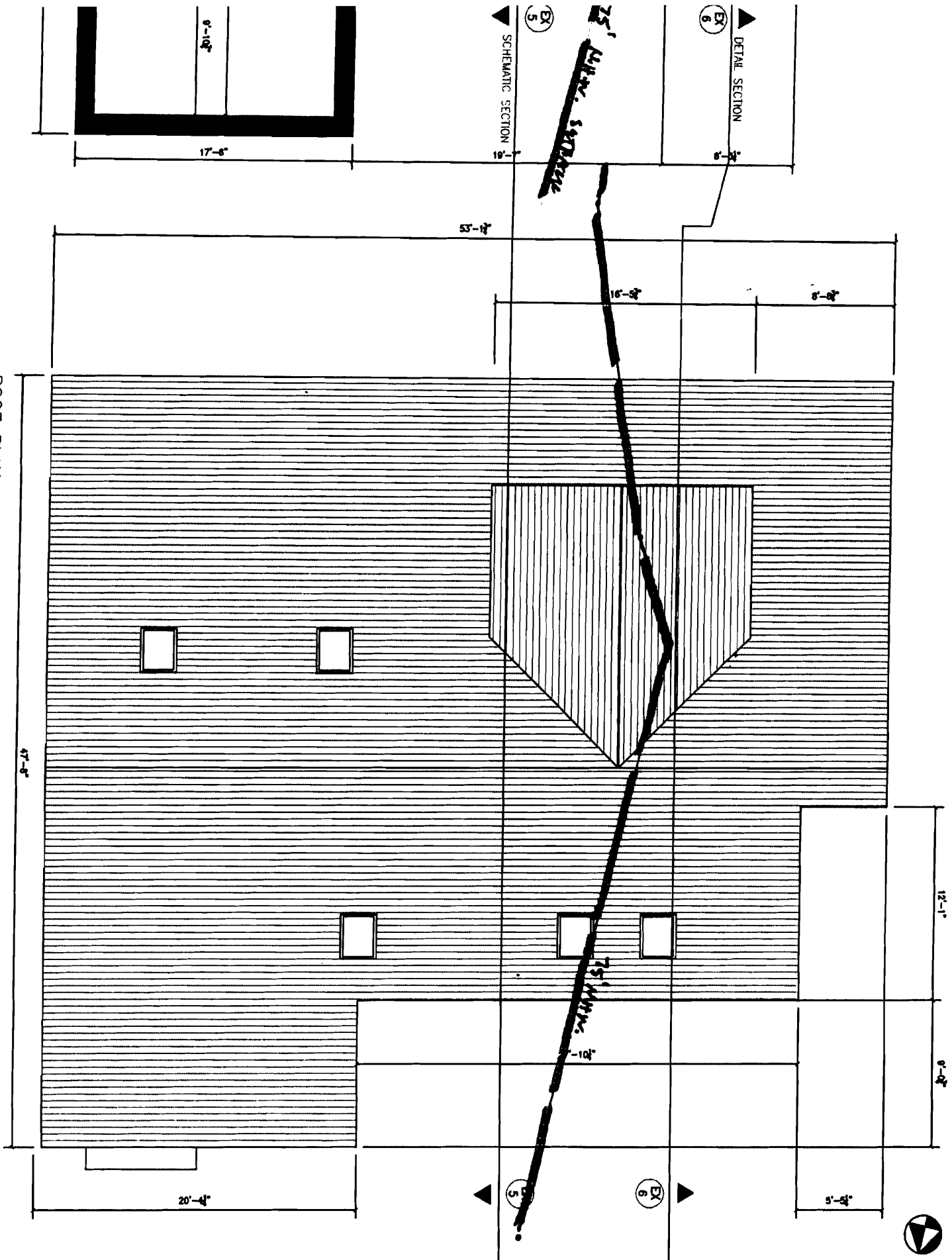
0 1 2 4 8 16

WINKELMAN ARCHITECTURE

BEEBE RESIDENCE
582 ISLAND AVE., PEEKS ISLAND, ME

SCALE: 1/8" = 1'-0"
DATE: 9.10.08

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ROOF PLAN
EXIST ROOF

AS-BUILTS

EX
2

EXISTING PLANS - ROOF AND BASEMENT

0 1 2 4 8 16

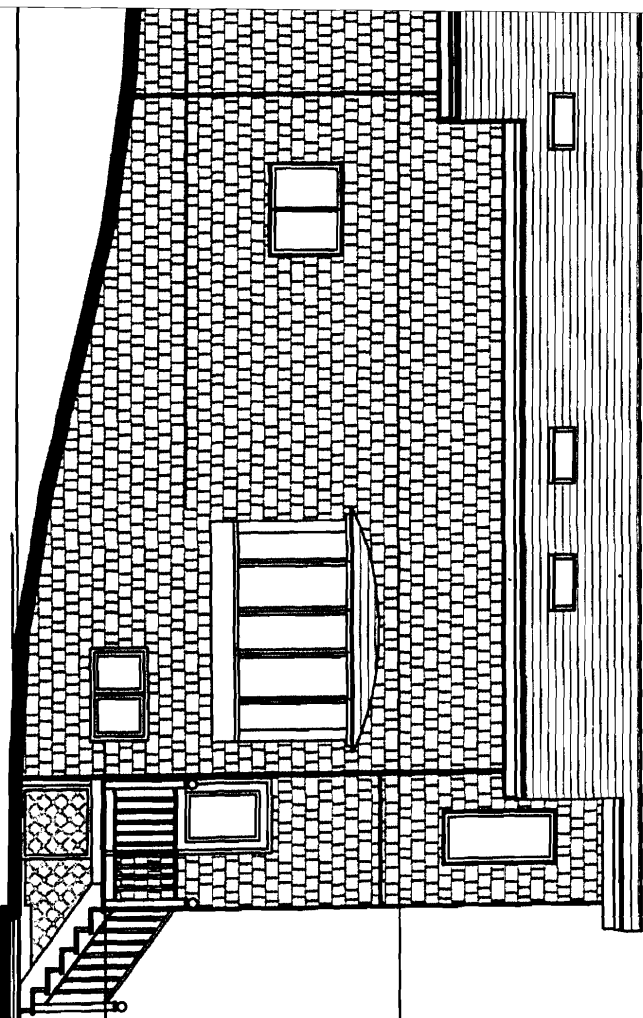
WINKELMAN ARCHITECTURE

BEEBE RESIDENCE
582 ISLAND AVE, PEEKS ISLAND, ME

SCALE: 1/8" = 1'-0"
DATE: 9.10.08

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AS-BUILTS
NE ELEVATION



8'-7"-3 1/2" OFFICE F.F.

8'-3"-5 3/8" LOWER MAIN F.F.

8'-10" SECOND LEVEL F.F.

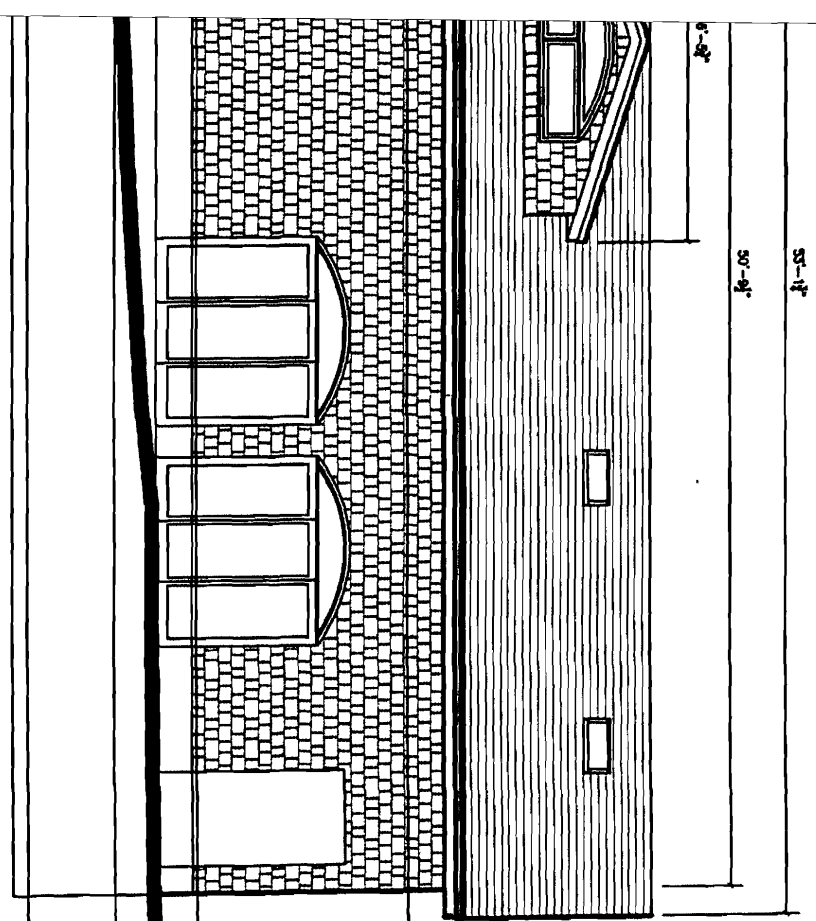
SW ELEVATION

8'-7"-1" BASEMENT LEVEL F.F.

8'-1"-8 1/4" MID MAIN F.F.

8'-0" MAIN F.F.

8'-10" SECOND LEVEL F.F.



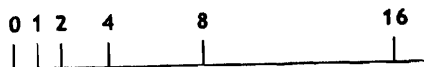
5'-0"

5'-11"

EX
3

EXISTING ELEVATIONS - NE + SW

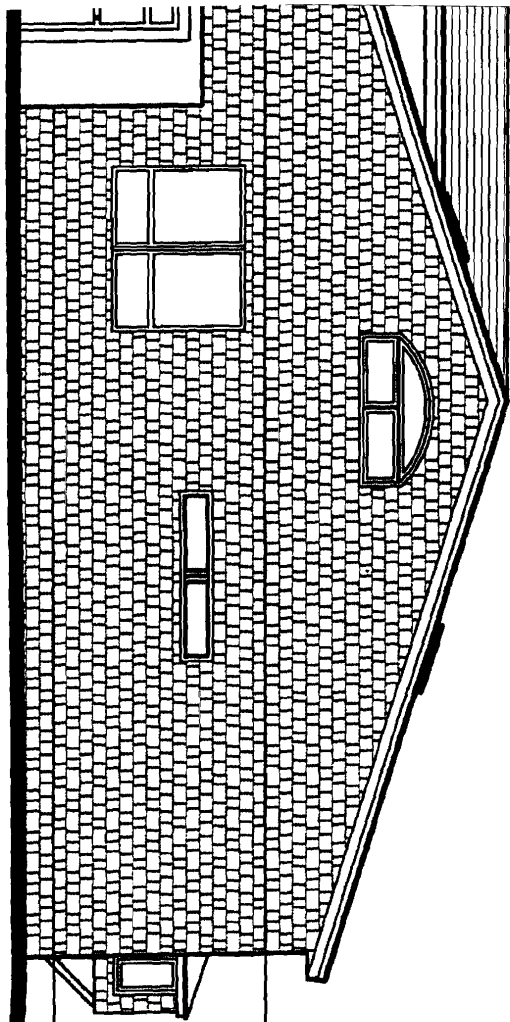
BEEBE RESIDENCE
582 ISLAND AVE, PEEKS ISLAND, ME



SCALE: 1/8" = 1'-0"
DATE: 9.10.08

WINKELMAN ARCHITECTURE

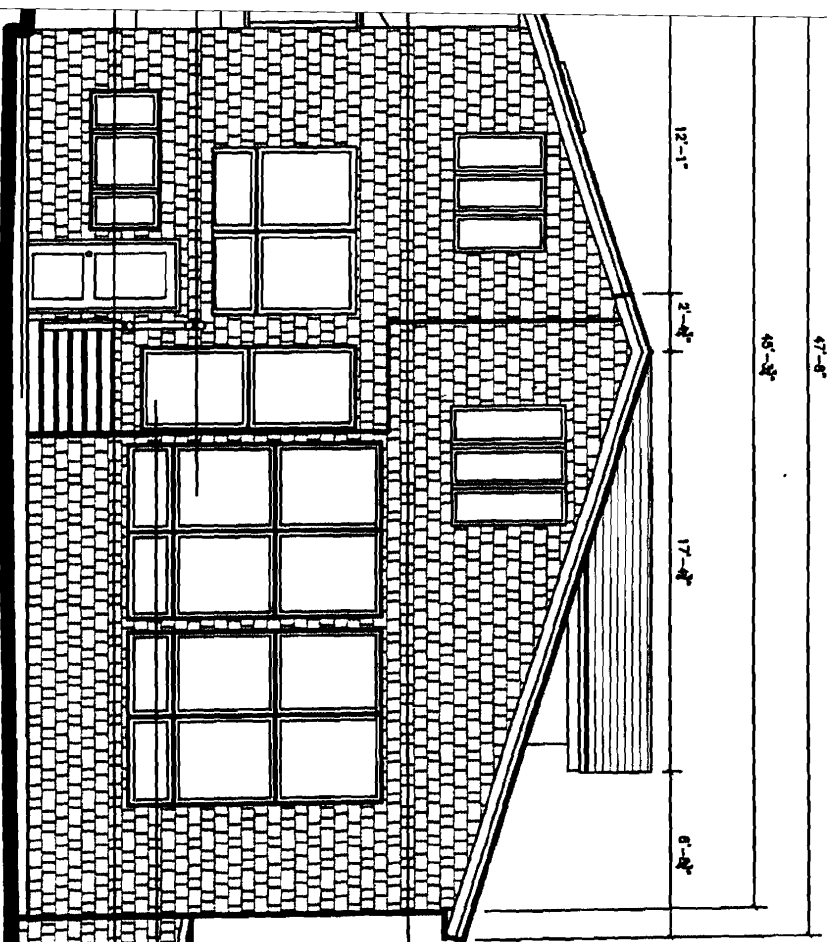
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-7'-1" BASEMENT LEVEL F.F.

0'-0" MAIN F.F.

8'-10" SECOND LEVEL F.F.



-1'-8 1/4" MID MAIN F.F.

NW ELEVATION

SE ELEVATION
AS-BOLVERS

EX
4

EXISTING ELEVATIONS - SE + NW

BEEBE RESIDENCE
582 ISLAND AVE, PEEKS ISLAND, ME

0 1 2 4 8 16

SCALE: 1/8" = 1'-0"
DATE: 9.10.08

WINKELMAN ARCHITECTURE

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AS-BUILTS

8'-10" SECOND LEVEL F.F.

0'-0" MAIN F.F.

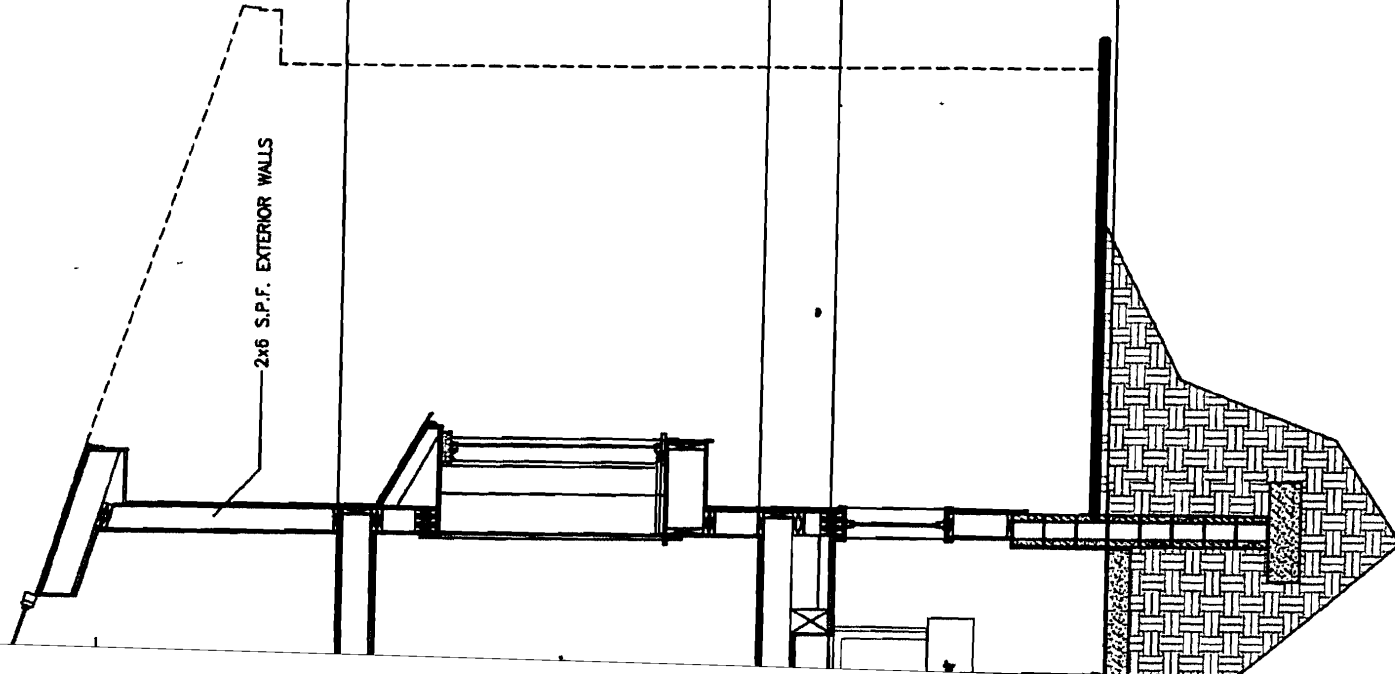
-1'-6" GRADE @ H.P.

-7'-0" GRADE @ L.P.

-7'-3 1/2" OFFICE F.F.

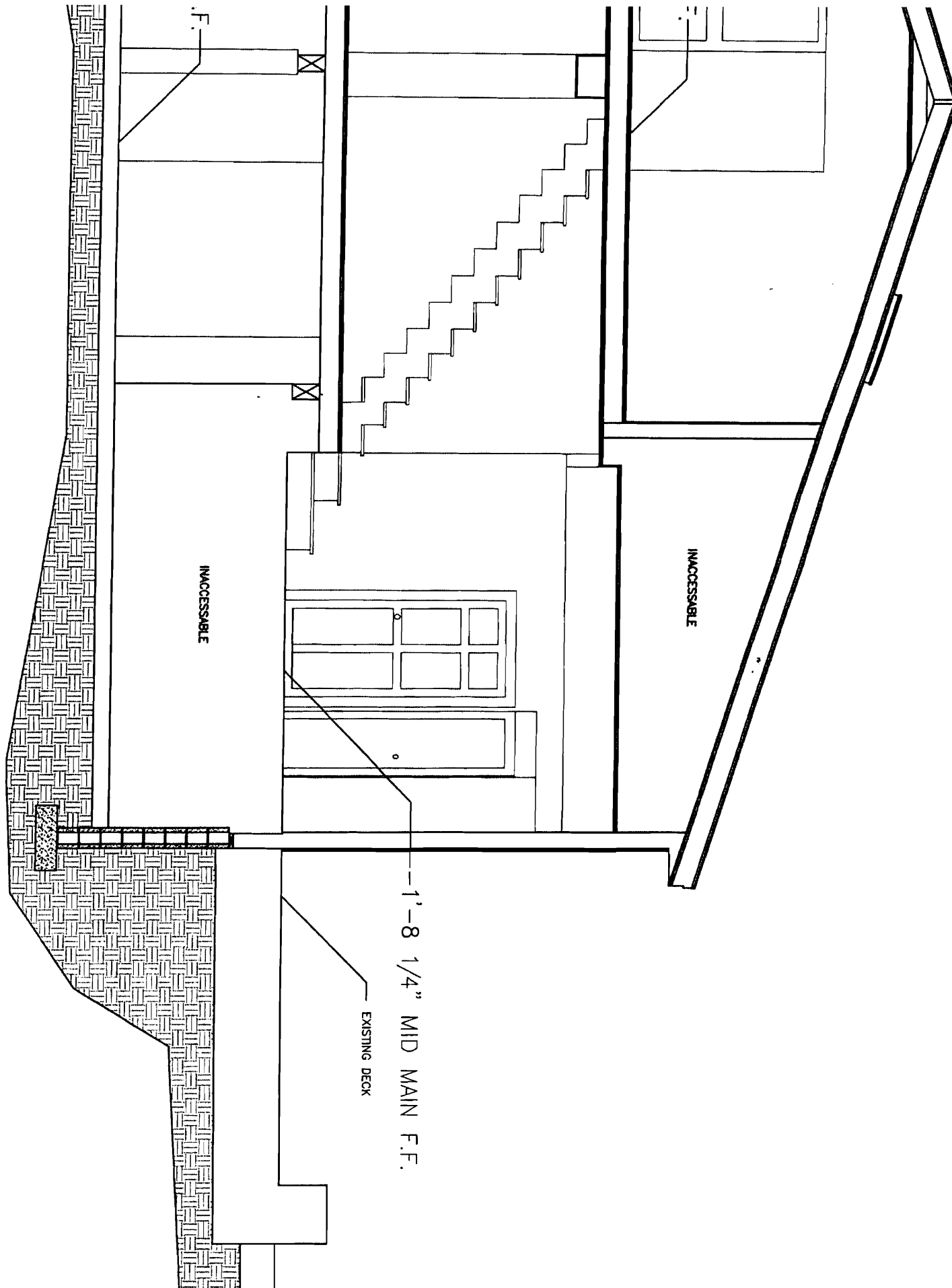
NOTE: SECTION SHIFTS AT
BASEMENT LEVEL TO INCLUDE
WINDOW DETAIL

DETAIL SECTION



AS-BUILTS

SCHEMATIC SECTION



EX
5

EXISTING SECTION - SCHEMATIC

BEEBE RESIDENCE
582 ISLAND AVE, PEEKS ISLAND, ME

0 1 2 4 8

SCALE: 1/4" = 1'-0"
DATE: 9. 23

WINKELMAN ARCHITECTURE

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