

facsimile transmittal

To: Ric Weinschenk From: Mike Nugent
Fax: 766-2999 Date: August 20, 2002
Phone: 766-2900 Pages: 1
Re: 548 Island Ave. (092 A001) CC:

Urgent For Review Please Comment Please Reply Please Recycle

A preliminary review of the above project revealed the following deficiencies :

- 1) The HHE 200 form provided by Albert Frick is unacceptable, as the variances sought have been denied. Also it appears on the site plan that the structure is too close to the leach field.
- 2) The plans lack adequate structural details to establish Code compliance. Attached is a copy of the checklist used for review.
- 3) Prior to the issuance of the demo permit , an inspection must occur with a CEO, Jay Reynolds and representative from your surveying company to establish existing grade for the purpose of documenting Building Height, which will be verified by you surveyor when the roof framing is in place.



CITY OF PORTLAND, MAINE
Department of Building Inspection

Certificate of Occupancy

LOCATION 548 Island Ave

CBL 092 A001001

Issued to Stevenson Monica L /Weinschenk, Ric Builders

Date of Issue 11/17/2003

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 02-0820, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family Dwelling (R3 Use)
Type 5B Construction

Limiting Conditions:

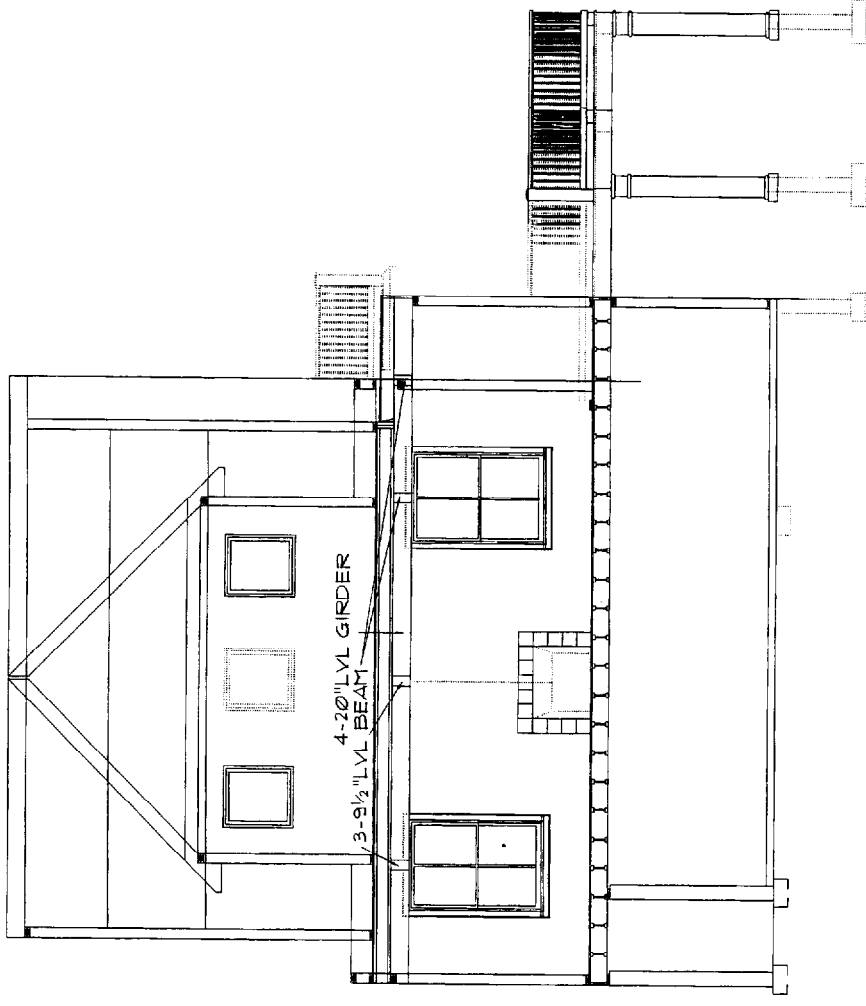
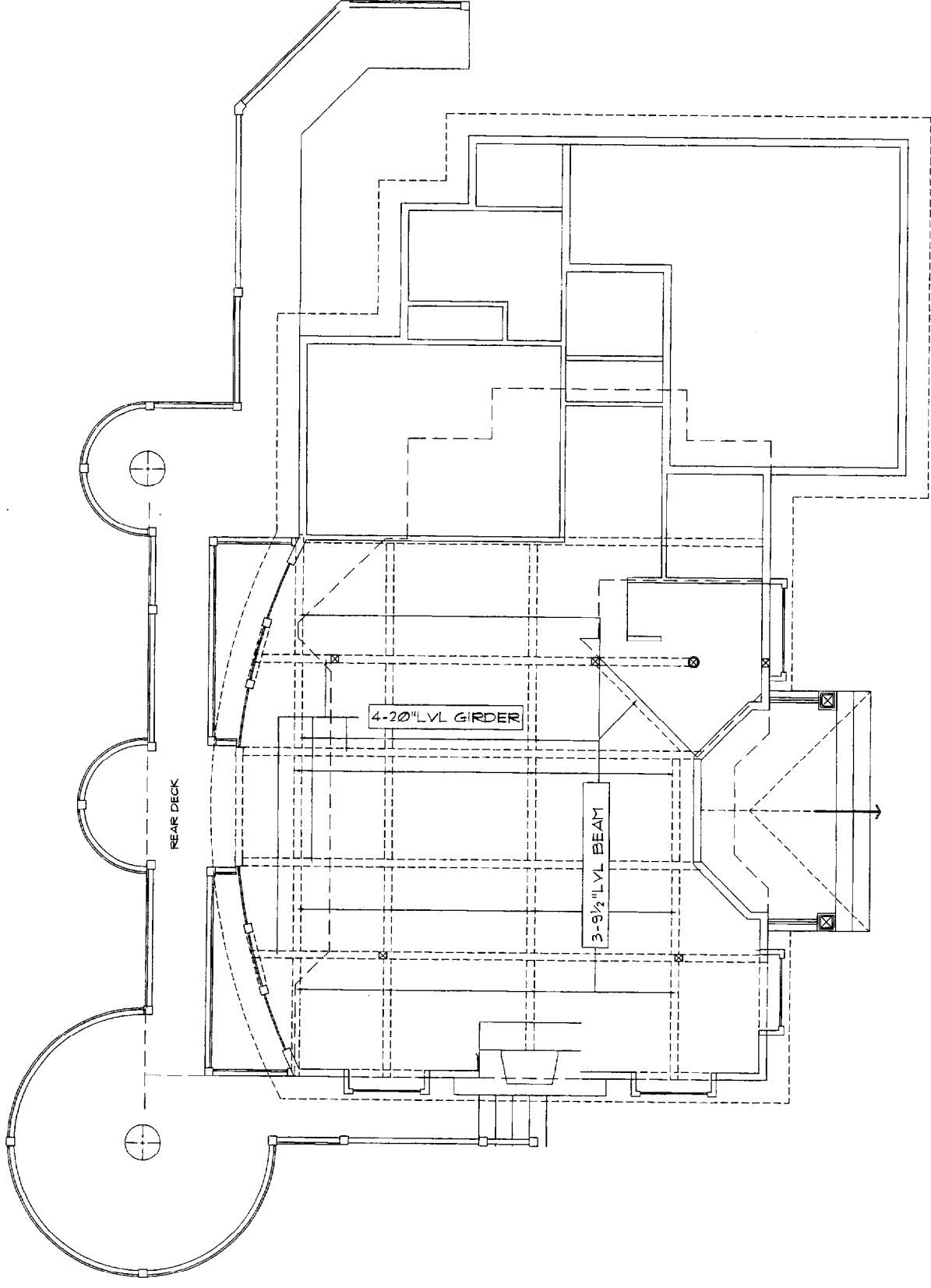
This certificate supersedes
certificate issued

Approved:

11/17/03
(Date)

Inspector

Inspector of Buildings



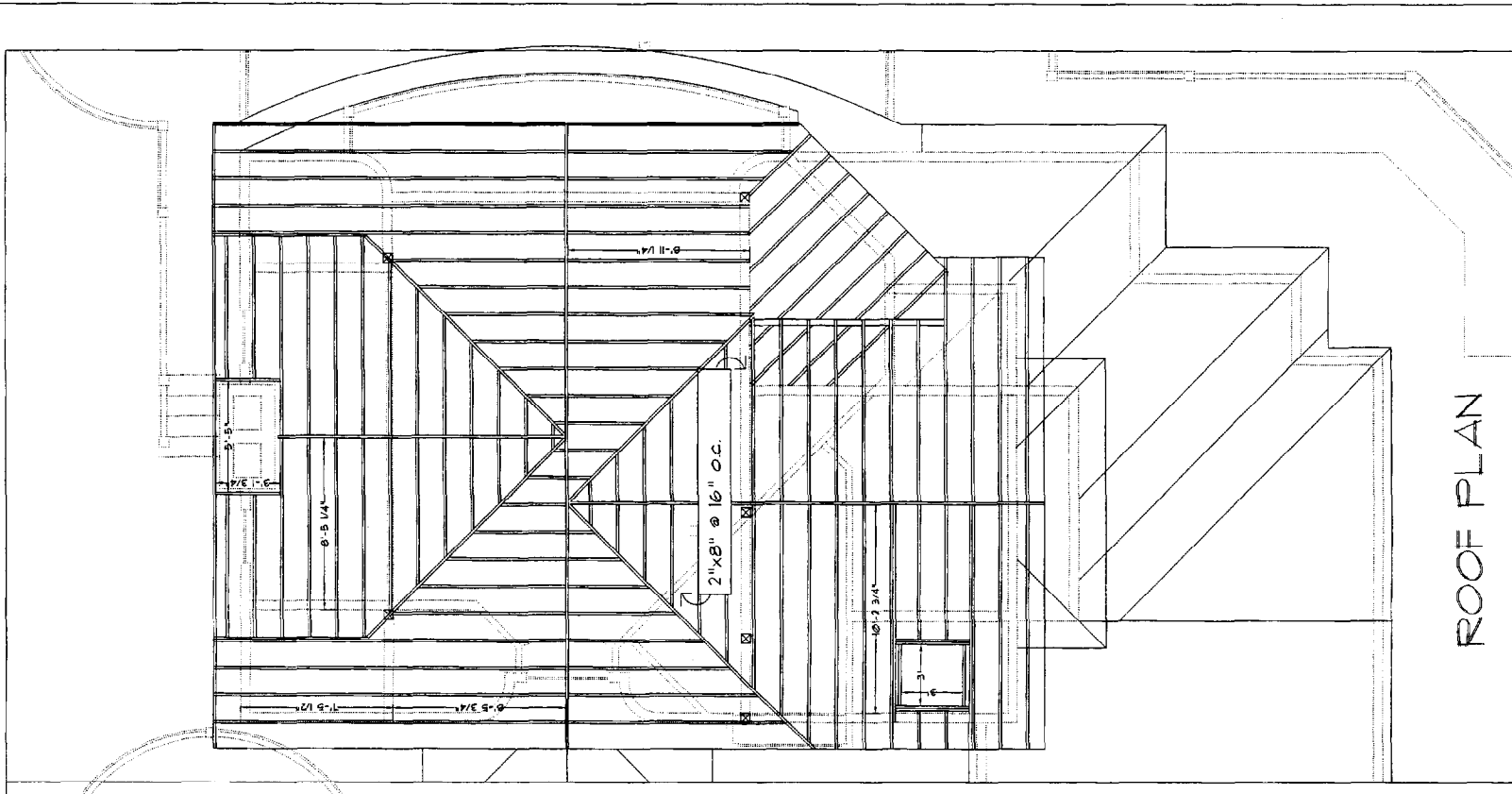
MAINE FLOOR CEILING BEAM PLAN

PROPOSED COTTAGE for the MONICA L. STEVENSON LAND	
548 ISLAND AVENUE PEAKS ISLAND 41022002	The Cottage Design Company, LLC 33 ISLAND AVENUE PEAKS ISLAND, MAINE 04108 (800) 322-6149
DATE 1/4" = 1' FOOT	© Cottage Design Co. 1999. All rights reserved in United States of America
SCALE ROOF PLAN GENERAL	These plans have been prepared to meet top professional standards and practices. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.

GENERAL NOTES AND DISCLAIMERS: These drawings have been prepared to meet generally accepted professional standards. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time before sketch construction. The contractor is responsible for all dimensions and details. It is also suggested that a local architect and/or engineer be retained to review and make any changes to these drawings. All applicable construction shall conform to the latest editions of either: "Uniform Building Code," or any other local, regional code. Verify topographic and subsurface conditions, and adapt foundation plans accordingly.

Codes govern over drawings
Dimensions govern over scale.
Verify all mechanical requirements, before framing.
Verify topographic and subsurface conditions, and adapt foundation plans accordingly.

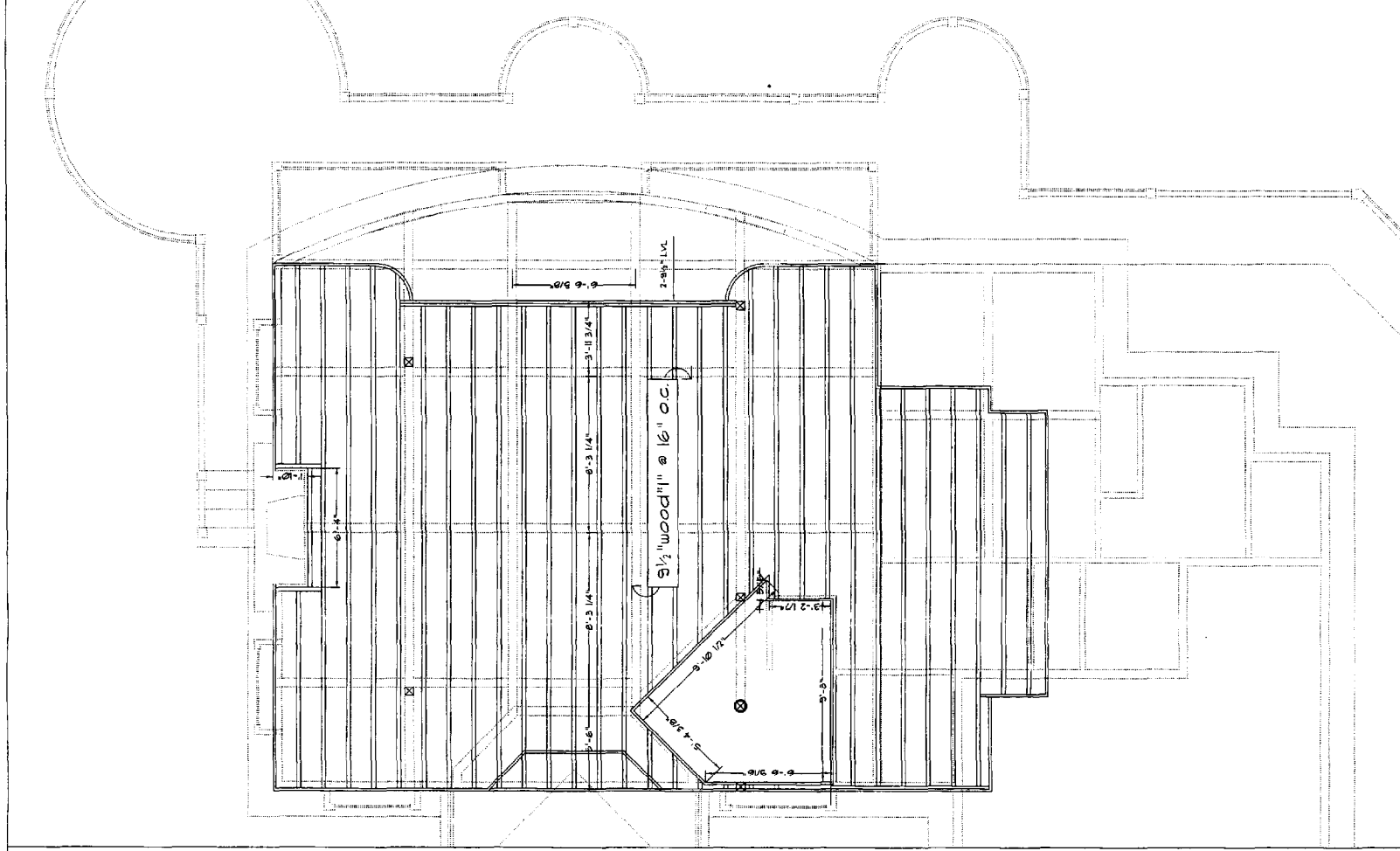
Roof Loads = 42 psf / sq
Floor Loads = 40 psf / sq, all other
Floor Loads = 30 psf / sq, for bedrooms



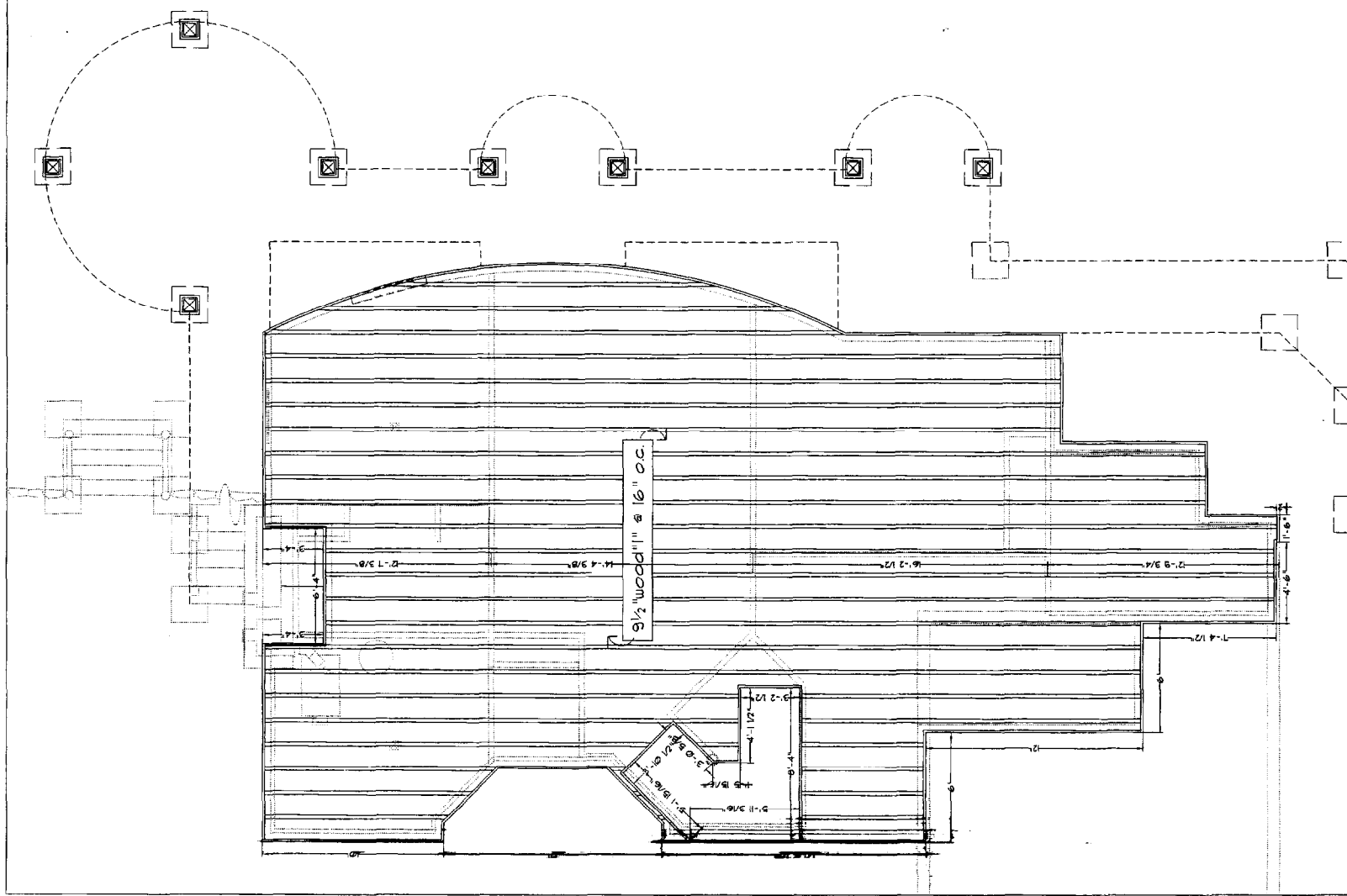
ROOF PLAN

PROPOSED COTTAGE for the MONICA L. STEVENSON LAND	
546 ISLAND AVENUE PEAKS ISLAND 4202002	The Cottage Design Company LLC 33 ISLAND AVENUE, PEAKS ISLAND, MAINE 0409 (800) 322-6149
DATE	1/4" = 1' FOOT
SCALE	FRAME PLAN
	SHEET

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 These plans have been prepared to meet top professional standards and practices. However, local variations may require changes. I, the undersigned, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.
 Do not reproduce

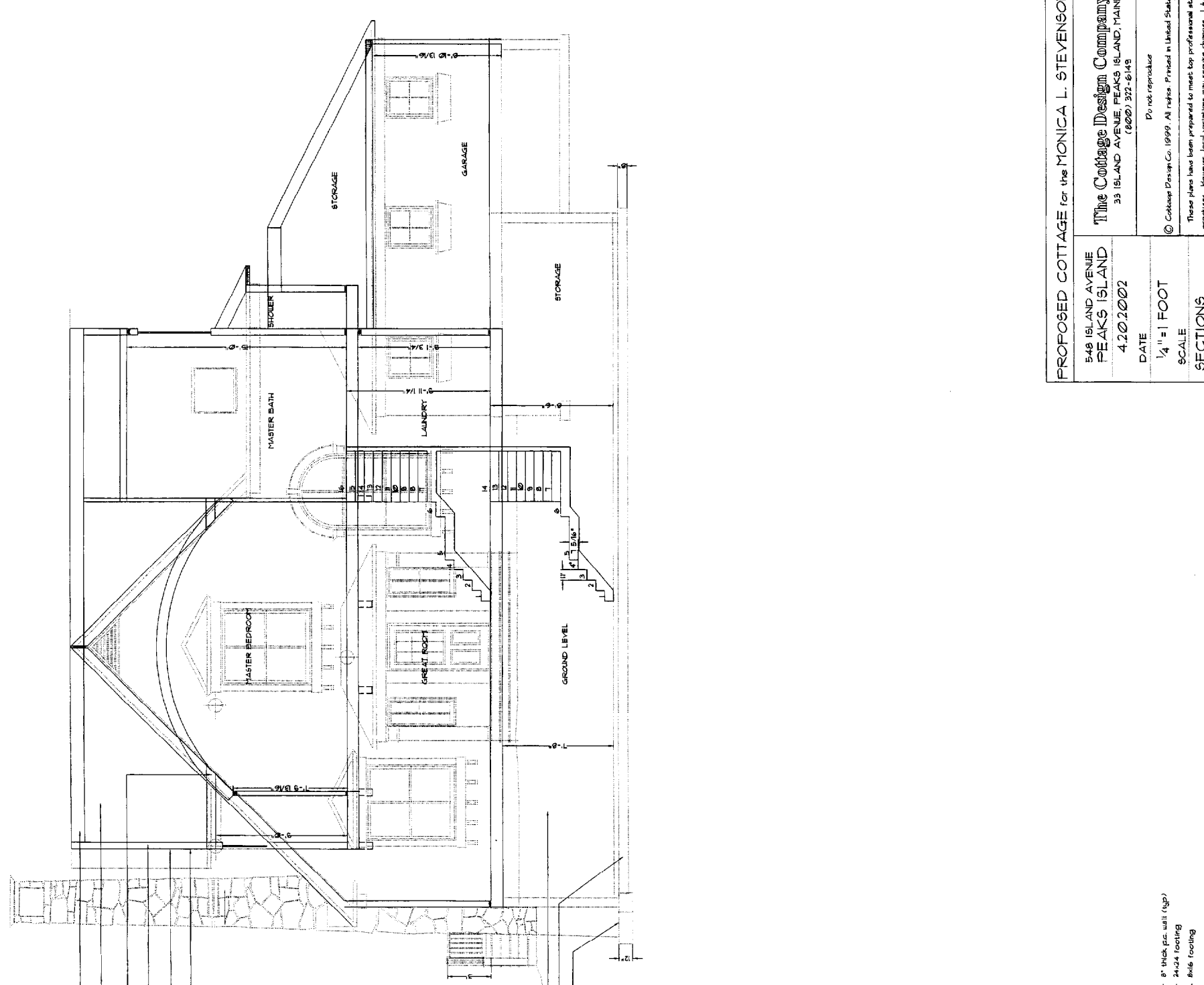


UPPER FLOOR FRAME PLAN



GROUND FLOOR FRAME PLAN

GENERAL NOTES AND DISCLAIMERS:
 These drawings have been prepared to meet generally accepted professional standards. However, local variations may require changes. I, the undersigned, building code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all details and dimensions, and ensure that these plans meet all current requirements in your area. It is also suggested that a local architect and/or engineer be retained to review and make any changes necessary to ensure that plans meet all requirements, and that you check with your local building department to see if a professional stamp is required on drawings filed for permits purposes. All applicable construction shall conform to the latest editions of either "Uniform Building Code" or the "BOCA Building Code", or any other locally referenced code.
 Codes govern over drawings.
 Dimensions shown over scale.
 Verify all mechanical requirements, before framing.
 Verify topographic and subsurface conditions, and adapt foundation plans accordingly.
 Roof Loads = 42 psf / sq
 Floor Loads = 40 psf / sq
 all other
 = 30 psf / sq for bedrooms



- 2x10 ridge (typ.)
- 2x8 # 16" o.c. rafters (typ.)
- 2x8 # 16" o.c. ceiling joists (typ.)
- 2x6 # 24" o.c. exterior walls (typ.)
- 1/2" sheathing
- white cedar shingles

- 8" thick p.c. wall (typ.)
- 8x8 footing
- 12" footing

- 2x10 ridge (typ.)
- 2x8 # 16" o.c. rafters (typ.)
- 2x8 # 16" o.c. ceiling joists (typ.)
- 2x6 # 24" o.c. exterior walls (typ.)
- 2x8 # 16" o.c. ceiling joists (typ.)
- 1/2" sheathing
- white cedar shingles

- 2-2x10 header (typ.)
- 2x4 # 16" o.c. interior walls (typ.)
- 2x8 # 16" o.c. rafters (typ.)

- 2-1x10" LVL header (garage doors)

- 8" thick p.c. wall (typ.)
- 2x24 footing
- 8x8 footing

PROPOSED COTTAGE for the MONICA L. STEVENSON LAND

548 ISLAND AVENUE
PEAKS ISLAND
4202002

DATE
1/4" = 1' FOOT
SCALE
SECTIONS
SHEET

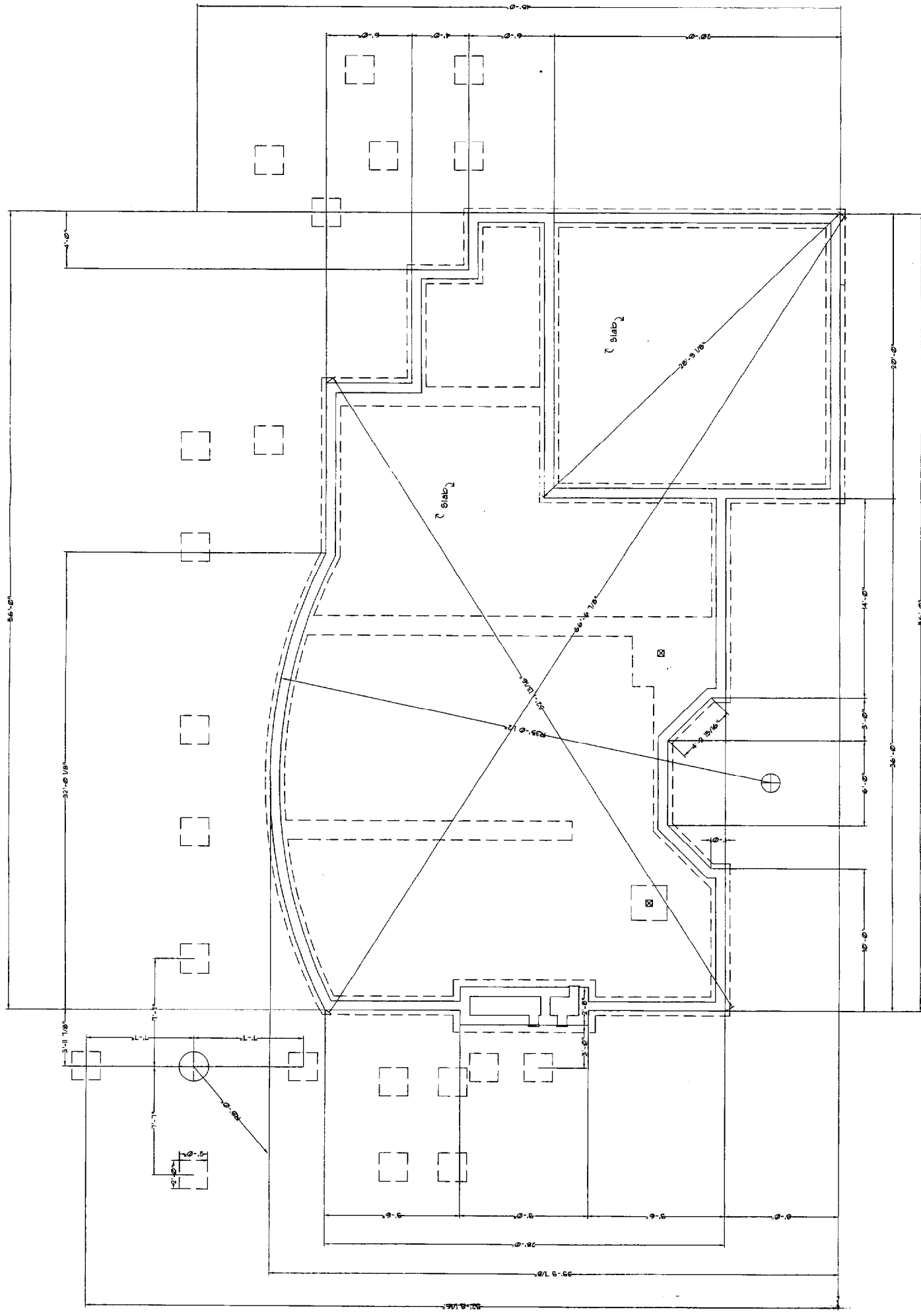
The Cottage Design Company, LLC
33 ISLAND AVENUE, PEAKS ISLAND, MAINE 04108
(207) 322-6148
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These plans have been prepared to meet professional standards and practices. However, local variations may require changes. Licensed building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.

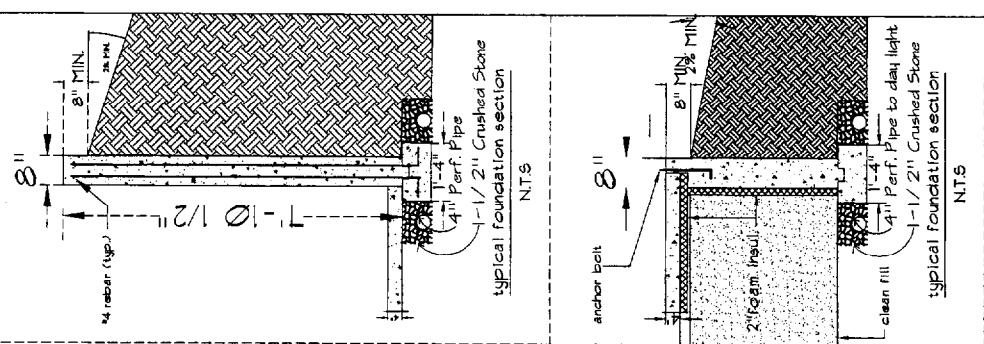
GENERAL NOTES AND DISCLAIMERS: These drawings have been prepared by me, a professional engineer, in accordance with the Maine Building Code. However, local variations may require changes. I, the engineer, have not been licensed in the state of Maine. It is the responsibility of the contractor to verify all dimensions and other details, and to ensure that the construction conforms to the applicable building code and/or other local requirements. All applicable construction shall conform to the latest editions of either "Uniform Building Code" or the "BOCA Basic Building Code" or any other locally required code.

Codes shown over drawings
Dimensions shown over code
Verify all mechanical requirements, before framing
Verify topographic and subsurface conditions, and adapt foundation plans accordingly.

Roof Loads = 42 psf / sq.
Floor Loads = 40 psf / sq., all other
= 30 psf / sq. for basements



FOUNDATION PLAN



PROPOSED COTTAGE for the MONICA L. STEVENSON LAND

548 ISLAND AVENUE
PEAKS ISLAND
4.20.2002

DATE
1/4" = 1 FOOT

SCALE
FOUNDATION SHEET

The Cottage Design Company, LLC
33 ISLAND AVENUE, PEAKS ISLAND, MAINE 04108
(602) 322-6143

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GENERAL NOTES AND DISCLAIMERS:

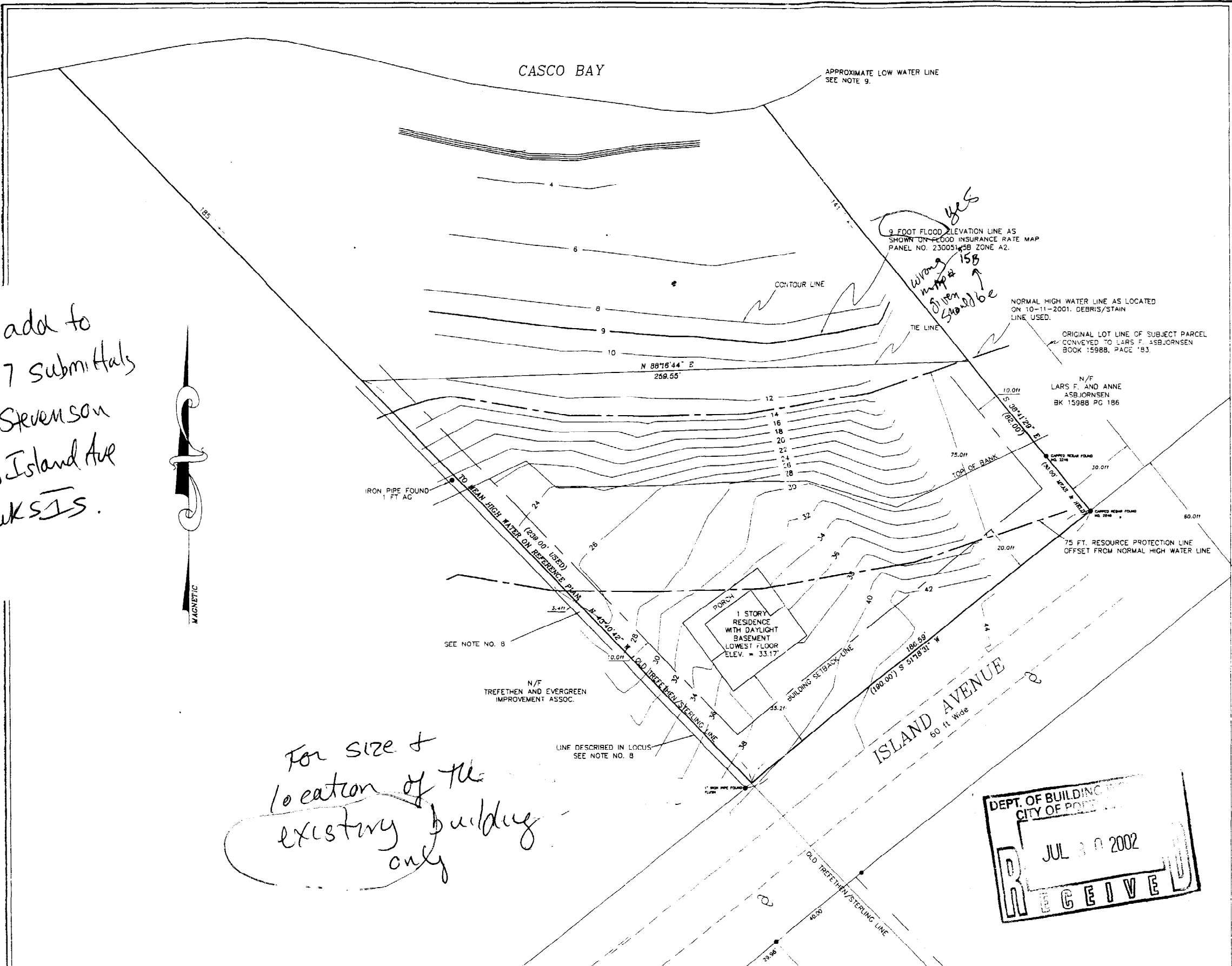
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It is also suggested that a local architect or engineer be retained to verify all applicable requirements, before framing.

Verify topographic and subsurface conditions, and adapt foundation plans accordingly.

Codes govern over drawings. Dimensions govern over scale.

Roof Loads = 42# / sq
Floor Loads = 40# / sq
= 30# / sq for load comb.



GENERAL NOTES:

1. RECORD OWNER OF PARCEL: MONICA L. STEVENSON AS DESCRIBED IN BOOK 16816 PAGE 91 RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS.
2. THIS PLAN IS THE RESULT OF A FIELD SURVEY PERFORMED IN THE MONTH OF OCTOBER 2001 BY BACK BAY BOUNDARY, INC. UTILIZING THE FOLLOWING EQUIPMENT: UETZ SOKKISHA SET 4 TOTAL STATION, UETZ SDR 24 DATA COLLECTOR.
3. SURVEYED PARCEL MAY BE FOUND ON THE CITY OF PORTLAND PROPERTY MAP 92 BLOCK A. LOT 1 IN THE ASSESSING DEPARTMENT AT PORTLAND CITY HALL.
4. AREA OF SURVEYED PARCEL = APPROXIMATELY 65,897 SQUARE FEET OR 1.51 ACRES. THIS INCLUDES THE AREA BETWEEN THE MEAN HIGH-WATER AND LOW-WATER LINES.
5. BEARINGS ARE BASED ON A MAGNETIC OBSERVATION TAKEN IN THE FIELD AT THE TIME OF THIS SURVEY.
6. ALL DOCUMENTS REVIEWED AND CONSIDERED A PART OF THIS SURVEY ARE OF PUBLIC RECORD. THERE MAY EXIST OTHER DOCUMENTS THAT ARE NOT PART OF PUBLIC RECORD WHICH COULD AFFECT THE RESULTS OF THIS SURVEY.
7. REFERENCE IS MADE TO THE FOLLOWING PLANS:
 - a) STANDARD BOUNDARY SURVEY FOR WILLIAM T. LOWRY BY OWEN HASKELL, INC. DATED FEB 18, 1999 AND RECORDED IN SAID REGISTRY IN PLAN BOOK 200 PAGE 181
 - b) STANDARD BOUNDARY SURVEY FOR RIC WEINSCHENK BY BACK BAY BOUNDARY, INC. DATED 8-16-2001 (UNRECORDED).
 - c) MAP OF THE JOSIAH STERLING ESTATE FROM THE SURVEYS BY J. B. JONES DATED 1902 FROM THE CITY OF PORTLAND FILE DRAWER B, PAGE 7.
 - d) PLAN SHOWING LINES BETWEEN TREFETHEN AND STERLING, PEAKS ISLAND BY C. H. HOWE C. E. DATED AUGUST 9, 1875 AND RECORDED IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS IN PLAN BOOK 3 PAGE 59.
8. THE SOUTHWESTERLY BOUNDARY LINE SHOWN ON THIS PLAN WAS ESTABLISHED FROM ACTUAL FIELD MONUMENTATION FOUND AND PLAN REFERENCES 7a, d, c AND 9 ABOVE. IT IS CONSIDERED TO BE THE TREFETHEN STERLING LINE. THERE IS AN APPARENT DISCREPANCY BETWEEN THE REFERENCE DEED AND MONUMENTATION FOUND.
9. THE LOW-WATER LINE SHOWN ON THIS PLAN WAS DERIVED FROM AERIAL PHOTOGRAPHY SUPPLIED TO BACK BAY BOUNDARY, INC. BY THE CITY OF PORTLAND. THIS LINE SHOULD BE USED AS A REFERENCE ONLY. THE PRECISE LOW-WATER LOCATION CAN ONLY BE DETERMINED BY ADDITIONAL LOCATION.

ZONING: IR-B, ISLAND BUSINESS ZONE

- MINIMUM FRONT SETBACK OF PRINCIPAL OR ACCESSORY STRUCTURES = 20 FEET.
 - MINIMUM REAR SETBACK OF PRINCIPAL OR ACCESSORY STRUCTURES = 10 FEET.
 - MINIMUM SIDE SETBACK OF PRINCIPAL OR ACCESSORY STRUCTURES = 10 FEET.
- * EXCEPT THAT A FRONT YARD NEED NOT EXCEED THE AVERAGE DEPTH OF FRONT YARDS ON EITHER SIDE OF THE LOT.

FLOOD NOTE:

THE SURVEYED PARCEL FALLS WITH THE A2 AND C ZONES AS DELINEATED ON THE FLOOD INSURANCE RATE MAP COMMUNITY-PANEL NO. 230051 0015 B PANEL 15 OF 17 WHICH BEARS AN EFFECTIVE DATE OF JULY 17, 1986
 ELEVATION NOTE: ELEVATIONS ARE BASED UPON A WATER SURFACE OBSERVATION TAKEN IN THE FIELD ON OCTOBER 11, 2001 AT 11:45 AM ELEVATION = 2.67 DATUM IS BASED UPON NGVD 1929 MEAN SEA LEVEL = 0.00 FEET.

LEGEND:

- Capped 5/8" Rebar To Be Set With Registration Number 2303. (50.00') Distance from reference Plan or deed.
- Iron Pipe or Solid Pin Found. N/F Now Or Formerly
- ⊕ Survey Instrument Point. A.G. Above Grade
- Abutter Line. B.G. Below Grade
- Property Line. P Property Line
- Street Line. — u — Overhead Utility
- Direction of Bearing. — Utility Pole
- Edge of traveled way

BOUNDARY SURVEY/SITE PLAN AT 548 ISLAND AVENUE PEAKS ISLAND

FOR: **MONICA L. STEVENSON**

PREPARED BY:
BACK BAY BOUNDARY, INC.
 LAND SURVEYING
 65 NEWBURY STREET
 PORTLAND, MAINE
 207-774-2855 FAX 207-761-2010

DRAWN BY: SBB
 CHECKED BY: RTG
 SCALE: 1" = 20'
 DATE: 12-13-2001
 JOB NUMBER: 200158
 SHEET: 1 OF 1
 DRAWER: 2001 NO: 68

REVISIONS:

REVISION 2: 02-12-2002	ADDED LOW-WATER LINE & NOTE #9, EXTENDED PROPERTY LINES TO SAID LOW-WATER AND CHANGED ZONING NOTE TO REFLECT CORRECT ZONE I-B.
REVISION 1: 02-08-2002	ADDED EXCEPTION c) TO CERTIFICATE, REVISED AREA.
LOCATION: 548 ISLAND AVENUE PEAKS ISLAND MAINE	

GRAPHIC SCALE
 0' 20' 40' 60'
 1" = 20'

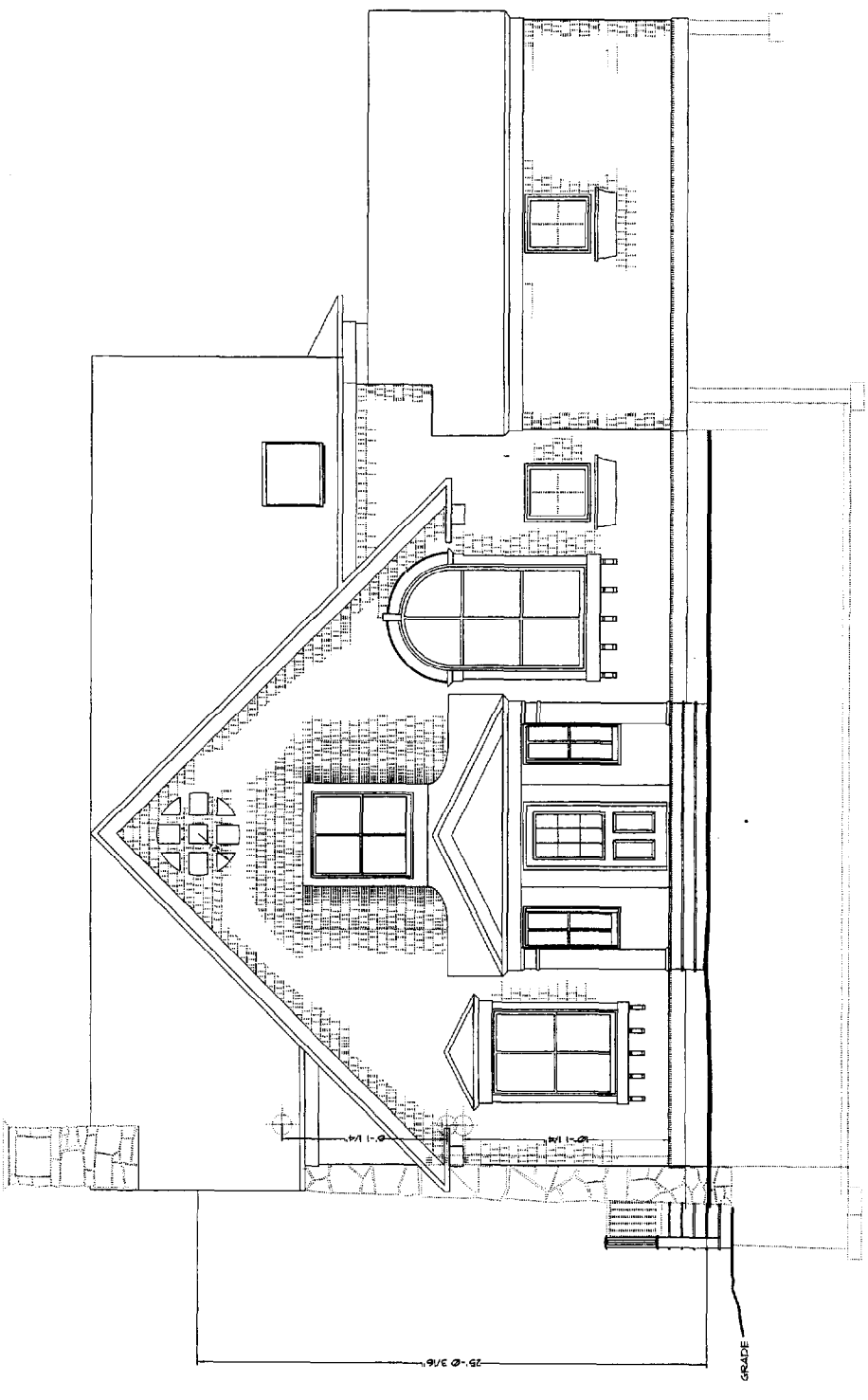
STATE OF MAINE
 ROBERT T. GREENLAW
 9-12-2003
 LAND SURVEYOR

CERTIFICATION:

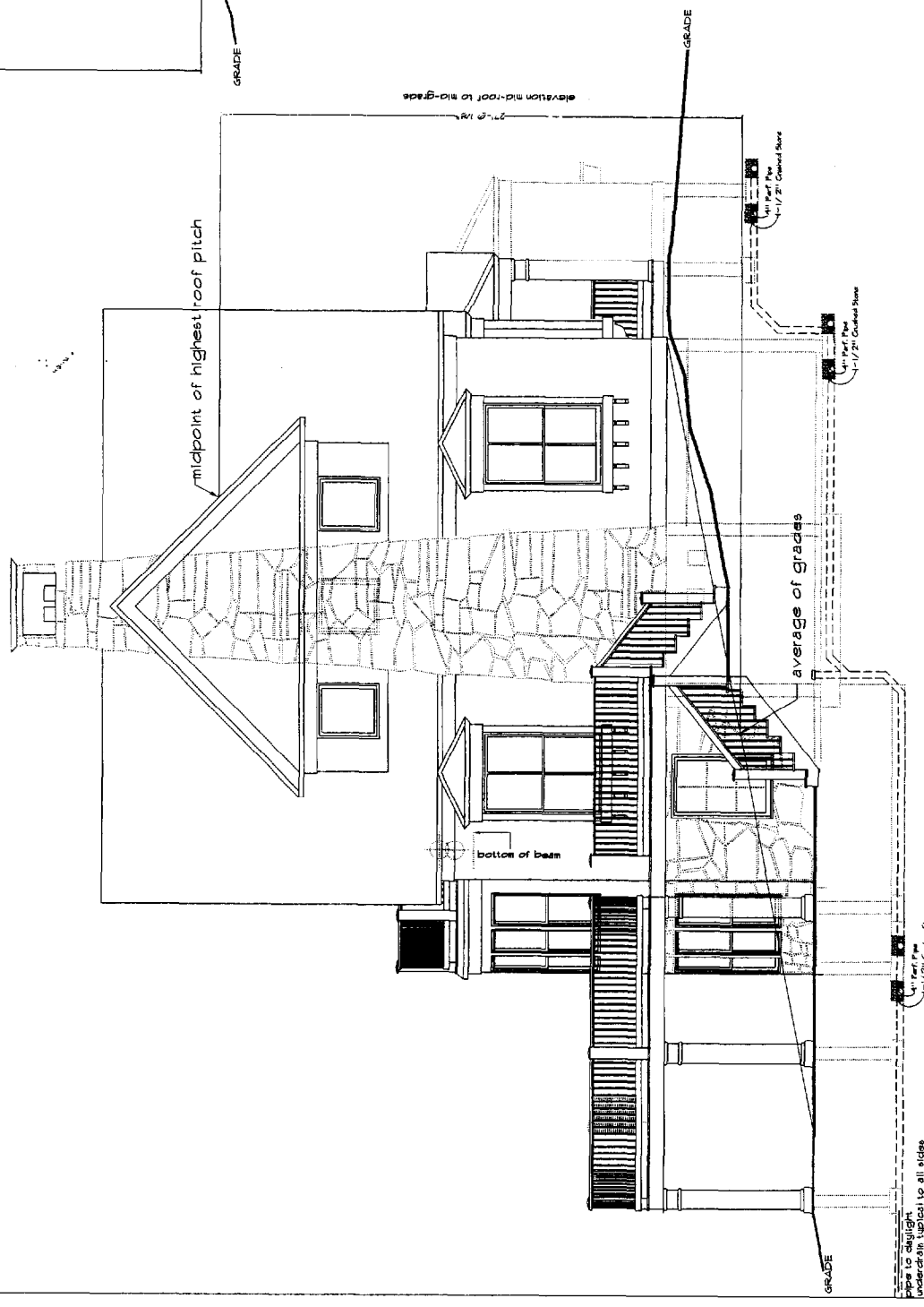
I HEREBY CERTIFY THAT THIS SURVEY CONFORMS TO THE MAINE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS' STANDARDS OF PRACTICE AS ADOPTED APRIL 01, 2001 WITH THE FOLLOWING EXCEPTIONS:

- a) NO WRITTEN REPORT
- b) NO NEW DESCRIPTION
- c) NO NEW PROPERTY CORNERS SET AT THIS TIME.

ROBERT T. GREENLAW P.L.S.
 PRESIDENT BACK BAY BOUNDARY, INC. NO 2303 DATE: 02-12-2002



FRONT ELEVATION



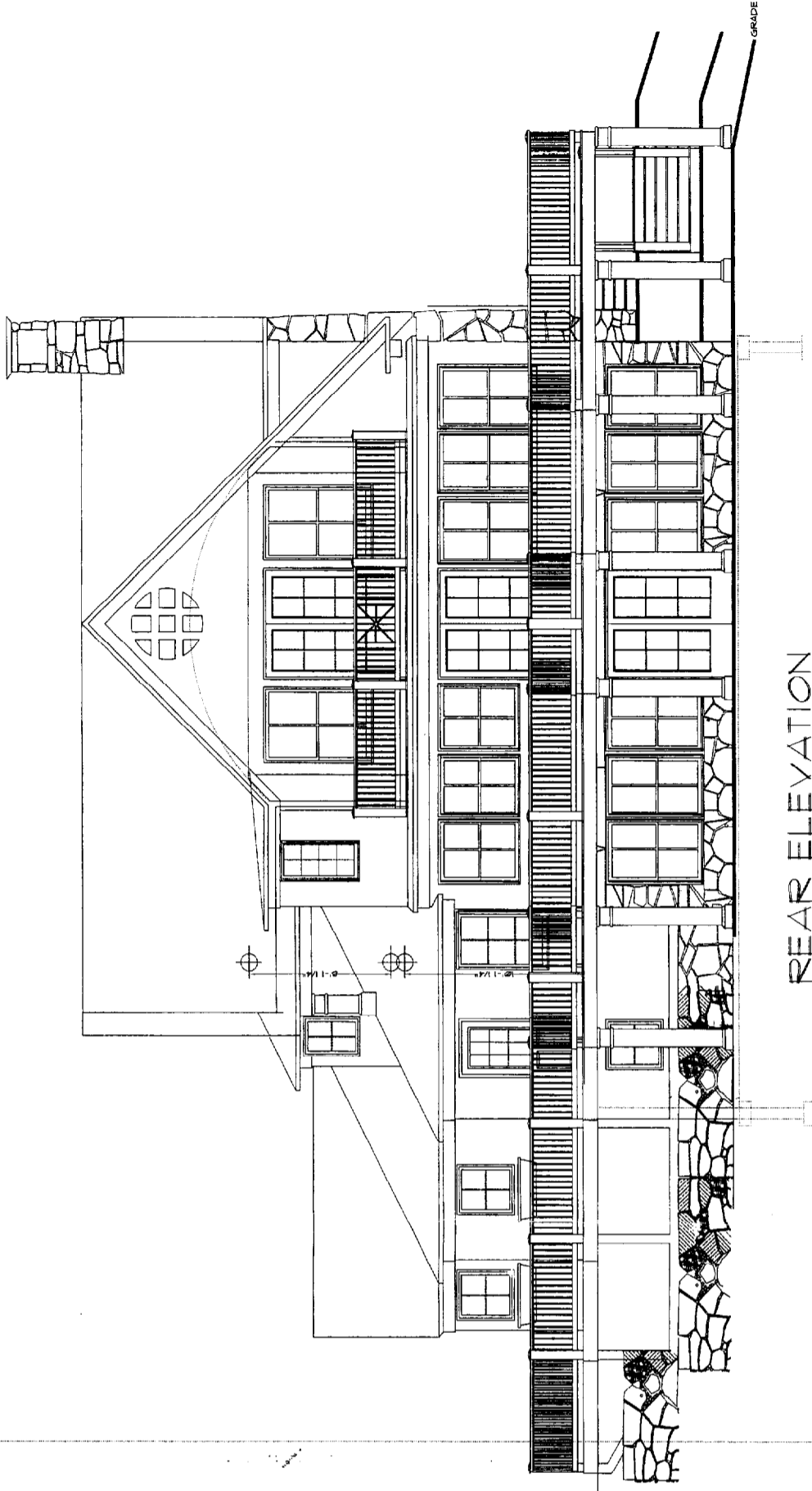
LEFT ELEVATION

PROPOSED COTTAGE for the MONICA L. STEVENSON LAND	
548 ISLAND AVENUE PEAKS ISLAND 4.2.2002	The Cottage Design Company, LLC 33 ISLAND AVENUE, PEAKS ISLAND, MAINE 04098 (800) 372-6149
DATE 1/4" = 1' FOOT	© Cottage Design Co. 1999. All rights reserved in United States of America Do not reproduce
SCALE ELEVATIONS SHEET	These plans have been prepared to meet local professional standards and practices. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.

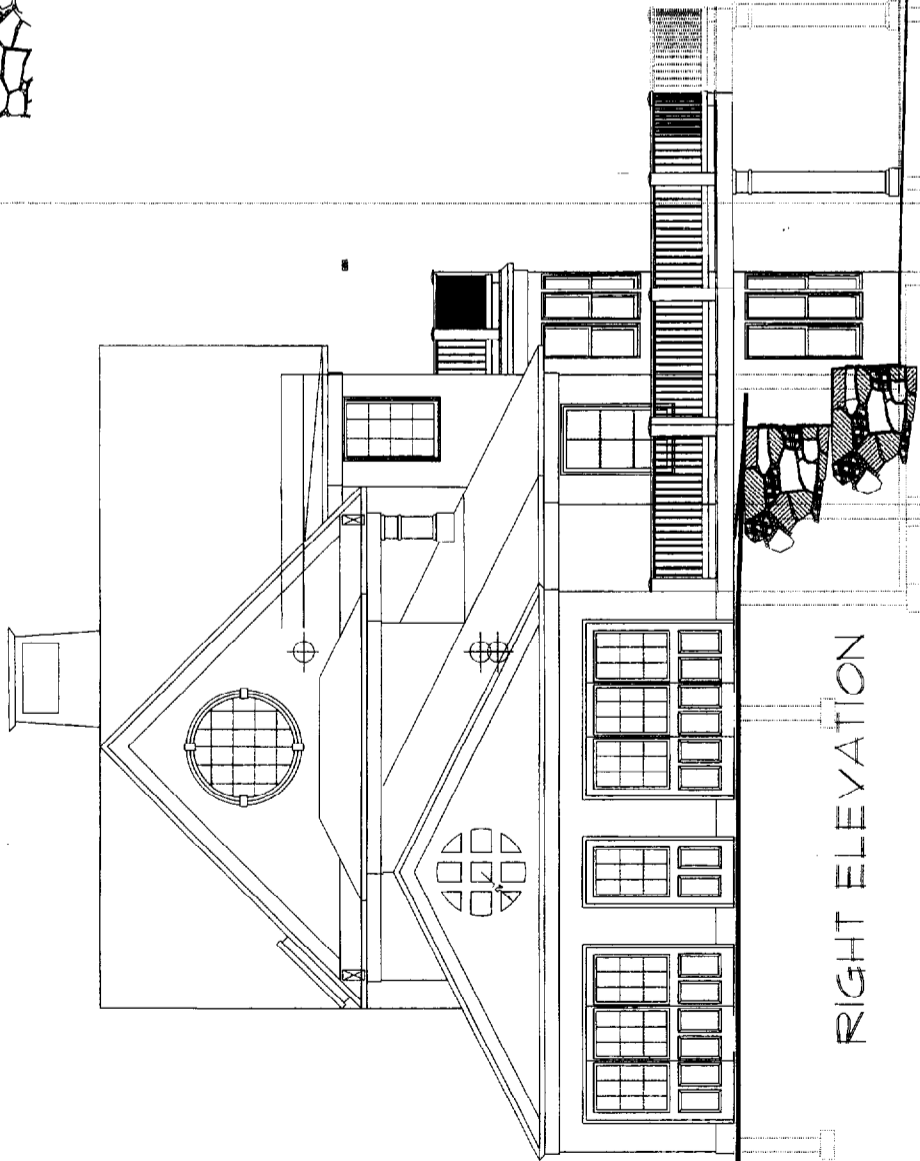
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Roof Loads = 42 lb / sq
Floor Loads = 40 lb / sq
= 50 lb / sq for bedrooms



REAR ELEVATION



RIGHT ELEVATION

PROPOSED COTTAGE for the MONICA L. STEVENSON LAND	
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SCALE	© Cottage Design Co. 1999. All rights. Printed in United States of America
ELEVATIONS SHEET	These plans have been prepared to meet local professional standards and practices. However, local variations may require changes. I, Reviewer, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.

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Floor Loads = 40# / sq.
at other
= 30# / sq. for bedrooms.

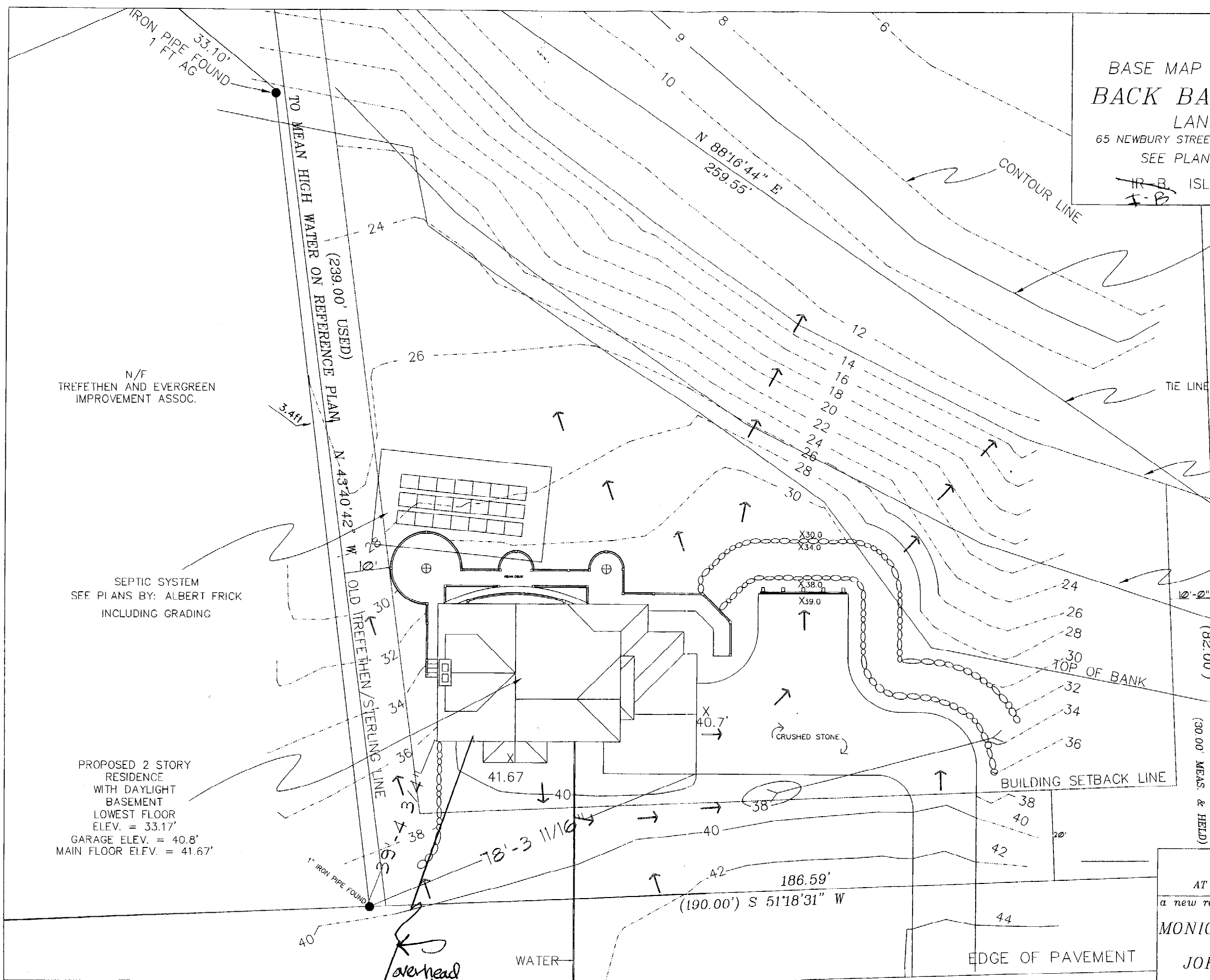
BASE MAP AND EXISTING TOPO BY:
BACK BAY BOUNDARY, INC.
 LAND SURVEYING
 65 NEWBURY STREET PORTLAND, MAINE 207-774-2855
 SEE PLAN DATED 12/12/2001
~~IR-B~~ ISLAND BUSINESS ZONE
~~F-B~~

9 FOOT FLOOD ELEVATION LINE AS SHOWN ON FLOOD INSURANCE RATE MAP PANEL NO. 230051 15B ZONE A2.

NORMAL HIGH WATER LINE AS LOCATED ON 10-11-2001. DEBRIS/STAIN LINE USED.

25 FT. SET BACK FROM NORMAL HIGH WATER LINE

N/F
 LARS F. AND ANNE
 ASBJORNSEN
 BK 15988 PG 186



N/F
 TREFETHEN AND EVERGREEN
 IMPROVEMENT ASSOC.

SEPTIC SYSTEM
 SEE PLANS BY: ALBERT FRICK
 INCLUDING GRADING

PROPOSED 2 STORY
 RESIDENCE
 WITH DAYLIGHT
 BASEMENT
 LOWEST FLOOR
 ELEV. = 33.17'
 GARAGE ELEV. = 40.8'
 MAIN FLOOR ELEV. = 41.67'

SITE PLAN
 AT 548 ISLAND AVENUE PEAKS ISLAND

a new residence for:

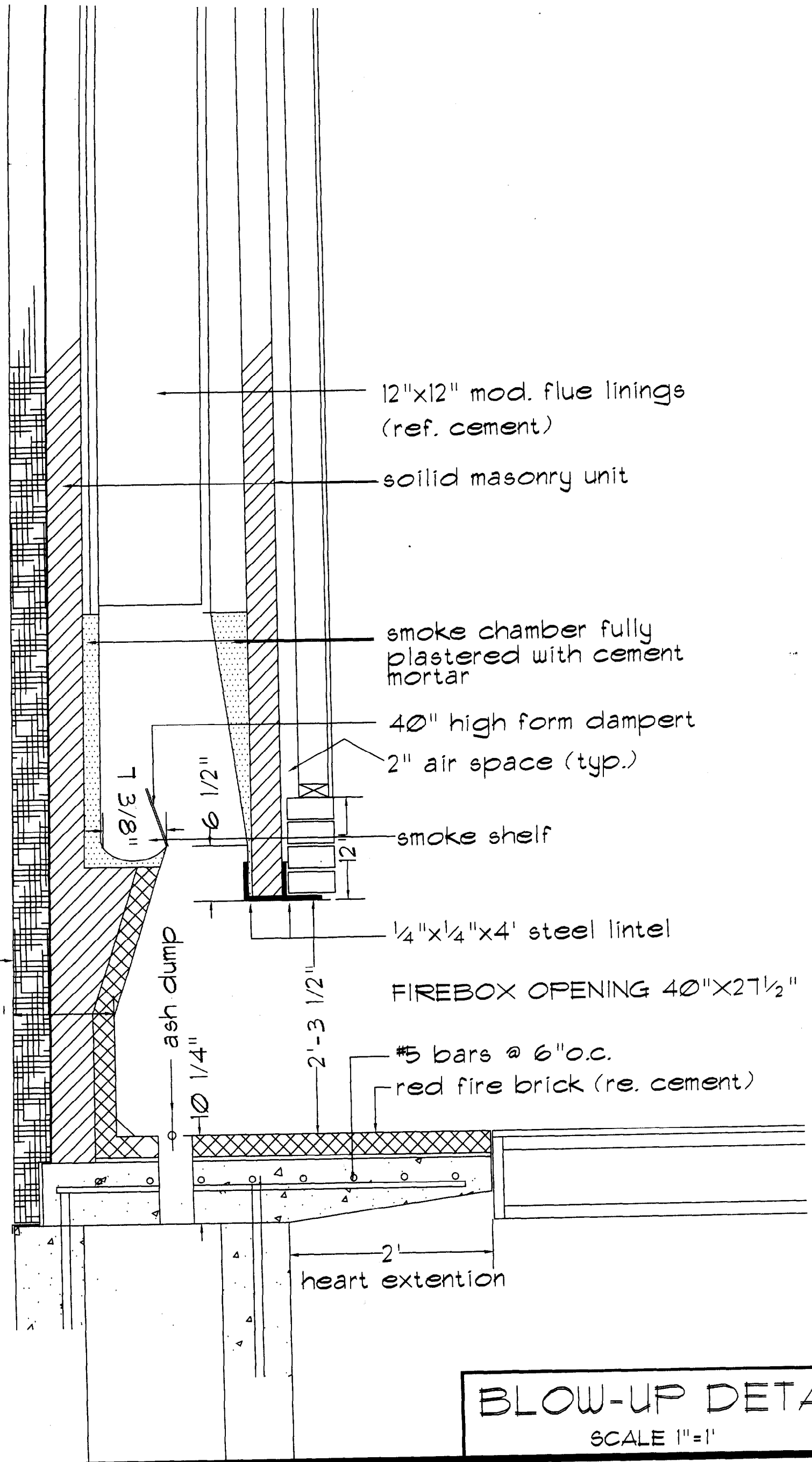
MONICA STEVENSON
 and
JOHN FREEMAN

THE COTTAGE DESIGN COMPANY
 33 ISLAND AVENUE
 PEAKS ISLAND, MAINE 04108
 207-766-2900

DRAWN BY: RW
 SCALE: 1" = 10'
 DATE: 6.28.02
 SHEET: 1 OF 1

overhead
 Electric

Colonial Natural Select Field Stone
(all exterior areas)



12"x12" mod. flue linings
(ref. cement)

solid masonry unit

smoke chamber fully
plastered with cement
mortar

40" high form dampert

2" air space (typ.)

smoke shelf

1/4"x1/4"x4' steel lintel

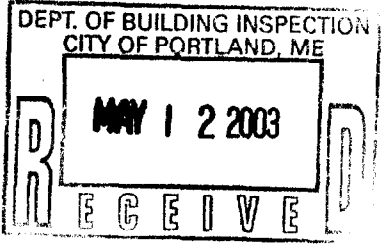
FIREBOX OPENING 40"x27 1/2"

#5 bars @ 6" o.c.

red fire brick (re. cement)

2'
hearth extension

BLOW-UP DETAIL
SCALE 1"=1'

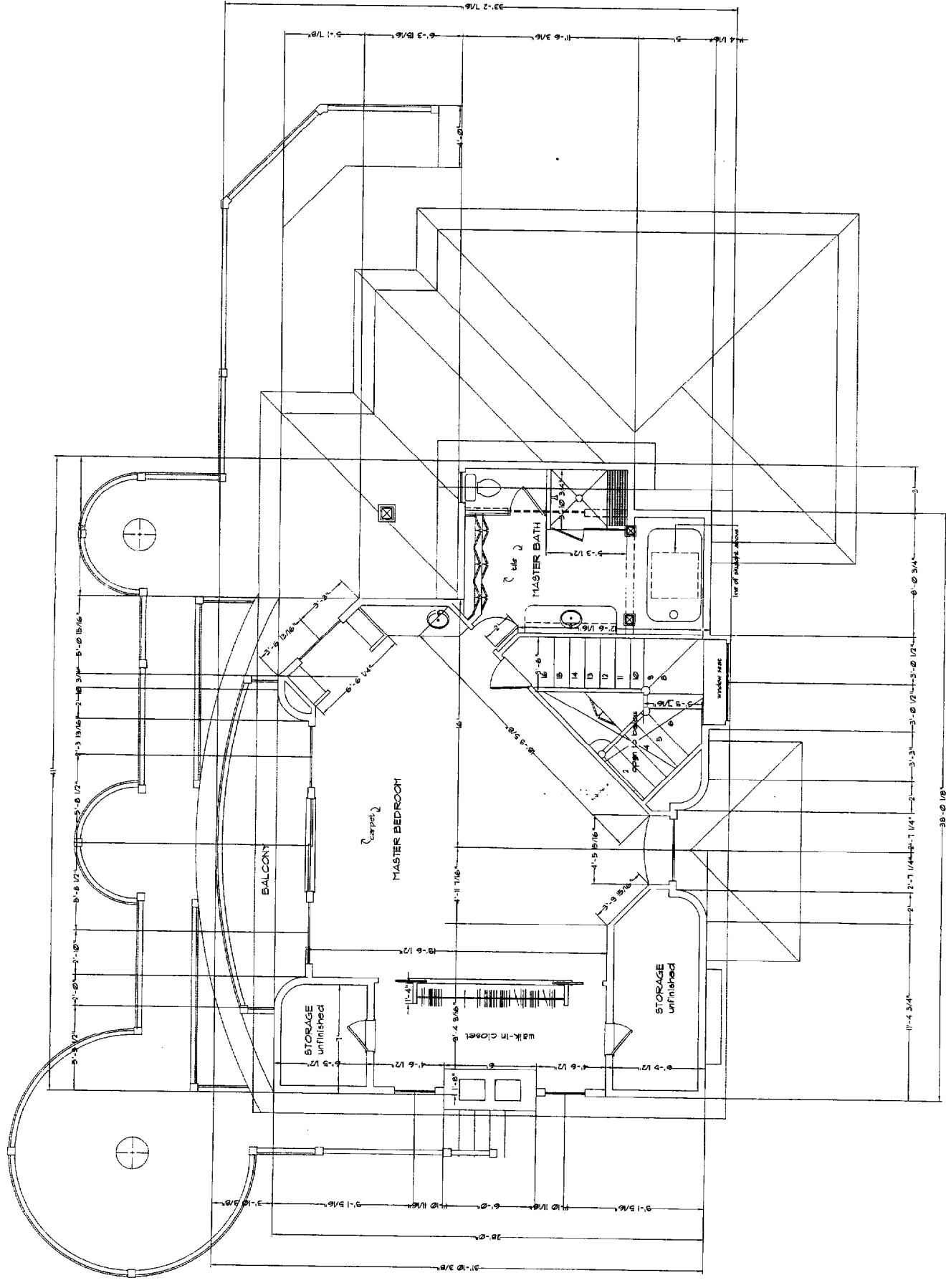


12" thick footing

w/4x10 #5 matt

8"x8" clean out

4
7



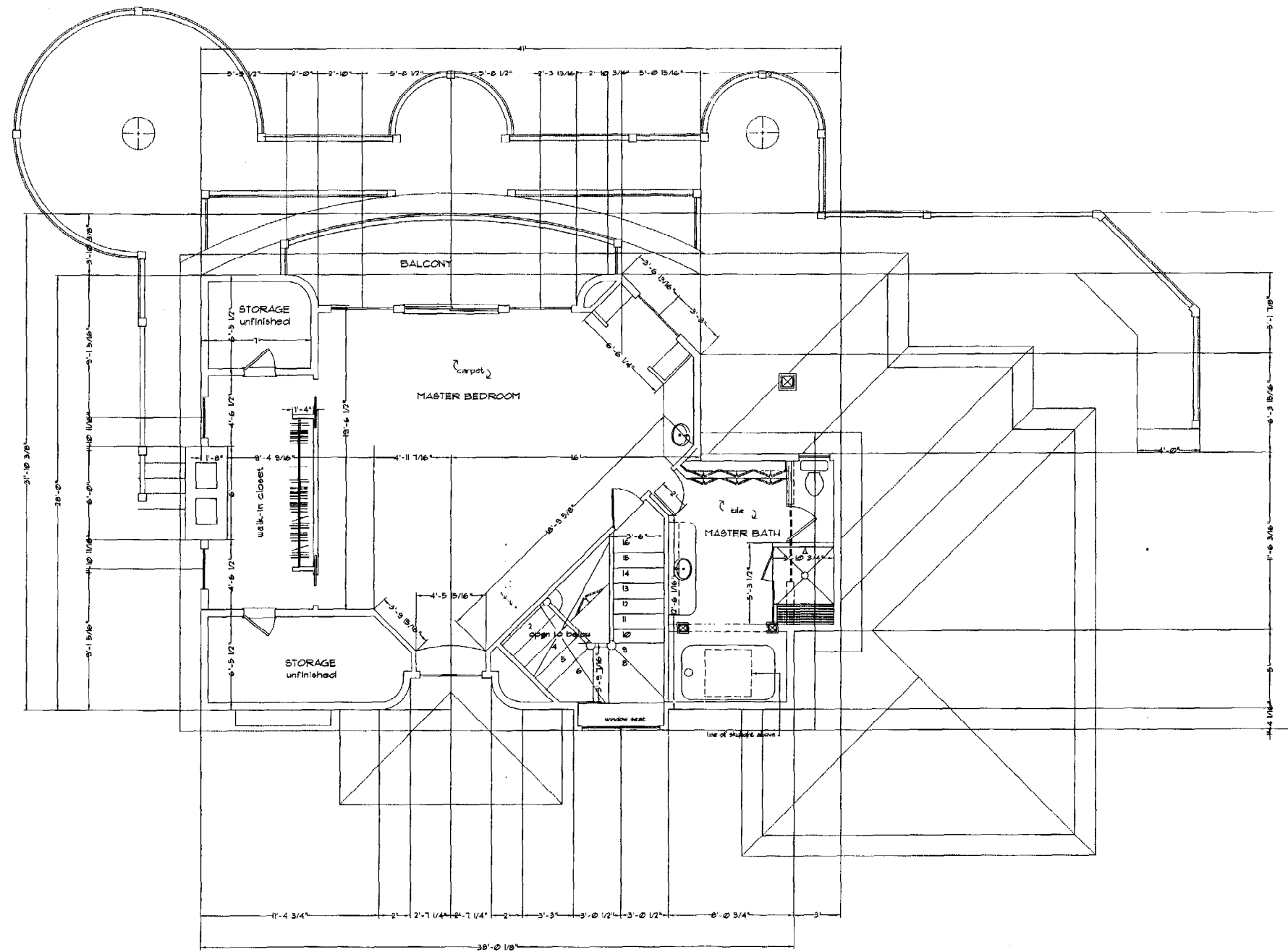
SECOND FLOOR PLAN

PROPOSED COTTAGE for the MONICA L. STEVENSON LAND	
548 ISLAND AVENUE PEAKS ISLAND 4/20/2002	The Cottage Design Company, LLC 33 ISLAND AVENUE, PEAKS ISLAND, MAINE 04108 (800) 327-6149
DATE	4/20/2002
SCALE	1/4" = 1' FOOT
MAINE FLOOR SHEET	

1561#
Garage = 346#
Roof Loads = 42# / sq'
Floor Loads = 40# / sq'
Floor Loads = 30# / sq' for bedrooms

GENERAL NOTES AND DISCLAIMERS: These drawings have been prepared to meet generally accepted professional standards. However, local variations may require changes. Licenses, building code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all applicable codes, ordinances, and regulations in their area. It is also suggested that a local architect and/or engineer be retained to review and make any changes necessary to meet the jurisdictional requirements. These drawings were prepared in accordance with the Uniform Building Code, International Building Code, or any other locally required code. All applicable construction shall conform to the latest editions of either the Uniform Building Code, International Building Code, or any other locally required code. All drawings filed for permit purposes. All applicable construction shall conform to the latest editions of either the Uniform Building Code, International Building Code, or any other locally required code. Verify topographic and surface conditions, and adjust foundation plans accordingly. Codes govern over drawings. Dimensions govern over scale. Verify all mechanical requirements, before framing. Verify topographic and surface conditions, and adjust foundation plans accordingly.

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SECOND FLOOR PLAN

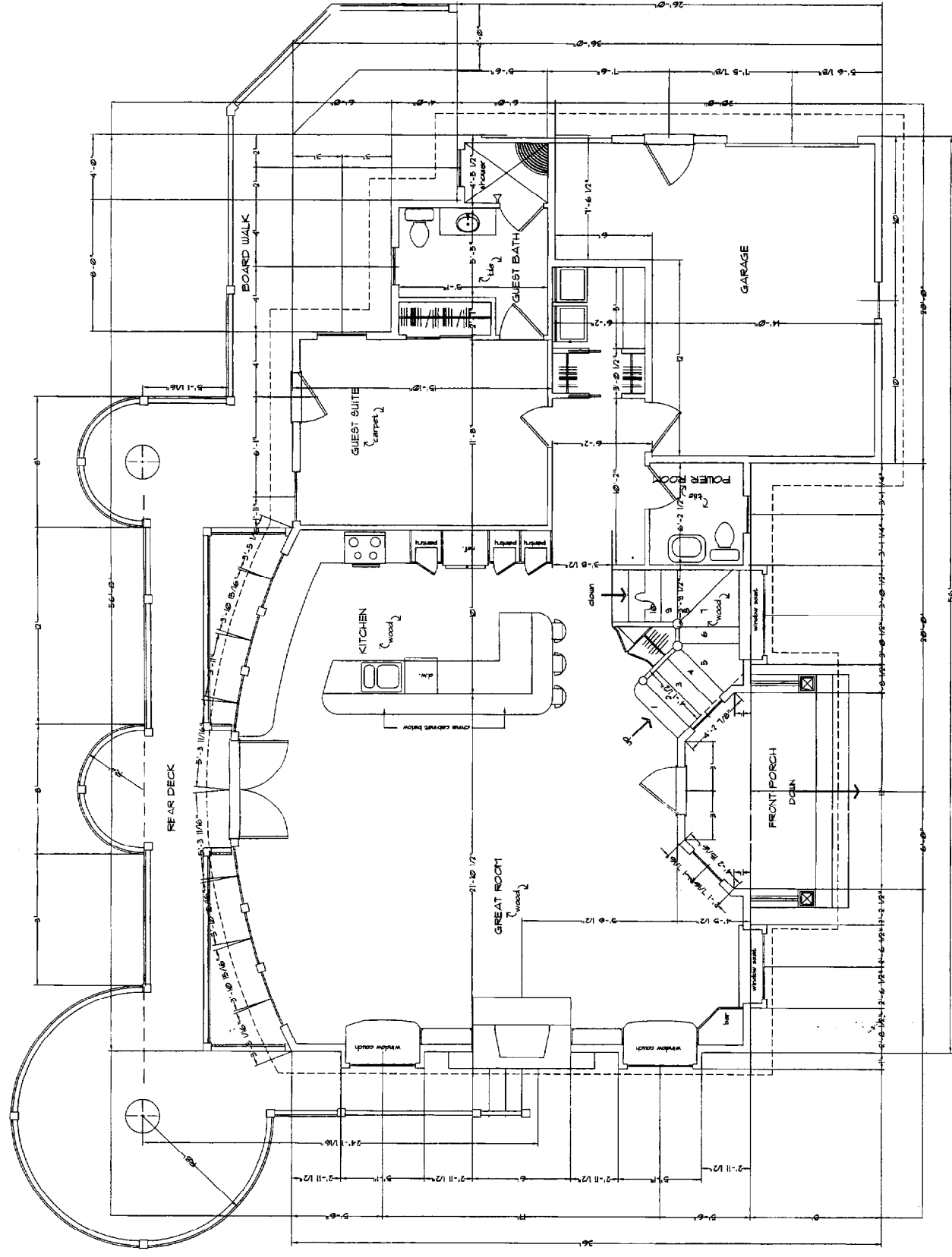
PROPOSED COTTAGE for the MONICA L. STEVENSON LAND	
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1561#
Garage = 346#

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Roof Loads = 42# / sq'
Floor Loads = 40# / sq' all other
= 30# / sq' for bedrooms



MAINE FLOOR PLAN

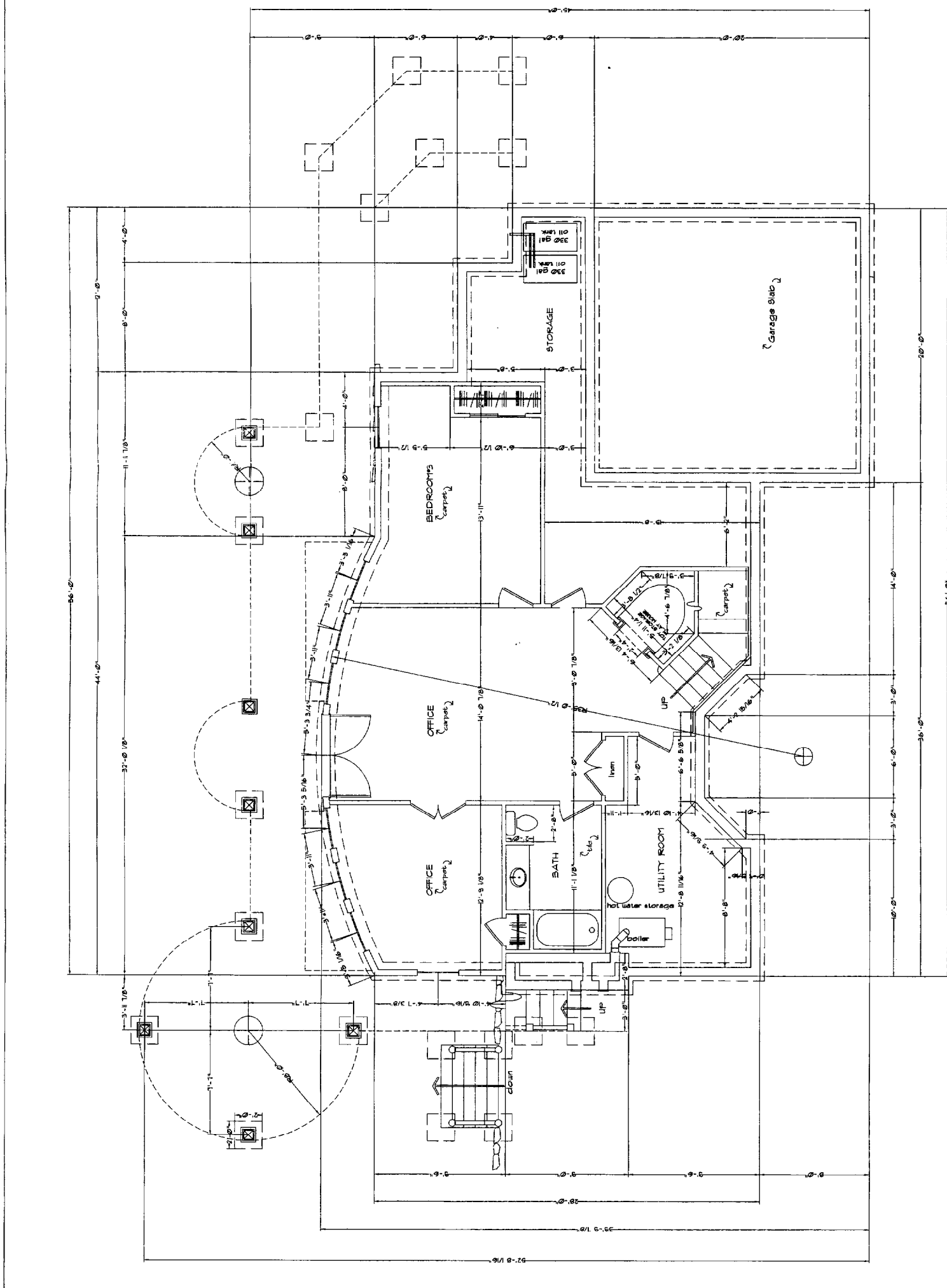
PROPOSED COTTAGE for the MONICA L. STEVENSON LAND	
548 ISLAND AVENUE FEAKS ISLAND 4202002	The Cottage Design Company, LLC 33 ISLAND AVENUE FEAKS ISLAND, MAINE 04108 (800) 322-6143
DATE 1/4" = 1 FOOT	© Cottage Design Co. 1999. All rights reserved. Printed in United States of America
SCALE MAINE FLOOR	These plans have been prepared to meet local professional standards and practices. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.
SHEET	Do not reproduce

1561#
Garage = 346#

Roof loads = 42# / sq
Floor loads = 40# / sq, all other
Floor loads = 30# / sq, for bedrooms

Costs shown on drawings
Dimensions shown on scale
Verify all mechanical requirements, before framing.
Verify topographic and subsurface conditions, and adapt foundation plans accordingly.

These drawings have been prepared to meet generally accepted professional standards. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all details and dimensions, and ensure that these plans meet all current requirements in your area. It is also suggested that a local architect and/or engineer be retained to review and make any changes necessary to ensure that plans meet all requirements, and that you check with your local building department to see if a professional stamp is required on drawings filed for permit purposes. All applicable construction shall conform to the latest editions of either "Uniform Building Code" or the "ICC Building Code" or any other locally required code. All applicable construction shall conform to the latest editions of either "Uniform Building Code" or the "ICC Building Code" or any other locally required code.



GROUND FLOOR PLAN

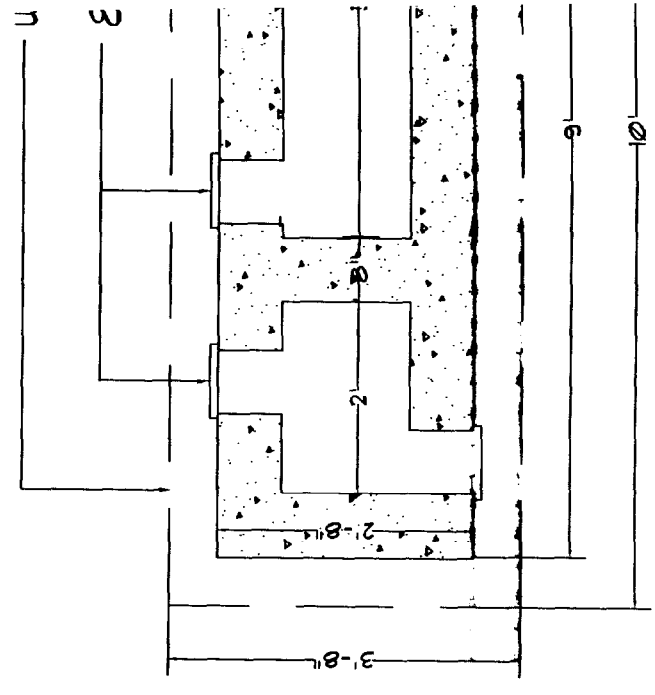
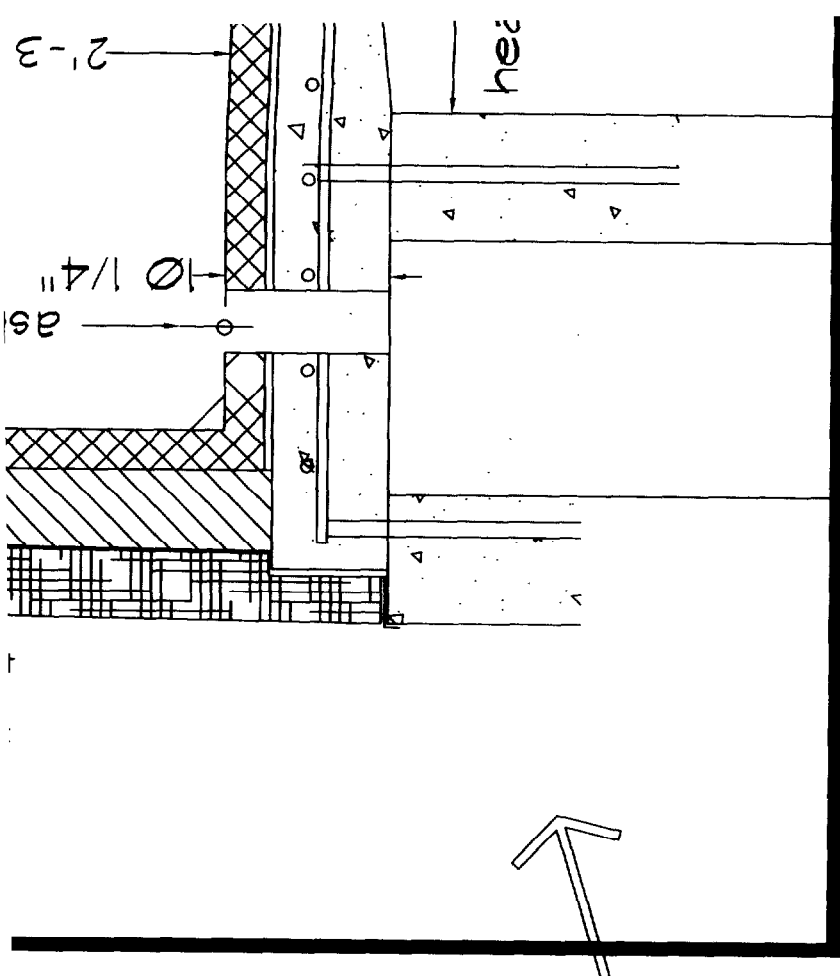
PROPOSED COTTAGE for the MONICA L. STEVENSON LAND	
548 ISLAND AVENUE PEAKS ISLAND 4.20.2002	The Cottage Design Company, LLC 33 ISLAND AVENUE, PEAKS ISLAND, MAINE 04128 (800) 327-6149
DATE 1/4" = 1 FOOT	Do not reproduce
SCALE	© Cottage Design Co. 1999. All rights. Printed in United States of America
SECOND FLOOR SHEET	These plans have been prepared to meet local professional standards and practices. However, local variations may require changes. Licensee, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.

992#

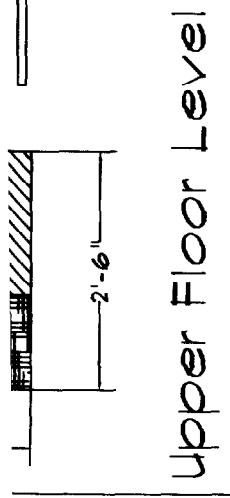
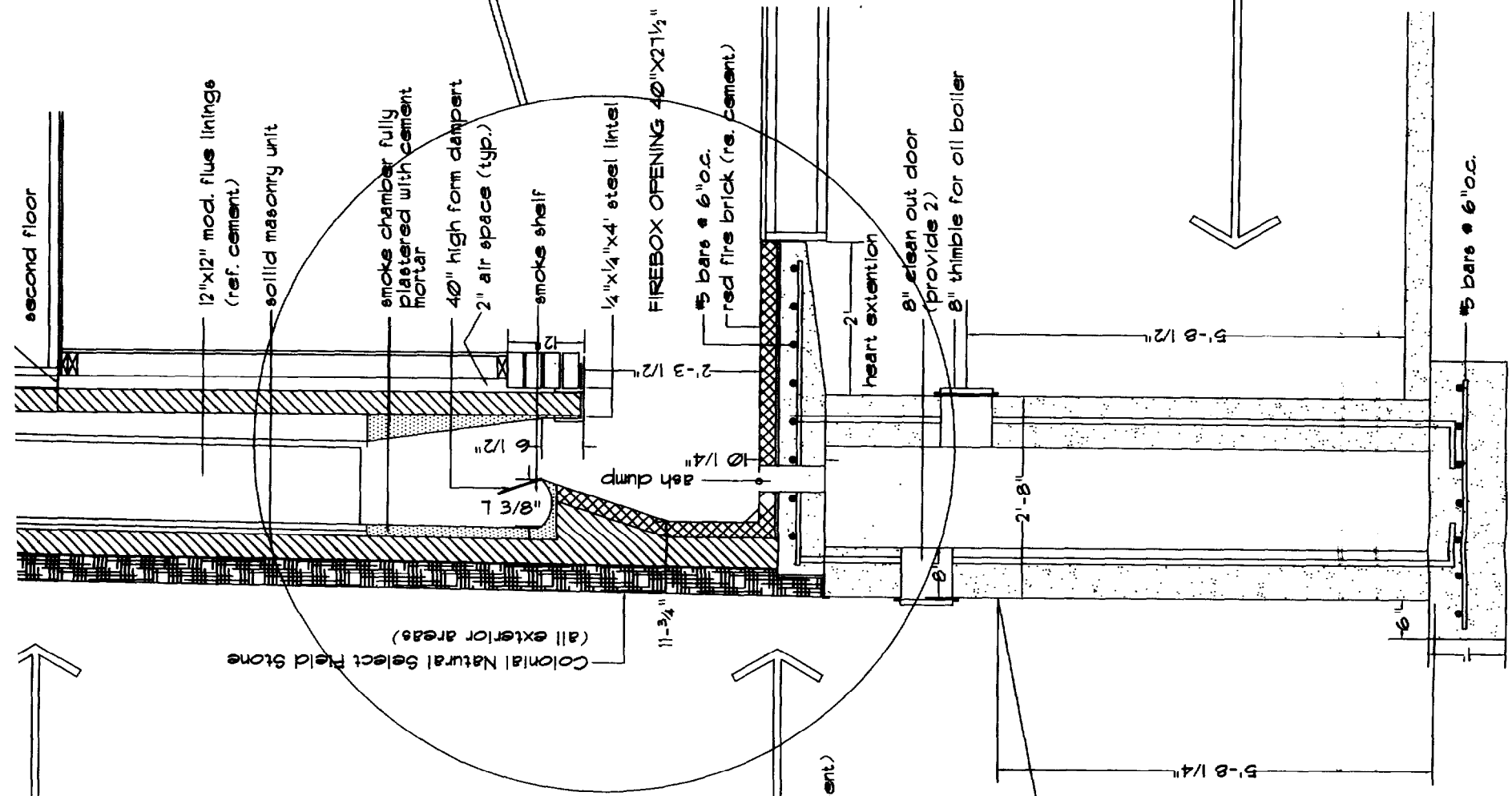
Roof Loads = 42# / sq
 Floor Loads = 40# / sq, all other
 = 30# / sq for bedrooms

Codes govern over drawings
 Dimensions govern over scale.
 Verify all mechanical requirements, before framing.
 Verify topographic and subsurface conditions, and adapt foundation plans accordingly.

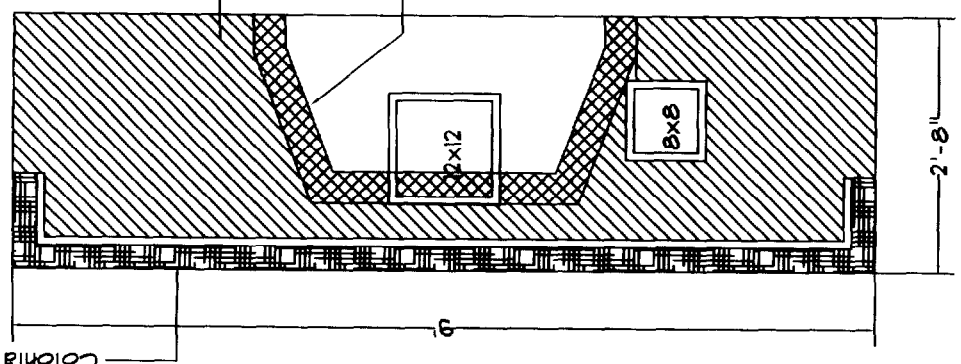
These drawings have been prepared to meet generally accepted professional standards. However, local variations may require changes. Licensee, building code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all details and dimensions, and ensure that these plans meet all current requirements in your area. It is also suggested that a local architect and/or engineer be retained to review and make any changes necessary to ensure that plans meet all requirements, and that you check with your local building department to see if a professional stamp is required on drawings filed for permit purposes. All applicable construction shall conform to the latest editions of either "Uniform Building Code" or the "BOCA Basic Building Code" or any other locally required code.



Footing Level



Upper Floor Level



Main Floor Level

Colonial Natural Select Field Stone
(all exterior areas)

12"x12" mod. flue linings
(ref. cement)

solid masonry unit

smoke chamber fully
plastered with cement
mortar

40" high form claspport
2" air space (typ.)

smoke shelf

1/4" x 4" steel lintel

FIREBOX OPENING 40" x 21 1/2"

5 bars # 6" o.c.

red fire brick (re. cement)

red fire brick (re. cement)

heart extension

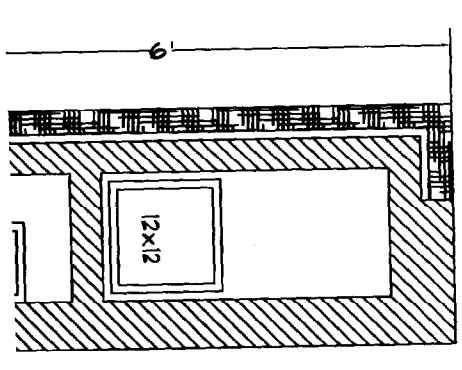
8" clean out door
(provide 2)

8" timble for oil boiler

grade

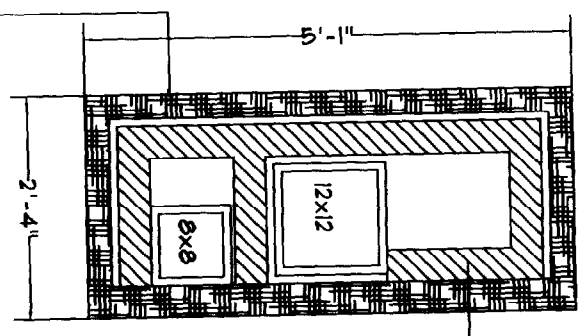
5 bars # 6" o.c.

GENERAL NOTES AND DISCLAIMERS: These drawings have been prepared to meet generally accepted professional standards. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all details and dimensions and ensure that they are correct.

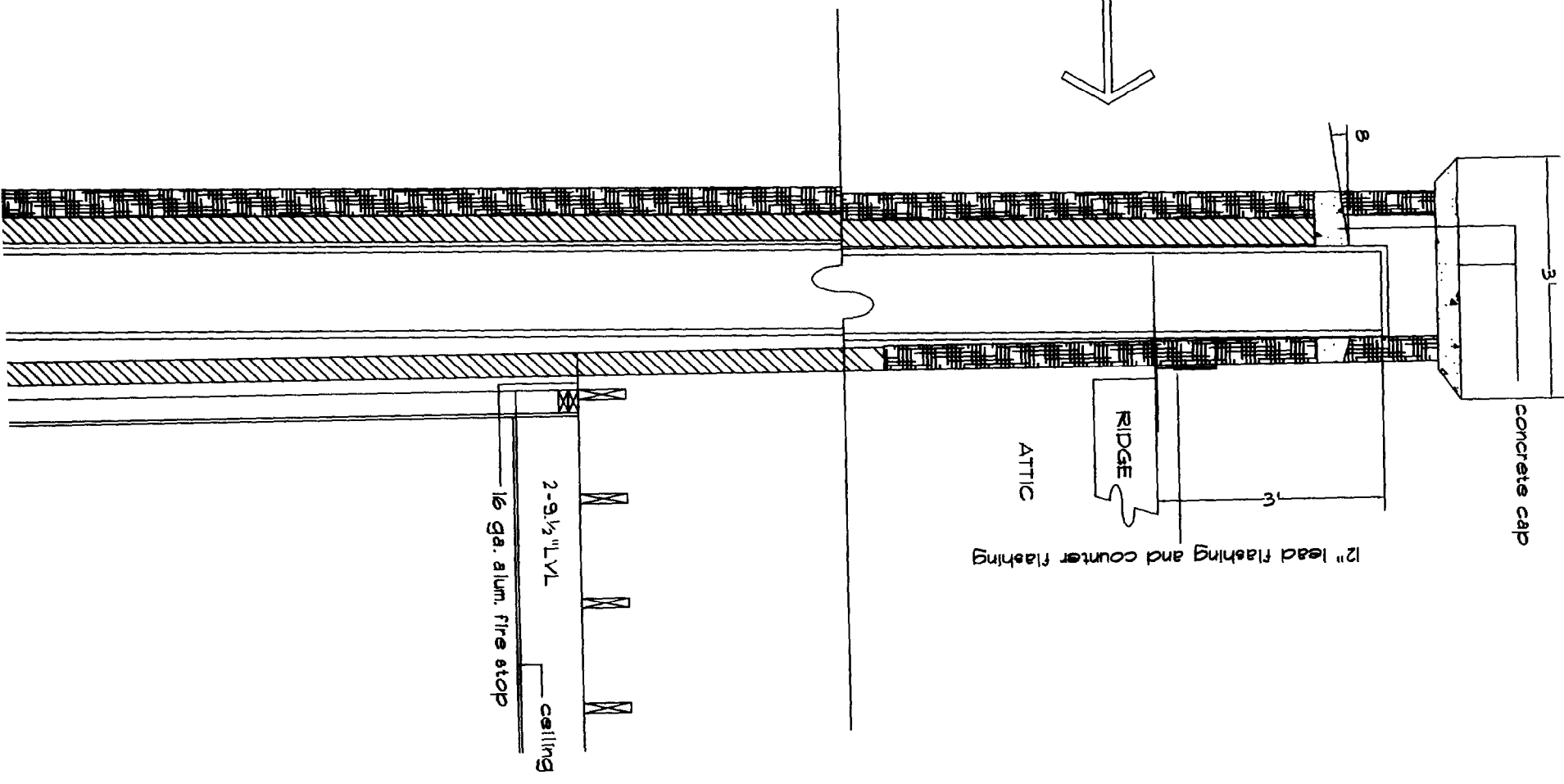


Colonial Natural Select Field Stone

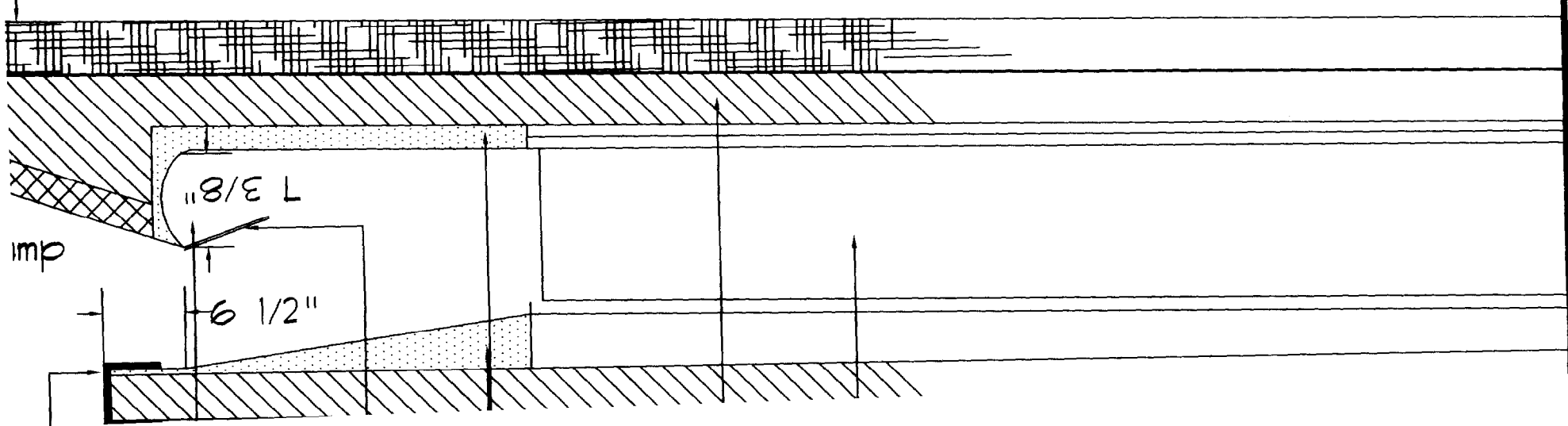
Roof Level



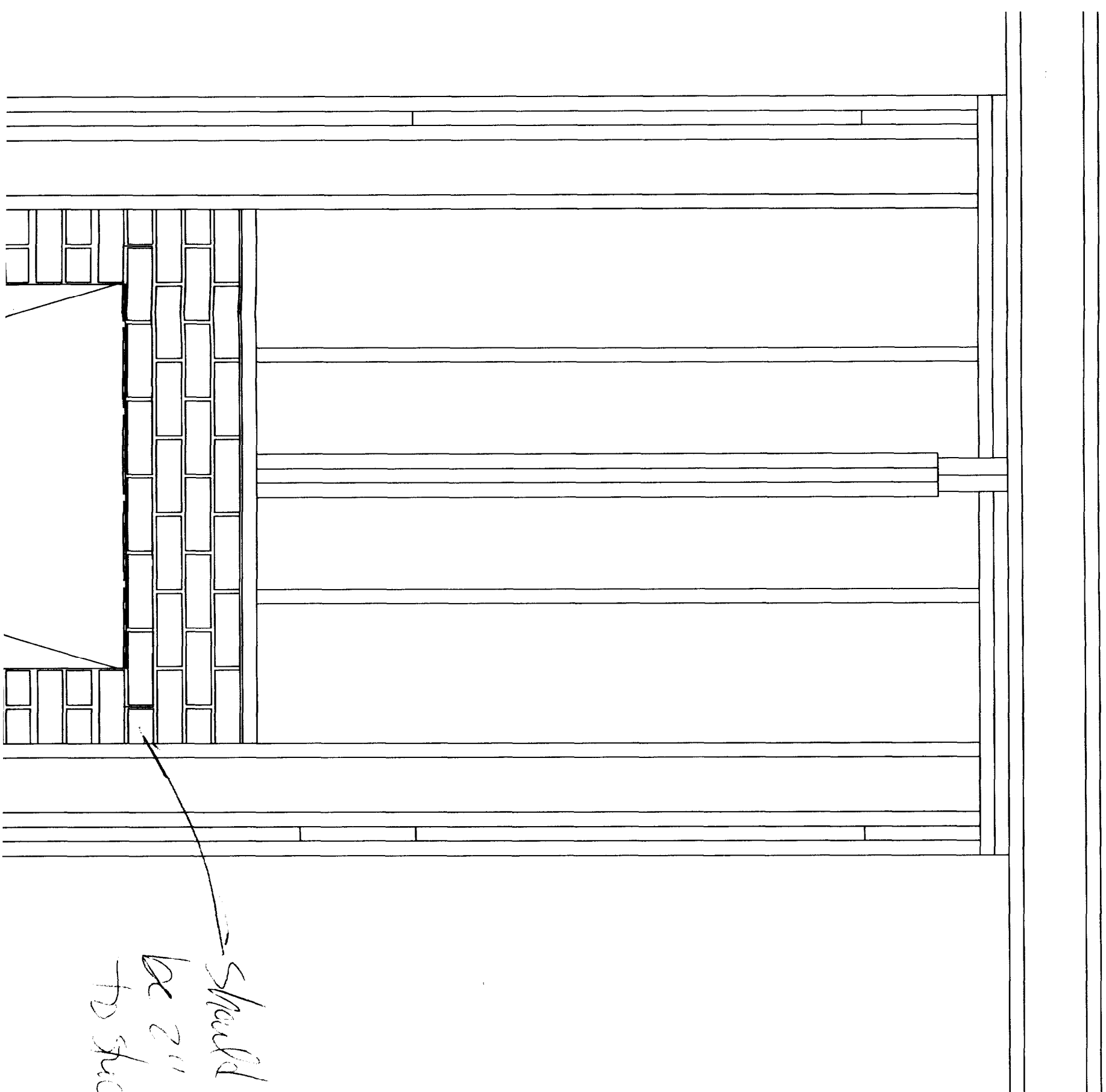
solid masonry



Colonial Natural Select Field Stone
(all exterior areas)

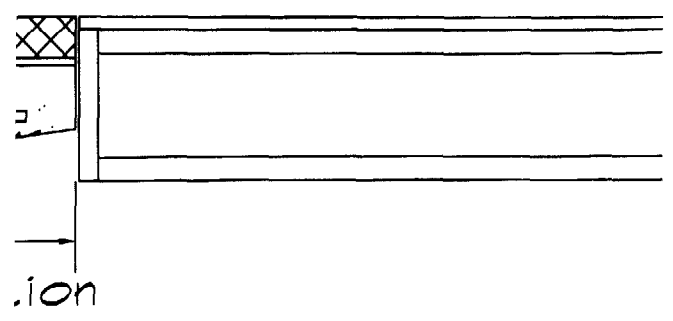


- 12"x12" mod. flue linings
(ref. cement)
- solid masonry unit
- smoke chamber fully
plastered with cement
mortar
- 40" high form dampert
- 2" air space (typ.)
- smoke shelf
- 1/4"x1/4"x4' steel lintel



Should
be 2"
to stud

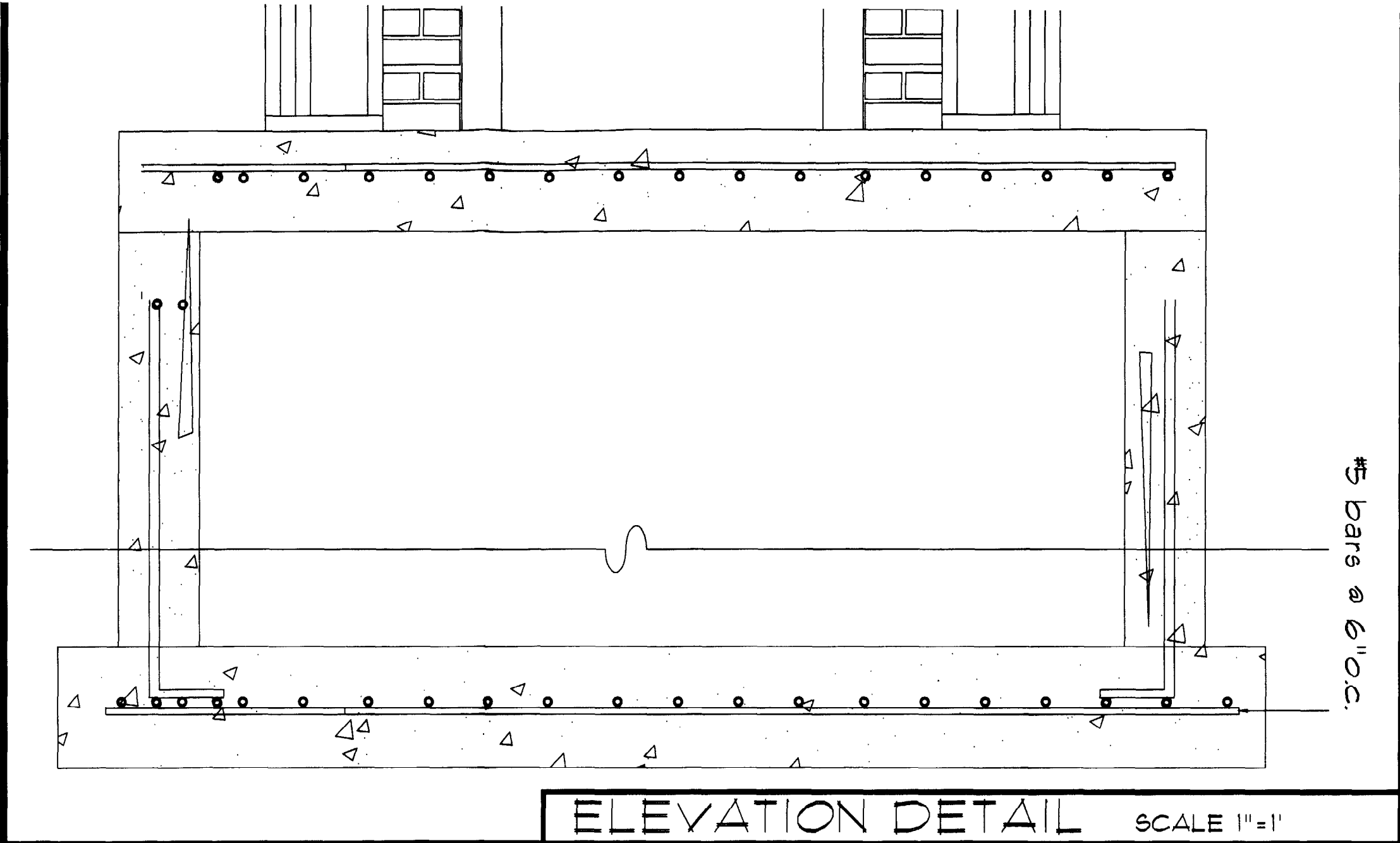
bars @ 6" o.c.
 fire brick (re. cement)



ion

BLOW-UP DETAIL
 SCALE 1"=1"

footing
 matt
 can out



#5 bars @ 6" o.c.

ELEVATION DETAIL SCALE 1"=1"

STEVENSON COTTAGE

548 ISLAND AVE
 PEAKS ISLAND

The Cottage Design Company

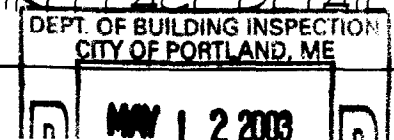
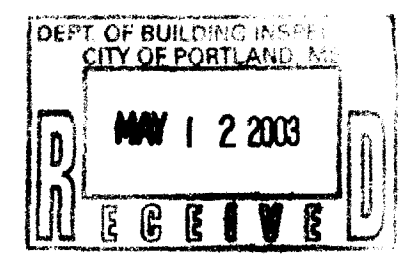
9.3.02
 REVISED 5.09.03

91 SUMMER PLACE, PORTLAND MAINE 04103
 (800) 322-6149

1/2"=1"
 AND AS NOTED

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FIREPLACE DETAIL
 DEPT. OF BUILDING INSPECTION
 CITY OF PORTLAND, ME



Codes govern over drawings
 Dimensions govern over scale

Roof Loads = 42# / sq'
 Floor Loads = 40# / sq' all other

These plans have been prepared to meet top professional standards and practices. However, local variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they