

UTILITIES SUMMARY:

- * **CMP:** OVERHEAD LINES APPROX AS LAID-OUT. SUBJECT TO FINAL REVISION BY CMP AS ALL POLES SHOWN ARE NEW
- * **SEPTIC:** ON SITE, NEW 2BEDROOM SYSTEM DESIGN BY ALBERT FRICK, 11/14/03.
- * **WATER:** SUMMER WATER, SURFACE PIPES / PWD, APPROX AS SHOWN. (FUTURE WELL LOCATION IS SHOWN)

* **PROPERTY ADDRESS:**
 TOLMAN ROAD, PEAKS ISLAND
 MAP 91-A-3
 16,795 SF
 ZONE: 1P-1
 (16,795 x 20% = 3347 SF MAX ALLOWABLE LOT COVERAGE.)
 (PROPOSED SETBACKS: 800 SF ±)

* **SURVEYOR:**
 BASE SURVEY DOCUMENT BY:
 GENE SCHLEH
 NORTHEAST LAND SURVEYING
 18 COLLEGE AVE
 GORHAM, ME

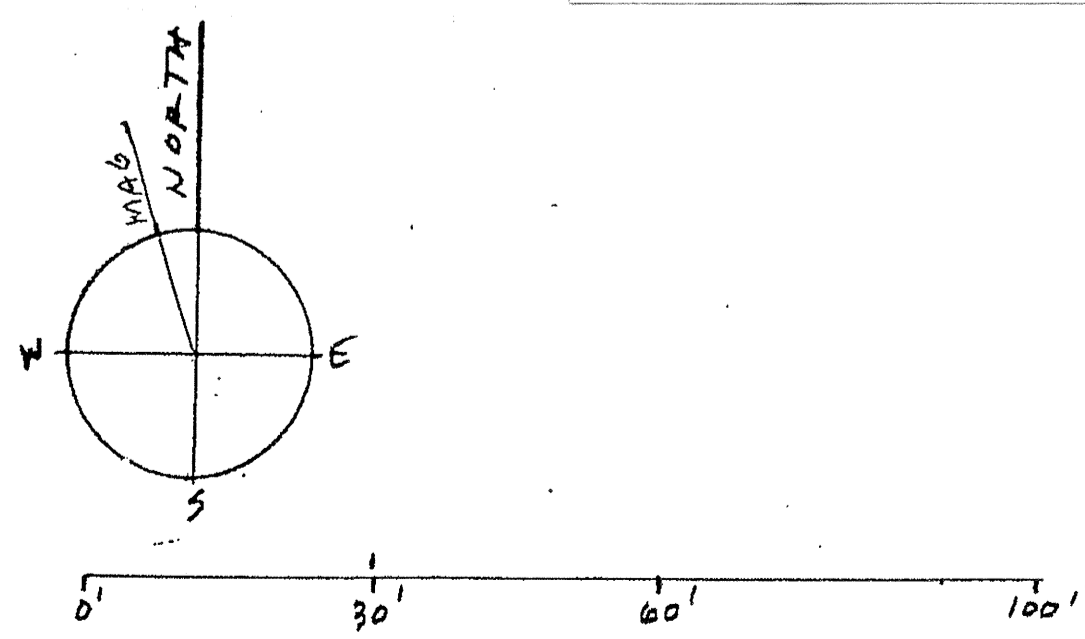
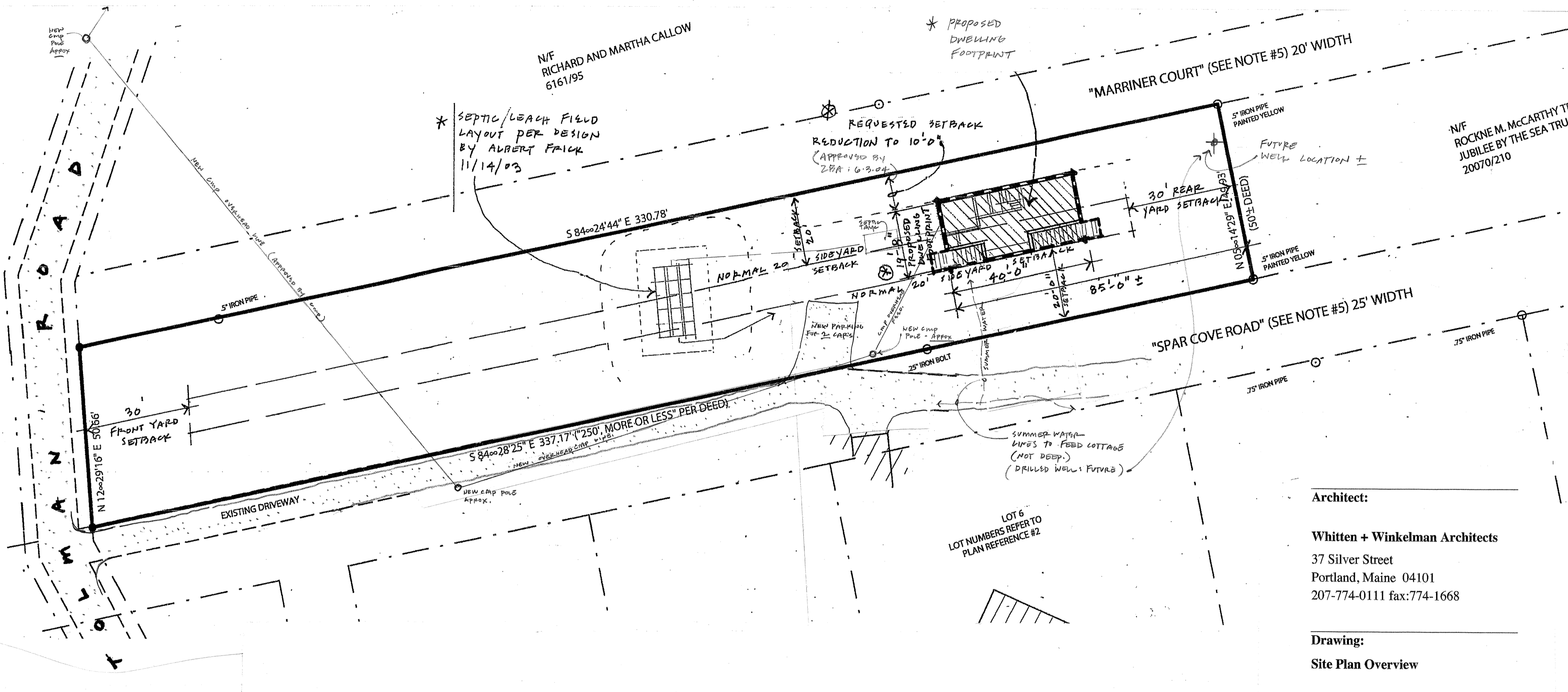
* **GRADING:**
 GRADING - SEE GRADING PLAN, SHT: S.102

* **OWNER:**
 MARY DOUGLAS
 154 MARLBOROUGH AVE
 OTTAWA, ONTARIO K1N-8G2
 CANADA

* **BUILDER:**
 BILL BUNTON
 87 MIDDLE RD, CUMBERLAND, ME. 04021
 PH: 829-6438 PG: 758.0011

Project:
 Douglas Cottage
 Tolman Heights
 Peaks Island, ME

Notes:



* ZONING BOARD OF APPEALS
 HEARING ON 2 JUNE 04
 APPROVED THE SIDE YARD
 SETBACK REDUCTION FROM 20'
 TO 10'

Architect:
 Whitten + Winkelman Architects
 37 Silver Street
 Portland, Maine 04101
 207-774-0111 fax: 774-1668

Drawing:
 Site Plan Overview

Scale:
 1" = 20'-0"

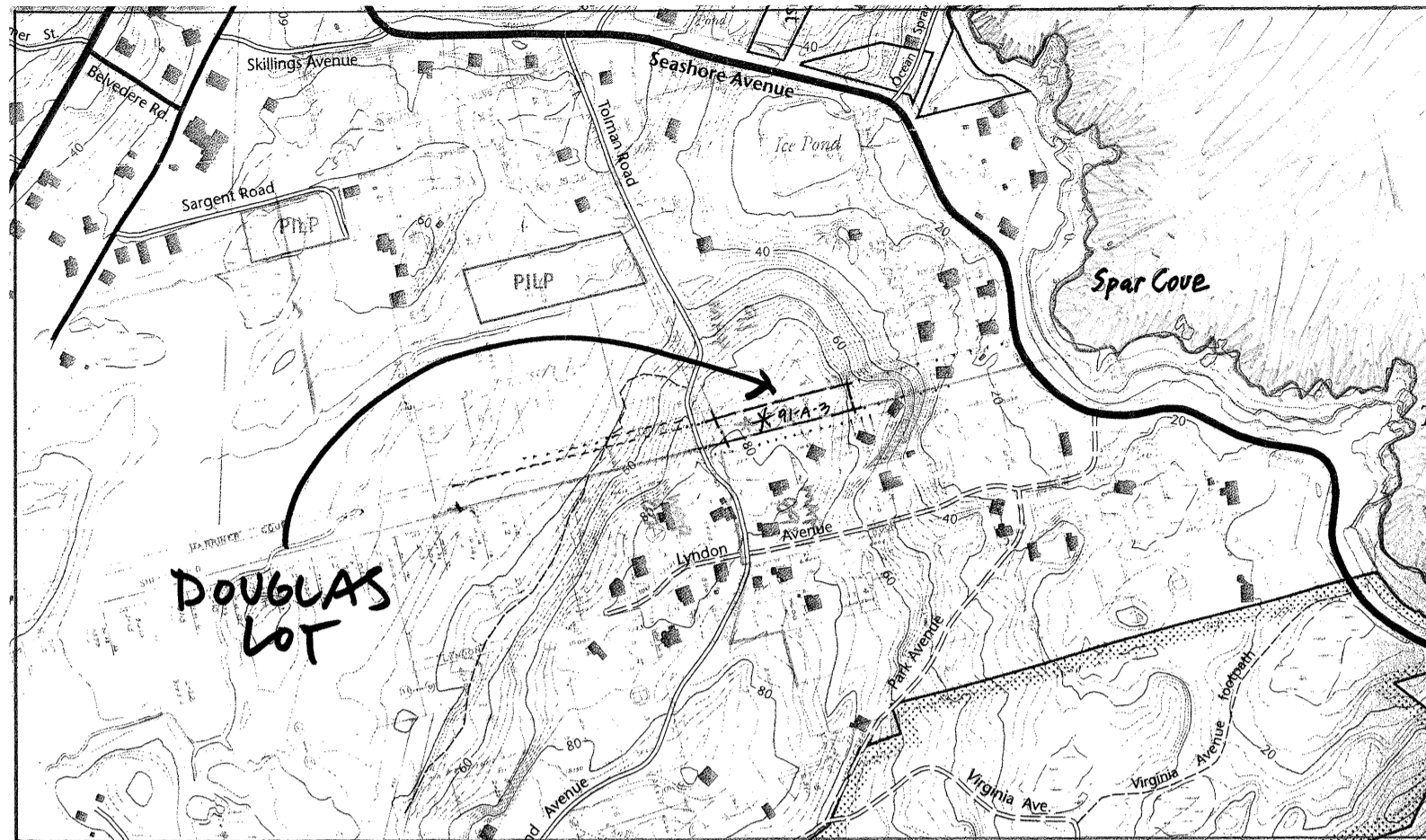
Date:
 Thursday, March 17, 2005

Revisions:

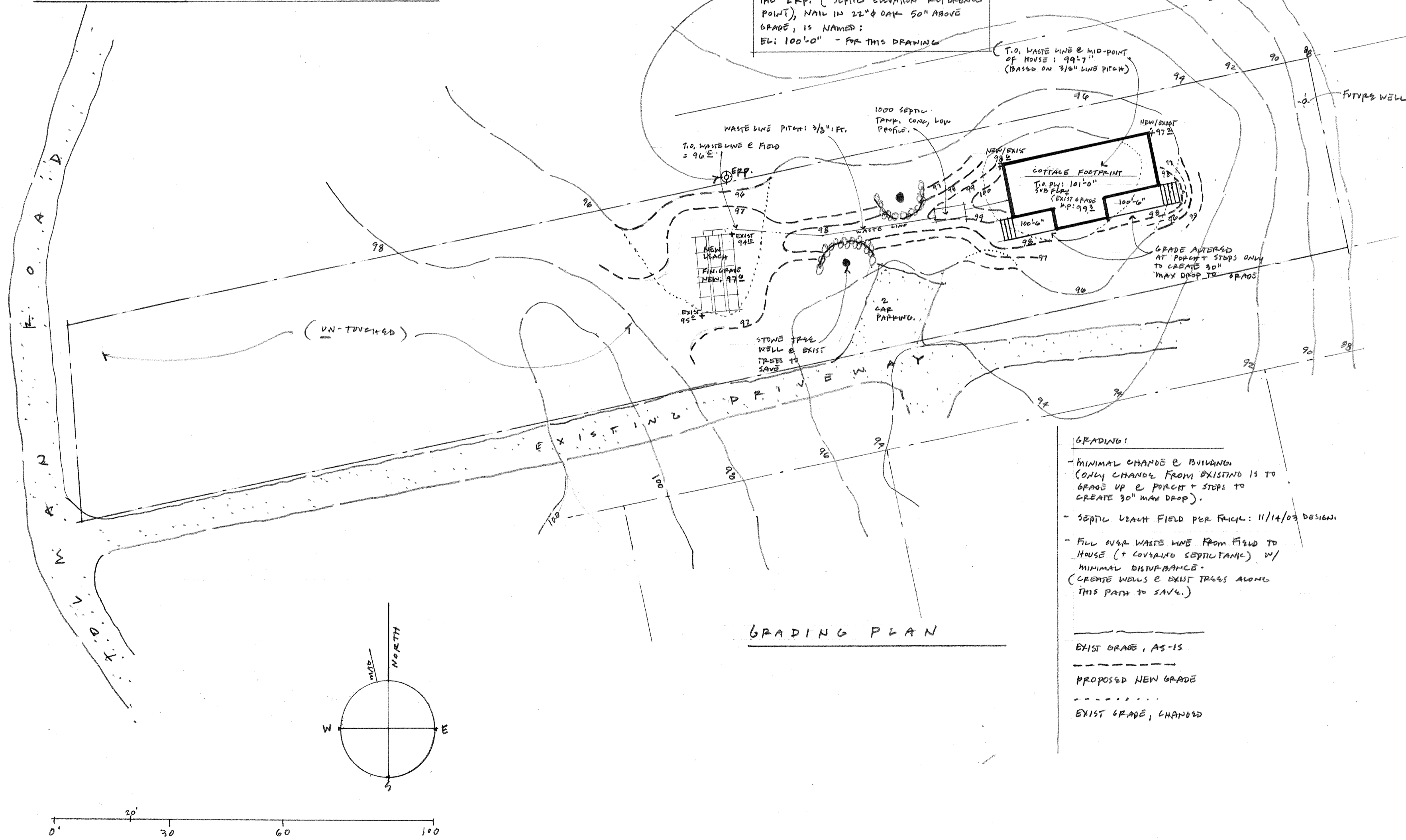
S-101

Project:
 Douglas Cottage
 Tolman Heights
 Peaks Island, ME

Notes:



VICINITY PLAN - TOLMAN HEIGHTS, PEAKS ISLAND.



GRADING PLAN

Architect:

Whitten + Winkelman Architects
 37 Silver Street
 Portland, Maine 04101
 207-774-0111 fax: 774-1668

Drawing:

Site Plan Grading

Scale:
 1" = 20'-0"

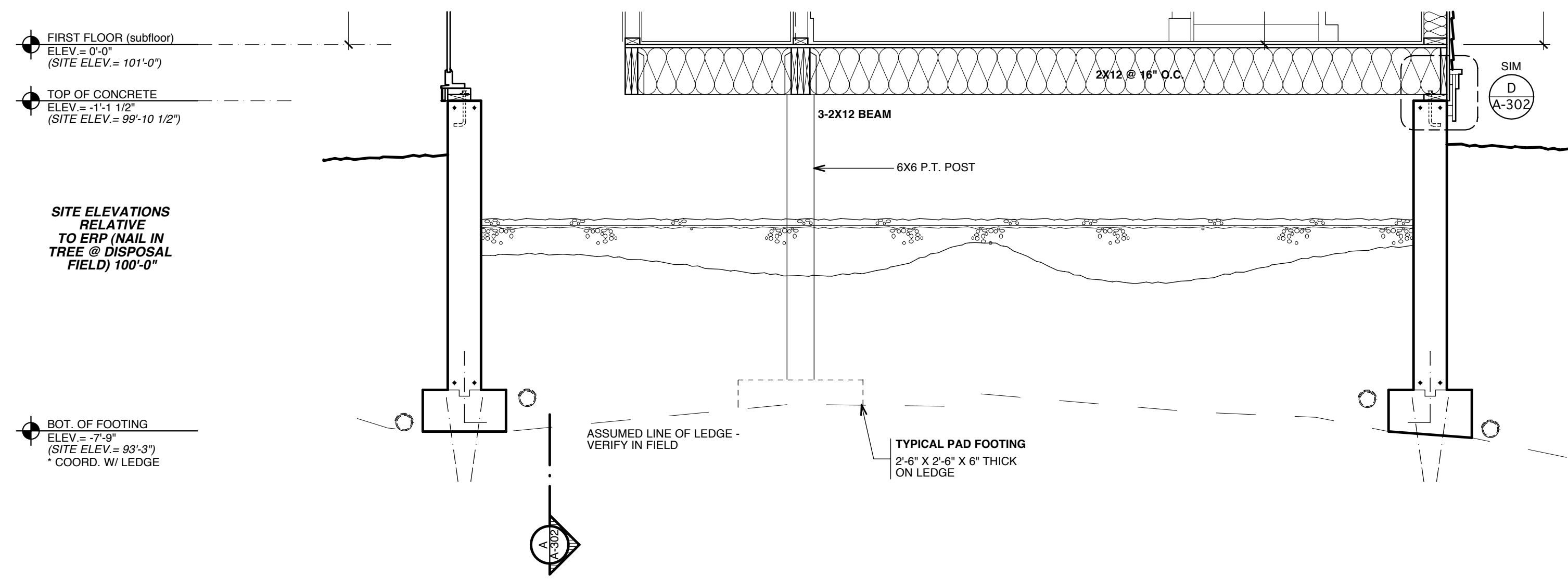
Date:

Thursday, March 17, 2005

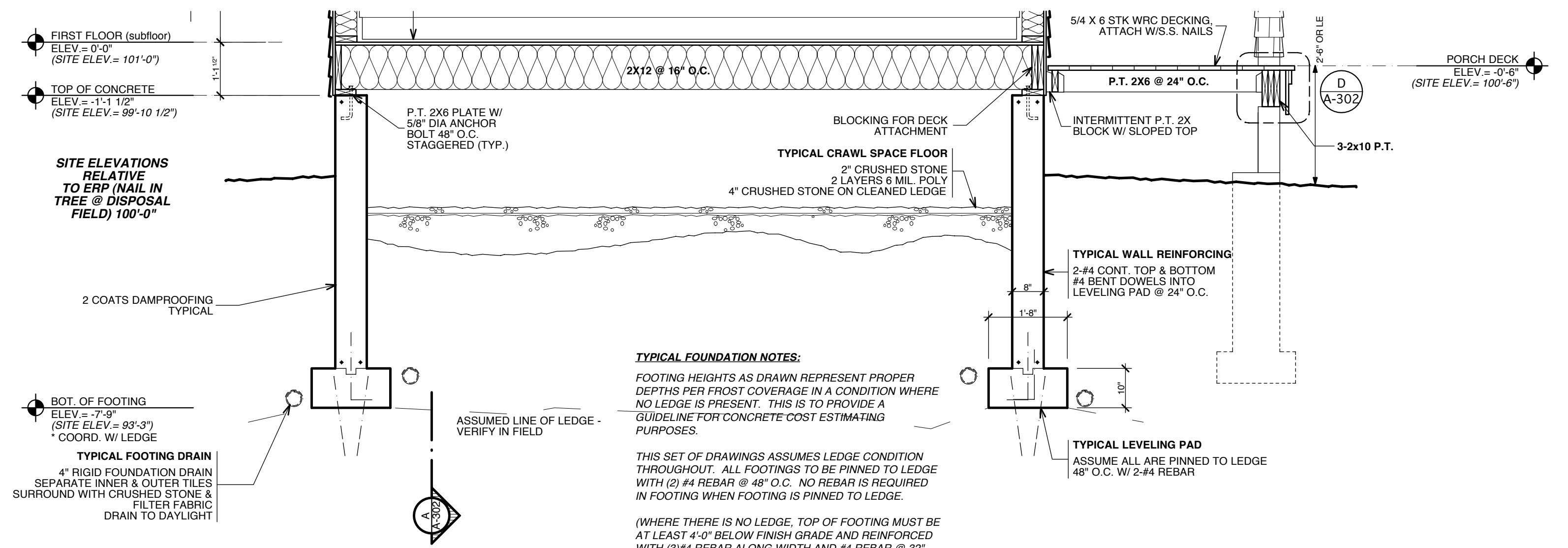
Revisions:

S-102

Notes:

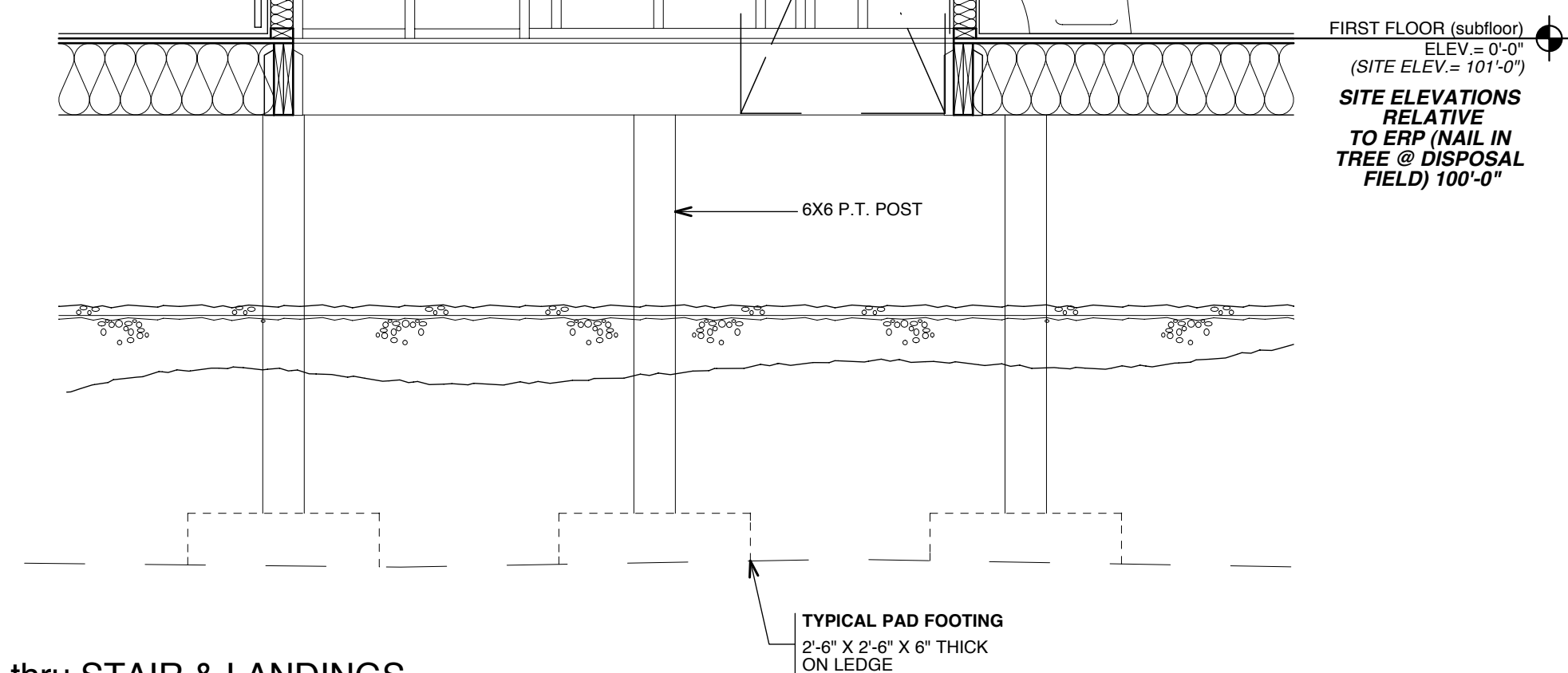


2 NORTH-SOUTH SECTION at STAIRWELL
 SCALE: 1/2" = 1'-0"

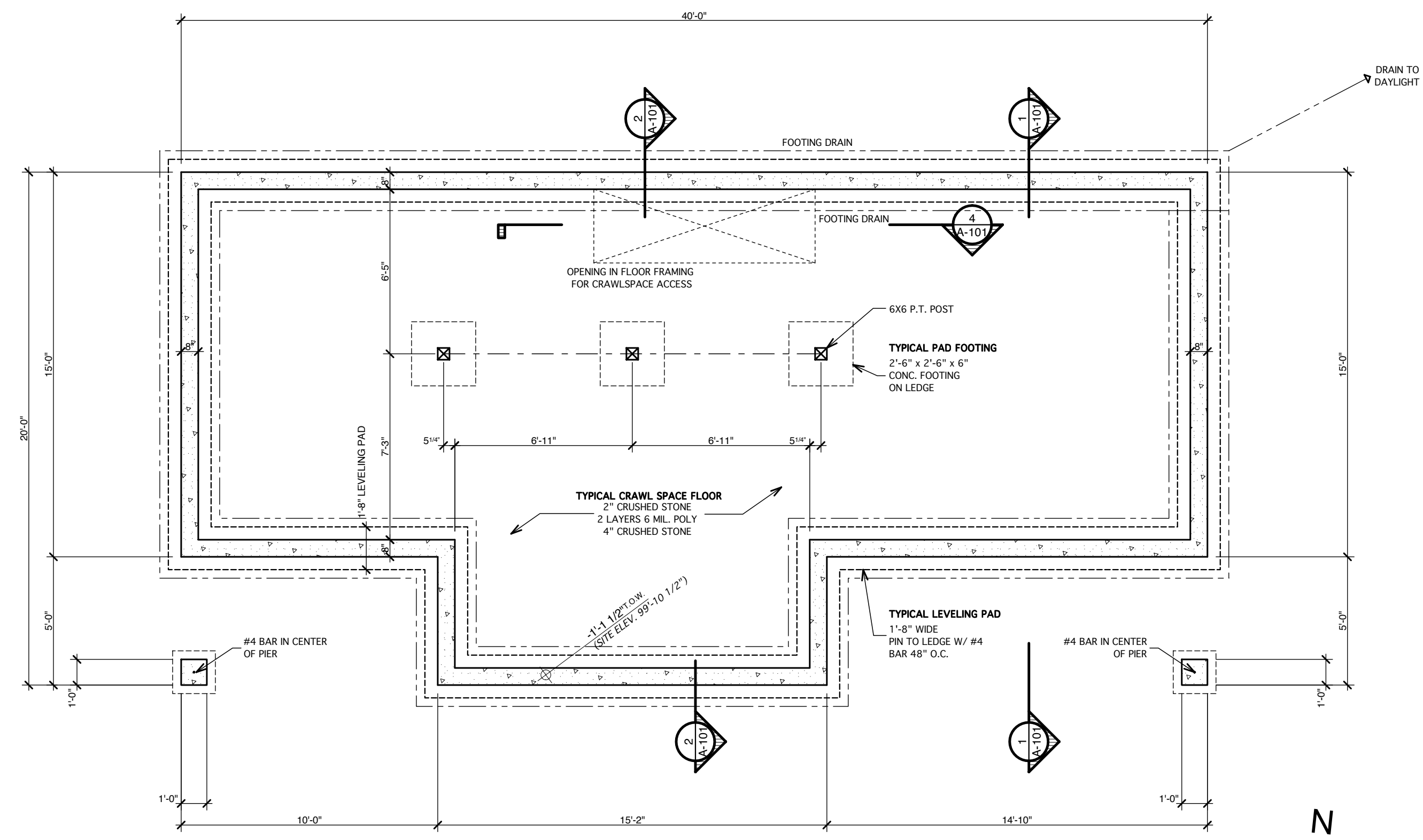


1 NORTH-SOUTH SECTION
 SCALE: 1/2" = 1'-0"

TYPICAL FOUNDATION NOTES:
 FOOTING HEIGHTS AS DRAWN REPRESENT PROPER DEPTHS PER FROST COVERAGE IN A CONDITION WHERE NO LEDGE IS PRESENT. THIS IS TO PROVIDE A GUIDELINE FOR CONCRETE COST ESTIMATING PURPOSES.
 THIS SET OF DRAWINGS ASSUMES LEDGE CONDITION THROUGHOUT. ALL FOOTINGS TO BE PINNED TO LEDGE WITH (2) #4 REBAR @ 48" O.C. NO REBAR IS REQUIRED IN FOOTING WHEN FOOTING IS PINNED TO LEDGE.
 (WHERE THERE IS NO LEDGE, TOP OF FOOTING MUST BE AT LEAST 4'-0" BELOW FINISH GRADE AND REINFORCED WITH (3) #4 REBAR ALONG WIDTH AND #4 REBAR @ 32" O.C. ALONG FOOTING LENGTH.)



4 SECTION thru STAIR & LANDINGS
 SCALE: 1/2" = 1'-0"



3 FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"

Architect:
Whitten + Winkelmann Architects
 37 Silver Street
 Portland, Maine 04101
 207-774-0111 fax: 774-1668

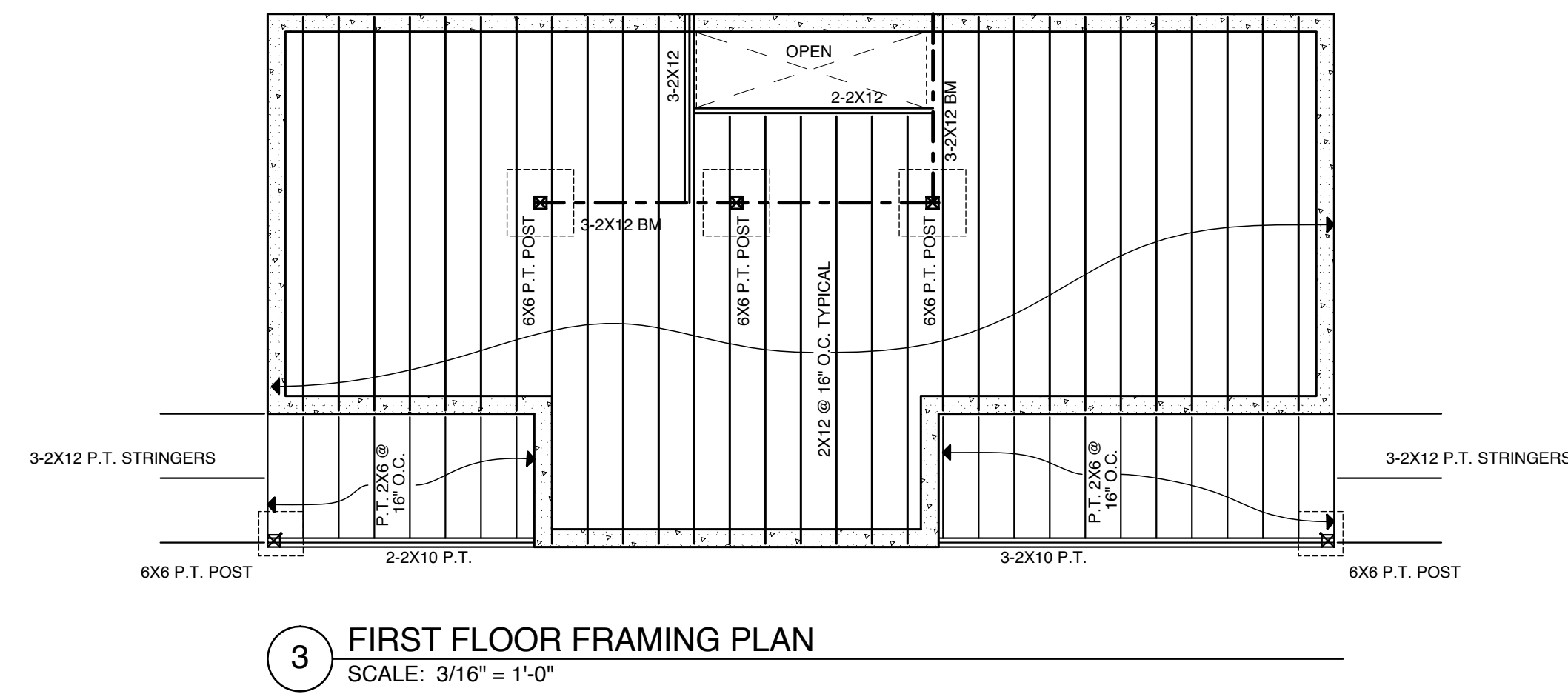
Drawing:
Foundation Plan & Sections

Scale:
AS NOTED

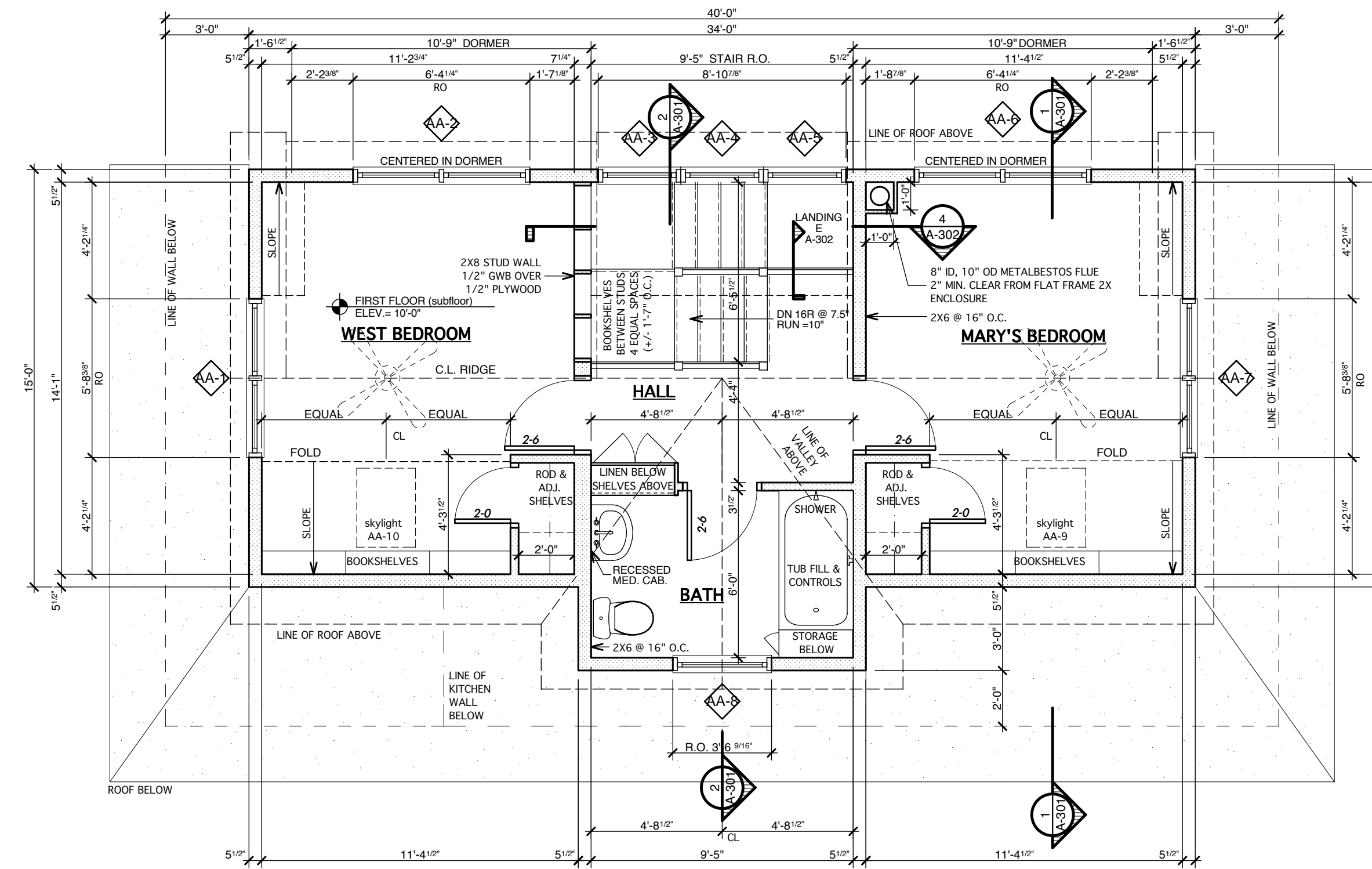
Date:
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Revisions:

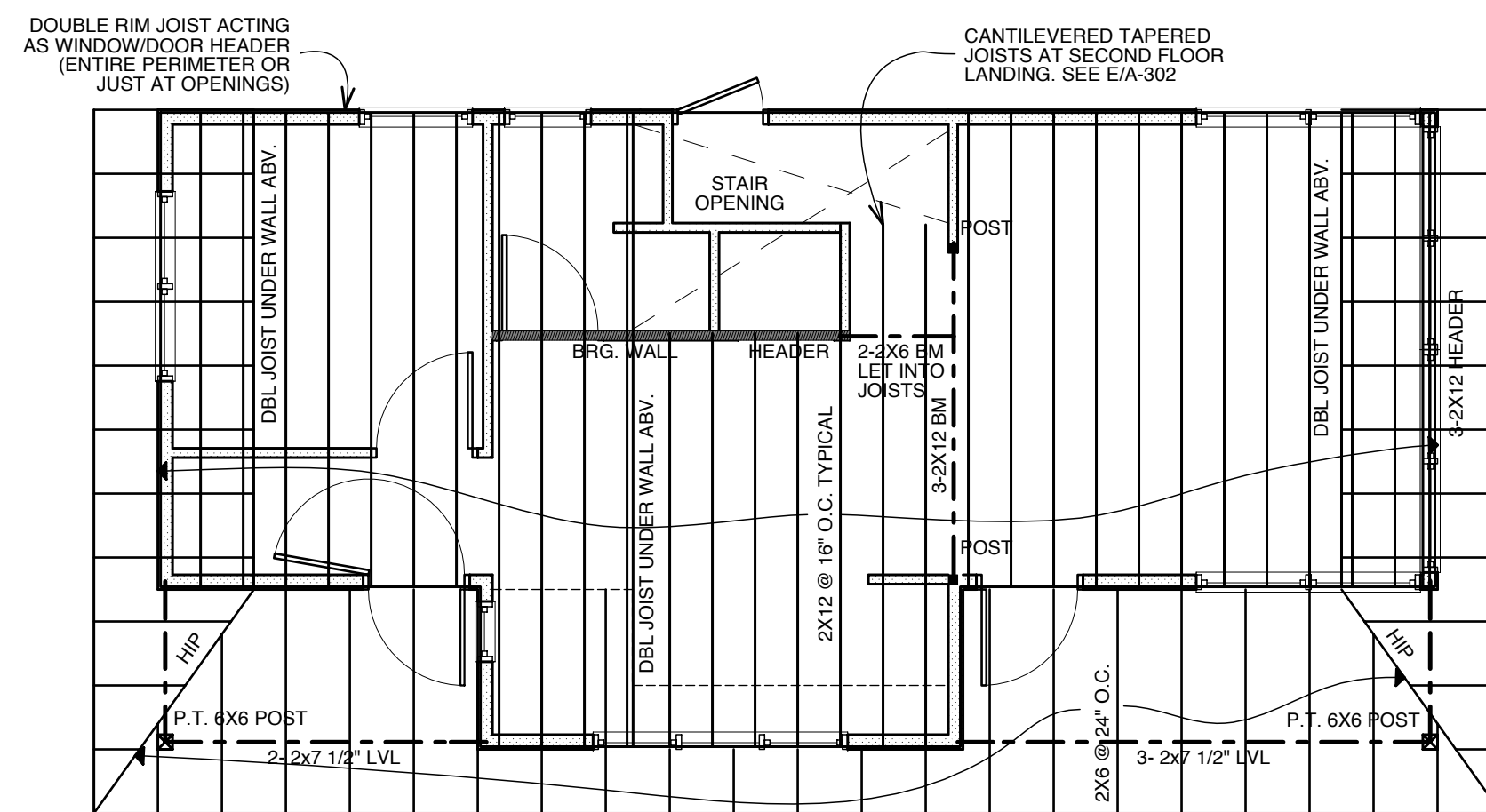
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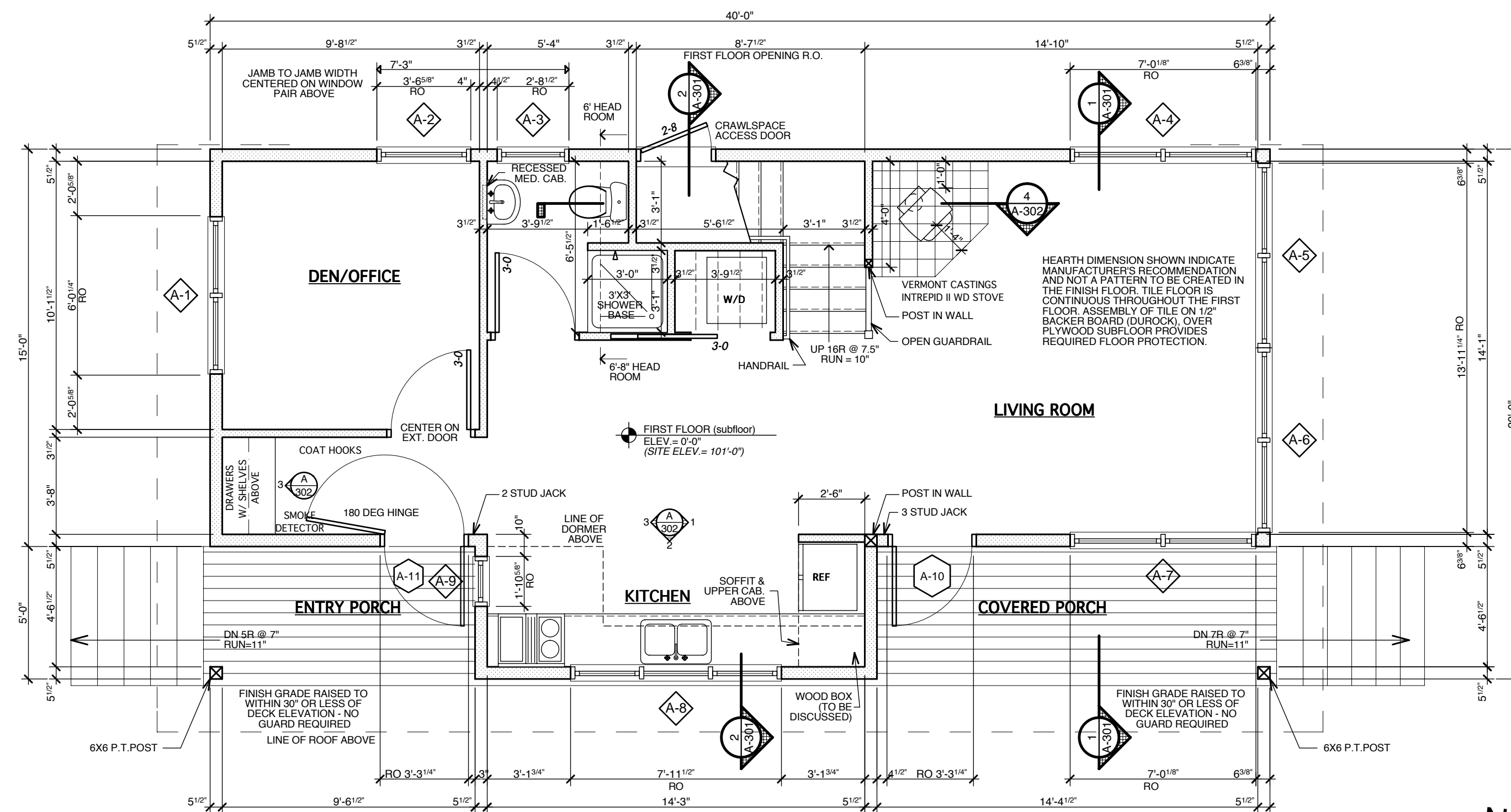
3 FIRST FLOOR FRAMING PLAN
 SCALE: 3/16" = 1'-0"



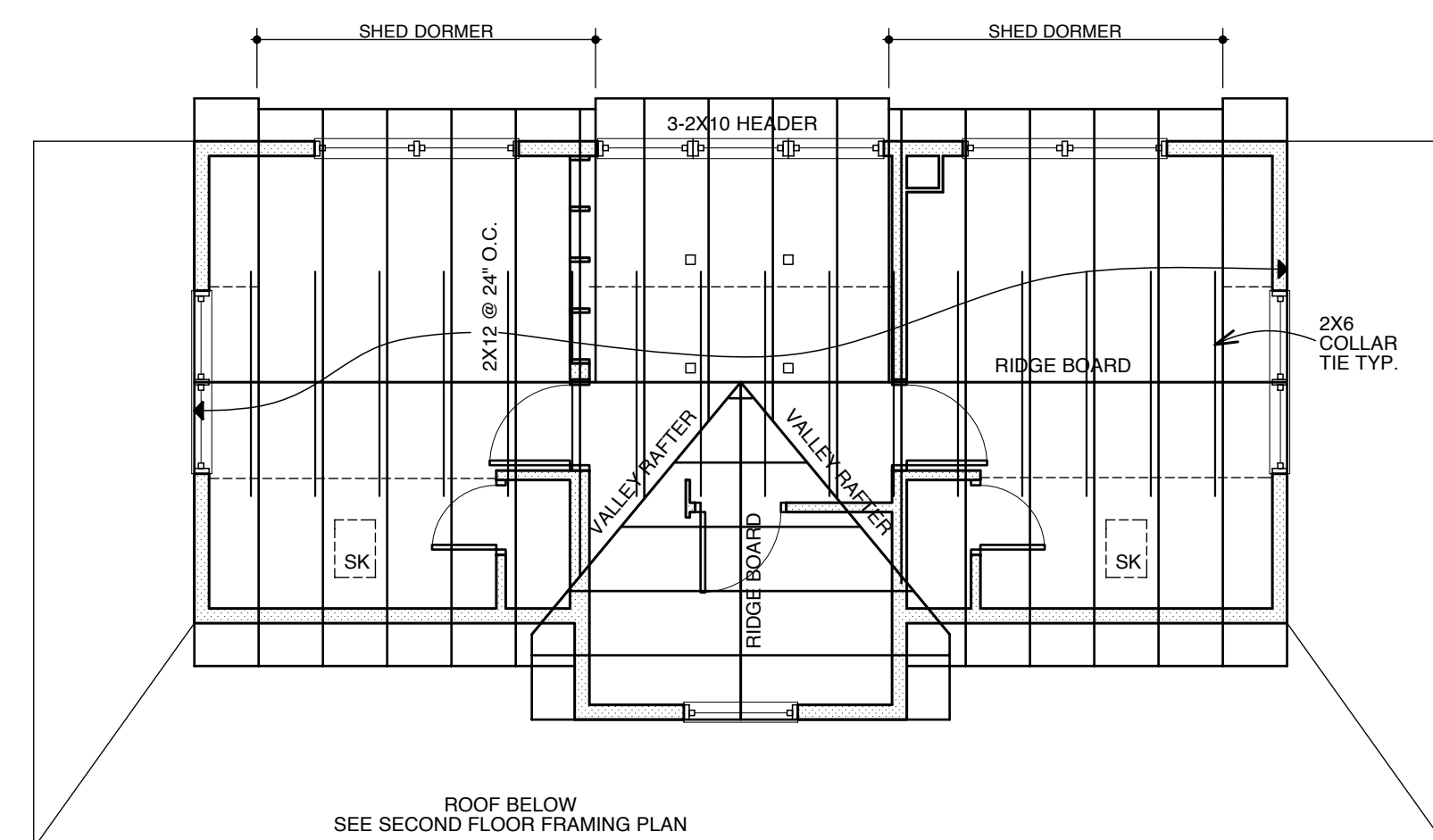
2 SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"



4 SECOND FLOOR FRAMING PLAN
 SCALE: 3/16" = 1'-0"



1 FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"



5 ROOF FRAMING PLAN
 SCALE: 3/16" = 1'-0"

Architect:

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 37 Silver Street
 Portland, Maine 04101
 207-774-0111 fax: 774-1668

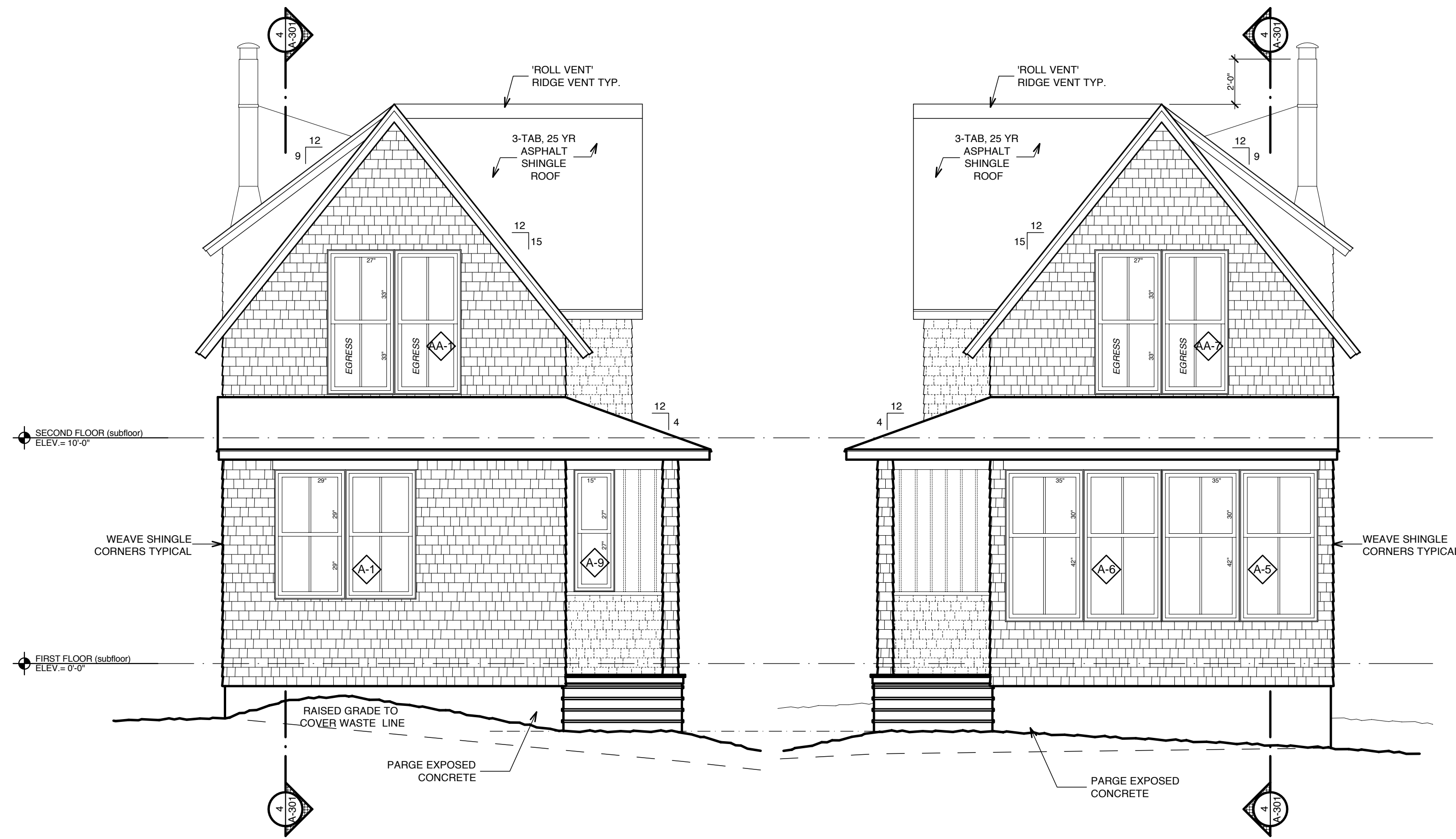
Drawing:
Floor Plans & Framing Plans

Scale:
AS NOTED

Date:
Thursday, March 17, 2005

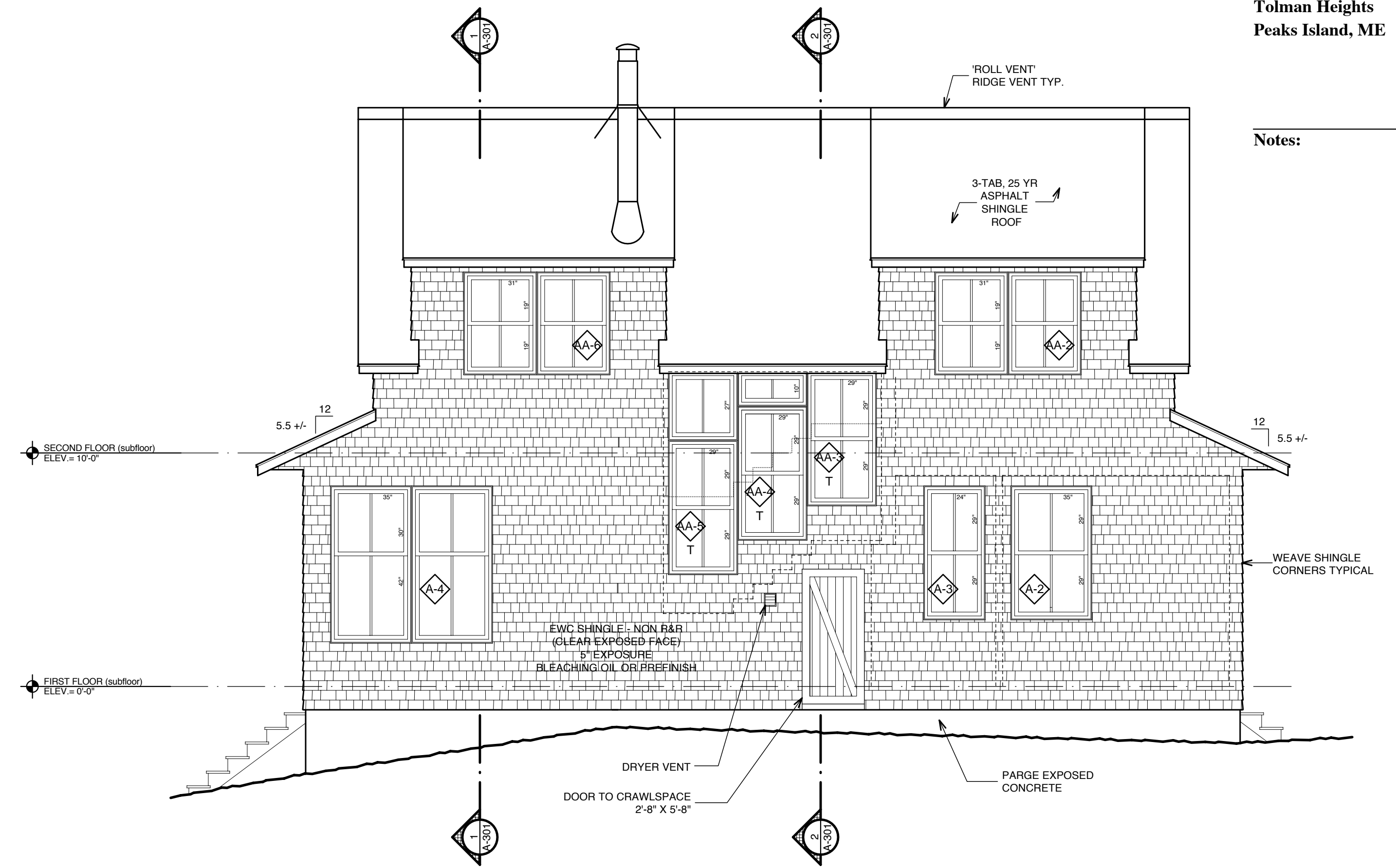
Revisions:

Notes:



1 WEST ELEVATION
 SCALE: 1/4" = 1'-0"

2 EAST ELEVATION
 SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

DOOR AND WINDOW SCHEDULE

WINDOWS AND EXTERIOR DOORS

Prefix Legend:
 "A": First floor doors and windows.
 "AA": Second floor doors and windows.

NO.	Type	Manf. No. (LEPAGE u.n.o.)	R.O. Width	R.O. Height	R.O. Head From Subfl (V.I.F.)	Remarks
A-1	Double-Hung	2930-2W	6'-0 1/4"	5'-9 3/8"	8'-7 1/2"	
A-2	Double-Hung	3530	3'-6 9/16"	5'-9 3/8"	8'-7 1/2"	
A-3	Double-Hung	2530	2'-8 1/2"	5'-9 3/8"	8'-7 1/2"	
A-4	Double-Hung	Custom Cottage 3536-2W	7'-0 1/8"	6'-9 3/8"	8'-7 1/2"	
A-5	Double-Hung	Custom Cottage 3536-2W	7'-0 1/8"	6'-9 3/8"	8'-7 1/2"	Consider factory mull A-5 & A-6 (total RO Width = 13'-11 1/4")
A-6	Double-Hung	Custom Cottage 3536-2W	7'-0 1/8"	6'-9 3/8"	8'-7 1/2"	Consider factory mull A-5 & A-6 (total RO Width = 13'-11 1/4")
A-7	Double-Hung	Custom Cottage 3536-2W	7'-0 1/8"	6'-9 3/8"	8'-7 1/2"	
A-8	Double-Hung	2528-3W	7'-11 1/2"	5'-5 1/4"	8'-7 1/2"	
A-9	Double-Hung	1528	1'-10 5/8"	5'-5 1/4"	8'-7 1/2"	
A-10	French Door	outswing 3679 w/ custom transom	3'-3 3/16"	8'-7 1/2"	8'-7 1/2"	total unit height 8'-7", 1'-8 1/2" h transom
A-11	Wood Door	inswing 3679 w/ custom transom	3'-3 3/16"	8'-7 1/2"	8'-7 1/2"	w/ wood screen door, raised panel as shown on elevation, 1'-8 1/2" h transom, 180 deg hinge
AA-1	Double-Hung	2734-2W	5'-8 3/8"	6'-5 1/4"	8'-4 1/2"	Egress window
AA-2	Double-Hung	3122-2W	6'-4 1/4"	4'-1 5/16"	7'-9"	
AA-3	Double-Hung	2930	8'-11 7/8"	5'-9 3/8"	3'-5 3/4" abv 2nd fir	Mulled to A-4 & A-5, Top & bottom sash of DH tempered, sash limiter
AA-4	Dbi-Hung & Trans	2930 - 3511 transom	8'-11 7/8"	7'-3 1/16"	3'-5 3/4" abv 2nd fir	Mulled to A-3 & A-5, Top & bottom sash of DH tempered, sash limiter
AA-5	Dbi-Hung & Trans	2930 - Custom 35 3/8" h. transom	8'-11 7/8"	8'-8 3/4"	3'-5 3/4" abv 2nd fir	Mulled to A-3 & A-4, Top & bottom sash of DH tempered, sash limiter
AA-6	Double-Hung	3122-2W	6'-4 1/4"	4'-1 5/16"	7'-9"	
AA-7	Double-Hung	2734-2W	5'-8 3/8"	6'-5 1/4"	8'-4 1/2"	Egress window
AA-8	Dbi-Hung & Trans	3528 - 3527 transom	3'-6 9/16"	8'-2 15/16"	9'-6 1/8"	
AA-9	Skylight	Wasco EV2238	1'-10 1/2"	3'-2 1/2"		See building section
AA-10	Skylight	Wasco EV2238	1'-10 1/2"	3'-2 1/2"		See building section

NOTES:
 Lepage Windows:
 1. Clad sash in clad frame
 2. Bare interior.
 3. Low E Insulated glass, 1 1/4" SDL (see elevations)
 4. Extension jambs.
 5. Provide half screens in cladding color at all double hung and cottage units.

Lepage Doors:
 1. Clad exterior. Bare interior.
 2. Low E Insulated glass, 1 1/4" SDL (see elevations)

Coordinate R.O. dimensions listed here and dimensioned on plans & sections with manufacturer's recommendations.



4 SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

Architect:
Whitten + Winkelmann Architects
 37 Silver Street
 Portland, Maine 04101
 207-774-0111 fax:774-1668

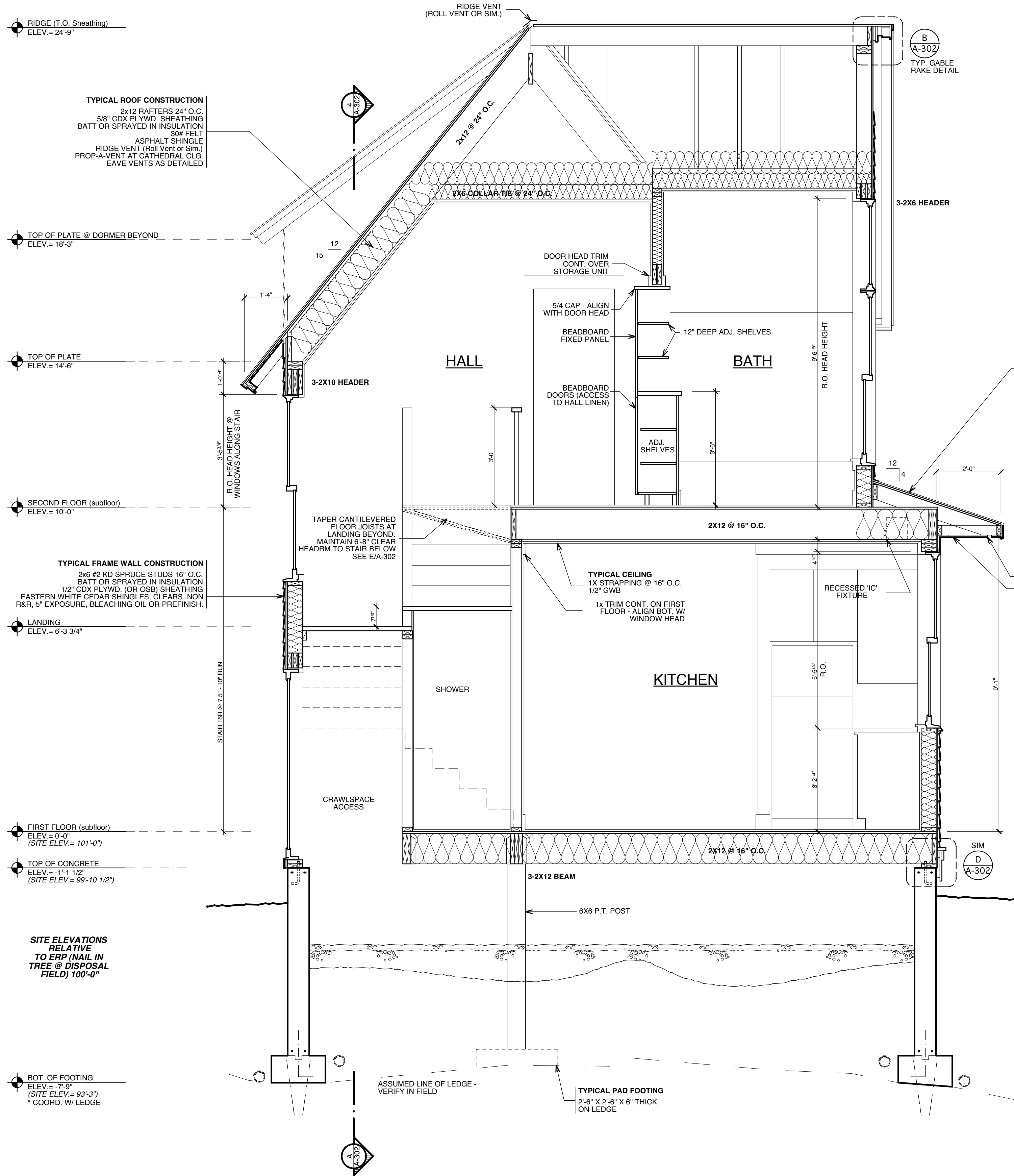
Drawing:
Elevations

Scale:
 1/4" = 1'-0"

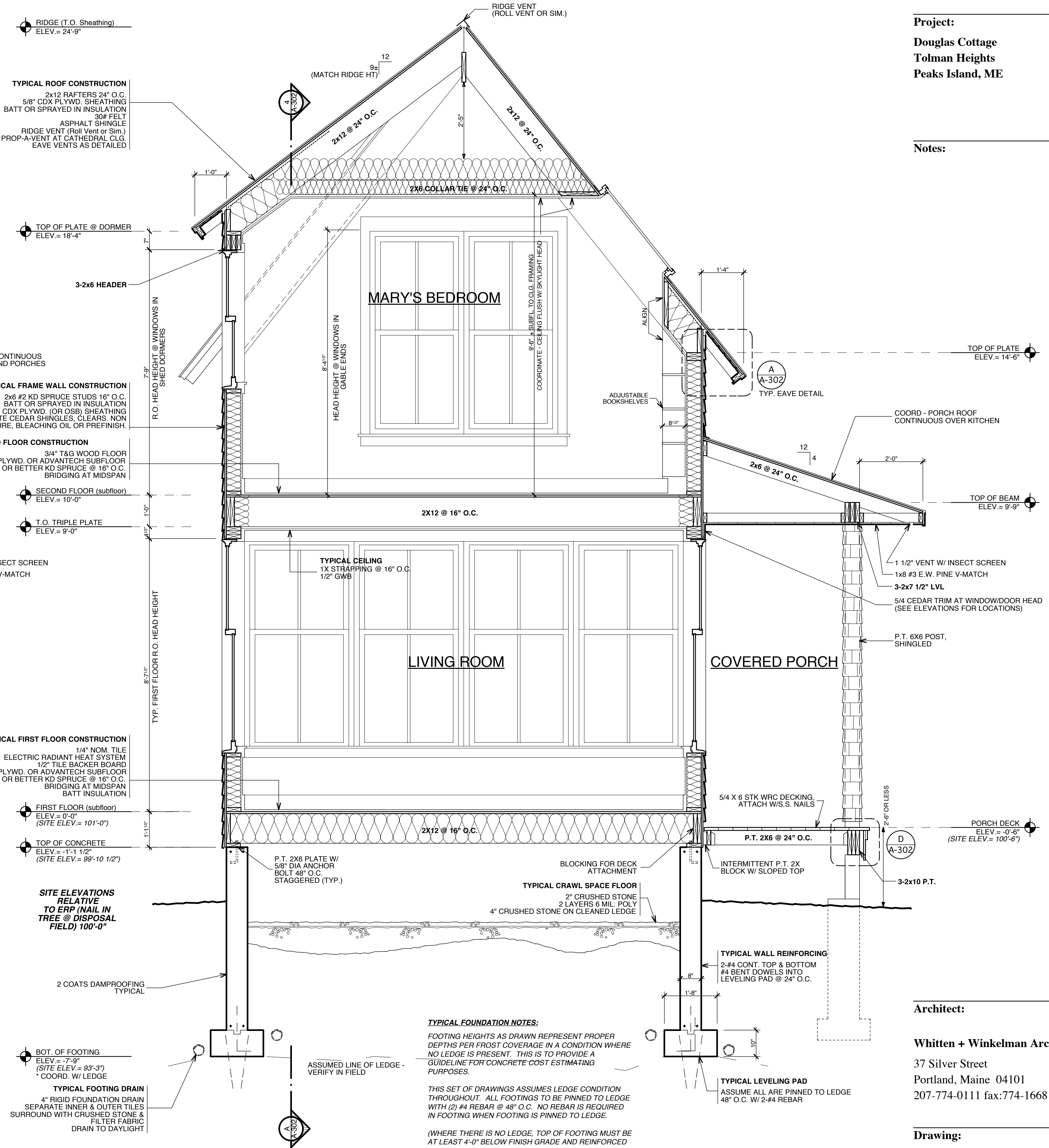
Date:
 Thursday, March 17, 2005

Revisions:

A-201



2 NORTH-SOUTH SECTION at STAIRWELL
SCALE: 1/2" = 1'-0"



1 NORTH-SOUTH SECTION
SCALE: 1/2" = 1'-0"

Project:
Douglas Cottage
Tolman Heights
Peaks Island, ME

Notes:

TYPICAL ROOF CONSTRUCTION
2x12 RAFTERS 24" O.C.
5/8" CDX PLYWD. SHEATHING
BATT OR SPRAYED IN INSULATION
30# FELT
ASPHALT SHINGLE
RIDGE VENT (Roll Vent or Sim.)
PROP-A-VENT AT CATHEDRAL CLG.
EAVE VENTS AS DETAILED

TYPICAL FRAME WALL CONSTRUCTION
2x6 #2 KD SPRUCE STUDS 16" O.C.
BATT OR SPRAYED IN INSULATION
1/2" CDX PLYWD. (OR OSB) SHEATHING
EASTERN WHITE CEDAR SHINGLES, CLEAR, NON
R&R, 5" EXPOSURE, BLEACHING OIL OR PREFINISH.

TYPICAL SECOND FLOOR CONSTRUCTION
3/4" T&G WOOD FLOOR
3/4" CDX PLYWD. OR ADVANTECH SUBFLOOR
2X12 #2 OR BETTER KD SPRUCE @ 16" O.C.
BRIDGING AT MIDSPAN

TYPICAL FIRST FLOOR CONSTRUCTION
1/4" NOM. TILE
ELECTRIC RADIANT HEAT SYSTEM
1/2" TILE BACKER BOARD
1/2" CDX PLYWD. OR ADVANTECH SUBFLOOR
2X12 #2 OR BETTER KD SPRUCE @ 16" O.C.
BRIDGING AT MIDSPAN
BATT INSULATION

TYPICAL FOUNDATION NOTES:
FOOTING HEIGHTS AS DRAWN REPRESENT PROPER DEPTHS PER FROST COVERAGE IN A CONDITION WHERE NO LEDGE IS PRESENT. THIS IS TO PROVIDE A GUIDELINE FOR CONCRETE COST ESTIMATING PURPOSES.

THIS SET OF DRAWINGS ASSUMES LEDGE CONDITION THROUGHOUT. ALL FOOTINGS TO BE PINNED TO LEDGE WITH (2) #4 REBAR @ 48" O.C. NO REBAR IS REQUIRED IN FOOTING WHEN FOOTING IS PINNED TO LEDGE.

(WHERE THERE IS NO LEDGE, TOP OF FOOTING MUST BE AT LEAST 4'-0" BELOW FINISH GRADE AND REINFORCED WITH (3/4) REBAR ALONG WIDTH AND #4 REBAR @ 32" O.C. ALONG FOOTING LENGTH.)

Architect:
Whitten + Winkelmann Architects
37 Silver Street
Portland, Maine 04101
207-774-0111 fax:774-1668

Drawing:
Building Sections

Scale:
1/2" = 1'-0"

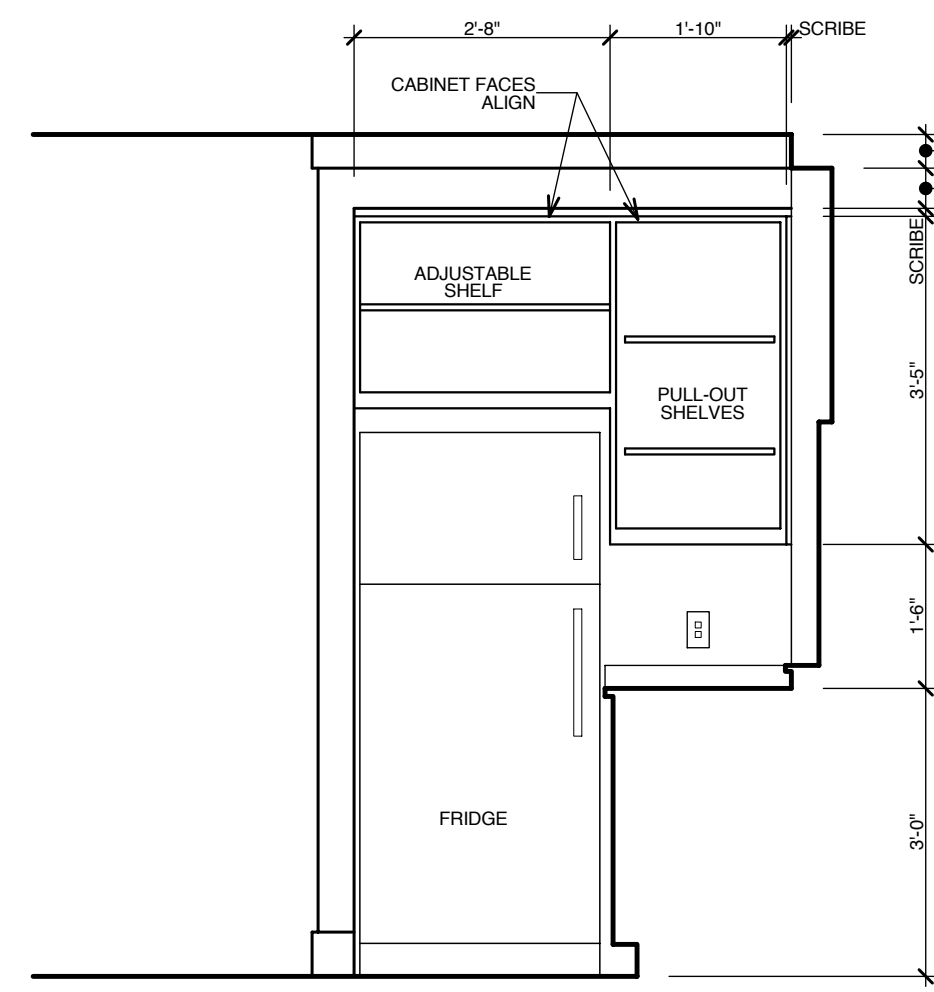
Date:
Thursday, March 17, 2005

Revisions:

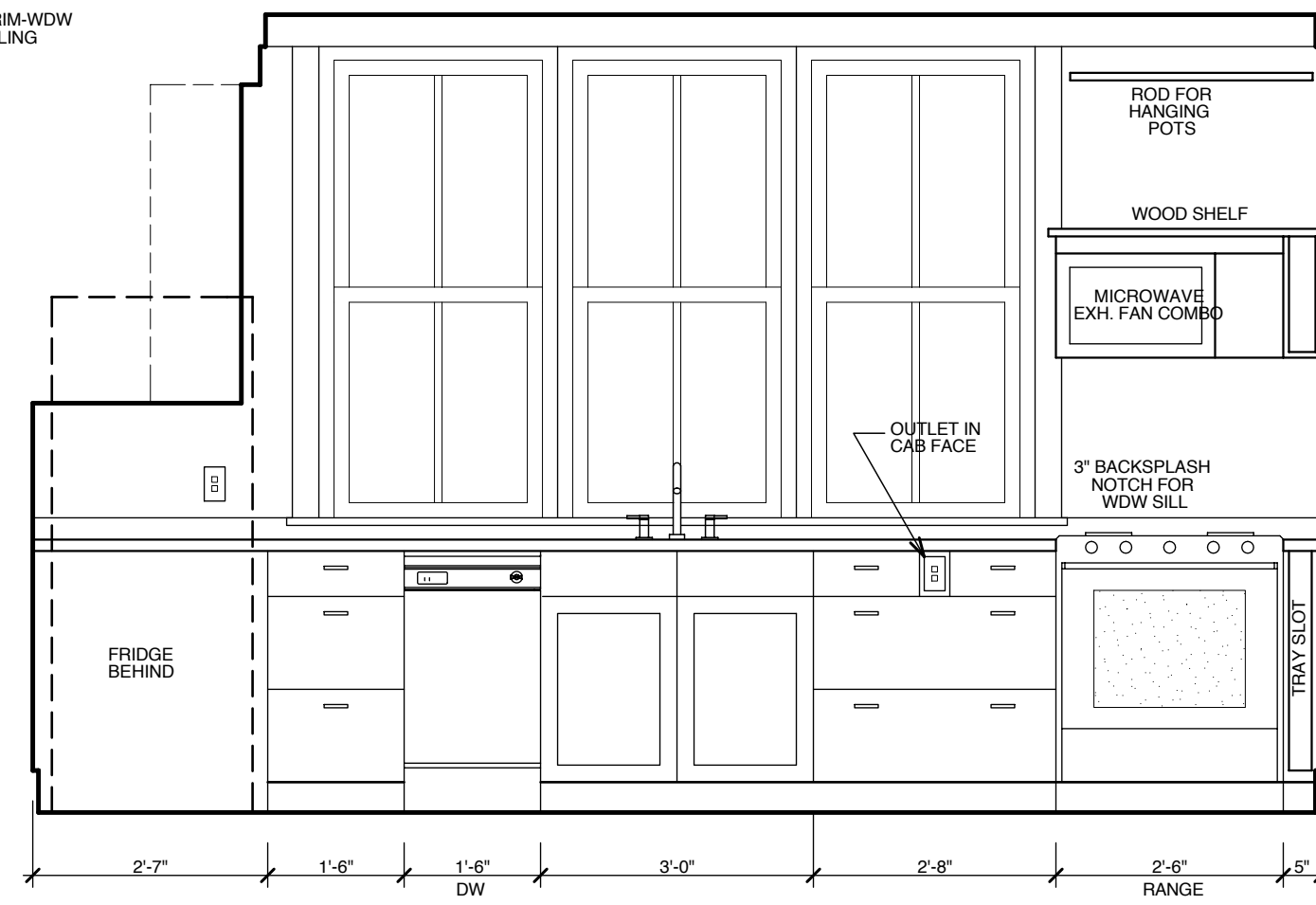
A-301

Project:
 Douglas Cottage
 Tolman Heights
 Peaks Island, ME

Notes:



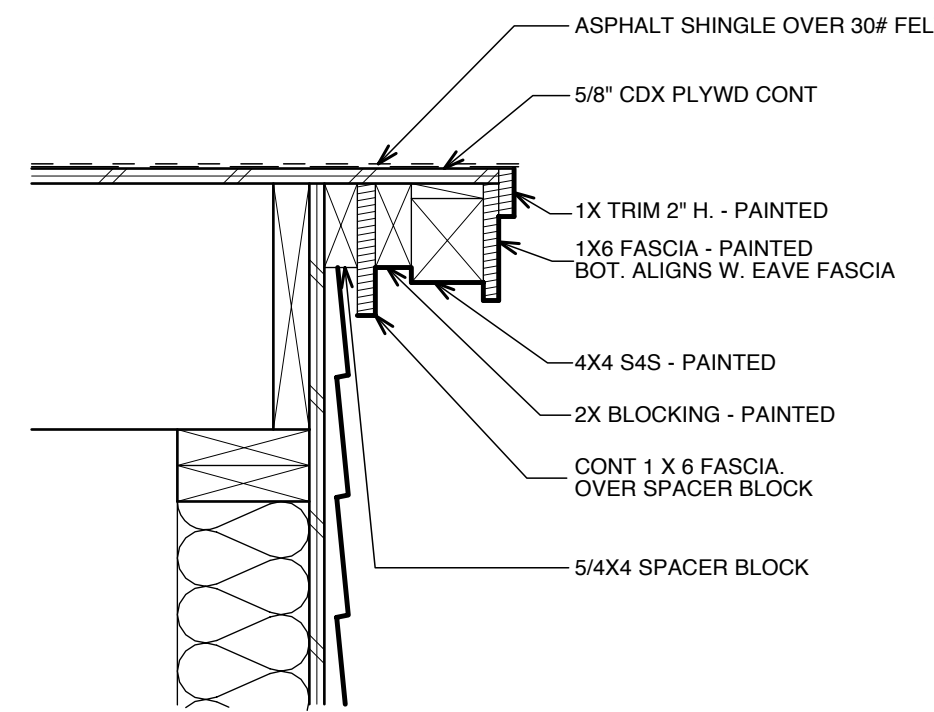
1 KITCHEN ELEVATION - East Wall
 SCALE: 1/2" = 1'-0"



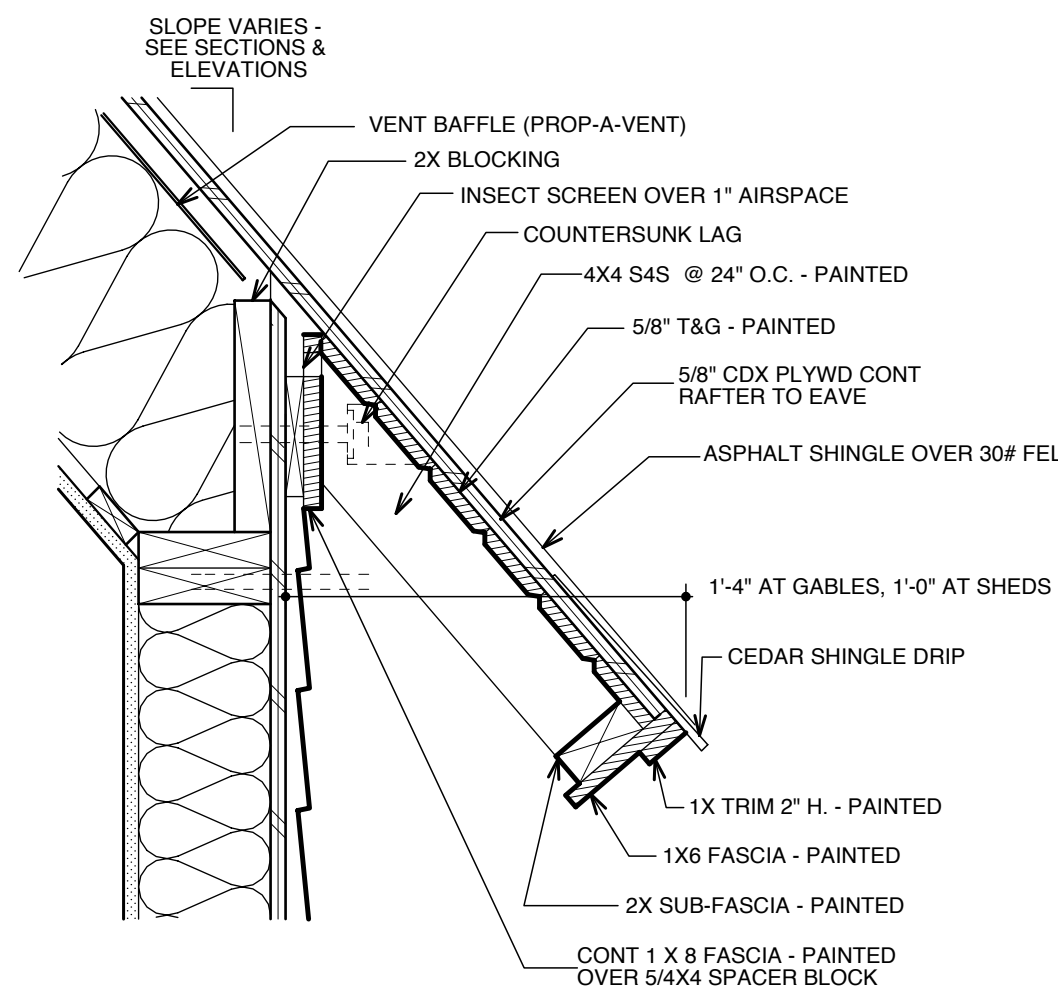
2 KITCHEN ELEVATION - South Wall
 SCALE: 1/2" = 1'-0"



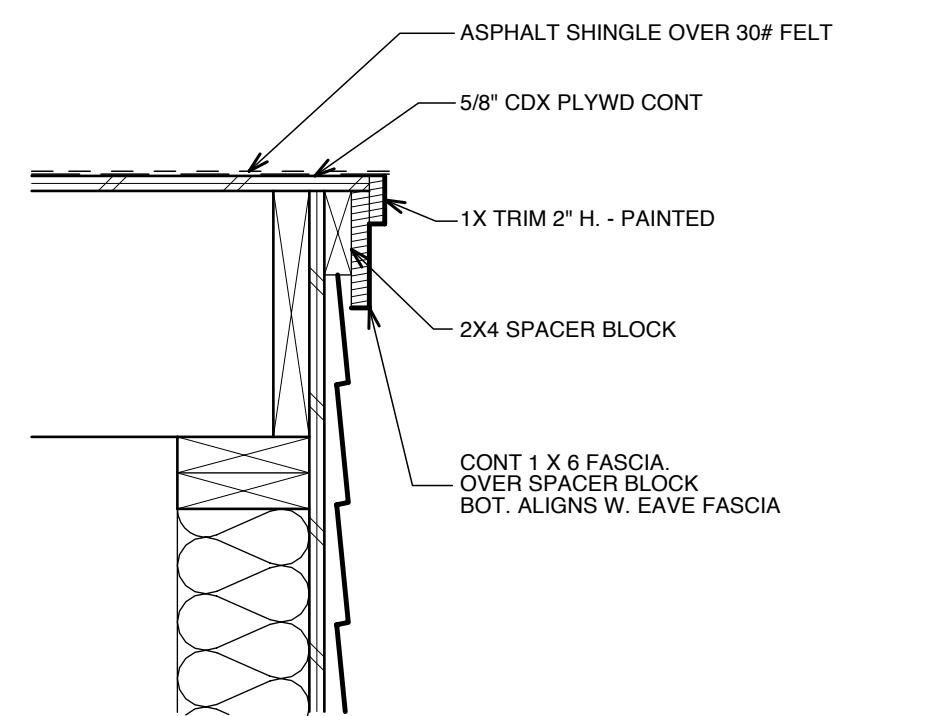
3 KITCHEN ELEVATION - West Wall
 SCALE: 1/2" = 1'-0"



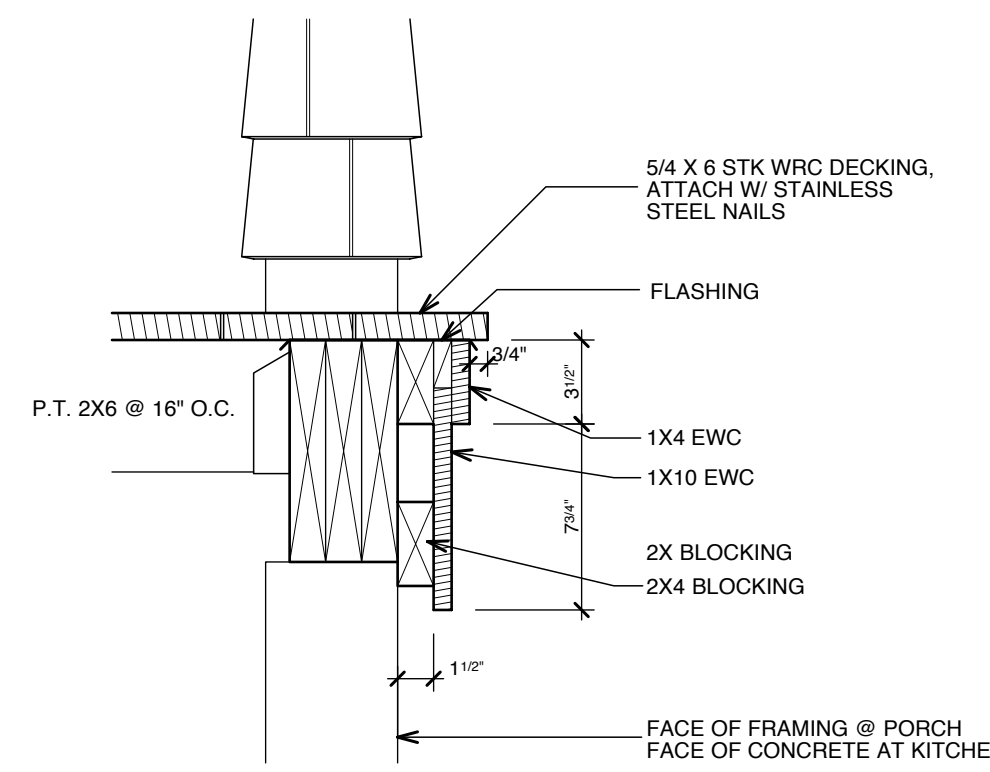
B GABLE RAKE DETAIL
 SCALE: 1 1/2" = 1'-0"



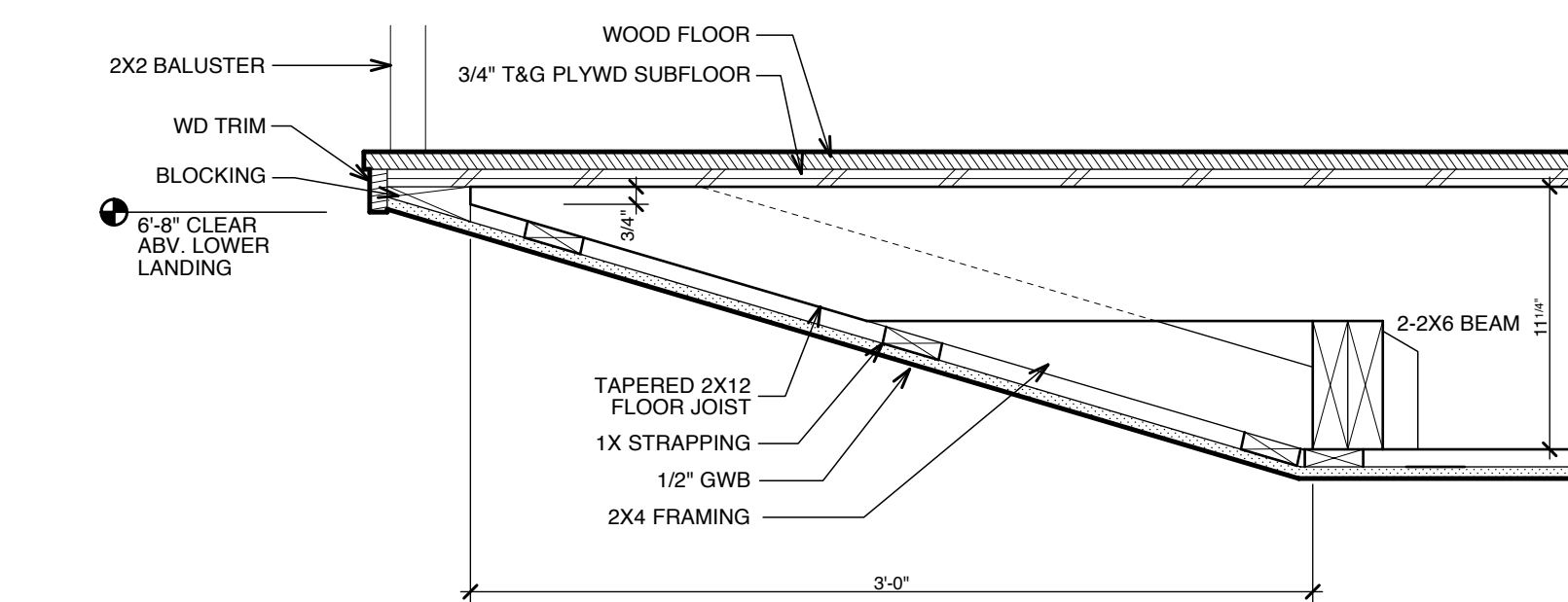
A EAVE DETAIL
 SCALE: 1 1/2" = 1'-0"



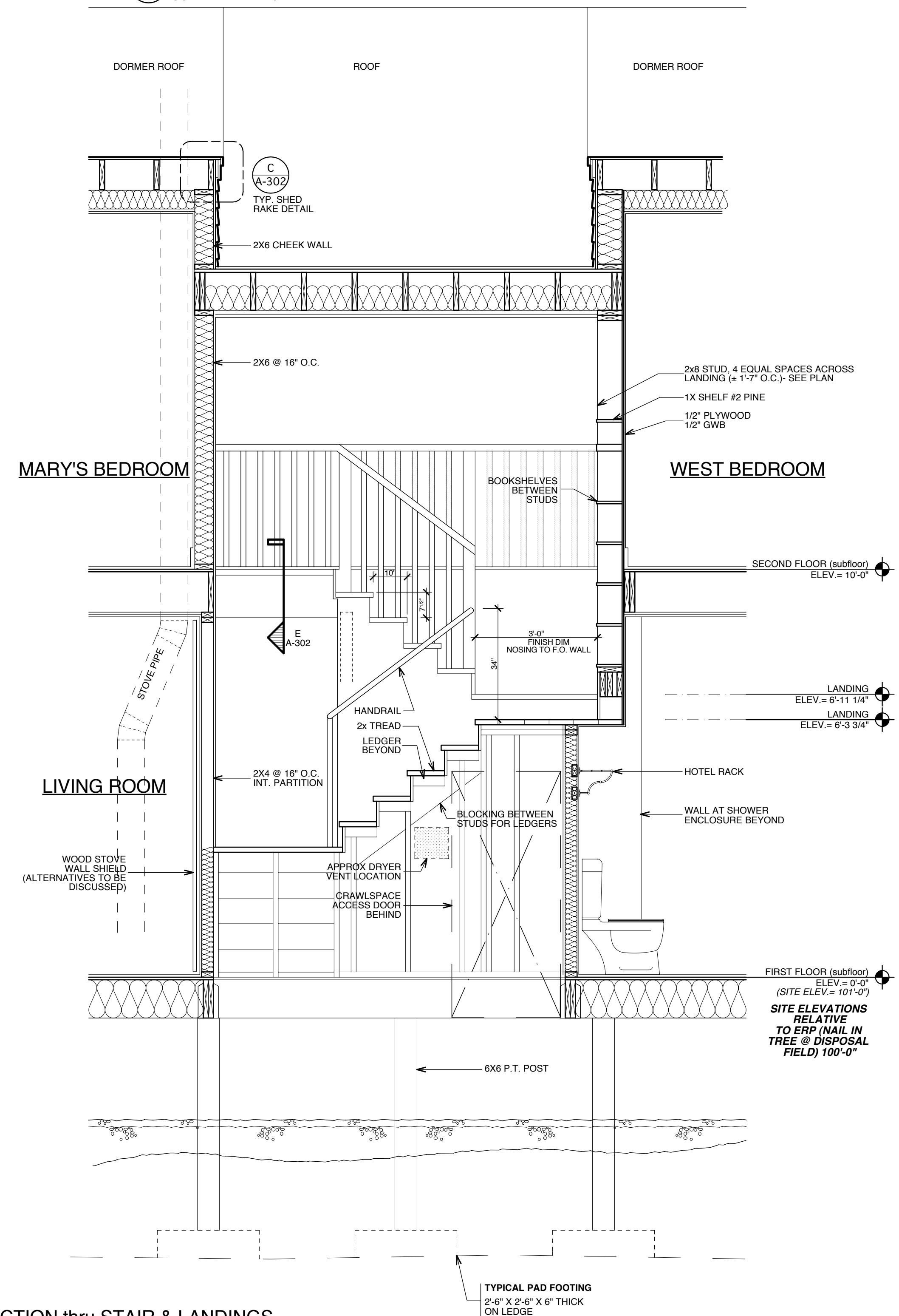
C SHED DORMER RAKE DETAIL
 SCALE: 1 1/2" = 1'-0"



D PORCH SKIRT DETAIL
 SCALE: 1 1/2" = 1'-0"



E SECOND FLOOR CANTILEVERED LANDING DETAIL
 SCALE: 1 1/2" = 1'-0"



4 SECTION thru STAIR & LANDINGS
 SCALE: 1/2" = 1'-0"

Architect:
 Whitten + Winkelmann Architects
 37 Silver Street
 Portland, Maine 04101
 207-774-0111 fax: 774-1668

Drawing:
 Section, Interior Elevs, & Deta

Scale:
 AS NOTED

Date:
 Thursday, March 17, 2005

Revisions:

A-302