

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0306	Issue Date: APR 13 2005	ISS: CBL: 091 A003001
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Location of Construction: 0 Tolman Rd	Owner Name: Douglas Mary	Owner Address: 154 Marlborough Ave	Phone:
Business Name:	Contractor Name: Bill Bunton	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: IR-1

Past Use: Vacant Land	Proposed Use: Single Family Home/ 1200sq ft 2 bedroom 1 1/2 story SFH	Permit Fee:	Cost of Work:	CEO District:
Proposed Project Description: 1200 sq ft 2 bedroom 1 1/2 story SFH		FIRE DEPT: <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group <i>R-3</i> Type <i>5B</i> <i>IRC 2003</i>	

Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
ons <input type="checkbox"/> Denied	

Permit Taken By: Idobson	Date Applied For: 03/22/2005	Zoning Approval	
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Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 15 Zone C</i> <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>2005-0060</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with conditions</i> Date: <i>3/22/05</i>	Zoning Appeal <input checked="" type="checkbox"/> Variance <i>for lot width & side setback</i> <i>6/3/04</i> <input checked="" type="checkbox"/> Miscellaneous <i>for 1 year extension & approved 12/2/04</i> <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>[Signature]</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

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Business Name:	Contractor Name: Bill Bunton	Contractor Address: 87 Middle Road Cumberland	Phone (207) 774-0111
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Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Comments:

3131105-tmm: hold for DRC approval

313 1105-tmm: went over review items w/Will Wilkleman - will submit items.

4112105-tmm: rec'd additional info

Tolman Rd ^{vill} 091-A-003
 174-0112

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)	Inspection/Date/Findings	
Component	Plan Reviewer	
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1)), (Section R403.1 & R403.1.4.1)	OK - 4' or ledge shown	
Foundation Drainage Damp proofing (Section R405 & R406)	OK - 4" w/ fabric	
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	2'-6 door show Need more ventilation	OK
Anchor Bolts/Straps (Section R403.1.6)	5/8" 4' OC	
Lally Column Type (Section R407)	OK - 3-2x12'S 6'-11"	
Girder & Header Spans (Table R 502.5(2))	" - OK	
Built-Up Wood Center Girder	2x6 PT Plate	
Dimension/Type	2x12'S - 13' to 15' span OK	
Sill/Band Joist Type & Dimensions	"	
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	OK	
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	"	

~~Table~~ Tapered & notched 2"x12"-5 C landing - ^{Table 502.3.3(2)} OK - stamped engineering

Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	OK	
Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	OK	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1)) Fastener Schedule (Table R602.3(1) & (2))	5/8" x 1/2" Spewer	
Private Garage (Section R309) Living Space ? (Above or beside)	N/A	
Fire separation (Section R309.2) Opening Protection (Section R309.1)	N/A	
Emergency Escape and Rescue Openings (Section R310)	OK	
Roof Covering (Chapter 9)	Asphalt - OK	
Safety Glazing (Section R308)	OK - Spewer in Stair	
Attic Access (Section R807)	Need 22"x30" Access	Not over 30" - OK
Chimney Clearances/Fire blocking (Chapter 10)	OK Spews 2" - Need fire stopping	- OK

13

14

5) Headroom in bath 6' @ Toilet - OK

Header Schedule (Section R502.5(1) & (2))	Not all windows shown	OK
Type of Heating System		
Means of Egress (Sec R311 & R312) Basement N/A		
Number of Stairways	1	
Interior	1	
Exterior	2	
Treads and Risers (Section R311.5.3)	7 1/2" R 10" T - OK	7" R / 11" T - EXT - OK
Width (Section R311.5.1)	3'-1" Shown	
Headroom (Section R311.5.2) - 6'-8" noted		
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	No dimensions on guards given	OK
Smoke Detectors (Section R313) Function and type/interconnected	OK	
Dwelling Unit Separation (Section R317) and IBC 2002 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	OK	

See Chi of Summary of checklist



Whitten + Winkelman, Architects

37 Silver Street
Portland, Maine 04101

p: 207.774.0111
f: 207.774.1666

www.ww-architects.com

8 April 2005

Douglas Cottage
Tolman Heights
Peaks Island, Maine

ADDENDA #1

Copies to: Tammy Munson, Bill Bunton, Mary Douglas, file

This addenda addresses the following items:

Cantilever Landing: See attached letter regarding review by our structural engineer.

Railing Height: Railing indicated to be 36" AFF. See attached drawing "Revised Section thru Stair & Landings."

Clearance at Toilet: Headroom increased at toilet. Clearance is 6'-1" above the tank, 6'-9" between face of tank and rear edge of the toilet seat, and 8'-9" for the remainder of the fixture. See attached drawing "Revised Section thru Stair & Landings."

Fire blocking: Fire block concealed spaces of stud partitions at floor and ceiling levels and at openings around vent pipes and Metalbestos flue. Refer to IRC section R602.8. Maintain 2" clear to framing along Metalbestos flue including floor and roof penetrations.

Crawlspace Vents: See attached plan "Foundation Vent Locations" for locations and description of venting.





CIVIL & STRUCTURAL ENGINEERING
CORPORATION

424 Fore St., Portland, ME 04101 Phone 207.842.2800 Fax 207.842.2828

April 8, 2005

Mr. Kevin Moquin
Whitten + Winkelman Architects
37 Silver Street
Portland, ME 04101

RE: Douglas Cottage, Peaks Island
Portland, ME

Dear Mr. Moquin:

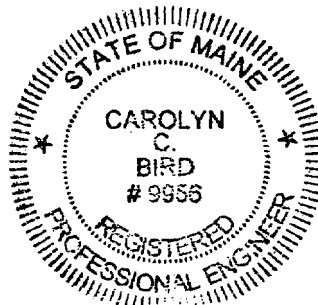
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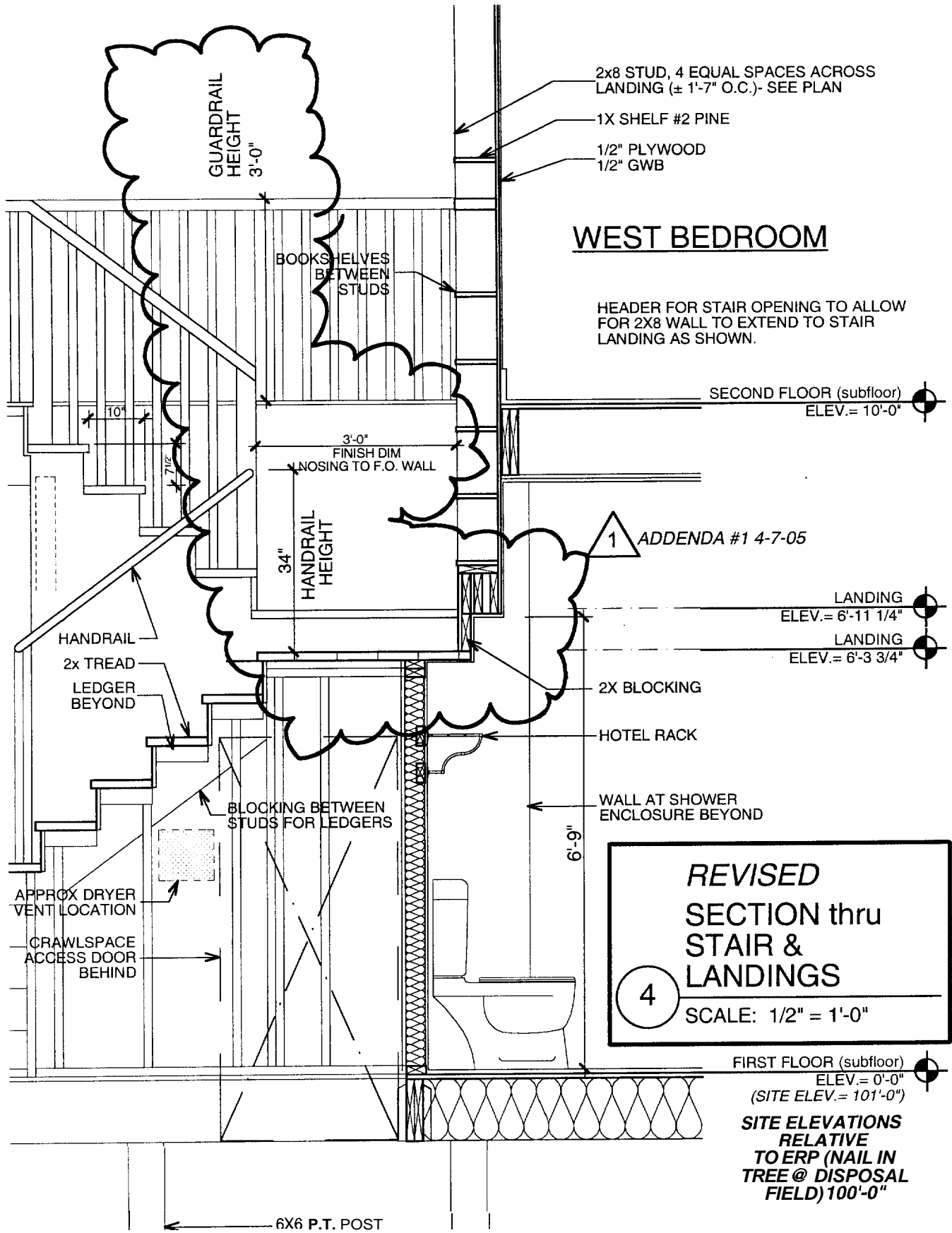
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Sincerely,

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Carolyn C. Bird, P.E.





2x8 STUD, 4 EQUAL SPACES ACROSS LANDING (± 1'-7" O.C.)- SEE PLAN
 1X SHELF #2 PINE
 1/2" PLYWOOD
 1/2" GWB

WEST BEDROOM

HEADER FOR STAIR OPENING TO ALLOW FOR 2X8 WALL TO EXTEND TO STAIR LANDING AS SHOWN.

SECOND FLOOR (subfloor)
 ELEV.= 10'-0"

1 ADDENDA #1 4-7-05

LANDING
 ELEV.= 6'-11 1/4"

LANDING
 ELEV.= 6'-3 3/4"

2X BLOCKING

HOTEL RACK

WALL AT SHOWER ENCLOSURE BEYOND

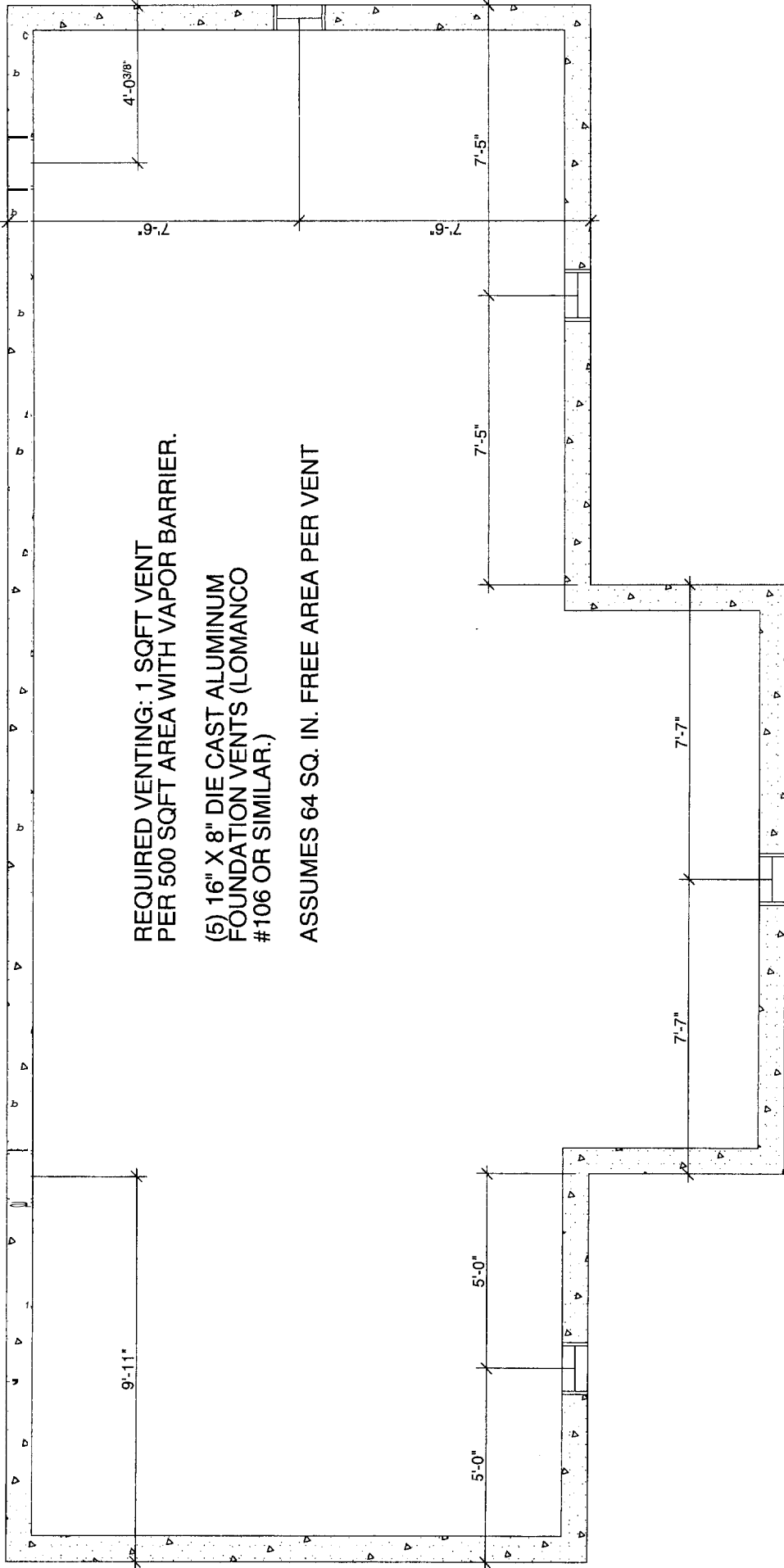
6'-9"

REVISED
SECTION thru
STAIR &
LANDINGS
 4
 SCALE: 1/2" = 1'-0"

FIRST FLOOR (subfloor)
 ELEV.= 0'-0"
 (SITE ELEV.= 101'-0")

SITE ELEVATIONS
RELATIVE
TO ERP (NAIL IN
TREE @ DISPOSAL
FIELD) 100'-0"

6X6 P.T. POST



REQUIRED VENTING: 1 SQFT VENT
PER 500 SQFT AREA WITH VAPOR BARRIER.

(5) 16" X 8" DIE CAST ALUMINUM
FOUNDATION VENTS (LOMANCO
#106 OR SIMILAR.)

ASSUMES 64 SQ. IN. FREE AREA PER VENT

FOUNDATION VENT LOCATIONS

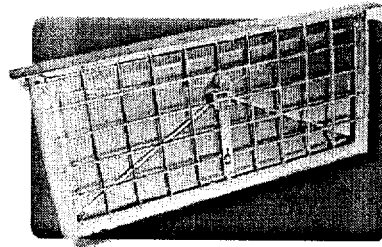
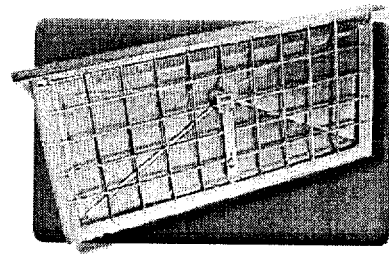
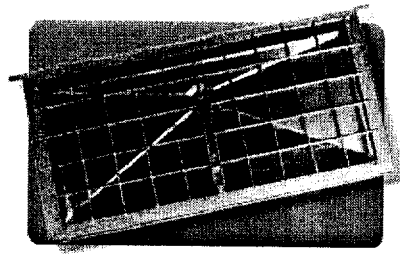
ADDENDA #1 4-7-09

SCALE: 1/4" = 1'-0"

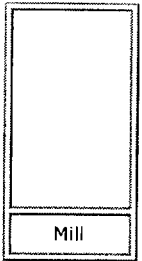
Exception # 2
1/1500 x 800 =
0.5 SF

Model 106, 106L, 106S Foundation Vents

- Die-cast rust-free aluminum.
- 8x8 perma-coated aluminum screen attached.
- Aluminum damper for tight closure.
- 106-L has a 1-1/2" lintel on top for extra strength.
- 106-S does not have damper.



Colors



Instructions & Downloads - Ventilation Guide

Part No.	Size (in.)	Description	Free Area (sq ft)	Sq. Feet Louver Ventilates	Number Per Carton	Per Carton (lbs.)
PCV1	9 x 19 x 3	Powered Crawlspace Vent	-	1650	6	27-1/4
106	16 x 8	Die-cast aluminum with aluminum damper	64	66	12	81/2
106L	16 x 8	Same as 106 with 1-1/2" lintel	64	66	12	111/4
106S	16 x 8	Same as 106 without damper	64	66	12	61/4
142	16 x 8	2-slide die-stamped aluminum, self-framed on all sides	46	48	12	61/4
142F	16 x 8	Same as 142 with flange	46	48	12	12
179	16 x 8	Die-cast aluminum, 3-slide shutter	56	58	12	32
185	16 x 8	All aluminum construction, 3-hinged louver	74	77	12	131/4
182	16 x 8	Polypropylene plastic, 2-slide shutter	39	41	12	183/4
180C	16 x 9 1/4	Polypropylene plastic, 2-slide shutter	47	49	12	202/3
271	1 brick	Extruded aluminum overlapping top & bottom mortar ribs 7-7/8 x 2-3/8 x 3-5/8	12	12	12	101/2
272	2 brick	Extruded aluminum overlapping top & bottom mortar ribs 7-7/8 x 5-1/16 x 3-5/8	23	24	12	151/4

288 sq in = 5 LOUVERS

OK

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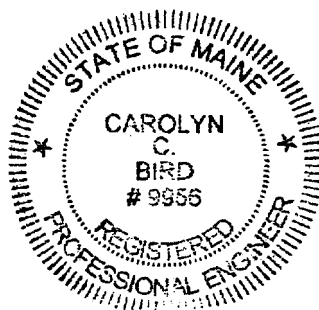
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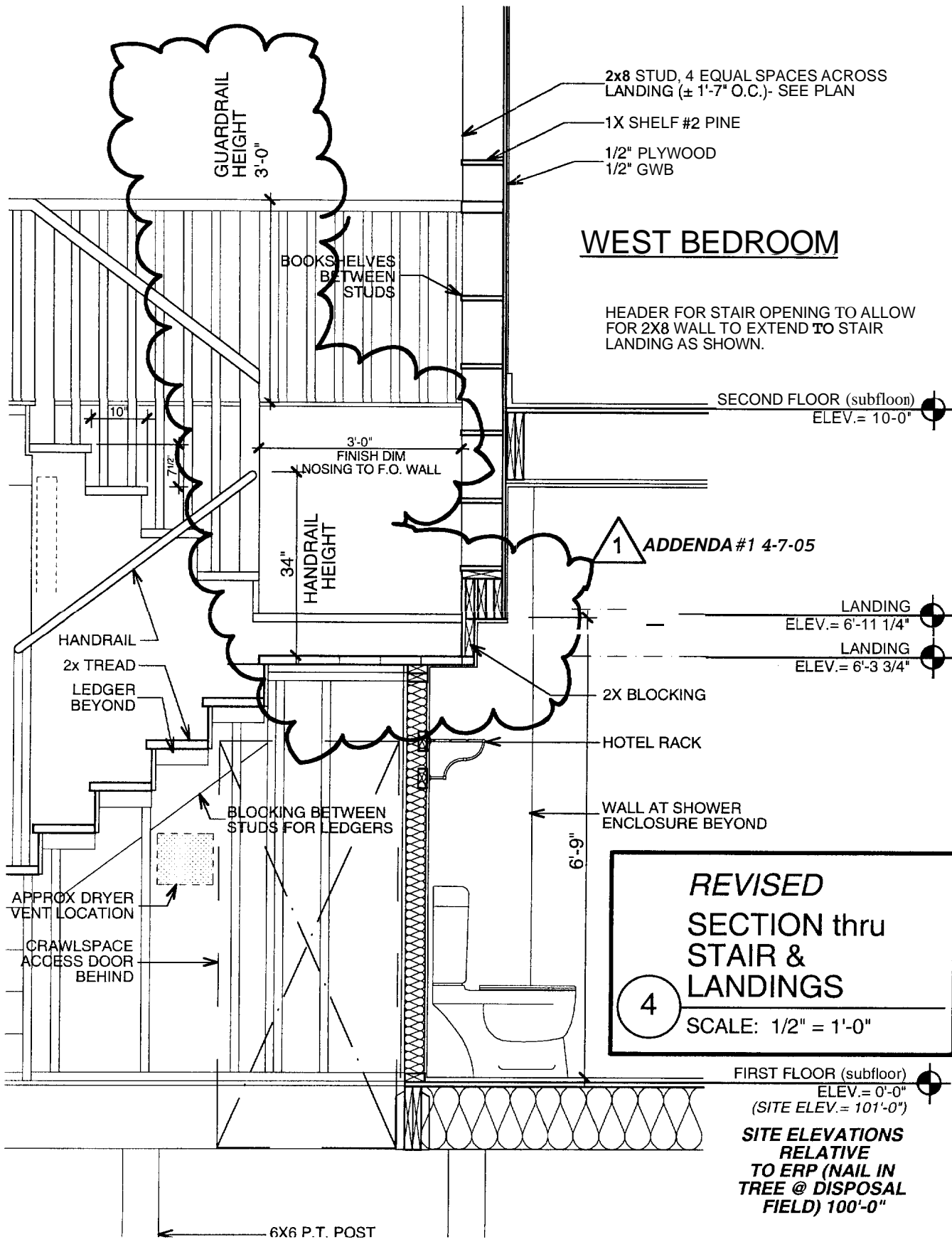
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If you have any questions or comments, please do not hesitate to call.

Sincerely,

Carolyn C. Bird, P.E.





2x8 STUD, 4 EQUAL SPACES ACROSS LANDING (± 1'-7" O.C.)- SEE PLAN

1X SHELF #2 PINE

1/2" PLYWOOD
1/2" GWB

WEST BEDROOM

HEADER FOR STAIR OPENING TO ALLOW FOR 2X8 WALL TO EXTEND TO STAIR LANDING AS SHOWN.

SECOND FLOOR (subfloor)
ELEV.= 10'-0"

BOOKSHELVES BETWEEN STUDS

3'-0" FINISH DIM
NOSING TO F.O. WALL

34" HANDRAIL HEIGHT

1 ADDENDA #1 4-7-05

LANDING
ELEV.= 6'-11 1/4"

LANDING
ELEV.= 6'-3 3/4"

HANDRAIL
2x TREAD
LEDGER BEYOND

2X BLOCKING
HOTEL RACK

BLOCKING BETWEEN STUDS FOR LEDGERS

WALL AT SHOWER ENCLOSURE BEYOND

6'-9"

REVISED
SECTION thru
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4
SCALE: 1/2" = 1'-0"

APPROX DRYER VENT LOCATION

CRAWLSPACE ACCESS DOOR BEHIND

FIRST FLOOR (subfloor)
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SITE ELEVATIONS
RELATIVE
TO ERP (NAIL IN
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6X6 P.T. POST

Whitten + Winkelman, Architects

Hi TAMM,

4/11/05

~ UNIVERSITY JAM

REYNOLDS HAS SIGNED OFF ON THIS PROJECT. HOPEFULLY THIS ANSWERS YOUR CONCERNS AND WE CAN PROCEED WITH THE PERMIT.

OUR FOUNDATION CONTRACTOR IS READY TO BEGIN ONCE OUR PERMIT IS IN HAND, SO WE WILL PICK UP AS SOON AS IT IS READY.

WE EXPECT WORK TO PROGRESS QUICKLY ONCE IT IS BEGUN. HOW MUCH NOTICE WOULD YOU LIKE TO HAVE WHEN SCHEDULING SPECTION'S?

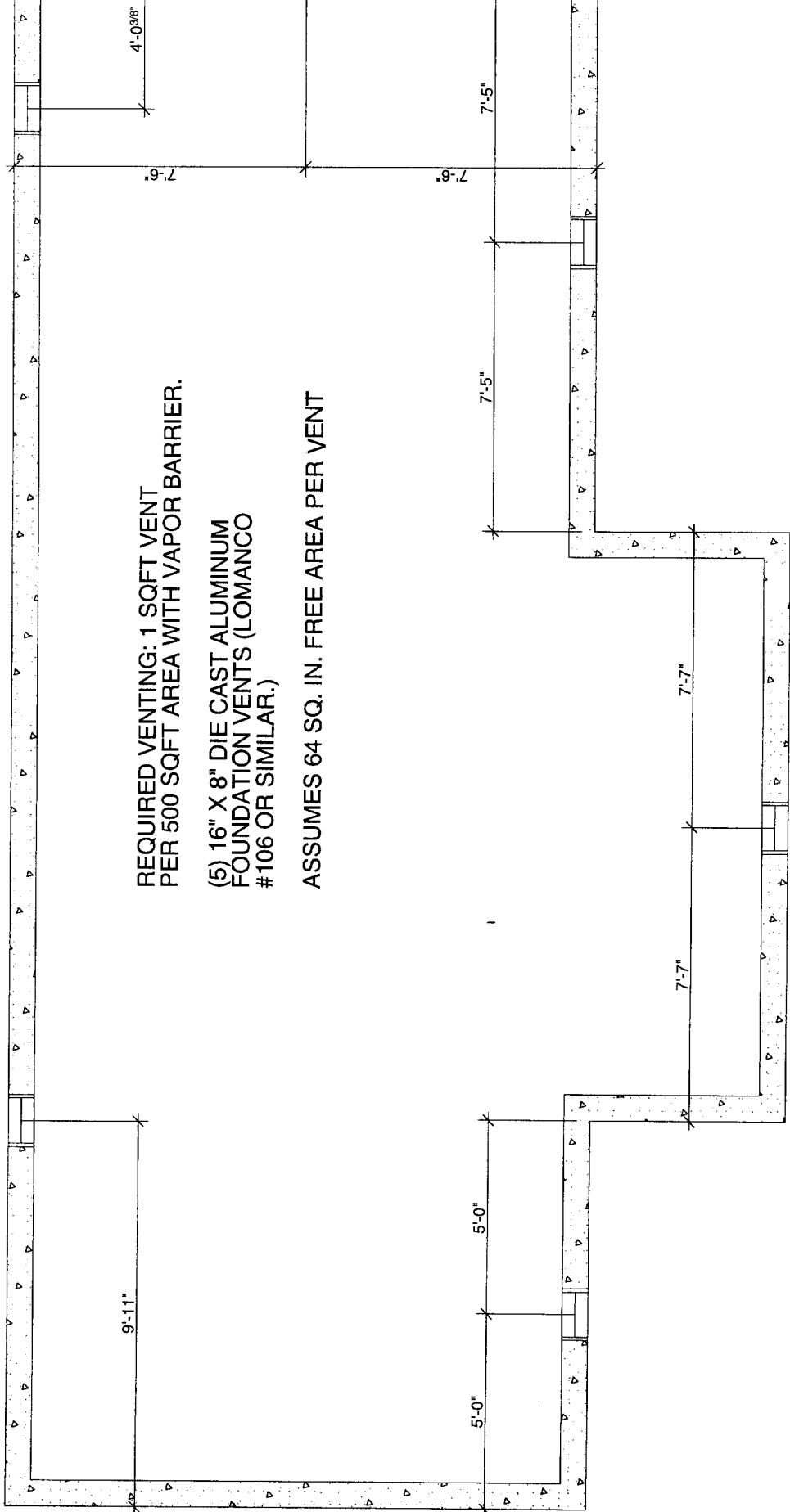
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

ADD 1 1 9000

THANK YOU!

KEVIN WINKELMAN

~ 106



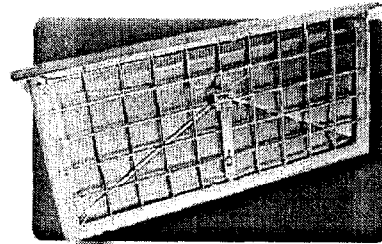
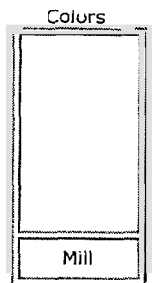
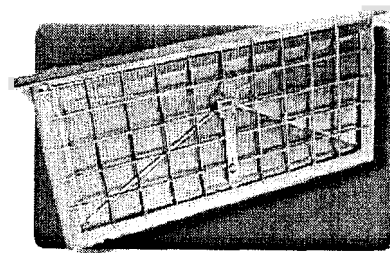
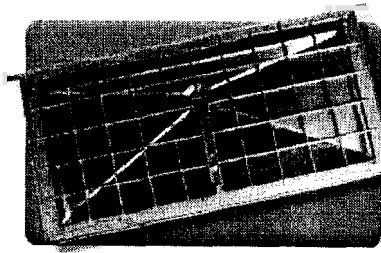
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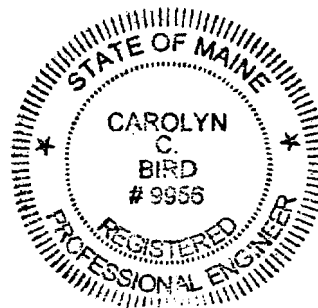
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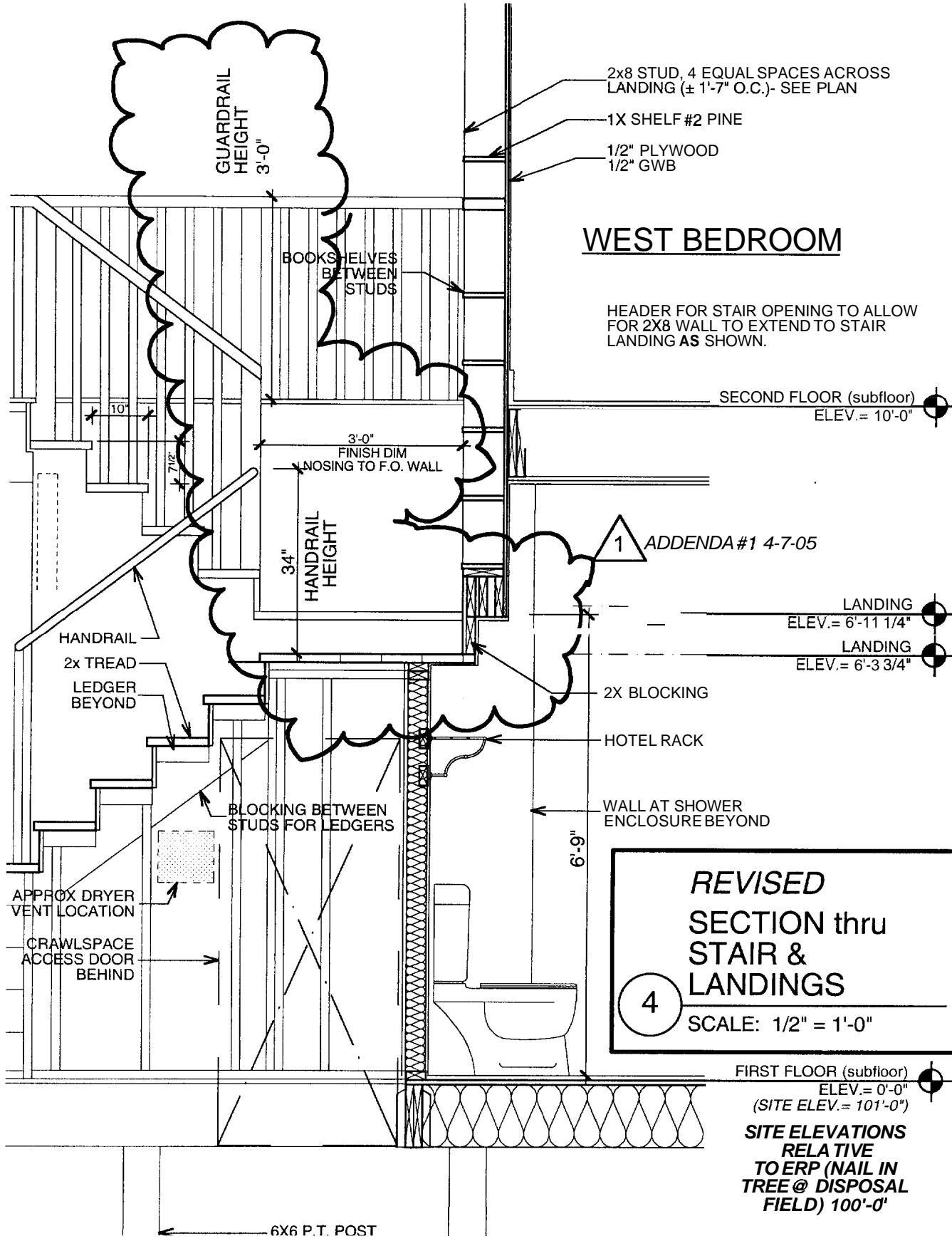
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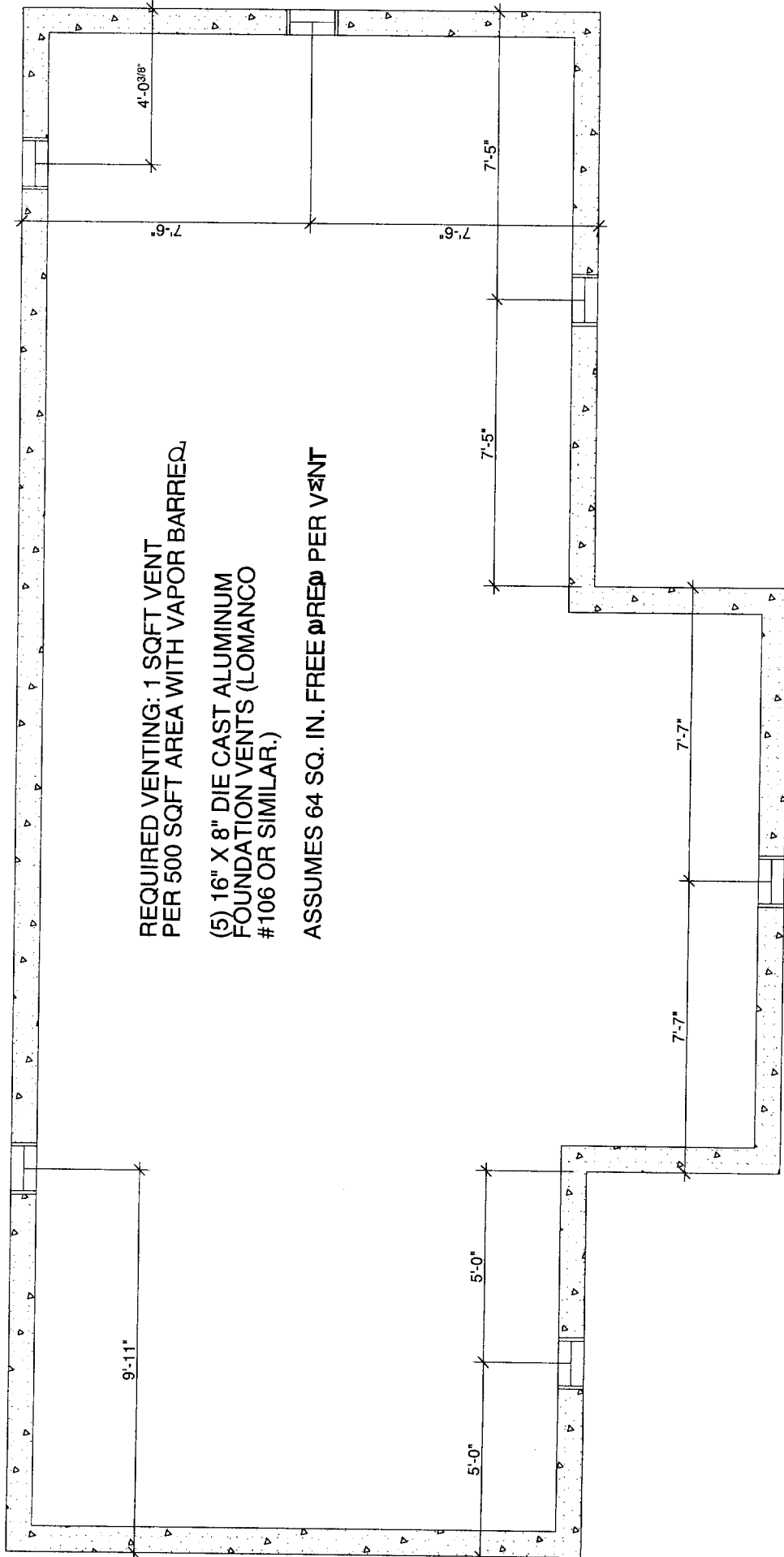
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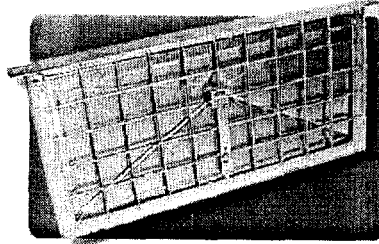
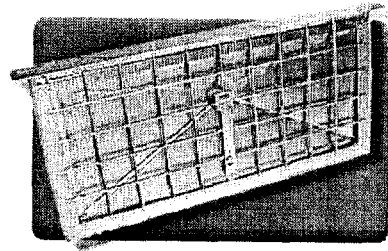
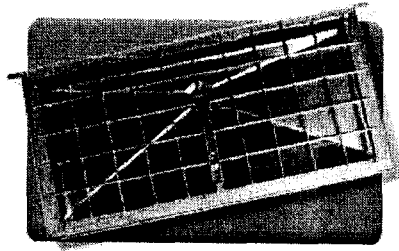
ASSUMES 64 SQ. IN. FREE AREA PER VENT

FOUNDATION VENT LOCATIONS

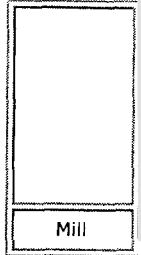
SCALE: 1/4" = 1'-0"

Model 106, 106L, 106S Foundation Vents

- Die-cast rust-free aluminum.
- **8x8** perma-coated aluminum screen attached.
- Aluminum damper for tight closure.
- 106-L has a 1-1/2" lintel on top for extra strength,
- 106-S does not have damper.



Colors



Instructions & Downloads - Ventilation Guide

Part No.	Size (in.)	Description	Free Area (sq. ft.)	Sq. Feet Louver Ventilates	Number Per Carton	Net Carton (lbs.)
106-L	9 x 19 x 3	Powered Crawlspace Vent	-	1650	6	27-1/4
106	16 x 8	Die-cast aluminum with aluminum damper	64	66	12	81/2
106L	16 x 8	Same as 106 with 1-1/2" lintel	64	66	12	111/4
106S	16 x 8	Same as 106 without damper	64	66	12	61/4
142	16 x 8	2-slide die-stamped aluminum, self-framed on all sides	46	48	12	61/4
142F	16 x 8	Same as 142 with flange	46	48	12	12
155	16 x 8	Die-cast aluminum, 3-slide shutter	56	58	12	32
155S	16 x 8	All aluminum construction, 3-hinged louver	74	77	12	131/4
160	16 x 8	Polypropylene plastic, 2-slide shutter	39	41	12	183/4
160P	16 x 9 1/4	Polypropylene plastic, 2-slide shutter	47	49	12	202/3
171	1 brick	Extruded aluminum overlapping top & bottom mortar ribs 7-7/8 x 2-3/8 x 3-5/8	12	12	12	101/2
172	2 brick	Extruded aluminum overlapping top & bottom mortar ribs 7-7/8 x 5-1/16 x 3-5/8	23	24	12	151/4

288 SQ IN = 5 LOUVERS

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Residential Building Permit Application

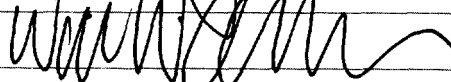
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/ Address of Construction: <u>TOLMAN HEIGHTS, PEAKS ISLAND, ME</u>		
Total Square Footage of Proposed Structure <u>11200</u>	Square Footage of Lot <u>16,735</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>91</u> Block# <u>A</u> Lot# <u>3</u>	Owner: <u>MARY DOUGLAS</u> <u>154 MARLBOROUGH AVE</u> <u>OTTAWA, ONTARIO K1N-8G2</u> <u>CANADA</u>	Telephone: <u>766-5058</u>
Lessee/ Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>WILL WINKELMAN</u> <u>WHITTEN + WINKELMAN, ARCH.</u> <u>37 SILVER ST.</u> <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>180,000</u> Fee: \$ <u>1,641.00</u>
Current Specific use: _____		
Proposed Specific use: <u>SINGLE FAMILY</u>		
Project description: <u>NEW CONSTRUCTION - WOOD FRAME</u> <u>2 BEDROOMS, 1 1/2 STORY</u> <u>REFER TO ZBA APPROVAL DATED 6.3.04</u>		
Contractor's name, address & telephone: <u>BILL BUNTON, 87 MIDDLE RD., CUMBERLAND, ME</u> <u>04021</u>		
Who should we contact when the permit is ready: <u>WILL WINKELMAN</u>		
Mailing address: <u>WHITTEN + WINKELMAN ARCHITECTS</u> <u>37 SILVER ST.</u> <u>PORTLAND, ME 04101</u>		Phone: <u>774-611 x 102</u>

Please submit all of the information outlined in the Residential Application Checklist. Failure to do so will result in the automatic denial of your permit.

At the discretion of the Planning and Development Department, additional information may be required prior to permit approval. For further information stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/ her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: <u>3.22.05</u>
---	----------------------

Permit Fee: \$30.00 for the first \$1000.00 Construction Cost, \$9.00 per additional \$1000.00 cost

This is not a Permit; you may not commence any work until the Permit is issued.

Applicant: MARY DOUGLAS, owner

Date: 3/30/05

Address: TOLMAN ROAD, PI

C-B-I: 091-A-003

CHECK-LIST AGAINST ZONING ORDINANCE

Application # 05-030

Date - Vacant lot

Zone Location - IR-1 Zone

Interior or corner lot - MARRMECT.

Proposed Use/Work - to construct a New single family Dwelling

Sewage Disposal - PRIVATE System

Lot Street Frontage - 100' min - has along Tolman & Marmect & Spine Cove Rd

Front Yard - 30' min - 240' Sealed

Rear Yard - 30' min - 40' Sealed

Side Yard - ZBA Approved 10' instead of 20' required 6/3/04 ^{on one} side 20' on other side ok

Projections - STAIRS - 2 sides

Width of Lot - ZBA approval ok for 50' instead of 100' 6/3/04

Height - 35' max - showing 23' from pre-existing grade to top of pitch

Lot Area - $\begin{matrix} 40,000 \\ 60,000 \end{matrix}$ ^{Summer water} 19,040 ^{sq ft} given - This is a lot of record AS proven by 14-433 ok

Lot Coverage Impervious Surface - \rightarrow 20% max or 3898 ^{sq ft} max Brenda Bueannon, Atty for Mary Douglas

Area per Family - ok

Off-street Parking - 2 parking spaces - Shows 25 spaces

Loading Bays - N/A

Site Plan - #2005-0060 minor/minor

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 15 Zone C

$$19.67 \times 40 = 786.8 \text{ ft}^2$$

$$2(5 \times 5) = 50.0$$

$$786.8 + 50.0 = 836.8 \text{ ft}^2$$

original appeal Practical Difficulty granted 6/3/04
 (good for 6 months)
 MISC. appeal approved for 1 year extension on 12/2/04

Print

Text93

14698

Constr Type

New

Num1

50306

Permit Nbr 05-0306

Location of Construction

0 Tolman Rd

Appl. Date

03/22/2005

Status Hold

Permit Type

Single Family

Issue Date

CBL 091 A003001

District Nbr

2

Estimated Cost

\$180,000.00

Date Closed

Comment Date

Comment

03/31/200

went over review items w/Will Wilkierman - will submit items.

03/31/200

hold for DRG approval

Name fimm

Follow Up Date

Completed

Name fimm

Follow Up Date

Completed

CreatedBy Idobson

CreateDate 03/22/2005

ModBy fimm

ModDate 03/31/2005



CITY OF PORTLAND

CERTIFICATE OF VARIANCE APPROVAL

I, Patric Santerre, the duly appointed Chair of the Board of Appeals for the City of Portland, Cumberland County and State of Maine, hereby certify that on the 3rd day of June, 2004, the following variance ~~was~~ granted pursuant to the provisions of 30-A M.R.S.A. Section 4353(5) and the City of Portland's Code of Ordinances.

1. **Current Property Owner:** George V & Anne M. Smith
2. **Property:** Tolman Road, Peaks Island, Portland, ME CBL: 091-A-003
Last recorded deed: BOOK 6162 PAGE: 344
3. **Variance and Conditions of Variance:**
To allow relief from section 14-145.5(C)(3) of the Zoning Ordinance in regards to the side yard setback and section 14-145.5(e) of the Zoning Ordinance in regards to the minimum lot width requirement. The relief granted was to allow a 10' side yard setback on one side instead of the required 20' side yard setback; and to allow a reduction in lot width to 50' instead of the required 100' required lot width.

IN WITNESS WHEREOF, I have hereto set my hand and seal this JUNE 21 day of 2004, 200.

— & a & —

Patric Santerre, Chair

(Printed or Typed Name)

STATE OF MAINE
Cumberland, ss.

Then personally appeared the above-named Patric Santerre and acknowledged the above certificate to be his free act and deed in his capacity as temporary Chairman of the Portland Board of Appeals.

Margaret Schmiedel

(Printed or Typed Name)
Notary Public

my term expires June 28, 2005

PURSUANT TO 30-A M.R.S.A. SECTION 4353(5), THIS CERTIFICATE MUST BE RECORDED BY THE PROPERTY OWNER IN THE CUMBERLAND COUNTY REGISTRY OF DEEDS WITHIN 90 DAYS FROM FINAL WRITTEN APPROVAL FOR THE VARIANCE TO BE VALID. FURTHERMORE, THIS VARIANCE IS SUBJECT TO THE LIMITATIONS SET FORTH IN SECTION 14-474 OF THE CITY OF PORTLAND'S CODE OF ORDINANCES.



A - View looking east, panning from north to south on Tolman Road - looking down the intersection of the right-of-way



B - View looking east, panning from north to south on Tolman Road - looking down what would be Mariner Road

Tolman Road, P & Island / Mary Douglas 91A3

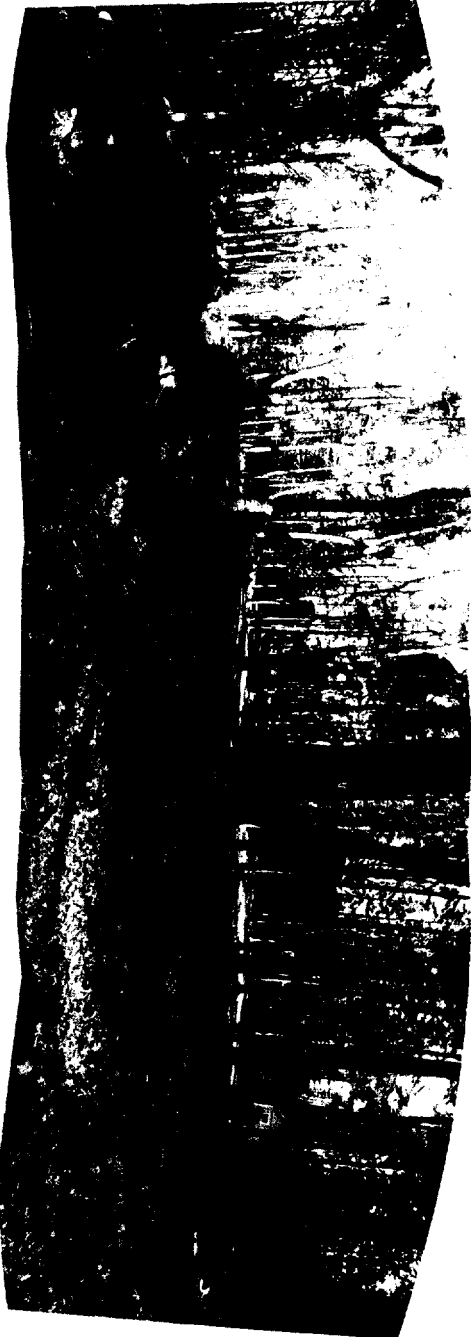
Photos of existing conditions

17 May 2004

Written Architects 207.774.0111 x10



C - View from right-of-way looking north, panning from west to east



D View from poppos looking southwest



E - View from southeast corner of property, looking from southeast to southwest



F - View from southeast corner of property, looking from southwest to northwest (looking at building zone)

Tolman Road, Peaks Island / Mary Douglas - 91.A.3

Photos of existing conditions - Date: 17 May 2004 - Whitten Architects 207.774.0111 x102