McCarthy Residence

Renovations to Existing Residence

Peaks Island, Maine

LIST OF DRAWINGS

T-1.0 TITLE SHEET

A-1.0 CRAWL SPACE PLAN
A-1.1 FIRST FLOOR PLAN
A-1.2 SECOND FLOOR PLAN
A-1.3 ATTIC FLOOR PLAN

A-3.0 CRAWL SPACE LIGHTING / POWER PLAN
A-3.1 FIRST FLOOR LIGHTING / POWER PLAN
A-3.2 SECOND FLOOR LIGHTING / POWER PLAN
A-3.3 ATTIC LIGHTING / POWER PLAN

A-4.0 BUILDING DETAILS

A-5.0 INTERIOR ELEVATIONS

GENERAL NOTES

1. ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
2. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
3. IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
4. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
5. AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER)
7. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC. MUST BE APPROVED BY THE OWNER.
8. THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPOSED OF IN A STATE APPROVED LANDFILL.
9. ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
10. DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
11. THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
12. ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.

LEGEND

DETAIL NUMBER
SHEET WHERE DETAIL IS DRAWN
SHEET WHERE DETAIL IS TAKEN

INDICATES BUILDING SECTION OR BUILDING ELEVATION
BUILDING SECTION LETTER
SHEET WHERE BUILDING SECTION IS DRAWN
SHEET WHERE BUILDING SECTION IS TAKEN

INTERIOR ELEVATION NUMBER
SHEET WHERE ELEVATION IS DRAWN

LIMIT OF WORK
EXISTING WALL TO BE REMOVED
EXISTING WALL
WALL

ELEVATOR LOBBY 101 — ROOM NAME AND NUMBER
KEY NOTE
COLUMN GRID LINE
ELEVATION TARGET
WALL TYPE
WINDOW TYPE

Construction Set

RENOVATION GENERAL NOTES

1. REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
2. UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
3. CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
4. WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE). PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
5. WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
6. ALL KNOW HAZARDOUS MATERIALS REMOVALS REQUIRED FOR THE SAFE IMPLEMENT OF THIS PROJECT HAVE BEEN REMOVED PRIOR TO THIS CONTRACT. IF ADDITIONAL SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
7. UNLESS OTHERWISE NOTED ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
8. ALL DIMENSIONS OF EXISTING WALLS & EQUIPMENT HAVE BEEN COPIED FROM PREVIOUS DRAWINGS AND HAVE NOT BEEN FIELD VERIFIED.
9. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT

TYPICAL ABBREVIATIONS

&	AND
ANG	ANGLE
@	AT
ADA	AMERICAN DISABILITIES ACT
ADJ	ADJUST OR ADJACENT
AFF	ABOVE FINISH FLOOR
ALUM	ALUMINUM
ARCH	ARCHITECT OR ARCHITECTURAL
AVG	AVERAGE
BD	BOARD
BLDG	BUILDING
BLKG	BLOCKING
BM	BEAM
BO	BOTTOM OF
℄	CENTER LINE
CAB	CABINET
CLG	CEILING
CLR	CLEAR
CMU	CONCRETE MASONRY UNIT
CNTR	COUNTER
COL	COLUMN
CONC	CONCRETE
CONT	CONTINUOUS
COORD	COORDINATE
COR	CORNER
CPT	CARPET
CW	COLD WATER
DBL	DOUBLE
DEG	DEGREE
DHW	DOMESTIC HOT WATER
DIA	DIAMETER
DIM	DIMENSION
DN	DOWN
DR	DOOR
DS	DOWN SPOUT
DW	DISH WASHER
DWG	DRAWING
E	EAST
EA	EACH
EJ	EXPANSION JOINT
ELEC	ELECTRIC
ELEV	ELEVATION
EMP	EMPLOYEE
ENCL	ENCLOSE
ENT	ENTRY or ENTRANCE
EQ	EQUAL
EQUIP	EQUIPMENT
EWC	ELECTRIC WATER COOLER
EXH	EXHAUST
EXIST	EXISTING
EXP	EXPANSION
EXT	EXTERIOR
FBO	FURNISHED BY OWNER
FDN	FOUNDATION
FF	FINISH FLOOR
FFE	FINISH FLOOR ELEVATION
FIN	FINISH
FIXT	FIXTURE
FLG	FLOORING
FLR	FLOOR
FLUOR	FLUORESCENT
FT	FOOT or FEET
GA	GAUGE
GALV	GALVANIZED
GC	GENERAL CONTRACTOR
GL	GLASS
GWB	GYPSUM WALL BOARD
HGT	HEIGHT
HM	HOLLOW METAL
HORIZ	HORIZONTAL
HR	HOUR
HVAC	HEATING VENTILATION & AIR CONDITION
IBC	INSTALLED BY CONTRACTOR
IN	INCHES
INSUL	INSULATION
INT	INTERIOR
JT	JOINT
LAM	LAMINATED
LB	POUNDS
LF	LINEAR FEET
LL	LIVE LOAD
LWC	LIGHT WEIGHT CONCRETE
MAX	MAXIMUM
MECH	MECHANICAL
MFG	MANUFACTURE
MH	MAN HOLE
MIL	MILLIMETER
MIN	MINIMUM
MSB	MAIN SWITCH BOARD
MTD	MOUNTED
MTL	METAL
MW	MICROWAVE
N	NORTH
N/A	NOT APPLICABLE
NAT	NATURAL
NIC	NOT IN CONTRACT
#	NUMBER
NTS	NOT TO SCALE
OC	ON CENTER
OH	OVER HEAD
PAR	PARALLEL
P/C	PRECAST CONCRETE
PERF	PERFORATED
PERP	PERPENDICULAR
PL	PLATE
P-LAM	PLASTIC LAMINATE
PLAS	PLASTER
PLBG	PLUMBING
PLYWD	PLYWOOD
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED
PTD	PAINT
QTY	QUANTITY
R	RISER or RADIUS
RAD	RADIUS
RCP	REFLECTED CEILING PLAN
RD	ROOF DRAIN
REF	REFRIGERATOR
REINF	REINFORCED
REQD	REQUIRED
RO	ROUGH OPENING
RM	ROOM
RTU	ROOF TOP UNIT
S	SOUTH
SAT	SUSPENDED ACOUSTICAL TILE
SCHED	SCHEDULE
SD	STORM DRAIN
SECT	SECTION
SF	SQUARE FEET
SIM	SIMILAR
SP	SHELL PACKAGE
SPEC	SPECIFICATIONS
SS	STAINLESS STEEL
SQ	SQUARE
STD	STANDARD
STL	STEEL
STRUC	STRUCTURAL
SUSP	SUSPENDED
SYMM	SYMMETRICAL
T	THERMOSTAT
T & B	TOP AND BOTTOM
TEL	TELEPHONE
TGL	TEMPERED GLASS
THICK	THICKNESS
TI	TENANT IMPROVEMENTS
T.O.	TOP OF
TOJ	TOP OF JOIST
TOS	TOP OF STEEL
TYP	TYPICAL
UL	UNDERWRITERS LABORATORIES, INC
UNO	UNLESS NOTED OTHERWISE
VB	VINYL BASE
VCT	VINYL COMPOSITE TILE
VERT	VERTICAL
VIF	VERIFY IN FIELD
W	WIDE or WEST
WD	WOOD
WC	WATER COOLER
W/	WITH
W/O	WITHOUT
X	EXISTING

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

2	10/15/20	GENERAL REVISIONS
1	07/15/20	GENERAL REVISIONS
#	DATE	DESCRIPTION

REVISIONS

Date Issued 03.13.20
Project Number 0710.10
Drawing Scale 1/2" = 1'-0"

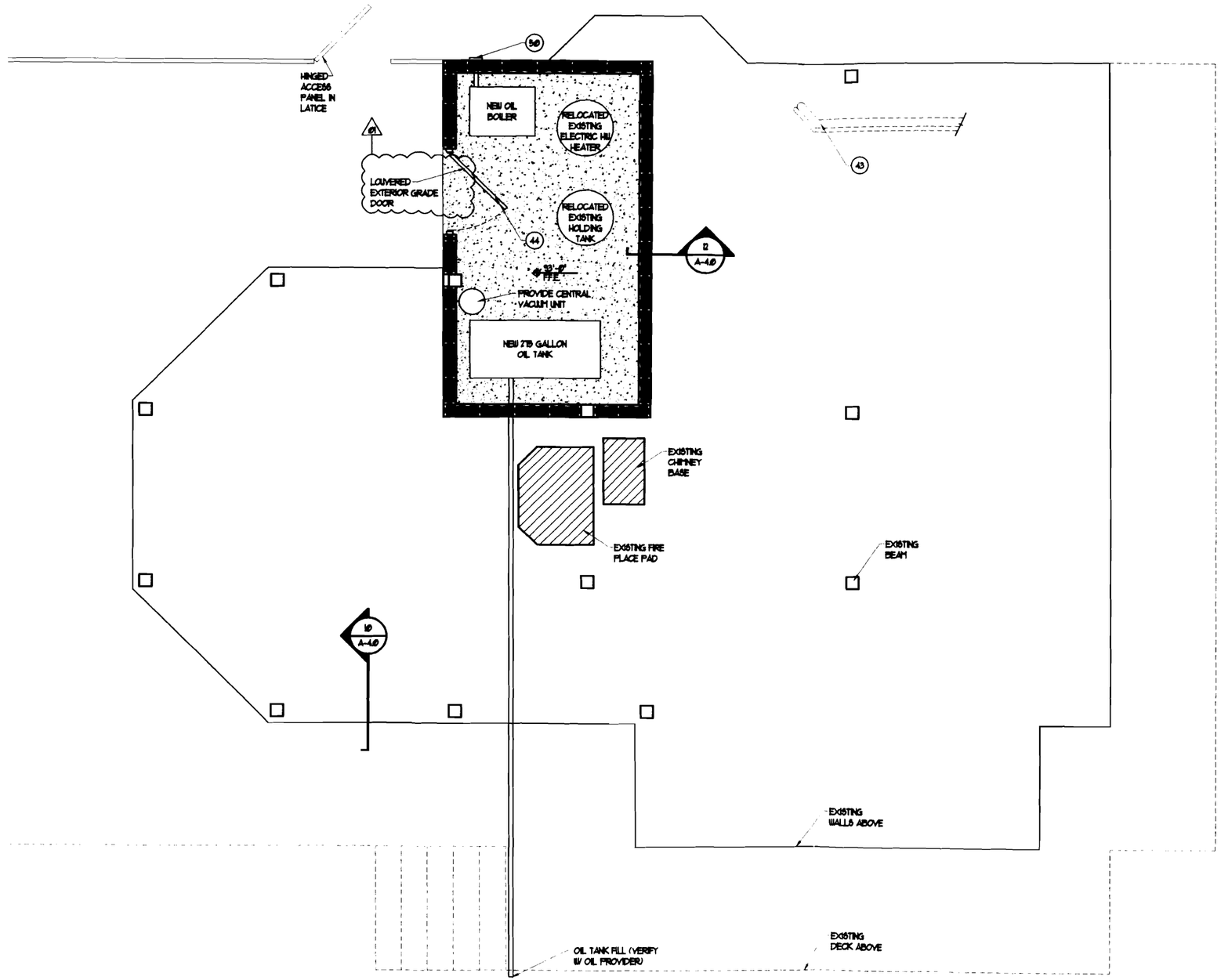
SHEET NAME
TITLE SHEET

Drawn By
Checked By

T-1.0

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA



10 CRAWL SPACE PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT – SCALE ACCORDINGLY

SCALE 1" = 1' | 3/4" = 1' | 1/2" = 1' | 1/4" = 1' | 1/8" = 1' | 1/16" = 1'

CONSTRUCTION NOTES:

1. NEW HIGH BOIL TOILET
2. EXISTING MARBLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
3. NOT USED
4. NOT USED
5. NOT USED
6. BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENTS UNDER SEAT
7. NEW KITCHEN CABINETS - 36" TO TOP OF COUNTER, TYP. - SEE KITCHEN DRAWINGS
8. NEW 24" WIDE DISHWASHER - (F.B.O. I.B.C.)
9. NEW 36" INLAID KITCHEN SINK
10. NEW 36" WIDE OVEN / RANGE - (F.B.O. I.B.C.)
11. NEW 33" WIDE REFRIGERATOR - (F.B.O. I.B.C.)
12. WHITE MELAMINE PANTRY SHELVING
13. RELOCATE EXISTING DOOR - INFILL EXISTING WALL AND REBUILD BACK DECK AS REQUIRED
14. NEW BOOKSHELF - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0" - SEE ELEV.
15. SHELVING WITH WOOD COUNTERTOP
16. NEW STACKED WASHER AND DRYER - (F.B.O. I.B.C.)
17. CLOSET SHELVING - 3/4" AC FIR PLYWOOD WITH 1X FIR NOSING. PROVIDE FIR CLOSET RODS. ALL FIR STAINED / POLYURETHANE FINISH
18. EXISTING ELECTRICAL PANEL TO REMAIN
19. CENTER STAIR BETWEEN (2) EXISTING PURLINS & NOTCH BEAM FOR HEADROOM
20. PROVIDE NEW STAIR FINISHES FOR THE EXISTING 8 1/2" RISE AND 7 1/2" TREAD STAIR. IMPROVE CODE COMPLIANCE TO THE BEST DEGREE POSSIBLE. PROVIDE NEW CABLE RAILING SYSTEM FOR ENTIRE STAIR.
21. METAL COAT HOOKS - (F.B.O. I.B.C.)
22. INSTALL EXISTING MARBLE TOP SINK (F.B.O.)
23. NEW TOILET - F.B.O.
24. NEW TILE SHOWER SEAT
25. TILE FLOOR - COLOR TBD
26. REMOVE EXISTING DOOR AND INFILL EXISTING WALL AS REQUIRED
27. PROVIDE NEW ICE AND WATER SHIELD AROUND EXISTING SLIDING GLASS DOORS - REPLACE SIDING AS REQUIRED
28. ALL INTERIOR WALLS SHALL BE 2X4 WOOD STUDS @ 16" O.C. WITH (1) LAYER GYPSUM BOARD EACH SIDE
29. ALL INTERIOR DOORS SHALL BE 4 PANEL STILE AND RAIL SHAKER STYLE DOORS.
30. UNDER WINDOW CABINETS
31. NOT USED
32. NEW SINK INLAID INTO NEW LAVATORY WITH SOLID COUNTERTOP
33. NEW BARILLTRA TRU 3484 THERMOMASSEUR BATH INLAID INTO TILE SURROUND BASE
34. EXISTING SKYLIGHT TO RECEIVE NEW FLASHING AND SEALANT
35. CARPET AND PAD TO BE INSTALLED - ADD PLYWOOD SUBFLOOR AS REQUIRED
36. NEW SKYLIGHT TO MATCH EXISTING
37. NOT USED
38. NEW STORAGE SHELVING - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0"
39. PROVIDE LOW EXPANDING FOAM AROUND ALL EXISTING EXTERIOR WINDOWS & DOORS
40. RAISE EXISTING FLOOR TO MATCH PRIMARY FIRST FLOOR LEVEL
41. EXISTING WOOD STOVE
42. SUBFLOOR - NO FINISH
43. RELOCATE EXISTING WATER AND SEPTIC LINES TO ENTER GRADE WITHIN PERIMETER ENCLOSURE
44. NEW INSULATED EXTERIOR 3'-0" X 4'-0" ACCESS PANEL / DOOR AND FRAME
45. NOT USED
46. PROVIDE NEW CEILING FAN
47. PROVIDE FLEXIBLE SHOWER HEAD AT BATH EDGE
48. PROVIDE NEW HOSEBIB
49. NOT USED
50. THE DIRECT VENT FROM THE OIL BOILER SHALL BE INSTALLED PER IN A LOCATION WHICH COMPLIES WITH ALL REQUIRED CLEARANCES FROM DOORS AND WINDOWS OPENINGS
51. NOT USED
52. SAND AND POLY EXISTING WOOD FLOORS WHERE REQUIRED, TYP
53. PROVIDE REMOVABLE 4' X 36" +/- FLOOR GRILLS FOR FIN TUBE HEAT BELOW
54. PROVIDE TOE KICK HEATERS IN EXISTING STAIR TREADS
55. PROVIDE PAINTED ACCESS DOOR SIMILAR TO INTERIOR DOORS

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE HOUSE RENOVATION

806 SEASHORE AVE
PEAKS ISLAND, ME

2	[illegible]	GENERAL REVISIONS
1	[illegible]	GENERAL REVISIONS
0	DATE	DESCRIPTION

REVISIONS

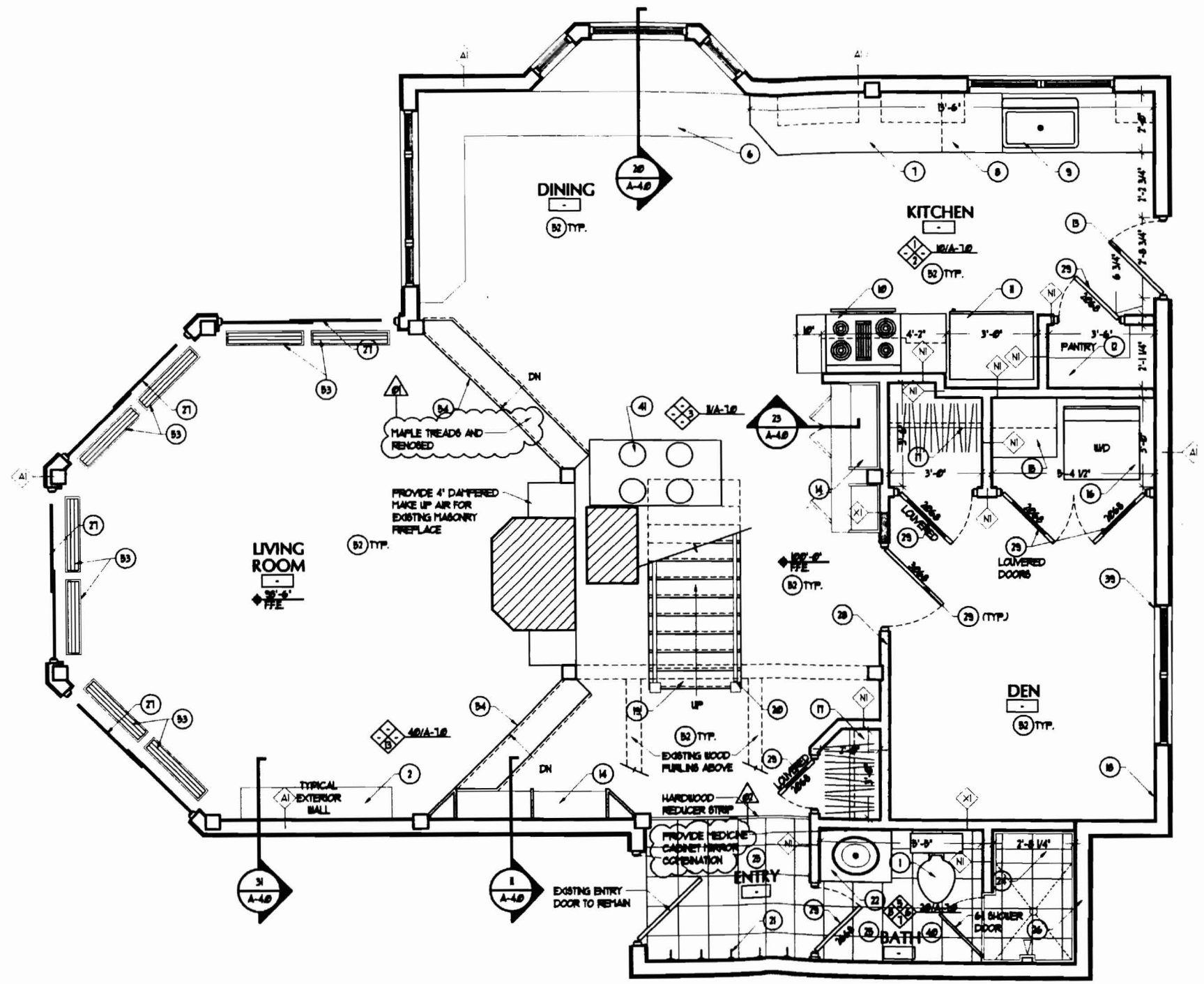
Date Issued [illegible]
Project Number [illegible]
Drawing Scale 1/2" = 1'-0"

SHEET NAME
CRAWL SPACE PLAN

Drawn By
Checked By

A-1.0

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA



10 FIRST FLOOR PLAN

SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES:

1. NEW HIGH BOWL TOILET
2. EXISTING MARBLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
3. NOT USED
4. NOT USED
5. NOT USED
6. BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENTS UNDER SEAT
7. NEW KITCHEN CABINETS - 36" TO TOP OF COUNTER, TYP. - SEE KITCHEN DRAWINGS
8. NEW 24" WIDE DISHWASHER - (F.B.O. I.B.C.)
9. NEW 36" INLAID KITCHEN SINK
10. NEW 36" WIDE OVEN / RANGE - (F.B.O. I.B.C.)
11. NEW 33" WIDE REFRIGERATOR - (F.B.O. I.B.C.)
12. WHITE MELAMINE PANTRY SHELVING
13. RELOCATE EXISTING DOOR - INFILL EXISTING WALL AND REBUILD BACK DECK AS REQUIRED
14. NEW BOOKSHELF - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING, SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0" - SEE ELEV.
15. SHELVING WITH WOOD COUNTERTOP
16. NEW STACKABLE WASHER AND DRYER - (F.B.O. I.B.C.)
17. CLOSET SHELVING - 3/4" AC FIR PLYWOOD WITH IX FIR NOSING. PROVIDE FIR CLOSET RODS. ALL FIR STAINED / POLYURETHANE FINISH
18. EXISTING ELECTRICAL PANEL TO REMAIN
19. CENTER STAIR BETWEEN (2) EXISTING PURLINS 4 NOTCH BEAM FOR HEADROOM
20. PROVIDE NEW STAIR FINISHES FOR THE EXISTING 8 1/2" RISE AND 7 1/2" TREAD STAIR. IMPROVE CODE COMPLIANCE TO THE BEST DEGREE POSSIBLE. PROVIDE NEW CABLE RAILING SYSTEM FOR ENTIRE STAIR.
21. METAL COAT HOOKS - (F.B.O. I.B.C.)
22. INSTALL EXISTING MARBLE TOP SINK (F.B.O.)
23. NEW TOILET - F.B.O.
24. NEW TILE SHOWER SEAT
25. TILE FLOOR - COLOR TBD
26. REMOVE EXISTING DOOR AND INFILL EXISTING WALL AS REQUIRED
27. PROVIDE NEW ICE AND WATER SHIELD AROUND EXISTING SLIDING GLASS DOORS - REPLACE SIDING AS REQUIRED
28. ALL INTERIOR WALLS SHALL BE 2X4 WOOD STUDS @ 16" O.C. WITH (1) LAYER GYPSUM BOARD EACH SIDE
29. ALL INTERIOR DOORS SHALL BE 4 PANEL STILE AND RAIL SHAKER STYLE DOORS.
30. UNDER WINDOW CABINETS
31. NOT USED
32. NEW SINK INLAID INTO NEW LAVATORY WITH SOLID COUNTERTOP
33. NEW KARLTRA TRU S-184 THERMOMASSEUR BATH INLAID INTO TILE SURROUND BASE
34. EXISTING SKYLIGHT TO RECEIVE NEW FLASHING AND SEALANT
35. CARPET AND PAD TO BE INSTALLED - ADD PLYWOOD SUBFLOOR AS REQUIRED
36. NEW SKYLIGHT TO MATCH EXISTING
37. NOT USED
38. NEW STORAGE SHELVING - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0"
39. PROVIDE LOW EXPANDING FOAM AROUND ALL EXISTING EXTERIOR WINDOWS & DOORS
40. RAISE EXISTING FLOOR TO MATCH PRIMARY FIRST FLOOR LEVEL
41. EXISTING WOOD STOVE
42. SUBFLOOR - NO FINISH
43. RELOCATE EXISTING WATER AND SEPTIC LINES TO ENTER GRADE WITHIN PERIMETER ENCLOSURE
44. NEW INSULATED EXTERIOR 3'-0" X 4'-0" ACCESS PANEL / DOOR AND FRAME
45. NOT USED
46. PROVIDE NEW CEILING FAN
47. PROVIDE FLEXIBLE SHOWER HEAD AT BATH EDGE
48. PROVIDE NEW HOSEBIB
49. NOT USED
50. THE DIRECT VENT FROM THE OIL BOILER SHALL BE INSTALLED PER IN A LOCATION WHICH COMPLIES WITH ALL REQUIRED CLEARANCES FROM DOORS AND WINDOWS OPENINGS
51. NOT USED
52. SAND AND POLY EXISTING WOOD FLOORS WHERE REQUIRED, TYP
53. PROVIDE REMOVABLE 4" X 36" +/- FLOOR GRILLS FOR FIN TUBE HEAT BELOW
54. PROVIDE TOE KICK HEATERS IN EXISTING STAIR TREADS
55. PROVIDE PAINTED ACCESS DOOR SIMILAR TO INTERIOR DOORS

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207 761.9000
fax: 207 761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

2	06/15/09	GENERAL REVISIONS
1	05/15/09	GENERAL REVISIONS
0	DATE	DESCRIPTION

REVISIONS

Date Issued 01.13.06
Project Number 0710.10
Drawing Scale 1/2" = 1'-0"

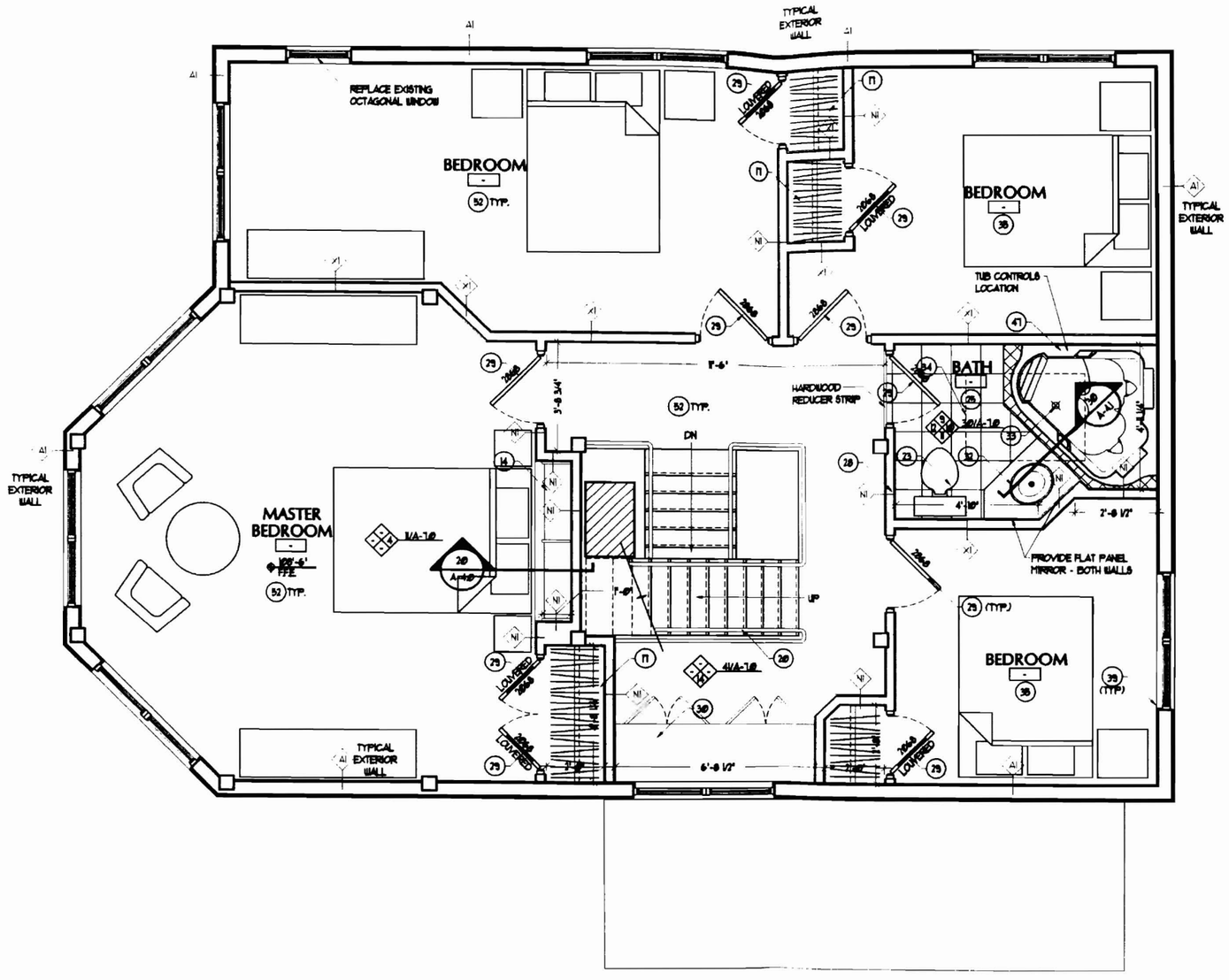
SHEET NAME
FIRST FLOOR PLAN

Drawn By
Checked By

A-1.1

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA



10 SECOND FLOOR PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES:

1. NEW HIGH BOIL TOILET
2. EXISTING MARBLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
3. NOT USED
4. NOT USED
5. NOT USED
6. BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENTS UNDER SEAT
7. NEW KITCHEN CABINETS - 36" TO TOP OF COUNTER, TYP. - SEE KITCHEN DRAWINGS
8. NEW 24" WIDE DISHWASHER - (F.B.O. I.B.C.)
9. NEW 36" INLAID KITCHEN SINK
10. NEW 36" WIDE OVEN / RANGE - (F.B.O. I.B.C.)
11. NEW 33" WIDE REFRIGERATOR - (F.B.O. I.B.C.)
12. WHITE MELAMINE PANTRY SHELVING
13. RELOCATE EXISTING DOOR - INFILL EXISTING WALL AND REBUILD BACK DECK AS REQUIRED
14. NEW BOOKSHELF - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0" - SEE ELEV.
15. SHELVING WITH WOOD COUNTERTOP
16. NEW STACKABLE WASHER AND DRYER - (F.B.O. I.B.C.)
17. CLOSET SHELVING - 3/4" AC FIR PLYWOOD WITH 1X FIR NOSING. PROVIDE FIR CLOSET RODS. ALL FIR STAINED / POLYURETHANE FINISH
18. EXISTING ELECTRICAL PANEL TO REMAIN
19. CENTER STAIR BETWEEN (2) EXISTING PURLINS 4 NOTCH BEAM FOR HEADROOM
20. PROVIDE NEW STAIR FINISHES FOR THE EXISTING 8 1/2" RISE AND 1 1/2" TREAD STAIR. IMPROVE CODE COMPLIANCE TO THE BEST DEGREE POSSIBLE. PROVIDE NEW CABLE RAILING SYSTEM FOR ENTIRE STAIR.
21. METAL COAT HOOKS - (F.B.O. I.B.C.)
22. INSTALL EXISTING MARBLE TOP SINK (F.B.O.)
23. NEW TOILET - F.B.O.
24. NEW TILE SHOWER SEAT
25. TILE FLOOR - COLOR TBD
26. REMOVE EXISTING DOOR AND INFILL EXISTING WALL AS REQUIRED
27. PROVIDE NEW ICE AND WATER SHIELD AROUND EXISTING SLIDING GLASS DOORS - REPLACE SIDING AS REQUIRED
28. ALL INTERIOR WALLS SHALL BE 2X4 WOOD STUDS @ 16" O.C. WITH (1) LAYER GYPSUM BOARD EACH SIDE
29. ALL INTERIOR DOORS SHALL BE 4 PANEL STILE AND RAIL SHAKER STYLE DOORS.
30. UNDER WINDOW CABINETS
31. NOT USED
32. NEW SINK INLAID INTO NEW LAVATORY WITH SOLID COUNTERTOP
33. NEW BARILLTRA THU 5484 THERMOMASSEUR BATH INLAID INTO TILE SURROUND BASE
34. EXISTING SKYLIGHT TO RECEIVE NEW FLASHING AND SEALANT
35. CARPET AND PAD TO BE INSTALLED - ADD PLYWOOD SUBFLOOR AS REQUIRED
36. NEW SKYLIGHT TO MATCH EXISTING
37. NOT USED
38. NEW STORAGE SHELVING - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0"
39. PROVIDE LOW EXPANDING FOAM AROUND ALL EXISTING EXTERIOR WINDOWS & DOORS
40. RAISE EXISTING FLOOR TO MATCH PRIMARY FIRST FLOOR LEVEL
41. EXISTING WOOD STOVE
42. SUBFLOOR - NO FINISH
43. RELOCATE EXISTING WATER AND SEPTIC LINES TO ENTER GRADE WITHIN PERIMETER ENCLOSURE
44. NEW INSULATED EXTERIOR 3'-0" X 4'-0" ACCESS PANEL / DOOR AND FRAME
45. NOT USED
46. PROVIDE NEW CEILING FAN
47. PROVIDE FLEXIBLE SHOWER HEAD AT BATH EDGE
48. PROVIDE NEW HOSEBIB
49. NOT USED
50. THE DIRECT VENT FROM THE OIL BOILER SHALL BE INSTALLED PER IN A LOCATION WHICH COMPLIES WITH ALL REQUIRED CLEARANCES FROM DOORS AND WINDOWS OPENINGS
51. NOT USED
52. SAND AND POLY EXISTING WOOD FLOORS WHERE REQUIRED, TYP
53. PROVIDE REMOVABLE 4' X 36' +/- FLOOR GRILLS FOR FIN TUBE HEAT BELOW
54. PROVIDE TOE KICK HEATERS IN EXISTING STAIR TREADS
55. PROVIDE PAINTED ACCESS DOOR SIMILAR TO INTERIOR DOORS

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
3	10.01.08	GENERAL REVISIONS
1	07.15.08	GENERAL REVISIONS

REVISIONS

Date Issued 07.15.08
Project Number 07010
Drawing Scale 1/2" = 1'-0"

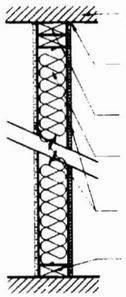
SHEET NAME
SECOND FLOOR PLAN

Drawn By
Checked By

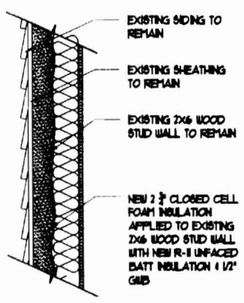
A-1.2

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

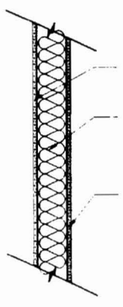
IF THIS SHEET IS NOT 24 x 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



NI TYPICAL NEW INTERIOR WALL



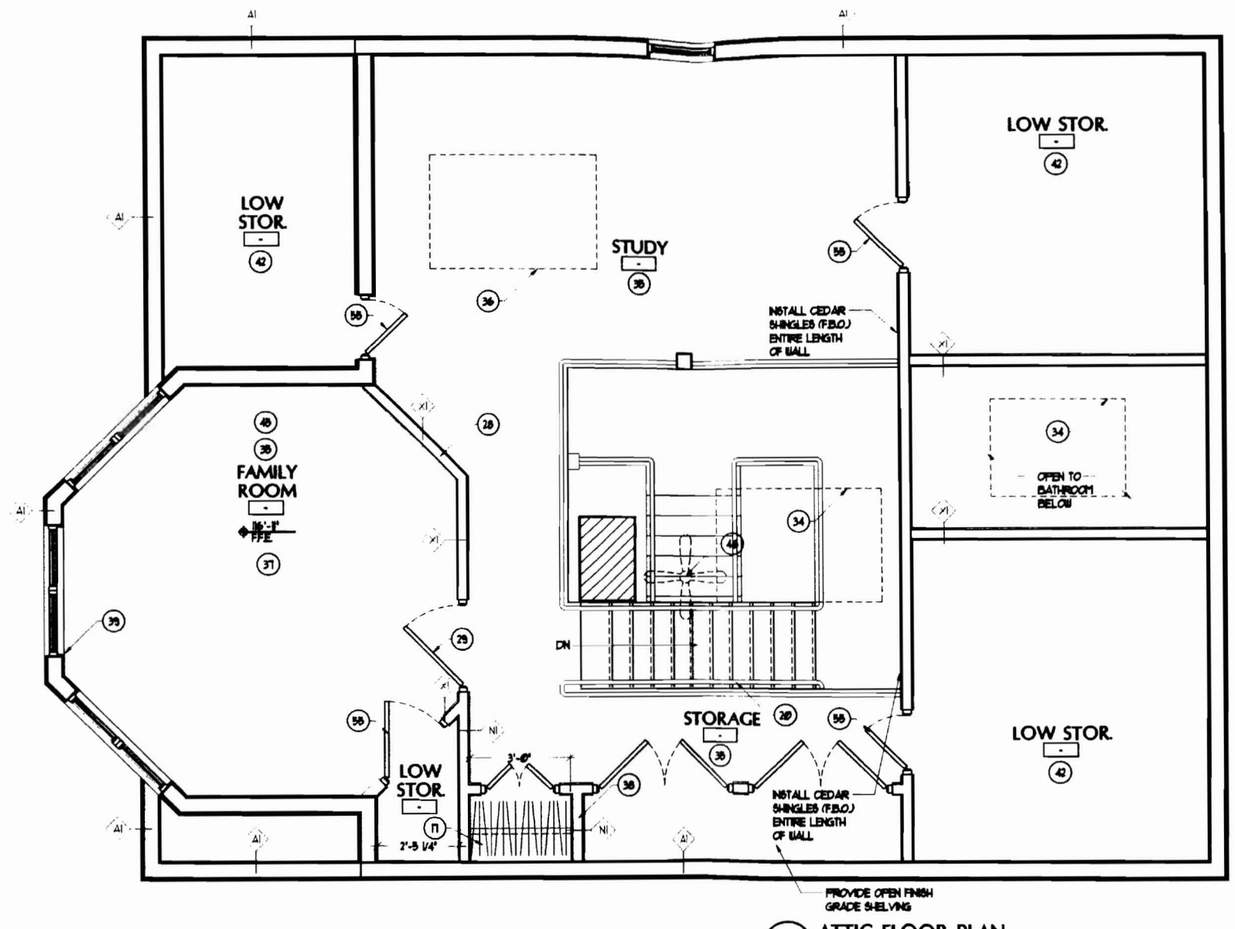
AI TYPICAL EXTERIOR WALL



XI TYPICAL EXISTING INTERIOR WALL

20 TYPICAL WALL TYPES

0 1'-4" SCALE: 3/4" = 1'-0"



10 ATTIC FLOOR PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES:

1. NEW HIGH BOWL TOILET
2. EXISTING MARBLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
3. NOT USED
4. NOT USED
5. 07 NOT USED
6. BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENTS UNDER SEAT
7. NEW KITCHEN CABINETS - 36" TO TOP OF COUNTER, TYP. - SEE KITCHEN DRAWINGS
8. ~~NEW 24" WIDE DISHWASHER - (F.B.O. I.B.C.)~~
9. NEW 36" INLAID KITCHEN SINK
10. NEW 36" WIDE OVEN / RANGE - (F.B.O. I.B.C.)
11. NEW 33" WIDE REFRIGERATOR - (F.B.O. I.B.C.)
12. WHITE MELAMINE PANTRY SHELVING
13. RELOCATE EXISTING DOOR - INFILL EXISTING WALL AND REBUILD BACK DECK AS REQUIRED
14. 07 NEW BOOKSHELF - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-6" - SEE ELEV.
15. SHELVING WITH WOOD COUNTERTOP
16. ~~NEW STACKABLE WASHER AND DRYER - (F.B.O. I.B.C.)~~
17. CLOSET SHELVING - 3/4" AC FIR PLYWOOD WITH 1X FIR NOSING. PROVIDE FIR CLOSET RODS. ALL FIR STAINED / POLYURETHANE FINISH
18. EXISTING ELECTRICAL PANEL TO REMAIN
19. CENTER STAIR BETWEEN (2) EXISTING PURLINS & NOTCH BEAM FOR HEADROOM
20. PROVIDE NEW STAIR FINISHES FOR THE EXISTING 8 1/2" RISE AND 7 1/2" TREAD STAIR. IMPROVE CODE COMPLIANCE TO THE BEST DEGREE POSSIBLE. PROVIDE NEW CABLE RAILING SYSTEM FOR ENTIRE STAIR.
21. METAL COAT HOOKS - (F.B.O. I.B.C.)
22. INSTALL EXISTING MARBLE TOP SINK (F.B.O.)
23. NEW TOILET - F.B.O.
24. NEW TILE SHOWER SEAT
25. TILE FLOOR - COLOR TBD
26. REMOVE EXISTING DOOR AND INFILL EXISTING WALL AS REQUIRED
27. 07 PROVIDE NEW ICE AND WATER SHIELD AROUND EXISTING SLIDING GLASS DOORS - REPLACE SIDING AS REQUIRED
28. ALL INTERIOR WALLS SHALL BE 2X4 WOOD STUDS @ 16" O.C. WITH (1) LAYER GYPSUM GWB EACH SIDE
29. ALL INTERIOR DOORS SHALL BE 4 PANEL STILE AND RAIL SHAKER STYLE DOORS. 07
30. UNDER WINDOW CABINETS
31. NOT USED
32. NEW SINK INLAID INTO NEW LAVATORY WITH SOLID COUNTERTOP
33. NEW BARMILTRA TFU 3-M-4 THERMOMASSEUR BATH INLAID INTO TILE SURROUND BASE
34. EXISTING SKYLIGHT TO RECEIVE NEW FLASHING AND SEALANT
35. CARPET AND PAD TO BE INSTALLED - ADD PLYWOOD SUBFLOOR AS REQUIRED
36. NEW SKYLIGHT TO MATCH EXISTING
37. NOT USED
38. NEW STORAGE SHELVING - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-6"
39. PROVIDE LOW EXPANDING FOAM AROUND ALL EXISTING EXTERIOR WINDOWS & DOORS
40. RAISE EXISTING FLOOR TO MATCH PRIMARY FIRST FLOOR LEVEL
41. EXISTING WOOD STOVE
42. SUBFLOOR - NO FINISH
43. RELOCATE EXISTING WATER AND SEPTIC LINES TO ENTER GRADE WITHIN PERIMETER ENCLOSURE
44. 07 NEW INSULATED EXTERIOR 3'-0" X 4'-0" ACCESS PANEL / DOOR AND FRAME
45. NOT USED
46. PROVIDE NEW CEILING FAN
47. PROVIDE FLEXIBLE SHOWER HEAD AT BATH EDGE
48. PROVIDE NEW HOSEBIB
49. NOT USED
50. 07 THE DIRECT VENT FROM THE OIL BOILER SHALL BE INSTALLED PER IN A LOCATION WHICH COMPLIES WITH ALL REQUIRED CLEARANCES FROM DOORS AND WINDOWS OPENINGS
51. NOT USED
52. SAND AND POLY EXISTING WOOD FLOORS WHERE REQUIRED, TYP
53. PROVIDE REMOVABLE 4' X 36" +/- FLOOR GRILLS FOR FIN TUBE HEAT BELOW
54. PROVIDE TOE KICK HEATERS IN EXISTING STAIR TREADS
55. PROVIDE PAINTED ACCESS DOOR SIMILAR TO INTERIOR DOORS

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE HOUSE RENOVATION

806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
2	10.08.08	GENERAL REVISIONS
1	09.26.08	GENERAL REVISIONS

REVISIONS

Date Issued 07.15.08
Project Number 0706
Drawing Scale 1/2" = 1'-0"

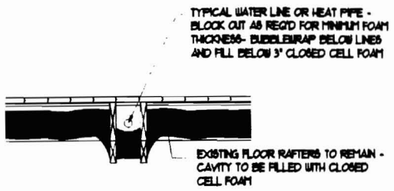
SHEET NAME
ATTIC FLOOR PLAN

Drawn By
Checked By

A-1.3

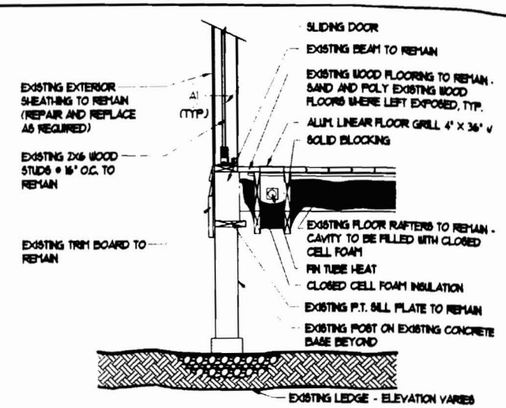
COPYRIGHT Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

IF THIS SHEET IS NOT 24 x 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



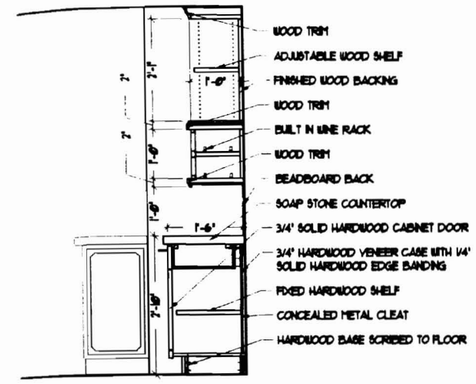
41 TYPICAL WATER LINE OR HEAT PIPE

0 1'-4" SCALE: 3/4" = 1'-0"



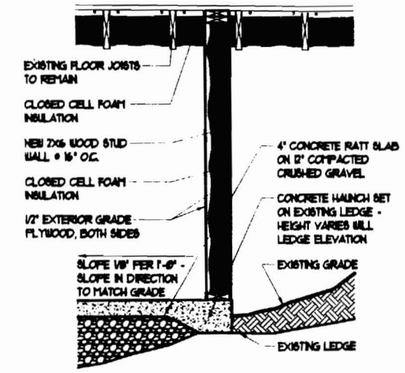
32 SECTION @ SLIDING DOOR

0 1'-4" SCALE: 3/4" = 1'-0"



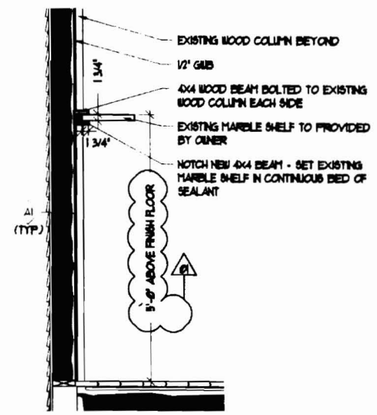
23 SECTION @ BOOKCASE / WINE RACK

0 1'-4" SCALE: 3/4" = 1'-0"



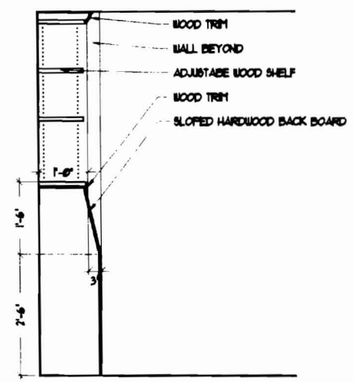
12 WALL SECTION @ UTILITY ROOM

0 1'-4" SCALE: 3/4" = 1'-0"



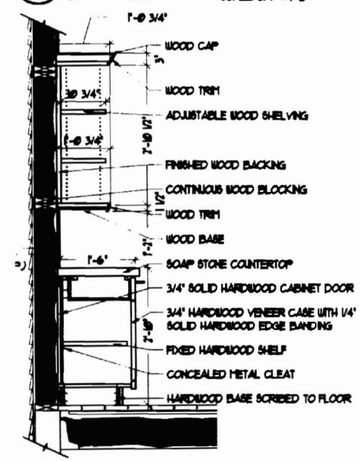
31 SECTION @ BOOKCASE IN LIVING ROOM

0 1'-4" SCALE: 3/4" = 1'-0"



21 SECTION @ BOOKCASE IN MASTER BED

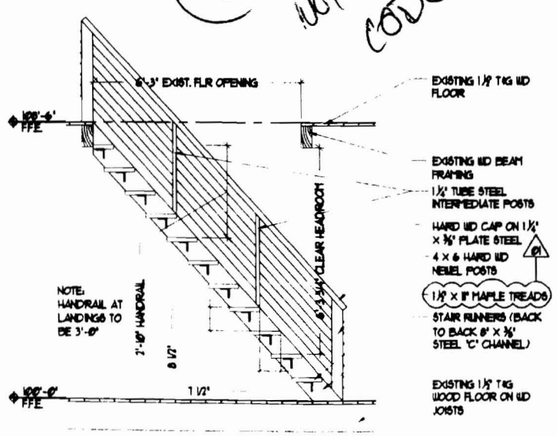
0 1'-4" SCALE: 3/4" = 1'-0"



11 SECTION @ LIVING ROOM BOOK SHELF

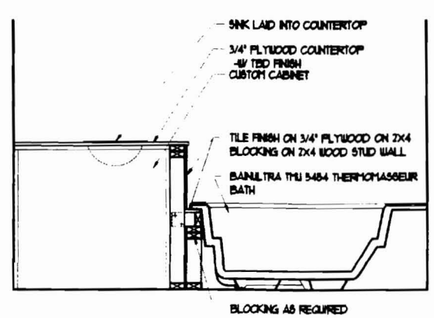
0 1'-4" SCALE: 3/4" = 1'-0"

(existing NOT to code cst. 4/27/09)



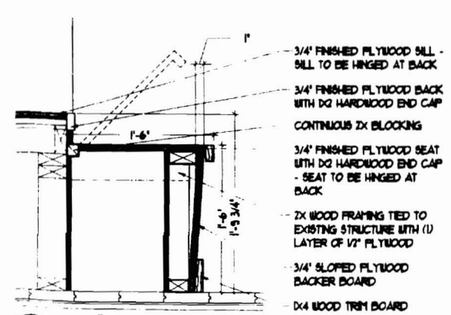
40 STAIR SECTION

0 2'-0" SCALE: 1/2" = 1'-0"



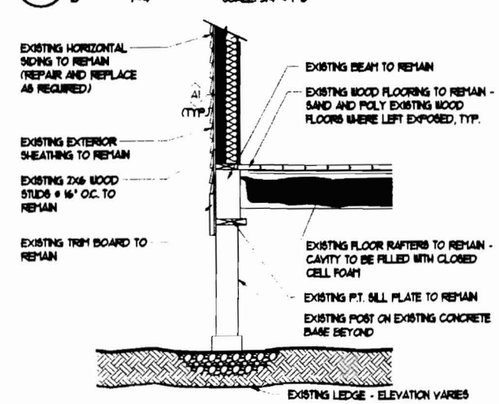
30 SECTION @ BATHTUB SURROUND

0 1'-4" SCALE: 3/4" = 1'-0"



20 SECTION @ DINING ROOM BENCH

0 8" SCALE: 1 1/2" = 1'-0"



10 TYPICAL FOUNDATION DETAIL

0 1'-4" SCALE: 3/4" = 1'-0"

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
2	12.01.09	GENERAL REVISIONS
1	07.13.09	GENERAL REVISIONS

REVISIONS

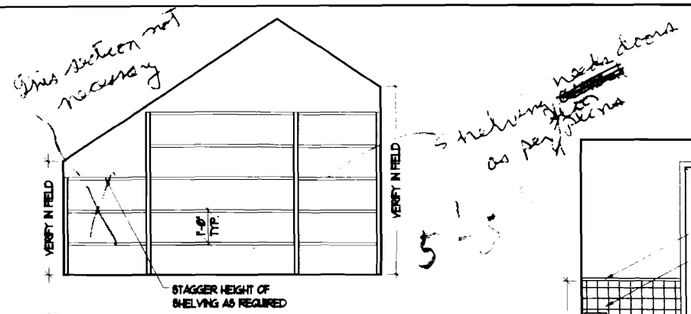
Date Issued 07.13.09
Project Number 07.1010
Drawing Scale AS NOTED

SHEET NAME
BUILDING DETAILS

Drawn By
Checked By

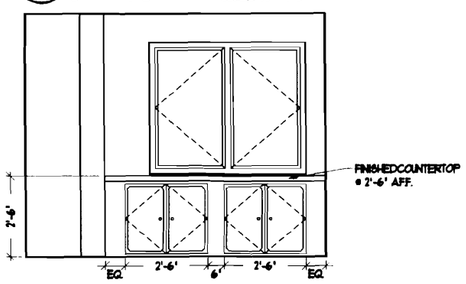
A-4.0

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA



42 ELEVATION @ THIRD FLOOR SHELVING

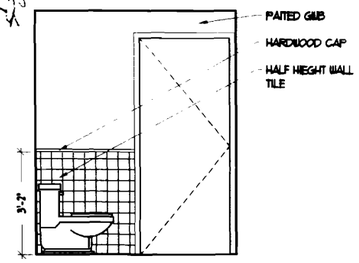
0 2'-0" SCALE: 1/2" = 1'-0"



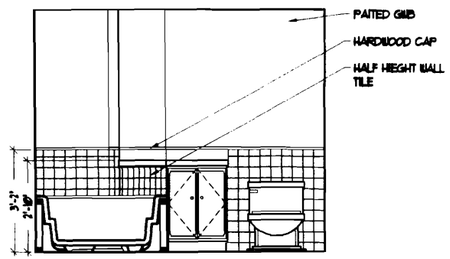
14

41 ELEVATION @ SECOND FLOOR STORAGE

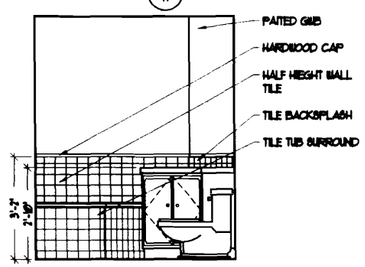
0 2'-0" SCALE: 1/2" = 1'-0"



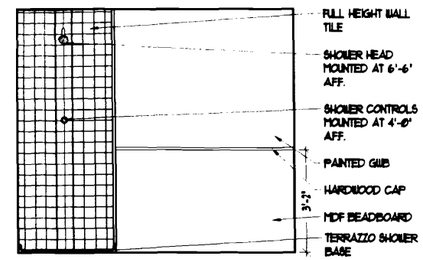
12



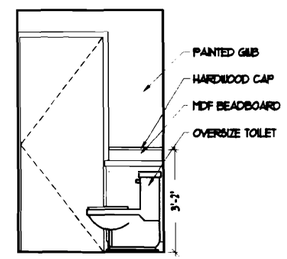
11



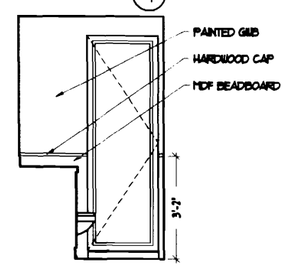
10



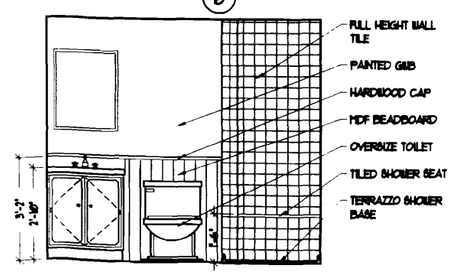
8



7



6



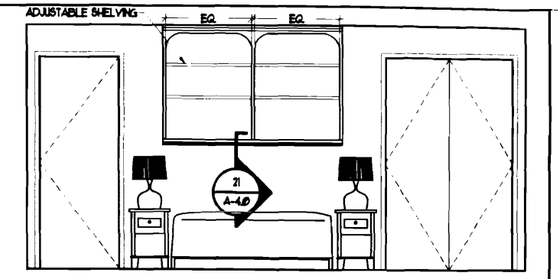
5

30 SECOND FLOOR BATHROOM ELEVATIONS

0 2'-0" SCALE: 1/2" = 1'-0"

20 FIRST FLOOR BATHROOM ELEVATIONS

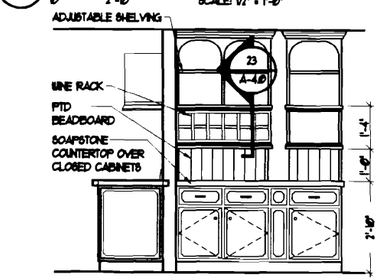
0 2'-0" SCALE: 1/2" = 1'-0"



4

12 SECTION @ BOOKCASE IN MASTER BED

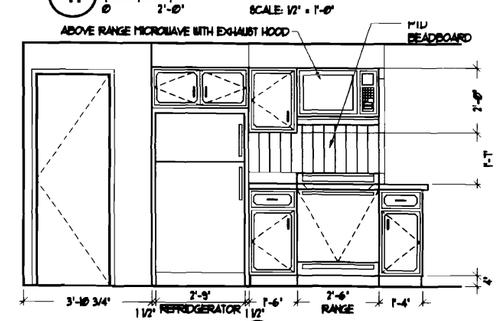
0 2'-0" SCALE: 1/2" = 1'-0"



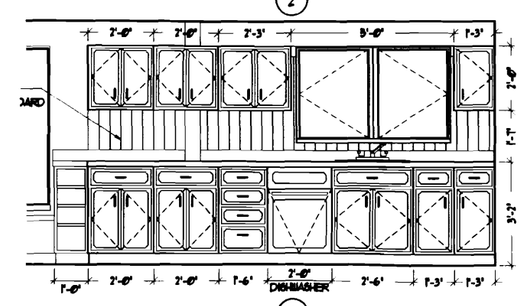
3

11 ELEVATION @ BOOKCASE / WINE RACK

0 2'-0" SCALE: 1/2" = 1'-0"



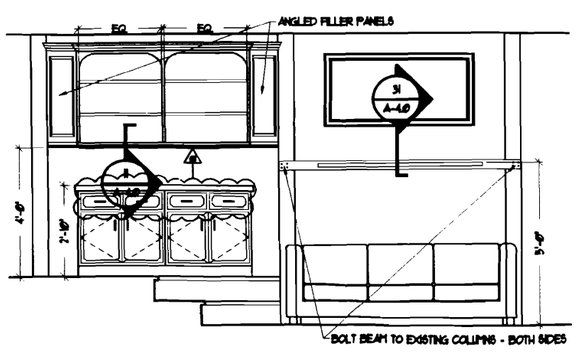
2



1

10 KITCHEN ELEVATIONS

0 2'-0" SCALE: 1/2" = 1'-0"



13

40 LIVING ROOM ELEVATION

0 2'-0" SCALE: 1/2" = 1'-0"

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
2	[illegible]	GENERAL REVISIONS
1	[illegible]	GENERAL REVISIONS
0	DATE	DESCRIPTION

REVISIONS

Date Issued 07.15.08
Project Number 0710
Drawing Scale AS NOTED

SHEET NAME
INTERIOR ELEVATIONS

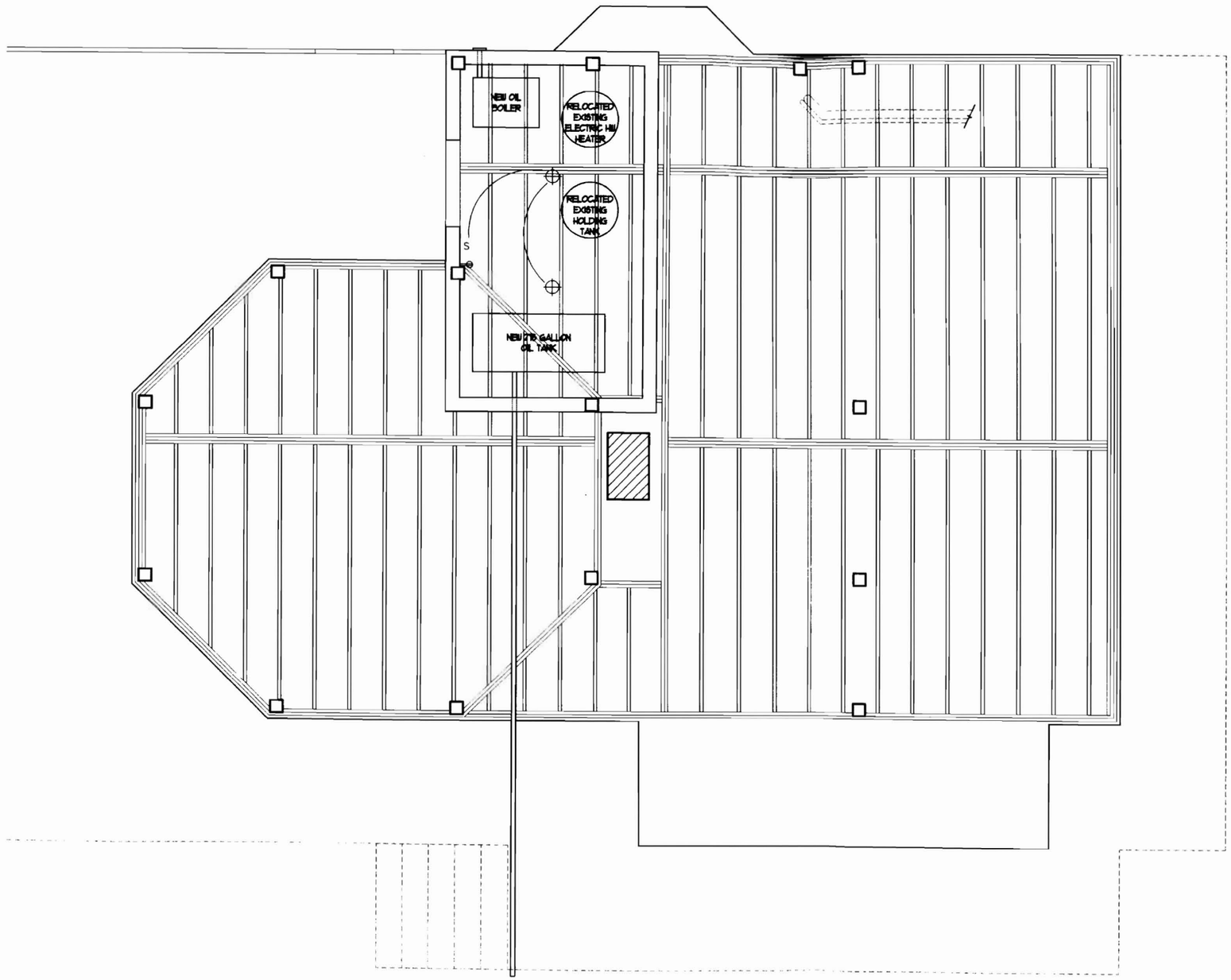
Drawn By
Checked By

A-5.0

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT – SCALE ACCORDINGLY

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT – SCALE ACCORDINGLY



10 CRAWL SPACE LIGHTING / POWER PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

LEGEND:

- PENDANT LIGHT
- SURFACE MTD. DOWNLIGHTS (3" DIA.) OR RECESSED AT GWB
- SURFACE MTD. WALL WASHER (ADJ.) OR RECESSED AT GWB
- WALL MTD. SCONCE FIXTURE
- WALL MOUNTED STRIP
- UNDER CAB. STRIP LIGHT
- CEILING MTD. LIGHT
- SHOWER (WET) DOWNLIGHT AND FAN
- CABLE LIGHT SYSTEM / LOW VOLTAGE
- S_3 3 WAY SWITCH
- S SWITCH
- S_H HINGE SWITCH
- TV COAXIAL CONNECTION
- PHONE
- GWB CEILING

NOTES:

1. PROVIDE OUTLETS WHERE INDICATED AND ELSEWHERE TO CODE
2. PROVIDE GFI AT WET LOCATIONS
3. ALL LIGHTS TO BE DIMMER SWITCHED UNLESS NOTED OTHERWISE
4. ALL CEILINGS TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
2	10/05/06	GENERAL REVISIONS
1	09/06/06	GENERAL REVISIONS

REVISIONS

Date Issued 07.13.06
Project Number 0706
Drawing Scale 1/2" = 1'-0"

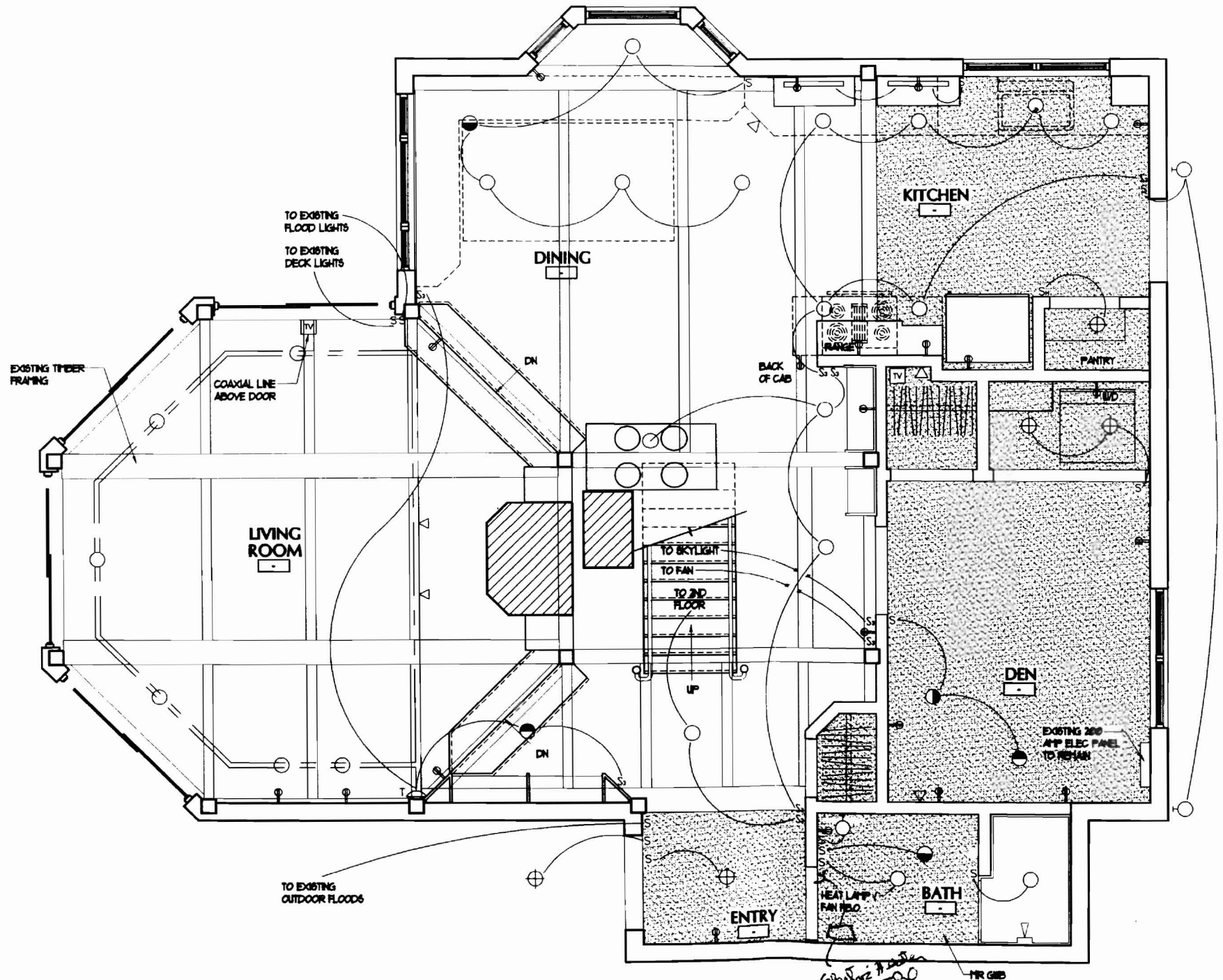
SHEET TITLE
CRAWL SPACE LIGHTING / POWER PLAN

Drawn By
Checked By

A-3.0

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



10 FIRST FLOOR LIGHTING / POWER PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

LEGEND:

- PENDANT LIGHT
- SURFACE MTD. DOWNLIGHTS (3" DIA.) OR RECESSED AT GWB
- SURFACE MTD. WALL WASHER (ADJ.) OR RECESSED AT GWB
- WALL MTD. SCONCE FIXTURE
- WALL MOUNTED STRIP
- UNDER CAB. STRIP LIGHT
- CEILING MTD. LIGHT
- SHOWER (WET) DOWNLIGHT AND FAN
- CABLE LIGHT SYSTEM / LOW VOLTAGE
- S_3 3 WAY SWITCH
- S SWITCH
- S_H HINGE SWITCH
- TV COAXIAL CONNECTION
- PHONE
- GWB CEILING

NOTES:

1. PROVIDE OUTLETS WHERE INDICATED AND ELSEWHERE TO CODE
2. PROVIDE GFI AT WET LOCATIONS
3. ALL LIGHTS TO BE DIMMER SWITCHED UNLESS NOTED OTHERWISE
4. ALL CEILINGS TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE

OPTION 1

PORT CITY ARCHITECTURE

65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

2	10/01/08	GENERAL REVISIONS
1	09/26/08	GENERAL REVISIONS
0	DATE	DESCRIPTION

REVISIONS

Date Issued 09.15.08

Project Number 07.010

Drawing Scale 1/2" = 1'-0"

SHEET NAME
FIRST FLOOR LIGHTING / POWER PLAN

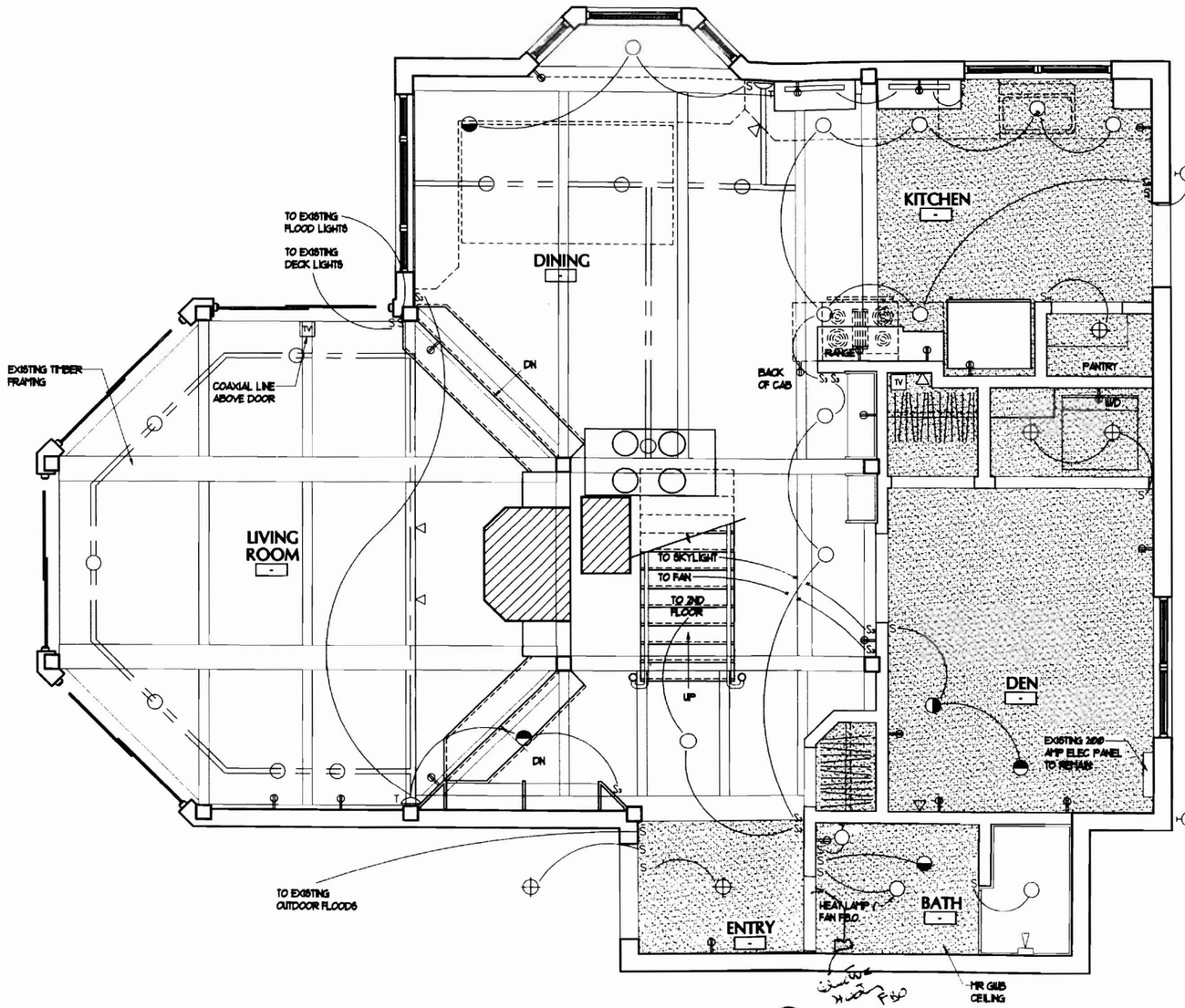
Drawn By

Checked By

A-3.1

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



10 FIRST FLOOR LIGHTING / POWER PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

LEGEND:

- PENDANT LIGHT
- SURFACE MTD. DOWNLIGHTS (3" DIA.) OR RECESSED AT GWB
- SURFACE MTD. WALL WASHER (ADJ.) OR RECESSED AT GWB
- WALL MTD. SCONCE FIXTURE
- WALL MOUNTED STRIP
- UNDER CAB. STRIP LIGHT
- CEILING MTD. LIGHT
- SHOWER (WET) DOWNLIGHT AND FAN
- CABLE LIGHT SYSTEM / LOW VOLTAGE
- S_3 3 WAY SWITCH
- S SWITCH
- S_H HINGE SWITCH
- TV COAXIAL CONNECTION
- PHONE
- GWB CEILING

NOTES:

1. PROVIDE OUTLETS WHERE INDICATED AND ELSEWHERE TO CODE
2. PROVIDE GFI AT WET LOCATIONS
3. ALL LIGHTS TO BE DIMMER SWITCHED UNLESS NOTED OTHERWISE
4. ALL CEILINGS TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE

OPTION 2

PORT CITY ARCHITECTURE

65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

	DATE	DESCRIPTION
2	[illegible]	GENERAL REVISIONS
1	[illegible]	GENERAL REVISIONS
0	DATE	DESCRIPTION

REVISIONS

Date Issued 07.13.06

Project Number 0710

Drawing Scale 1/2" = 1'-0"

SHEET NAME
FIRST FLOOR LIGHTING / POWER PLAN

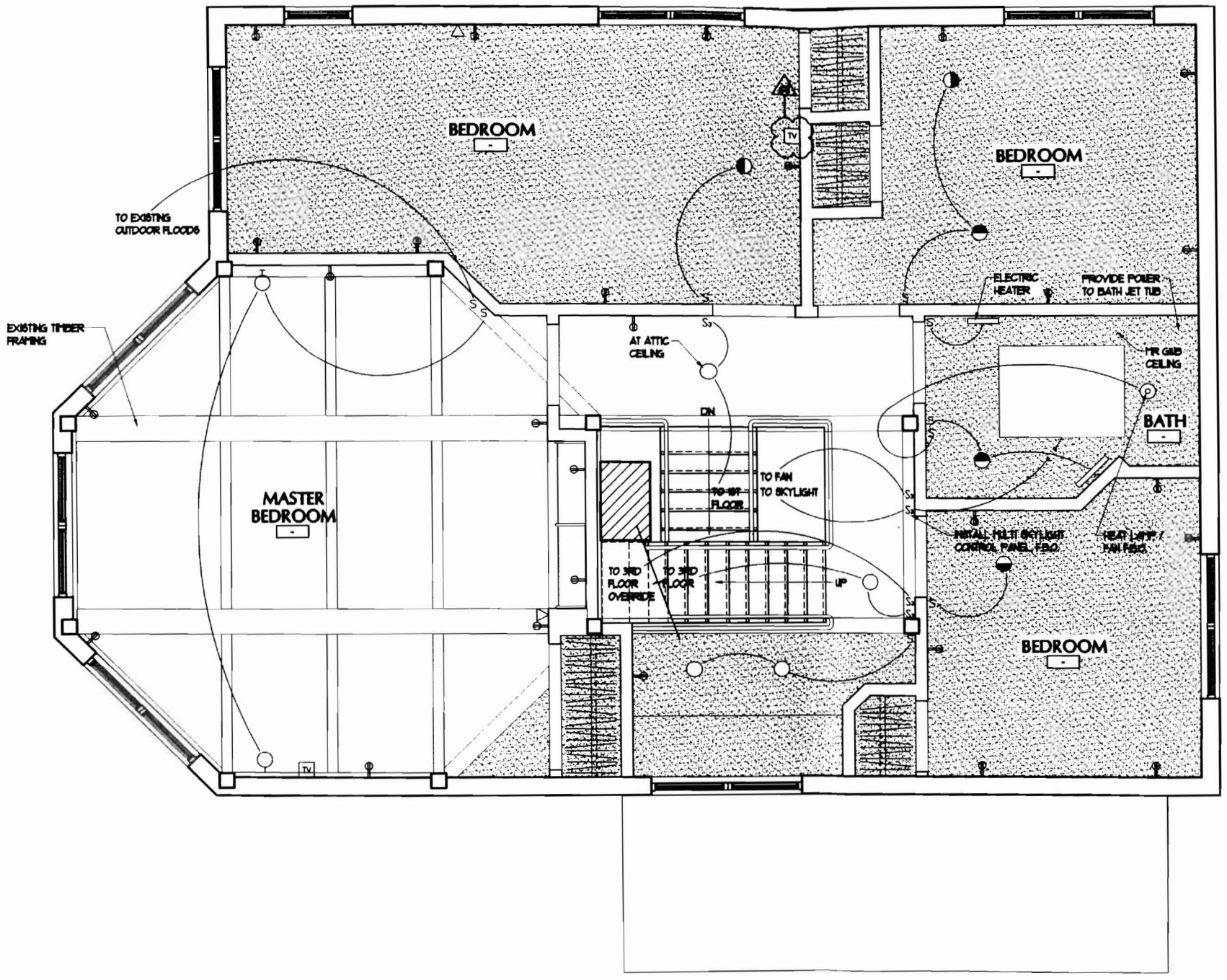
Drawn By

Checked By

A-3.1

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



10 SECOND FLOOR LIGHTING / POWER PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

LEGEND:

- PENDANT LIGHT
- SURFACE MTD. DOWNLIGHTS (3" DIA) OR RECESSED AT GWB
- SURFACE MTD. WALL WASHER (ADJ.) OR RECESSED AT GWB
- WALL MTD. SCONCE FIXTURE
- WALL MOUNTED STRIP
- UNDER CAB. STRIP LIGHT
- CEILING MTD. LIGHT
- SHOWER (WET) DOWNLIGHT AND FAN
- CABLE LIGHT SYSTEM / LOW VOLTAGE
- S3 3 WAY SWITCH
- S SWITCH
- SH HINGE SWITCH
- TV COAXIAL CONNECTION
- PHONE
- GWB CEILING

NOTES:

1. PROVIDE OUTLETS WHERE INDICATED AND ELSEWHERE TO CODE
2. PROVIDE GFI AT WET LOCATIONS
3. ALL LIGHTS TO BE DIMMER SWITCHED UNLESS NOTED OTHERWISE
4. ALL CEILINGS TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE

PORT CITY ARCHITECTURE

65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
2	10/01/08	GENERAL REVISIONS
1	09/26/08	GENERAL REVISIONS
0	DATE	DESCRIPTION

REVISIONS

Date Issued 07.23.08

Project Number 07010

Drawing Scale 1/2" = 1'-0"

SHEET NAME
SECOND FLOOR LIGHTING / POWER PLAN

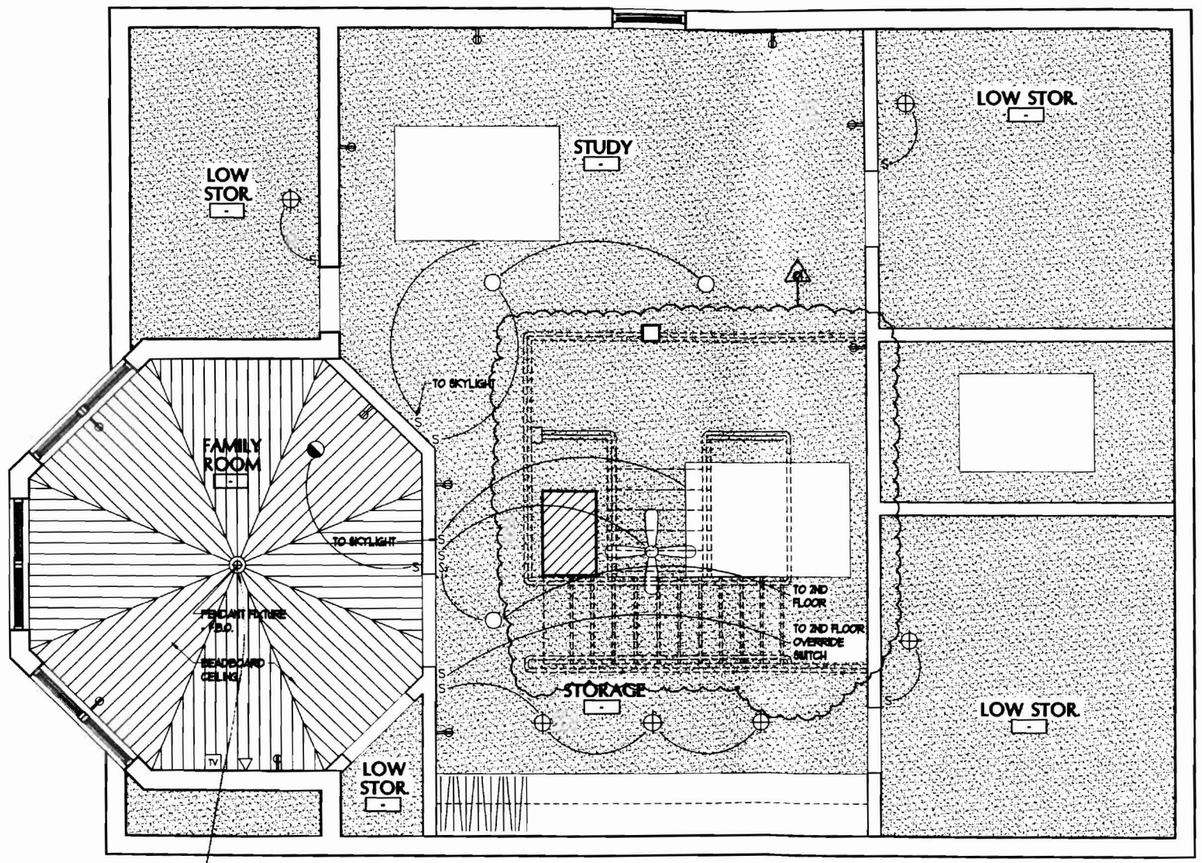
Drawn By

Checked By

A-3.2

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT – SCALE ACCORDINGLY



Give a wall mounted fixture for this light

10 ATTIC LIGHTING / POWER PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

LEGEND:

- PENDANT LIGHT
- SURFACE MTD. DOWNLIGHTS (3" DIA.) OR RECESSED AT GWB
- SURFACE MTD. WALL WASHER (ADJ.) OR RECESSED AT GWB
- WALL MTD. SCONCE FIXTURE
- WALL MOUNTED STRIP
- UNDER CAB. STRIP LIGHT
- CEILING MTD. LIGHT
- SHOWER (WET) DOWNLIGHT AND FAN
- CABLE LIGHT SYSTEM / LOW VOLTAGE
- S_3 3 WAY SWITCH
- S SWITCH
- S_H HINGE SWITCH
- TV COAXIAL CONNECTION
- PHONE
- GWB CEILING

NOTES:

1. PROVIDE OUTLETS WHERE INDICATED AND ELSEWHERE TO CODE
2. PROVIDE GFI AT WET LOCATIONS
3. ALL LIGHTS TO BE DIMMER SWITCHED UNLESS NOTED OTHERWISE
4. ALL CEILINGS TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE

PORT ▫ CITY ARCHITECTURE

65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

2	10.01.08	GENERAL REVISIONS
1	09.16.08	GENERAL REVISIONS
#	DATE	DESCRIPTION

REVISIONS

Date Issued	07.31.08
Project Number	0710.10
Drawing Scale	1/2" = 1'-0"

SHEET NAME

ATTIC LIGHTING / POWER PLAN

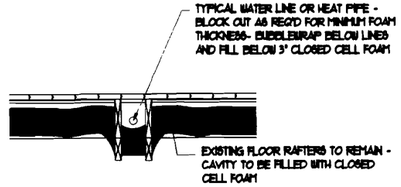
Drawn By

Checked By

A-3.3

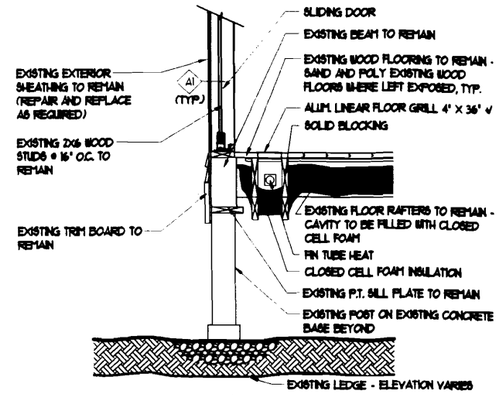
COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



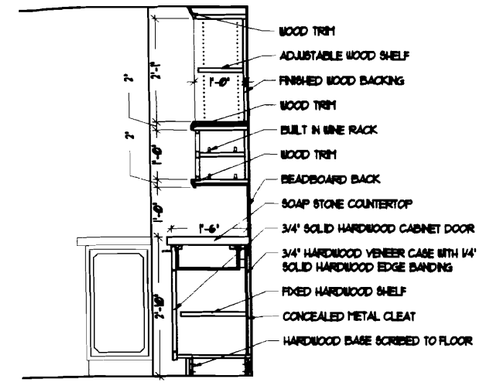
41 TYPICAL WATER LINE OR HEAT PIPE

0 1'-4' SCALE: 3/4" = 1'-0"



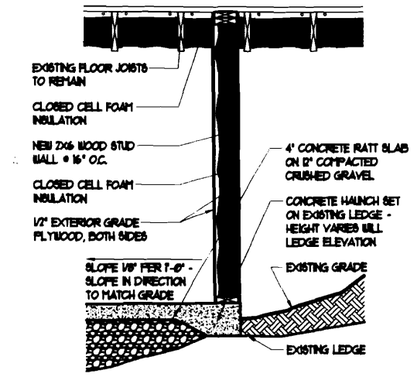
32 SECTION @ SLIDING DOOR

0 1'-4' SCALE: 3/4" = 1'-0"



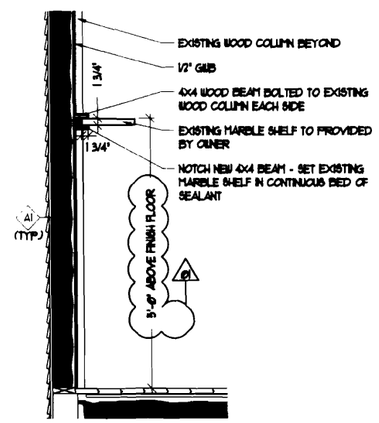
23 SECTION @ BOOKCASE / WINE RACK

0 1'-4' SCALE: 3/4" = 1'-0"



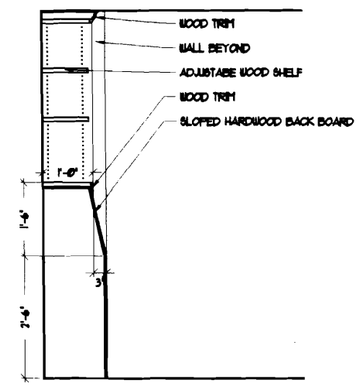
12 WALL SECTION @ UTILITY ROOM

0 1'-4' SCALE: 3/4" = 1'-0"



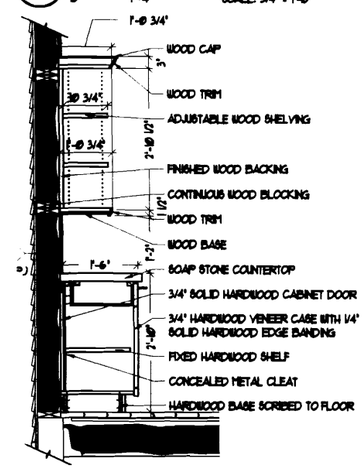
31 SECTION @ BOOKCASE IN LIVING ROOM

0 1'-4' SCALE: 3/4" = 1'-0"



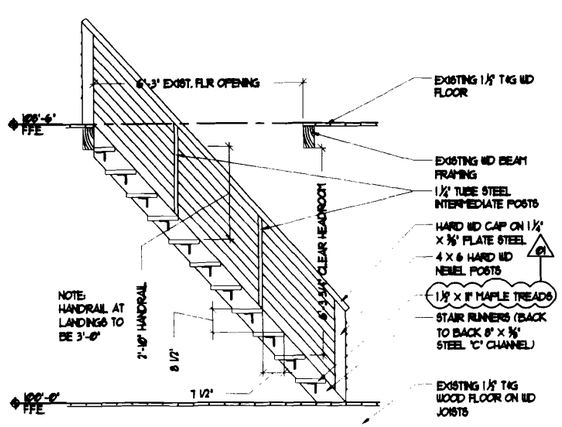
21 SECTION @ BOOKCASE IN MASTER BED

0 1'-4' SCALE: 3/4" = 1'-0"



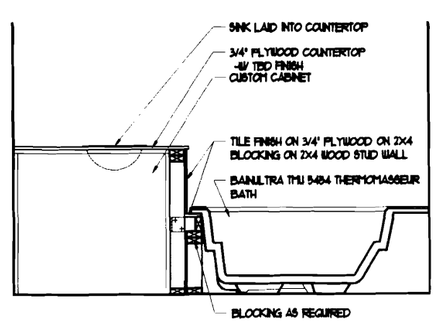
11 SECTION @ LIVING ROOM BOOK SHELF

0 1'-4' SCALE: 3/4" = 1'-0"



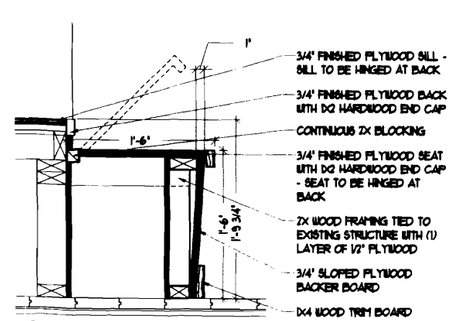
40 STAIR SECTION

0 2'-0" SCALE: 1/2" = 1'-0"



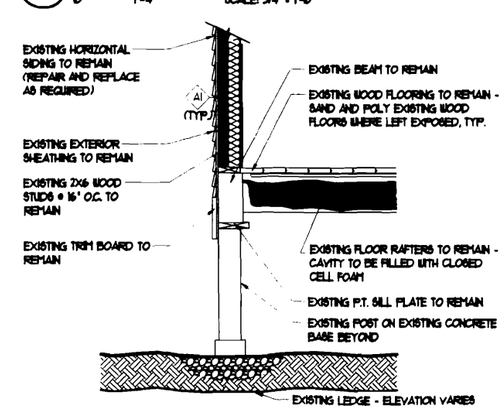
30 SECTION @ BATHTUB SURROUND

0 1'-4' SCALE: 3/4" = 1'-0"



20 SECTION @ DINING ROOM BENCH

0 8" SCALE: 1 1/2" = 1'-0"



10 TYPICAL FOUNDATION DETAIL

0 1'-4' SCALE: 3/4" = 1'-0"

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
2	10.08.08	GENERAL REVISIONS
1	07.15.08	GENERAL REVISIONS

REVISIONS

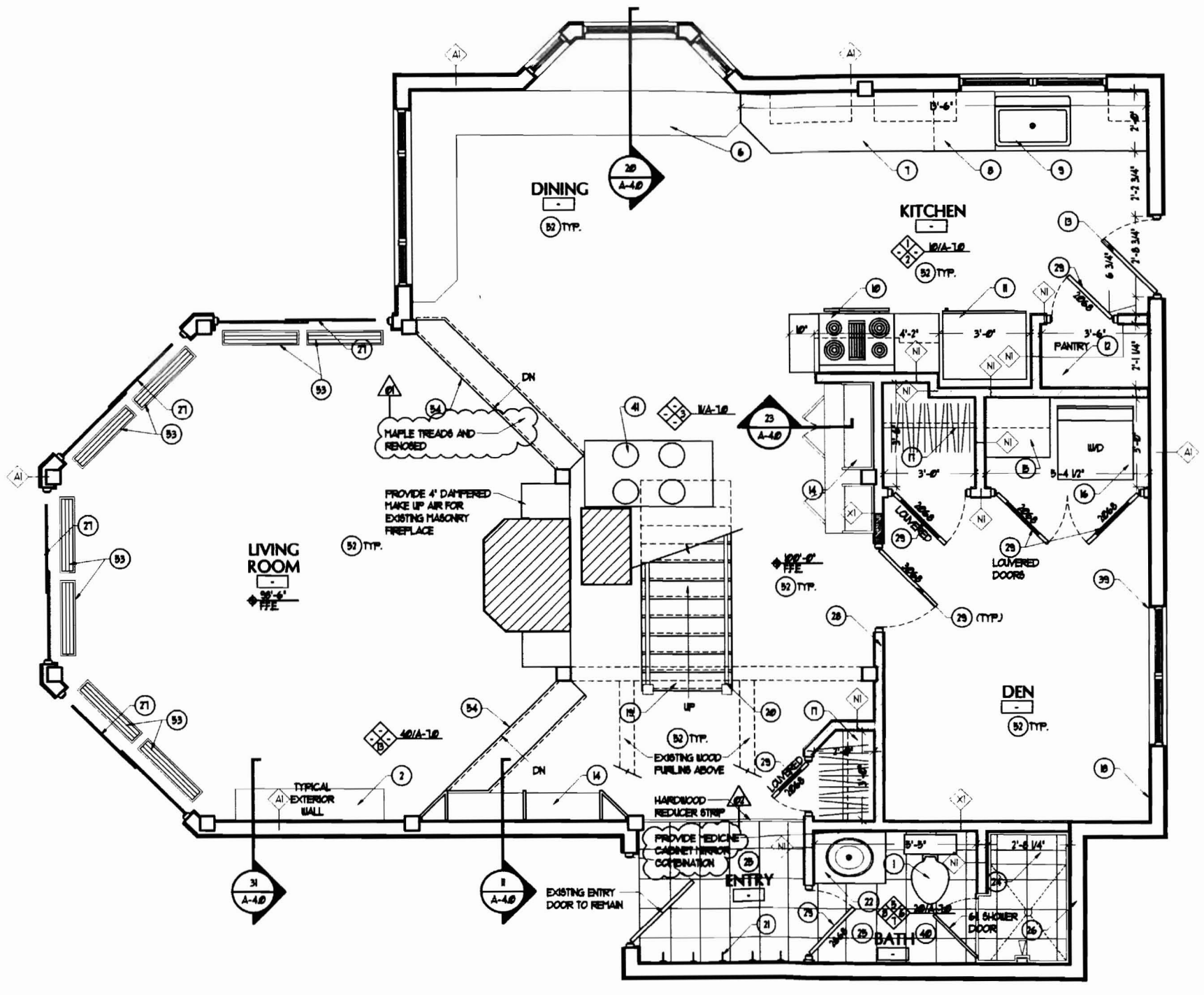
Date Issued 07.15.08
Project Number 07.1010
Drawing Scale AS NOTED

SHEET NAME
BUILDING DETAILS

Drawn By
Checked By

A-4.0

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA



10 FIRST FLOOR PLAN

SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES:

1. NEW HIGH BOIL TOILET
2. EXISTING MARBLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
3. NOT USED
4. NOT USED
5. NOT USED
6. BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENTS UNDER SEAT
7. NEW KITCHEN CABINETS - 36" TO TOP OF COUNTER, TYP. - SEE KITCHEN DRAWINGS
8. NEW 24" WIDE DISHWASHER - (F.B.O. I.B.C.)
9. NEW 36" INLAID KITCHEN SINK
10. NEW 36" WIDE OVEN / RANGE - (F.B.O. I.B.C.)
11. NEW 33" WIDE REFRIGERATOR - (F.B.O. I.B.C.)
12. WHITE MELAMINE PANTRY SHELVING
13. RELOCATE EXISTING DOOR - INFILL EXISTING WALL AND REBUILD BACK DECK AS REQUIRED
14. NEW BOOKSHELF - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING, SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0" - SEE ELEV. SHELVING WITH WOOD COUNTERTOP
15. NEW STACKABLE WASHER AND DRYER - (F.B.O. I.B.C.)
16. CLOSET SHELVING - 3/4" AC FIR PLYWOOD WITH 1X FIR NOSING. PROVIDE FIR CLOSET RODS. ALL FIR STAINED / POLYURETHANE FINISH
17. EXISTING ELECTRICAL PANEL TO REMAIN
18. CENTER STAIR BETWEEN (2) EXISTING PURLINS & NOTCH BEAM FOR HEADROOM
19. PROVIDE NEW STAIR FINISHES FOR THE EXISTING 8 1/2" RISE AND 7 1/2" TREAD STAIR. IMPROVE CODE COMPLIANCE TO THE BEST DEGREE POSSIBLE. PROVIDE NEW CABLE RAILING SYSTEM FOR ENTIRE STAIR.
20. METAL COAT HOOKS - (F.B.O. I.B.C.)
21. INSTALL EXISTING MARBLE TOP SINK (F.B.O.)
22. NEW TOILET - F.B.O.
23. NEW TILE SHOWER SEAT
24. TILE FLOOR - COLOR TBD
25. REMOVE EXISTING DOOR AND INFILL EXISTING WALL AS REQUIRED
26. PROVIDE NEW ICE AND WATER SHIELD AROUND EXISTING SLIDING GLASS DOORS - REPLACE SIDING AS REQUIRED
27. ALL INTERIOR WALLS SHALL BE 2X4 WOOD STUDS @ 16" O.C. WITH (1) LAYER OF 5/8" GWB EACH SIDE
28. ALL INTERIOR DOORS SHALL BE 4 PANEL STILE AND RAIL SHAKER STYLE DOORS.
29. UNDER WINDOW CABINETS
30. NOT USED
31. NEW SINK INLAID INTO NEW LAVATORY WITH SOLID COUNTERTOP
32. NEW BATH INLAID INTO NEW LAVATORY WITH SOLID COUNTERTOP
33. NEW BAIN ULTRA THU 5484 THERMOMASSEUR BATH INLAID INTO TILE SURROUND BASE
34. EXISTING SKYLIGHT TO RECEIVE NEW FLASHING AND SEALANT
35. CARPET AND PAD TO BE INSTALLED - ADD PLYWOOD SUBFLOOR AS REQUIRED
36. NEW SKYLIGHT TO MATCH EXISTING
37. NOT USED
38. NEW STORAGE SHELVING - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0"
39. PROVIDE LOW EXPANDING FOAM AROUND ALL EXISTING EXTERIOR WINDOWS & DOORS
40. RAISE EXISTING FLOOR TO MATCH PRIMARY FIRST FLOOR LEVEL
41. EXISTING WOOD STOVE
42. SUBFLOOR - NO FINISH
43. RELOCATE EXISTING WATER AND SEPTIC LINES TO ENTER GRADE WITHIN PERIMETER ENCLOSURE
44. NEW INSULATED EXTERIOR 3'-0" X 4'-0" ACCESS PANEL / DOOR AND FRAME
45. NOT USED
46. PROVIDE NEW CEILING FAN
47. PROVIDE FLEXIBLE SHOWER HEAD AT BATH EDGE
48. PROVIDE NEW HOSEBIB
49. NOT USED
50. THE DIRECT VENT FROM THE OIL BOILER SHALL BE INSTALLED PER IN A LOCATION WHICH COMPLIES WITH ALL REQUIRED CLEARANCES FROM DOORS AND WINDOWS OPENINGS
51. NOT USED
52. SAND AND POLY EXISTING WOOD FLOORS WHERE REQUIRED, TYP
53. PROVIDE REMOVABLE 4' X 36" +/- FLOOR GRILLS FOR FIN TUBE HEAT BELOW
54. PROVIDE TOE KICK HEATERS IN EXISTING STAIR TREADS
55. PROVIDE PAINTED ACCESS DOOR SIMILAR TO INTERIOR DOORS

PORT CITY ARCHITECTURE
65 NEWBURY STREET
PORTLAND, ME 04101
207.761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
2	[illegible]	GENERAL REVISIONS
1	[illegible]	GENERAL REVISIONS

REVISIONS

Date Issued [illegible]
Project Number [illegible]
Drawing Scale 1/2" = 1'-0"

SHEET NAME
FIRST FLOOR PLAN

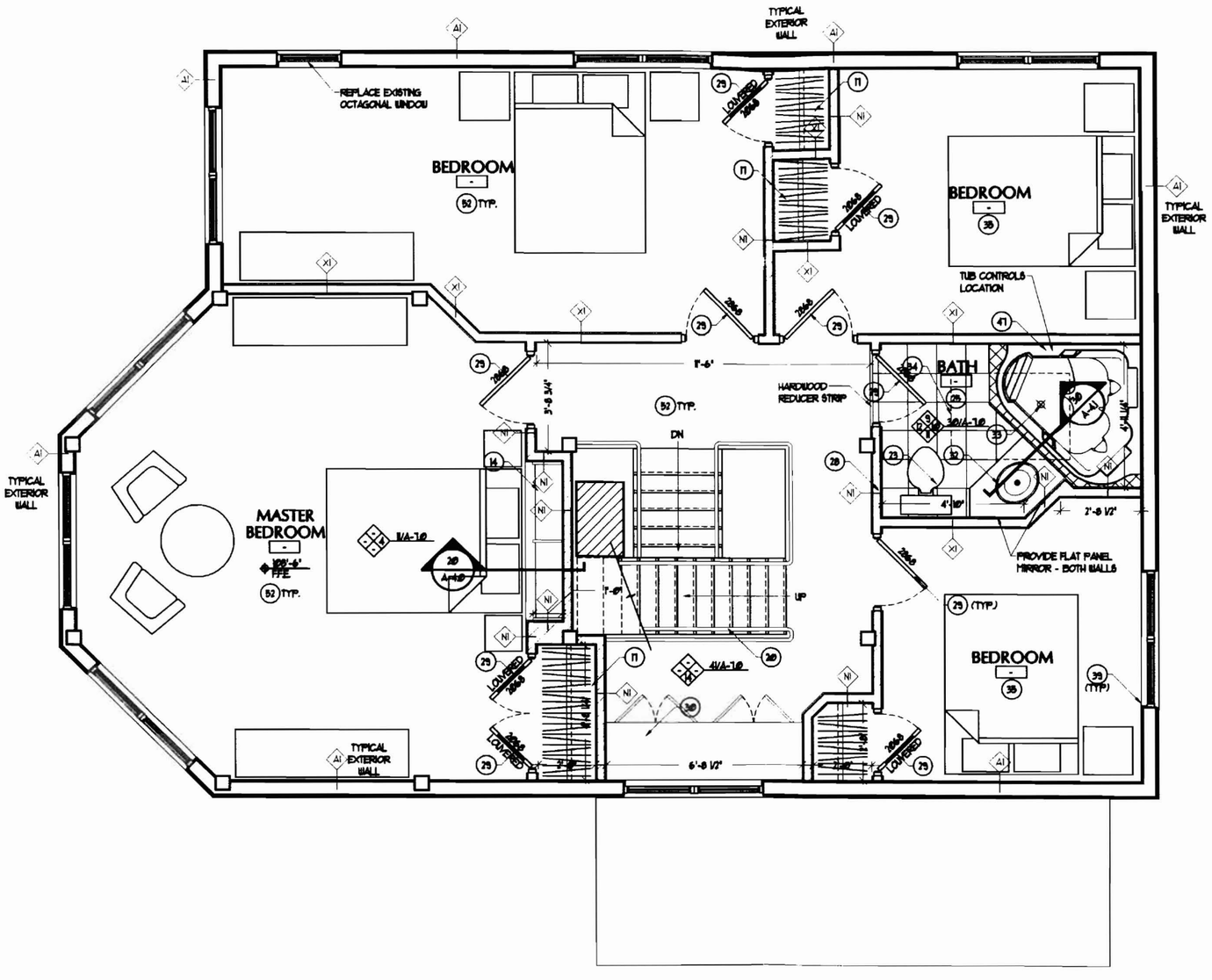
Drawn By
Checked By

A-1.1

IF THIS SHEET IS NOT 24 x 36 IT IS A REDUCED SCALE PRINT – SCALE ACCORDINGLY

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



10 SECOND FLOOR PLAN

0 2'-0" SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES:

1. NEW HIGH BOIL TOILET
2. EXISTING MARBLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
3. NOT USED
4. NOT USED
5. NOT USED
6. BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENTS UNDER SEAT
7. NEW KITCHEN CABINETS - 36" TO TOP OF COUNTER, TYP. - SEE KITCHEN DRAWINGS
8. NEW 24" WIDE DISHWASHER - (F.B.O. I.B.C.)
9. NEW 36" INLAID KITCHEN SINK
10. NEW 30" WIDE OVEN / RANGE - (F.B.O. I.B.C.)
11. NEW 33" WIDE REFRIGERATOR - (F.B.O. I.B.C.)
12. WHITE MELAMINE PANTRY SHELVING
13. RELOCATE EXISTING DOOR - INFILL EXISTING WALL AND REBUILD BACK DECK AS REQUIRED
14. NEW BOOKSHELF - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING, SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0" - SEE PLAN
15. SHELVING WITH WOOD COUNTERTOP
16. NEW STACKABLE WASHER AND DRYER - (F.B.O. I.B.C.)
17. CLOSET SHELVING - 3/4" AC FIR PLYWOOD WITH IX FIR NOSING. PROVIDE FIR CLOSET RODS. ALL FIR STAINED / POLYURETHANE FINISH
18. EXISTING ELECTRICAL PANEL TO REMAIN
19. CENTER STAIR BETWEEN (2) EXISTING PURLINS 4 NOTCH BEAM FOR HEADROOM
20. PROVIDE NEW STAIR FINISHES FOR THE EXISTING 8 1/2" RISE AND 7 1/2" TREAD STAIR. IMPROVE CODE COMPLIANCE TO THE BEST DEGREE POSSIBLE. PROVIDE NEW CABLE RAILING SYSTEM FOR ENTIRE STAIR.
21. METAL COAT HOOKS - (F.B.O. I.B.C.)
22. INSTALL EXISTING MARBLE TOP SINK (F.B.O.)
23. NEW TOILET - F.B.O.
24. NEW TILE SHOWER SEAT
25. TILE FLOOR - COLOR TBD
26. REMOVE EXISTING DOOR AND INFILL EXISTING WALL AS REQUIRED
27. PROVIDE NEW ICE AND WATER SHIELD AROUND EXISTING SLIDING GLASS DOORS - REPLACE SIDING AS REQUIRED
28. ALL INTERIOR WALLS SHALL BE 2X4 WOOD STUDS @ 16" O.C. WITH (1) LAYER OF 5/8" GWB EACH SIDE
29. ALL INTERIOR DOORS SHALL BE 4 PANEL STILE AND RAIL SHAKER STYLE DOORS.
30. UNDER WINDOW CABINETS
31. NOT USED
32. NEW SINK INLAID INTO NEW LAVATORY WITH SOLID COUNTERTOP
33. NEW BAINULTRA THU 3484 THERMOMASSEUR BATH INLAID INTO TILE SURROUND BASE
34. EXISTING SKYLIGHT TO RECEIVE NEW FLASHING AND SEALANT
35. CARPET AND PAD TO BE INSTALLED - ADD PLYWOOD SUBFLOOR AS REQUIRED
36. NEW SKYLIGHT TO MATCH EXISTING
37. NOT USED
38. NEW STORAGE SHELVING - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSING. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0"
39. PROVIDE LOW EXPANDING FOAM AROUND ALL EXISTING EXTERIOR WINDOWS & DOORS
40. RAISE EXISTING FLOOR TO MATCH PRIMARY FIRST FLOOR LEVEL
41. EXISTING WOOD STOVE
42. SUBFLOOR - NO FINISH
43. RELOCATE EXISTING WATER AND SEPTIC LINES TO ENTER GRADE WITHIN PERIMETER ENCLOSURE
44. NEW INSULATED EXTERIOR 3'-0" X 4'-0" ACCESS PANEL / DOOR AND FRAME
45. NOT USED
46. PROVIDE NEW CEILING FAN
47. PROVIDE FLEXIBLE SHOWER HEAD AT BATH EDGE
48. PROVIDE NEW HOSEBIB
49. NOT USED
50. THE DIRECT VENT FROM THE OIL BOILER SHALL BE INSTALLED PER IN A LOCATION WHICH COMPLIES WITH ALL REQUIRED CLEARANCES FROM DOORS AND WINDOW OPENINGS
51. NOT USED
52. SAND AND POLY EXISTING WOOD FLOORS WHERE REQUIRED, TYP
53. PROVIDE REMOVABLE 4' X 36" +/- FLOOR GRILLS FOR FIN TUBE HEAT BELOW
54. PROVIDE TOE KICK HEATERS IN EXISTING STAIR TREADS
55. PROVIDE PAINTED ACCESS DOOR SIMILAR TO INTERIOR DOORS

PORT CITY ARCHITECTURE

65 NEWBURY STREET
PORTLAND, ME 04101
207 761.9000
fax: 207.761.2010
info@portcityarch.com

McCARTHY RESIDENCE
HOUSE RENOVATION
806 SEASHORE AVE
PEAKS ISLAND, ME

#	DATE	DESCRIPTION
2	10/01/08	GENERAL REVISIONS
1	07/15/08	GENERAL REVISIONS

REVISIONS

Date Issued 07.15.08
Project Number 0706
Drawing Scale 1/2" = 1'-0"

SHEET NAME
SECOND FLOOR PLAN

Drawn By
Checked By

A-1.2

COPYRIGHT: Reuse or reproduction of the contents of this document is not permitted without written permission of PORT CITY ARCHITECTURE PA