

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY

SCALE 1"=1'-0"

SCALE 3/4"=1'-0"

SCALE 1/2"=1'-0"

SCALE 1/4"=1'-0"

SCALE 1/8"=1'-0"

McCarthy Residence

Renovations to Existing Residence

Peaks Island, Maine

LIST OF DRAWINGS

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A-11 FIRST FLOOR PLAN
A-12 SECOND FLOOR PLAN
A-13 ATTIC FLOOR PLAN

A-30 CRAWL SPACE LIGHTING / POWER PLAN
A-31 FIRST FLOOR LIGHTING / POWER PLAN
A-32 SECOND FLOOR LIGHTING / POWER PLAN
A-33 ATTIC LIGHTING / POWER PLAN

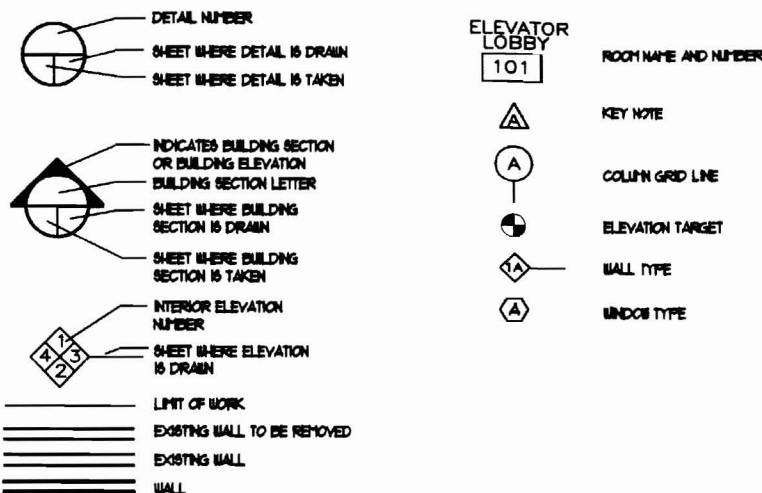
A-40 BUILDING DETAILS

A-50 INTERIOR ELEVATIONS

GENERAL NOTES

- ALL MATERIALS, COMPONENTS, AND WORK ARE NEW AND SHALL BE PROVIDED IN THIS CONTRACT BY THE CONTRACTOR UNLESS NOTED OTHERWISE.
- ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL STATE, NATIONAL AND OTHER CODES AND ORDINANCES WHICH APPLY TO THIS PROJECT.
- IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE CONTRACTOR AND EACH SUBCONTRACTOR PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, SUPPLIES, EQUIPMENT, ETC. TO OBTAIN A COMPLETE JOB TO INDUSTRY STANDARD IN A PROFESSIONAL WORKMANLIKE MANNER.
- THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS AND REPORT ANY DISCREPANCY(IES) IMMEDIATELY TO THE ARCHITECT.
- AT THE END OF EACH WORKING DAY, THE CONSTRUCTION SITE SHALL BE LEFT IN A NEAT AND CLEAN MANNER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS WHICH ARE REQUIRED FOR THE SATISFACTORY COMPLETION OF THE WORK AND FOR PAYING ALL FEES, HOOK UP CHARGES, ETC. (STATE FIRE MARSHAL PERMIT BY OWNER).
- THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE OWNER FOR THE SEQUENCE AND TIMING OF OPERATIONS PRIOR TO COMMENCING WORK. AREAS FOR STAGING ETC MUST BE APPROVED BY THE OWNER.
- THE CONTRACTOR SHALL DISPOSE OF AND / OR RECYCLE ANY CONSTRUCTION DEBRIS FROM THE PROJECT SITE AS REQUIRED BY THE STATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING DISPOSAL PERMITS WHICH ARE REQUIRED. CONSTRUCTION DEBRIS FROM THE PROJECT SITE SHALL BE IMPOSED OF IN A STATE APPROVED LANDFILL.
- ROOM NUMBERS ON THE DRAWING ARE FOR COORDINATION PURPOSES AND DO NOT NECESSARILY CORRESPOND TO ACTUAL ROOM NUMBERS.
- DUTY OF COOPERATION: RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, THE CONTRACTOR, THE ARCHITECT AND HIS CONSULTANTS. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE OWNER. FAILURE TO NOTIFY THE OWNER COMPOUNDS MISUNDERSTANDING AND MAY INCREASE CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY A SIMPLE NOTICE TO THE OWNER SHALL RELIEVE THE OWNER AND THE ARCHITECT FROM RESPONSIBILITY FROM ALL COSTS.
- THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE SAFETY, CARE OF UTILITIES AND ADJACENT PROPERTIES DURING CONSTRUCTION, AND SHALL COMPLY WITH STATE AND FEDERAL SAFETY REGULATIONS.
- ALL MATERIALS AND WORK SHALL BE GUARANTEED FOR A MINIMUM OF ONE YEAR FROM THE DATE OF FINAL PAYMENT.

LEGEND



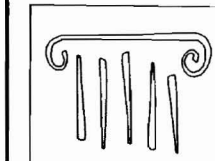
Construction Set

RENOVATION GENERAL NOTES

- REMOVE WALLS AS NOTED ON PLANS. VERIFY THAT WALLS TO BE REMOVED ARE NON-LOAD BEARING. NOTIFY THE ARCHITECT OF ANY DISCREPANCIES. BEFORE PENETRATION, JOISTS, BEAMS OR OTHER STRUCTURAL MEMBERS, CONSULT WITH THE ARCHITECT FOR APPROVAL.
- UNLESS OTHERWISE NOTED, REMOVE DOORS, BASE, TRIM, ELECTRICAL ITEMS, SURFACE MOUNTED ITEMS AND INTERIOR WINDOWS WITHIN WALLS TO BE REMOVED. UNLESS NOTED OTHERWISE, REMOVE WALLS TO THEIR FULL HEIGHT WHERE THEY ARE INDICATED FOR REMOVAL.
- CARE SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SYSTEMS AND SURFACES TO REMAIN. ALL DAMAGE RESULTING FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPAIRED OR REPLACED AS APPROVED BY THE ARCHITECT AT NO ADDITIONAL COST TO THE OWNER.
- WHERE REMOVALS OCCUR, PATCH HOLES AND AREAS OF MISSING FINISH (IE EXPOSED STUD AREAS WHERE WALLS ARE REMOVED, FLOOR FINISHES, ETC. TO MATCH EXISTING ADJACENT SURFACE) PROVIDE A SMOOTH CONTINUOUS SURFACE FREE OF SHADOW LINES.
- WHERE NEW WALLS OR INFILLS ABUT OR INTERSECT EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING WALLS, ALIGN NEW FINISH WITH EXISTING FINISH AND FINISH JOINTS AT INTERSECTIONS SMOOTH AND CONTIGUOUS.
- ALL KNOWN HAZARDOUS MATERIALS REMOVALS REQUIRED FOR THE SAFE IMPLEMENT OF THIS PROJECT HAVE BEEN REMOVED PRIOR TO THIS CONTRACT. IF ADDITIONAL SUSPECT MATERIALS ARE UNCOVERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OR TESTING AND / OR REMOVAL. ANY ASBESTOS REMOVAL NECESSARY FOR THE SAFE IMPLEMENTATION OF THIS PROJECT SHALL BE CONTRACTED DIRECTLY BY THE OWNER. IF NECESSARY, THE CONTRACTOR SHALL COORDINATE WITH THESE EFFORTS IF ENCOUNTERED.
- UNLESS OTHERWISE NOTED, ALL ITEMS ON DEMOLITION PLANS ARE EXISTING.
- ALL DIMENSIONS OF EXISTING WALLS & EQUIPMENT HAVE BEEN COPIED FROM PREVIOUS DRAWINGS AND HAVE NOT BEEN FIELD VERIFIED.
- FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT.

TYPICAL ABBREVIATIONS

ANG	AND	ELEC	ELECTRIC	LL	LIVE LOAD	RO	ROUGH OPENING
AT	ANGLE	ELEV	ELEVATION	LMC	LIGHT WEIGHT CONCRETE	RM	ROOM
ADA	AMERICAN DISABILITIES ACT	EMP	EMPLOYEE	MAX	MAXIMUM	RTU	ROOF TOP UNIT
ADJ	ADJUST OR ADJACENT	ENCL	ENCLOSE	MECH	MECHANICAL	S	SOUTH
AF	ABOVE FINISH FLOOR	ENT	ENTRY OR ENTRANCE	MFG	MANUFACTURE	SAT	SCHEDULE
ALUM	ALUMINUM	EQ	EQUAL	MAN	MAN HOLE	SCHED	SCHEDULE
ARCH	ARCHITECT OR ARCHITECTURAL	EQUIP	EQUIPMENT	MM	MILLIMETER	SD	STORM DRAIN
AVG	AVERAGE	EW	ELECTRIC WATER COOLER	MIN	MINIMUM	SECT	SECTION
BD	BOARD	EXH	EXHAUST	MSS	MAIN SWITCH BOARD	SF	SQUARE FEET
BLDG	BUILDING	EXIST	EXISTING	MTD	MOUNTED	SH	SIMILAR
BLOCK	BLOCKING	EXP	EXPANSION	MTL	METAL	SP	SHELL PACKAGE
BM	BEAM	EXT	EXTERIOR	MW	MICROWAVE	SPEC	SPECIFICATIONS
BO	BOTTOM OF	FBO	FURNISHED BY OWNER	N	NORTH	SS	STAINLESS STEEL
C	CENTER LINE	FDN	FOUNDATION	N/A	NOT APPLICABLE	SQ	SQUARE
CAB	CABINET	FF	FINISH FLOOR	NAT	NATURAL	STD	STANDARD
CLG	CEILING	PFE	FINISH FLOOR ELEVATION	NC	NOT IN CONTRACT	STL	STEEL
CLR	CLEAR	FIN	FINISH	N	NUMBER	STRUC	STRUCTURAL
CMU	CONCRETE MASONRY UNIT	FIX	FIXTURE	NTS	NOT TO SCALE	SUSP	SUSPENDED
CNTR	COUNTER	FLG	FLOORING	OC	ON CENTER	SYMM	SYMMETRICAL
COL	COLUMN	FLR	FLOOR	OH	OVER HEAD	T	THERMOSTAT
CONC	CONCRETE	FLUOR	FLUORESCENT	PAR	PARALLEL	T & B	TOP AND BOTTOM
CONT	CONTINUOUS	FOOT	FOOT OR FEET	PIC	PRECAST CONCRETE	TEL	TELEPHONE
COORD	COORDINATE	GA	GAUGE	PERF	PERFORATED	TGL	TEMPERED GLASS
COR	CORNER	GALV	GALVANIZED	PERP	PERPENDICULAR	THICK	THICKNESS
CPT	CARPET	GC	GENERAL CONTRACTOR	PL	PLATE	TI	TENANT IMPROVEMENTS
CW	COLD WATER	GL	GLASS	P-LAM	PLASTIC LAMINATE	T.O.	TOP OF
DBL	DOUBLE	GWB	GYPSUM WALL BOARD	PLAS	PLASTER	TOJ	TOP OF JOIST
DEG	DEGREE	HGT	HEIGHT	PLBG	PLUMBING	TOS	TOP OF STEEL
DHW	DOMESTIC HOT WATER	HM	HOLLOW METAL	PLYUD	PLYWOOD	TYP	TYPICAL
DIA	DIAMETER	HORIZ	HORIZONTAL	PSI	POUNDS PER SQUARE INCH	UL	UNDERWRITERS LABORATORIES INC
DM	DIMENSION	HR	HOUR	PT	PRESSURE TREATED	UNO	UNLESS NOTED OTHERWISE
DN	DOWN	HVAC	HEATING VENTILATION & AIR CONDITION	PTD	PAINT	VB	VINYL BASE
DR	DOOR	INC	INSTALLED BY CONTRACTOR	QTY	QUANTITY	VCT	VINYL COMPOSITE TILE
DS	DOWN SPOUT	N	INCHES	R	RISER OR RADIUS	VERT	VERTICAL
DW	DISH WASHER	INSUL	INSULATION	RAD	RADIUS	VF	VERIFY IN FIELD
DWG	DRAWING	INT	INTERIOR	RCP	REFLECTED CEILING PLAN	W	WIDE OR WEST
E	EAST	JOINT	JOINT	RD	ROOF DRAIN	WO	WOOD
EA	EACH	LAM	LAMINATED	REF	REFRIGERATOR	W	WATER COOLER
EJ	EXPANSION JOINT	LB	POUNDS	REIN	REINFORCED	W	WITH
		LF	LINEAR FEET	REGO	REQUIRED	WO	WITHOUT
						X	EXISTING



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2 05/15/06 GENERAL REVISIONS

1 05/15/06 GENERAL REVISIONS

DATE DESCRIPTION

REVISIONS

Date Issued 05/15/06

Project Number 07010

Drawing Scale 1/2" = 1'-0"

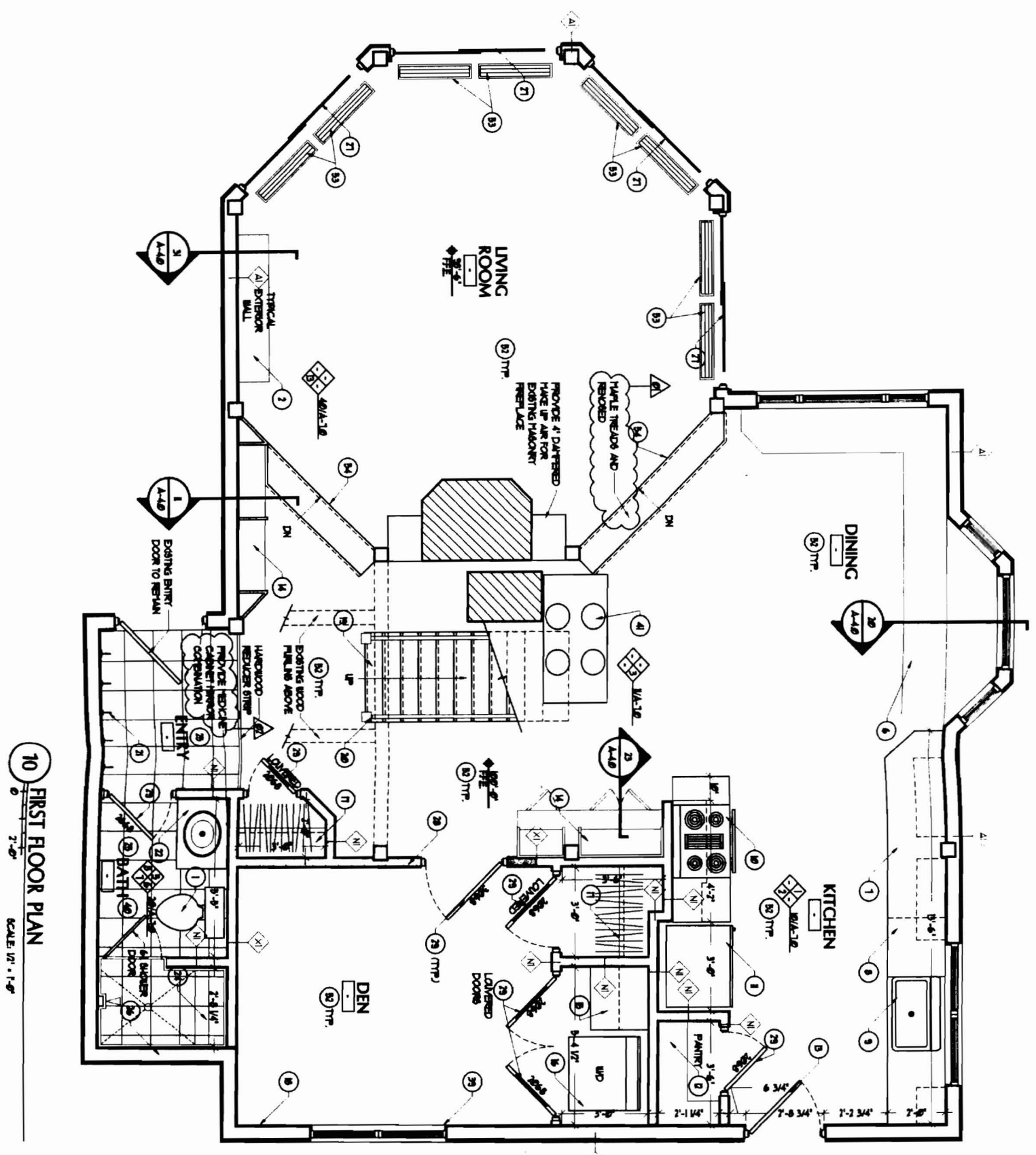
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TITLE SHEET

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Checked By

T-10



10 FIRST FLOOR PLAN
SCALE: 1/4\"/>

- CONSTRUCTION NOTES:
1. NEW HIGH BOWL TOILET
 2. EXISTING PANEL SHELF TO BE REINSTALLED - SEE ELEVATION AND SECTION
 3. NOT USED
 4. NOT USED
 5. NOT USED
 6. BUILD IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE RECESSED CUPBOARD UNDER BENCH
 7. NEW KITCHEN CUPBORDS - 3/4\"/>
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 12. RELOCATE EXISTING DOOR - INSTALL EXISTING WALL AND REBUILD BLACK DOCK AS REQUIRED
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**MCCARTHY RESIDENCE
HOUSE RENOVATION**

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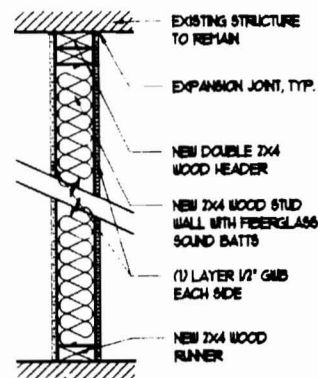
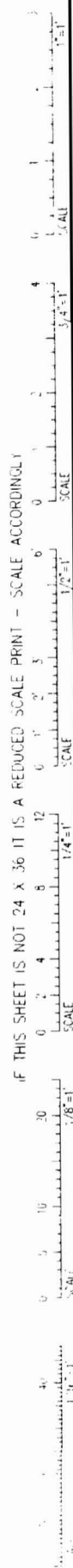
FIRST FLOOR PLAN

Scale: 1/4\"/>

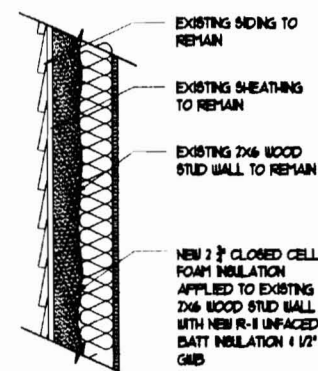
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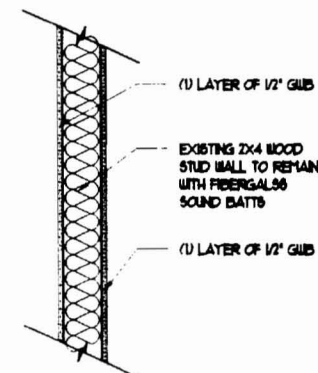
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TYPICAL NEW INTERIOR WALL



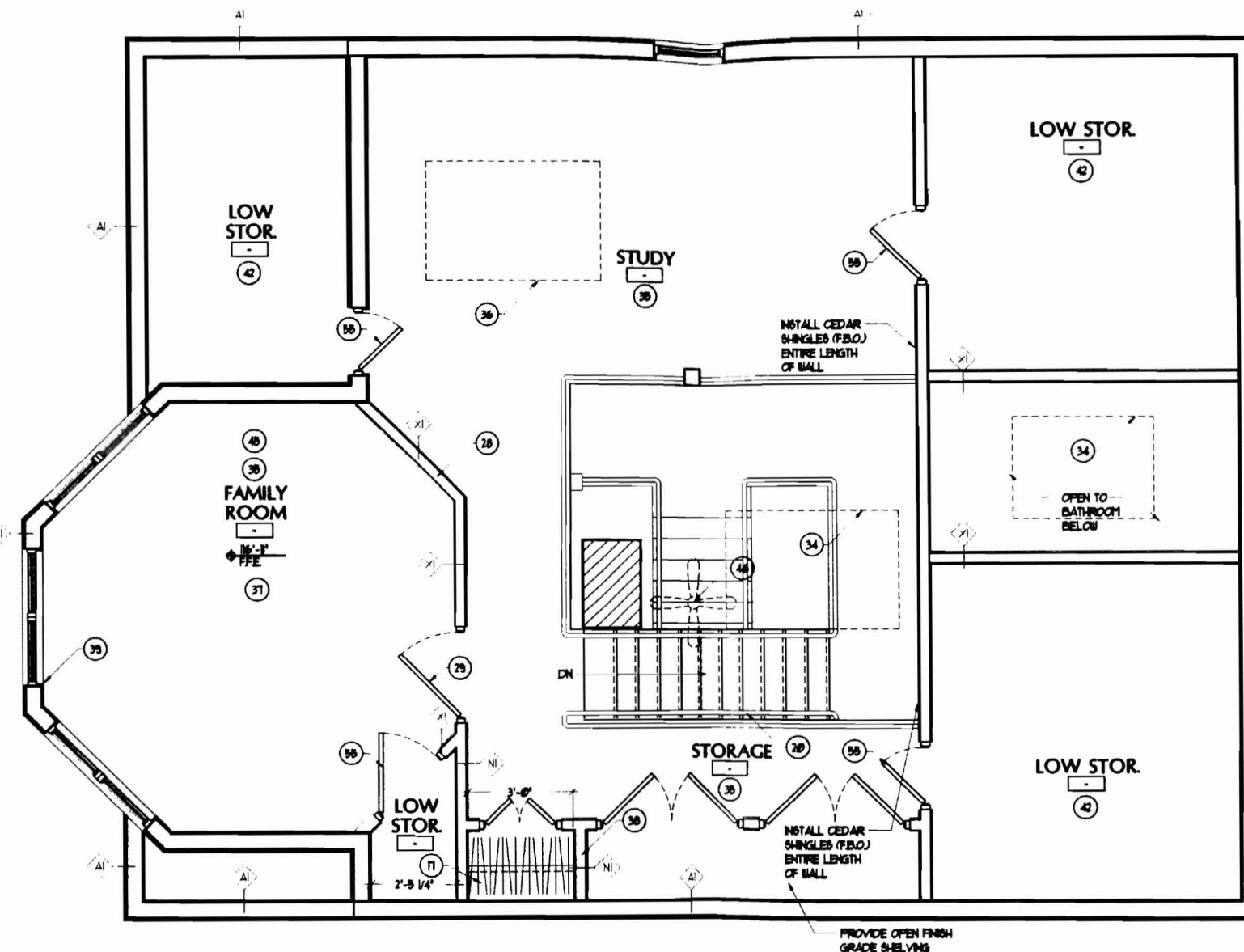
TYPICAL EXTERIOR WALL



TYPICAL EXISTING INTERIOR WALL

20 TYPICAL WALL TYPES

SCALE: 3/4" = 1'-0"

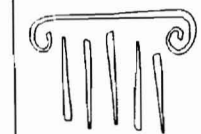


10 ATTIC FLOOR PLAN

SCALE: 1/2" = 1'-0"

CONSTRUCTION NOTES:

- NEW HIGH BOIL TOILET
- EXISTING MARBLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
- NOT USED
- NOT USED
- NOT USED
- BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENTS UNDER SEAT
- NEW KITCHEN CABINETS - 36" TO TOP OF COUNTER TYP. - SEE KITCHEN DRAWINGS
- NEW 24" WIDE DISHWASHER - (F.B.O. I.B.C.)
- NEW 36" INLAD KITCHEN SINK
- NEW 36" WIDE OVEN / RANGE - (F.B.O. I.B.C.)
- NEW 35" WIDE REFRIGERATOR - (F.B.O. I.B.C.)
- WHITE MELAMINE PANTRY SHELVING
- RELOCATE EXISTING DOOR - INFILL EXISTING WALL AND REBUILD BACK DECK AS REQUIRED
- NEW BOOKSHELF - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOBBS. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0" - SEE ELEV.
- SHELVING WITH WOOD COUNTERTOP
- NEW STACKABLE WASHER AND DRYER - (F.B.O. I.B.C.)
- CLOSET SHELVING - 3/4" AC FIR PLYWOOD WITH DX FIR NOBBS. PROVIDE FIR CLOSET RODS. ALL FIR STAINED / POLYURETHANE FINISH
- EXISTING ELECTRICAL PANEL TO REMAIN
- CENTER STAIR BETWEEN (2) EXISTING PURLINS + NOTCH BEAM FOR HEADROOM
- PROVIDE NEW STAIR FINISHES FOR THE EXISTING 8 1/2" RISE AND 1 1/2" TREAD STAIR. IMPROVE CODE COMPLIANCE TO THE BEST DEGREE POSSIBLE. PROVIDE NEW CABLE RAILING SYSTEM FOR ENTIRE STAIR
- METAL COAT HOOKS - (F.B.O. I.B.C.)
- INSTALL EXISTING MARBLE TOP SINK (F.B.O.)
- NEW TOILET - F.B.O.
- NEW TILE SHOWER SEAT
- TILE FLOOR - COLOR TED
- REMOVE EXISTING DOOR AND INFILL EXISTING WALL AS REQUIRED
- PROVIDE NEW ICE AND WATER SHIELD AROUND EXISTING GLASSING DOORS - REPLACE SIDING AS REQUIRED
- ALL INTERIOR WALLS SHALL BE 2X4 WOOD STUDS @ 16" O.C. WITH ALL LAYER FIBERGLASS GIBS EACH SIDE
- ALL INTERIOR DOORS SHALL BE 4 PANEL STYLE AND RAIL SHAKER STYLE DOORS
- UNDER WINDOW CABINETS
- NOT USED
- NEW SINK INLAD INTO NEW LAVATORY WITH SOLID COUNTERTOP
- NEW BATHLITRA THU 5-84 THERMOCLASSEUR BATH INLAD INTO TILE SURROUND BASE
- EXISTING SKYLIGHT TO RECEIVE NEW FLASHING AND SEALANT
- CARPET AND PAD TO BE INSTALLED - ADD PLYWOOD SUBFLOOR AS REQUIRED
- NEW SKYLIGHT TO MATCH EXISTING
- NOT USED
- NEW STORAGE SHELVING - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOBBS. SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0"
- PROVIDE LOW EXPANDING FOAM AROUND ALL EXISTING EXTERIOR WINDOWS + DOORS
- RAISE EXISTING FLOOR TO MATCH PRIMARY FIRST FLOOR LEVEL
- EXISTING WOOD STOVE
- SUBFLOOR - NO FINISH
- RELOCATE EXISTING WATER AND SEPTIC LINES TO ENTER GRADE WITHIN PERIMETER ENCLOSURE
- NEW INSULATED EXTERIOR 3'-0" X 4'-0" ACCESS PANEL / DOOR AND FRAME
- NOT USED
- NOT USED
- PROVIDE NEW CEILING FAN
- PROVIDE FLEXIBLE SHOWER HEAD AT BATH EDGE
- PROVIDE NEW HOSEBIBS
- NOT USED
- THE DIRECT VENT FROM THE OIL BOILER SHALL BE INSTALLED PER IN A LOCATION WHICH COMPLIES WITH ALL REQUIRED CLEARANCES FROM DOORS AND WINDOWS
- OPENINGS
- NOT USED
- SAND AND POLY EXISTING WOOD FLOORS WHERE REQUIRED, TYP
- PROVIDE REMOVABLE 4' X 36" V- FLOOR GRILLS FOR FIN TUBE HEAT BELOW
- PROVIDE TOE KICK HEATERS IN EXISTING STAIR TREADS
- PROVIDE PAINTED ACCESS DOOR SIMILAR TO INTERIOR DOORS



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NO.	DATE	DESCRIPTION
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Date Issued 09.15.08

Project Number 071010

Drawing Scale 1/2" = 1'-0"

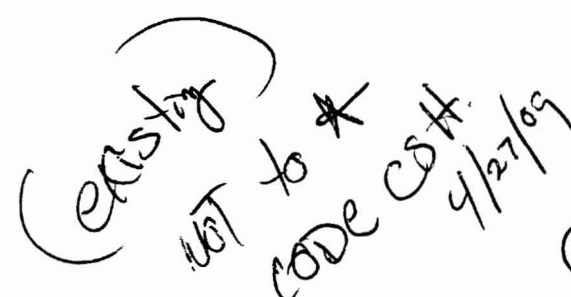
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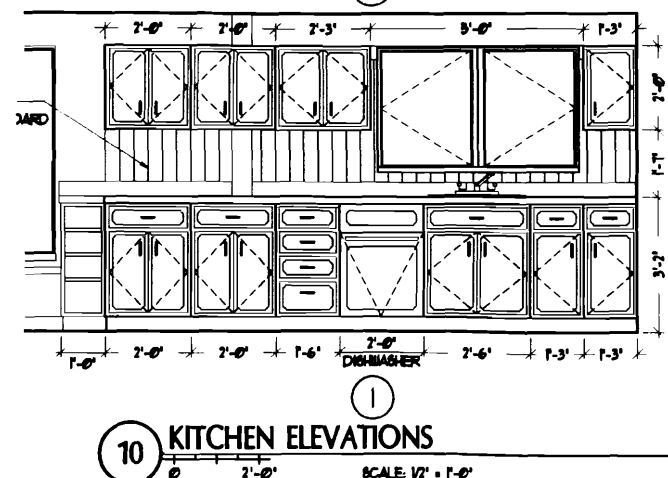
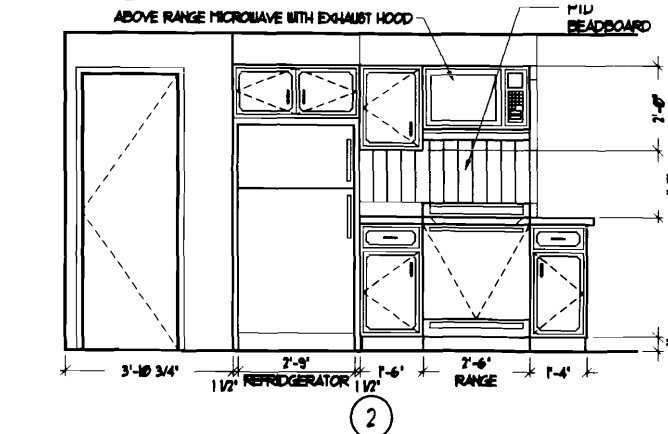
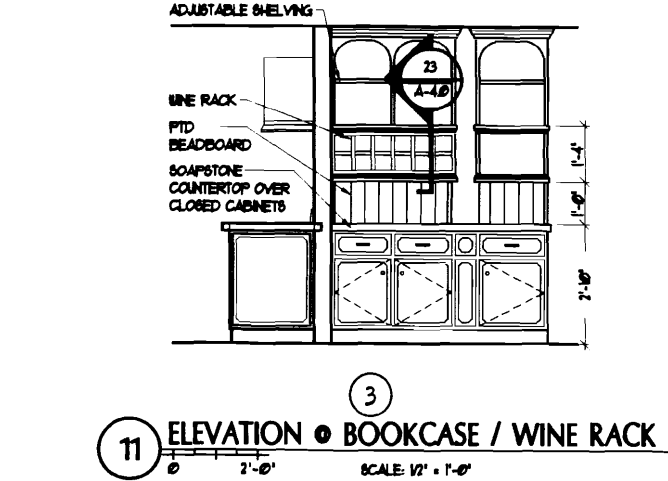
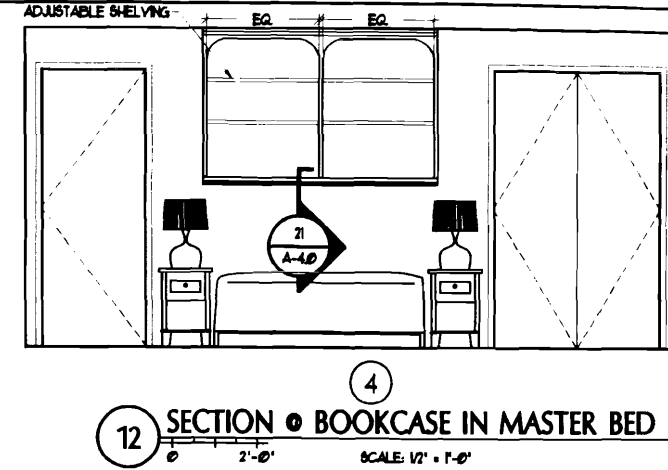
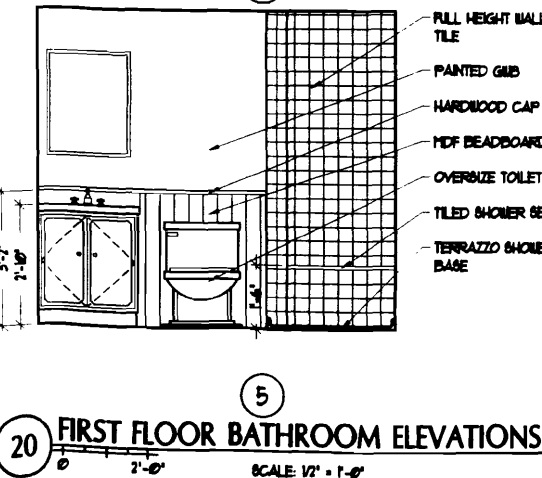
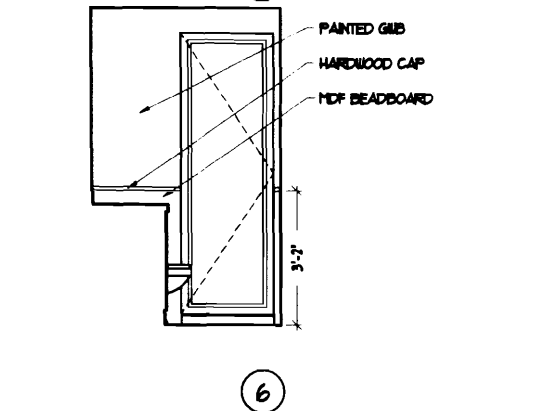
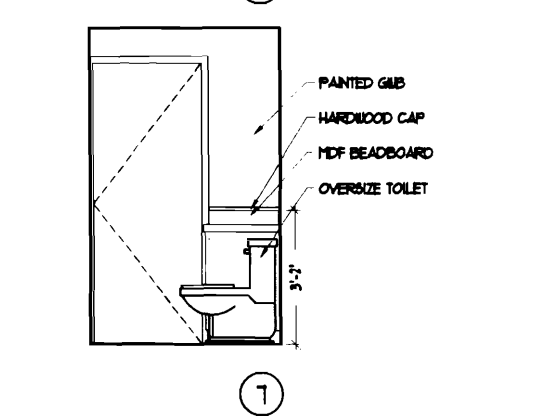
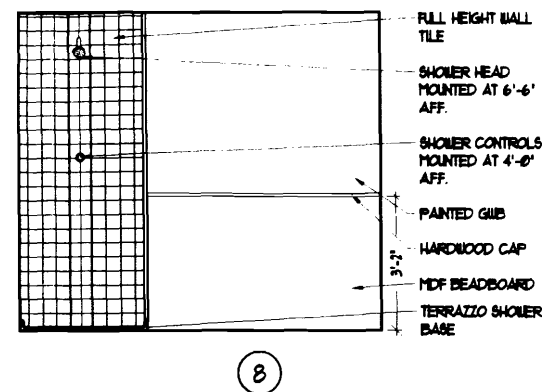
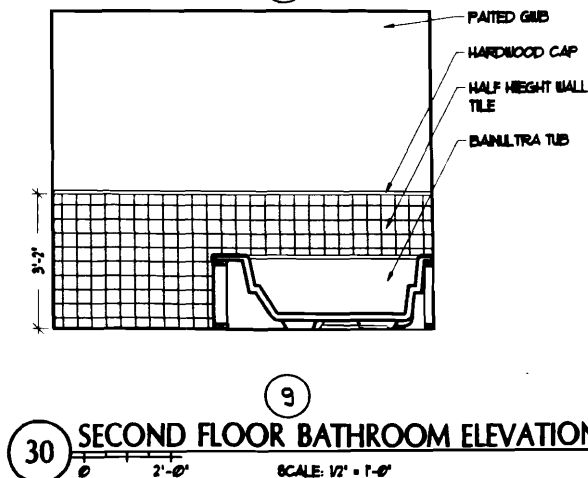
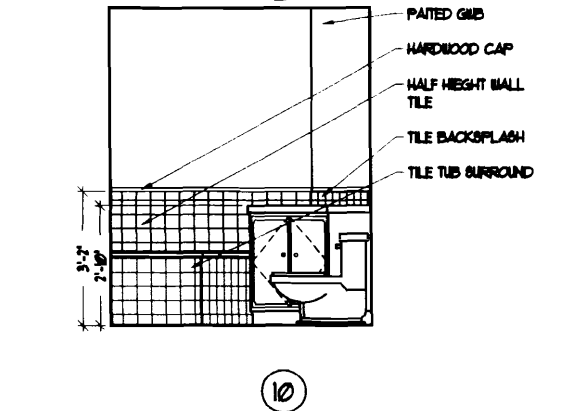
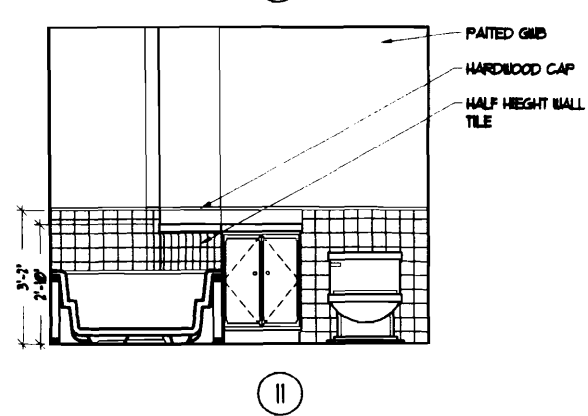
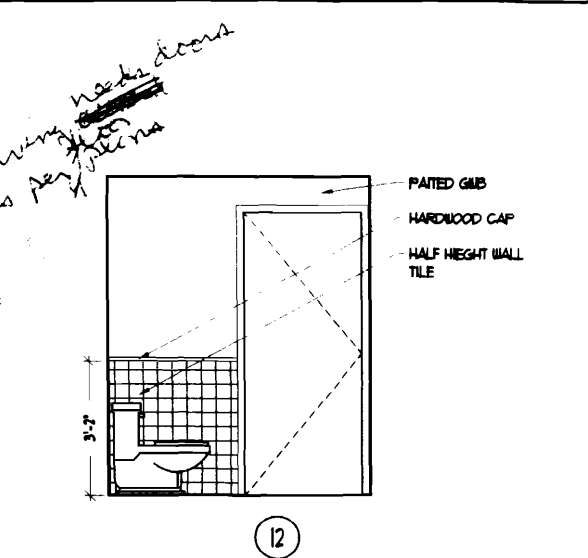
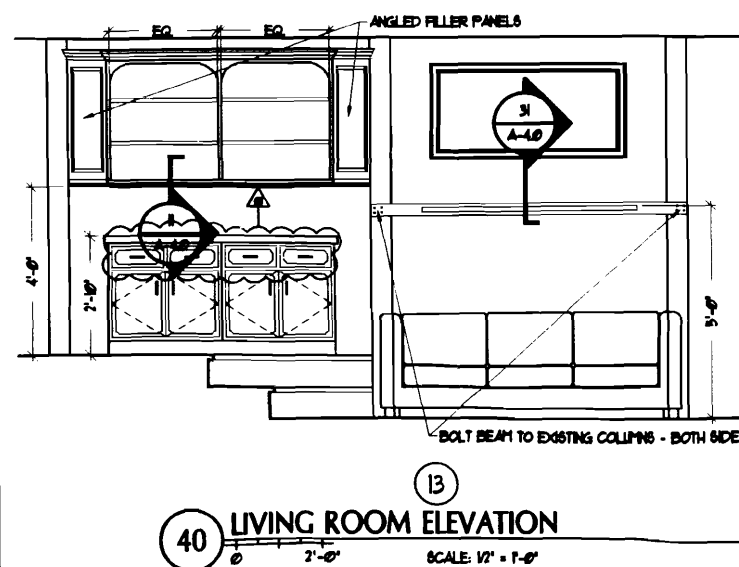
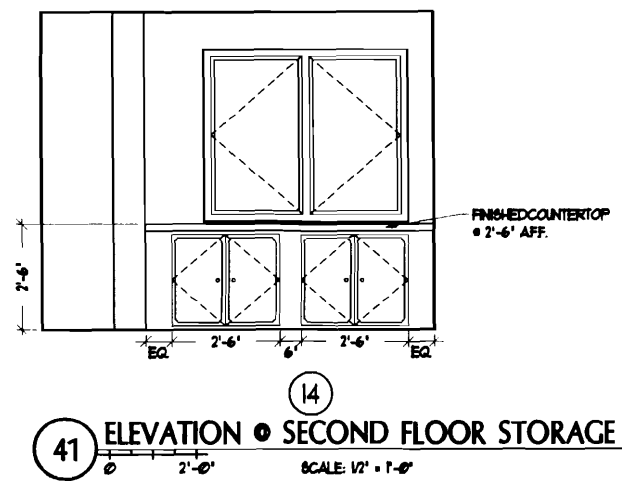
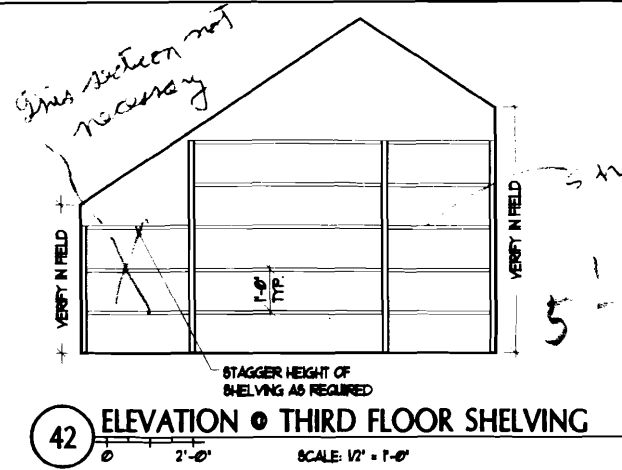
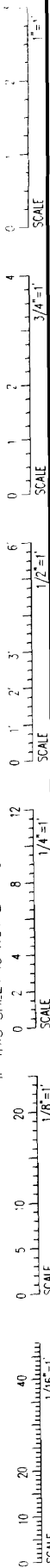
ATTIC FLOOR PLAN

Drawn By

Checked By

A-13





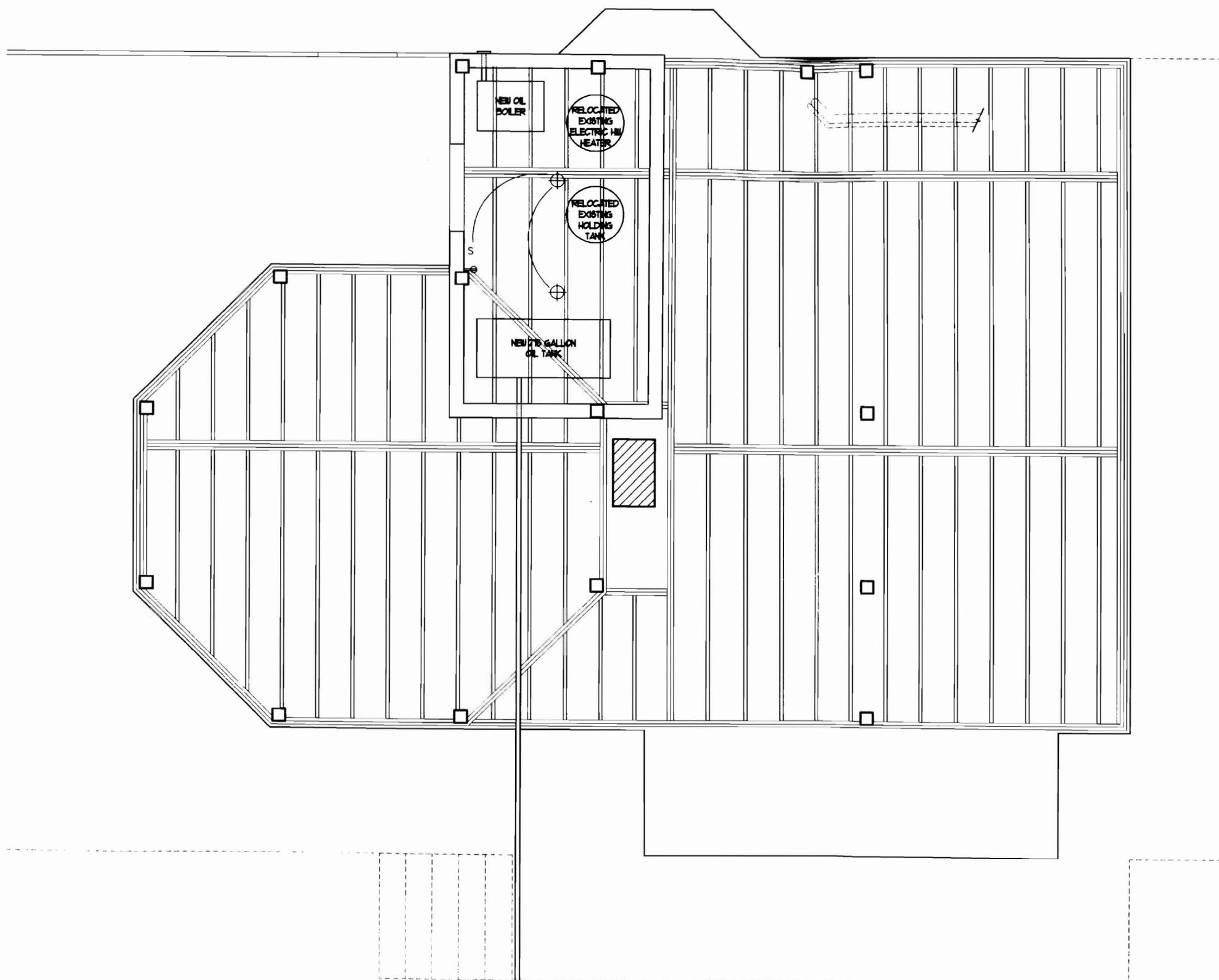
PORT CITY ARCHITECTURE
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**MCCARTHY RESIDENCE
HOUSE RENOVATION**
806 SEASHORE AVE
PEAKS ISLAND, ME

NO.	DATE	DESCRIPTION
1	05.15.08	GENERAL REVISIONS
2	06.10.08	GENERAL REVISIONS

REVISIONS
Date Issued: 05.15.08
Project Number: 071010
Drawing Scale: AS NOTED
SHEET NAME: INTERIOR ELEVATIONS
Drawn By: [Signature]
Checked By: [Signature]

A-5.0



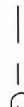
10 CRAWL SPACE LIGHTING

	FENDANT LIGHT
	SURFACE MTD. DOWNLIGHTS (3" DIA.) OR RECESSED AT GRID
	SURFACE MTD. WALL WASHER (ADJ.) OR RECESSED AT GRID
	WALL MTD. BOUNCE FIXTURE
	WALL MOUNTED STRIP
	UNDER CABL. STRIP LIGHT
	CEILING MTD. LIGHT
	SHOWER (NET) DOWNLIGHT AND FAN
	CABLE LIGHT SYSTEM / LOW VOLTAGE
	3 WAY SWITCH
	SWITCH
	HINGE SWITCH
	COAXIAL CONNECTION
	PHONE
	GRID CEILING

- NOTES:**
1. PROVIDE OUTLETS WHERE INDICATED AND ELSEWHERE TO CODE
 2. PROVIDE GFI AT NET LOCATIONS
 3. ALL LIGHTS TO BE DIMMER SWITCHED UNLESS NOTED OTHERWISE
 4. ALL CEILINGS TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE

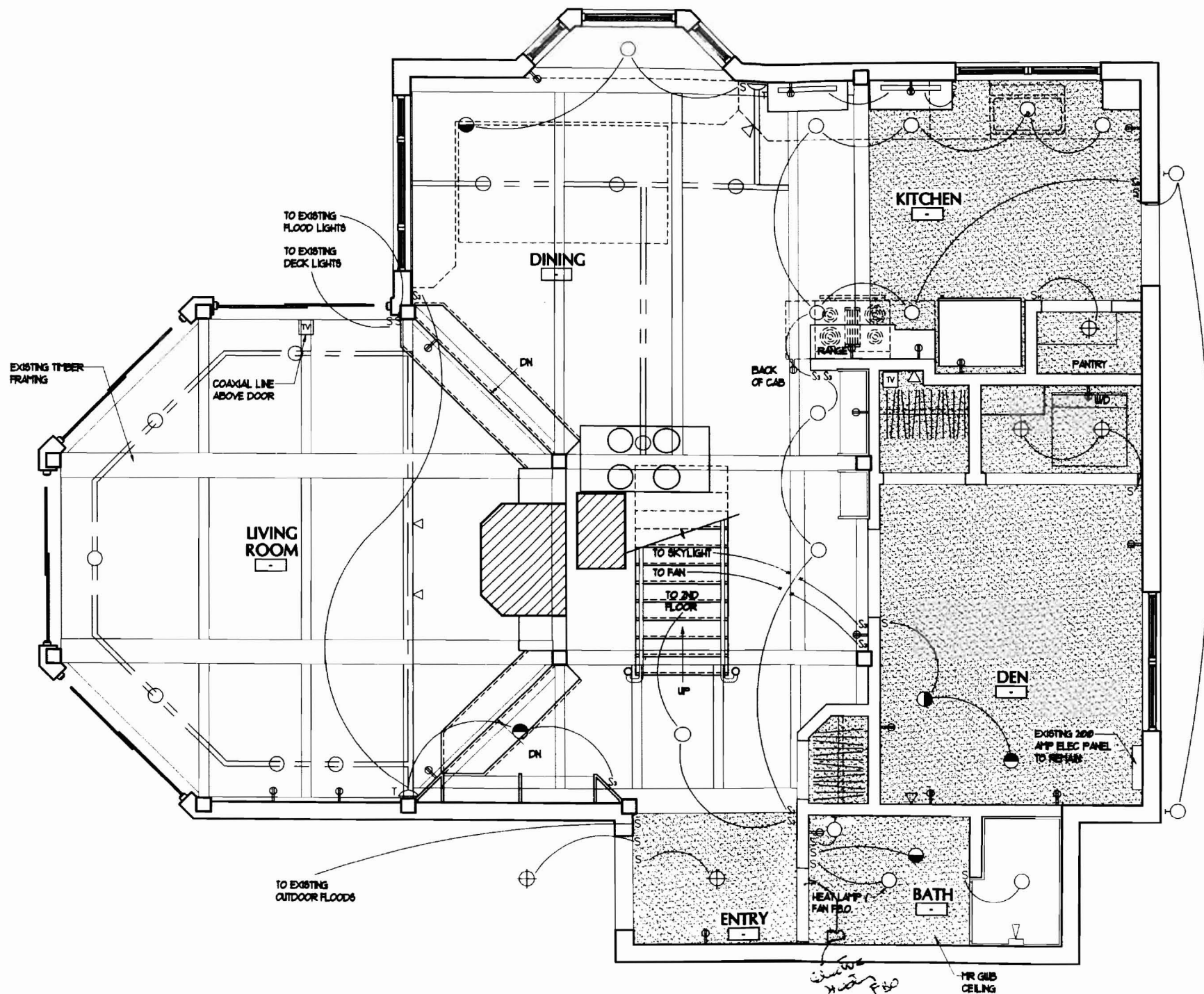
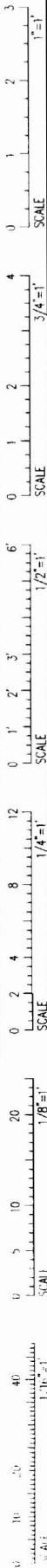
		
PORT CITY ARCHITECTURE		
65 NEWBURY STREET PORTLAND, ME 04101 207.761.9000 fax: 207.761.2010 info@portcityarch.com		
McCARTHY RESIDENCE HOUSE RENOVATION 806 SEASHORE AVE PEAKS ISLAND, ME		
2	04.15.00	GENERAL REVISIONS
1	04.15.00	GENERAL REVISIONS
0	DATE	DESCRIPTION
REVISIONS		
Date Issued 04.15.00		
Project Number 01010		
Drawing Scale 1/2" = 1'-0"		
CRITICAL NOTE CRAWL SPACE LIGHTING / POWER PLAN		
Drawn By _____		
Checked By _____		A-3.0



- | | |
|---|---|
|  | PENDANT LIGHT |
|  | SURFACE MTD. DOWNLIGHTS (3" DIA.)
OR RECEIVED AT GDS |
|  | SURFACE MTD. WALL WASHER (400)
OR RECEIVED AT GDS |
|  | WALL MTD. RECOUSE FIXTURE |
|  | WALL MOUNTED STRIP |
|  | UNDER CAB. STRIP LIGHT |
|  | CEILING MTD. LIGHT |
|  | RECESS (N/E) DOWNLIGHT AND FAN |
|  | 3 WAY SWITCH |
|  | SWITCH |
|  | NURSE SWITCH |
|  | COAXIAL CONNECTION |
|  | PHONE |
|  | GDS CEILING |
- NOTES:**
1. PROVIDE OUTLETS WHERE INDICATED AND ELIMINATE TO CODE
 2. PROVIDE GFI AT NET LOCATIONS
 3. ALL LIGHTS TO BE DIFFUSER SWITCHED UNLESS NOTED OTHERWISE
 4. ALL CEILING TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE

OPTION 1

IF THIS SHEET IS NOT 24 x 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



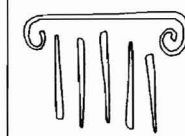
10 FIRST FLOOR LIGHTING / POWER PLAN
SCALE: 1/2" = 1'-0"

LEGEND:

- ⊕ PENDANT LIGHT
- SURFACE MTD. DOWNLIGHTS (3" DIA) OR RECESSED AT GUB
- SURFACE MTD. WALL WASHER (ADJ.) OR RECESSED AT GUB
- WALL MTD. SCONCE FIXTURE
- WALL MOUNTED STRIP
- UNDER CAB. STRIP LIGHT
- ⊕ CEILING MTD. LIGHT
- ⊙ SHOWER (NET) DOWNLIGHT AND FAN
- CABLE LIGHT SYSTEM / LOW VOLTAGE
- S₃ 3 WAY SWITCH
- S SWITCH
- S_H HINGE SWITCH
- TV COAXIAL CONNECTION
- ▽ PHONE
- GUB CEILING

NOTES:

1. PROVIDE OUTLETS WHERE INDICATED AND ELSEWHERE TO CODE
2. PROVIDE GF AT NET LOCATIONS
3. ALL LIGHTS TO BE DIMMER SWITCHED UNLESS NOTED OTHERWISE
4. ALL CEILING TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE



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PEAKS ISLAND, ME

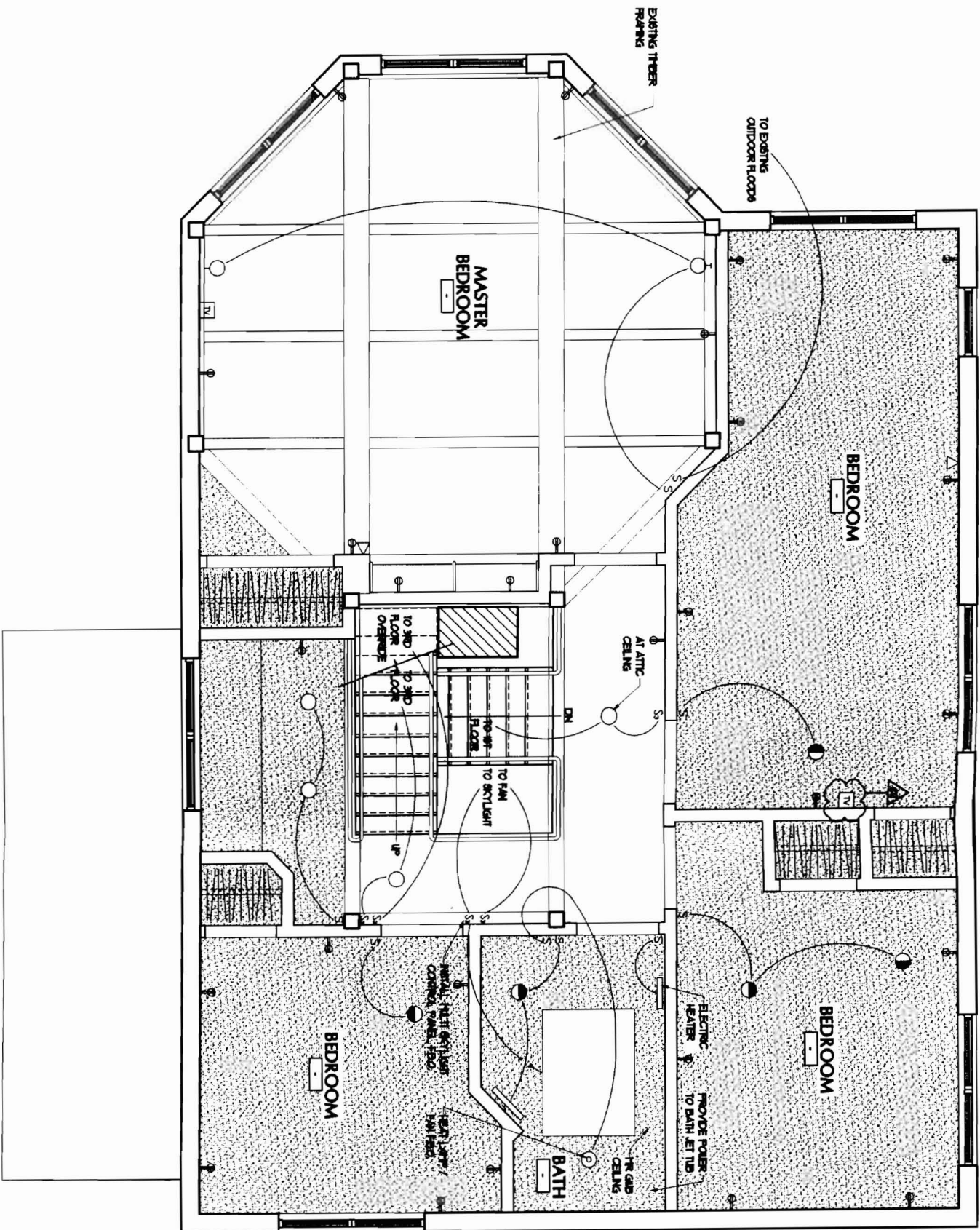
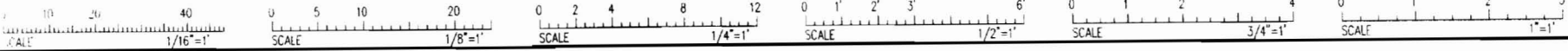
NO.	DATE	DESCRIPTION
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1	08.05.08	GENERAL REVISIONS
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REVISIONS	
Date Issued	09.05.08
Project Number	07010
Drawing Scale	1/2" = 1'-0"
SHEET NAME	
FIRST FLOOR LIGHTING / POWER PLAN	
Drawn By	
Checked By	

OPTION 2

A-3.1

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



10 SECOND FLOOR LIGHTING / POWER PLAN
SCALE: 1/2" = 1'-0"

LEGEND:

- FLOOR LIGHT
- SURFACE MTD. DOWNLIGHT (3 DIA) OR RECEIVED AT GAB
- SURFACE MTD. WALL WARMER (40U) OR RECEIVED AT GAB
- WALL MTD. SCIENCE FIXTURE
- WALL MOUNTED STRIP
- UNDER CAB. STRIP LIGHT
- ⊕ CEILING MTD. LIGHT
- ⊙ SHOWER (NET) DOWNLIGHT AND FAN
- CABLE LIGHT SYSTEM / LOW VOLTAGE
- 3 3-WAY SWITCH
- S SWITCH
- SM SINGLE SWITCH
- TV COAXIAL CONNECTION
- ▽ PHONE
- ▨ GAB CEILING

NOTES:

1. PROVIDE OUTLETS WHERE INDICATED AND ELEVATE TO CODE
2. PROVIDE ON AT SET LOCATIONS
3. ALL LIGHTS TO BE DIFFER SWITCHED UNLESS NOTED OTHERWISE
4. ALL CEILING TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE

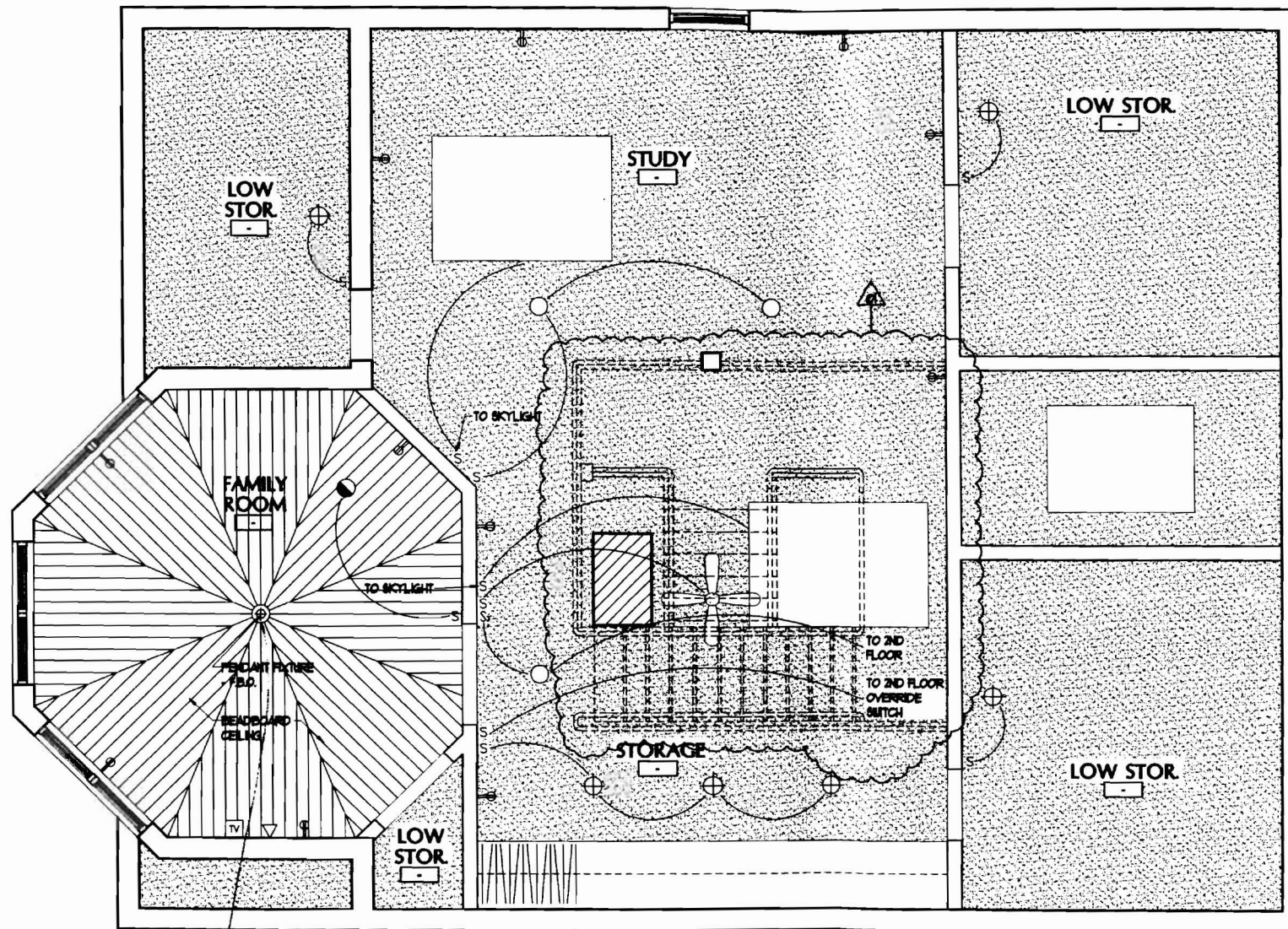
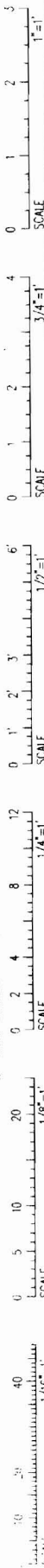
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MCCARTHY RESIDENCE
HOUSE RENOVATION
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PEAKS ISLAND, ME

1	ISSUED	GENERAL REVISIONS
2	ISSUED	GENERAL REVISIONS
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99	ISSUED	GENERAL REVISIONS
100	ISSUED	GENERAL REVISIONS

Drawn By
Checked By
A-3.2

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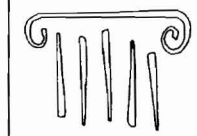
10 ATTIC LIGHTING / POWER PLAN
SCALE: 1/2" = 1'-0"

LEGEND:

- ⊕ PENDANT LIGHT
- SURFACE MTD. DOWNLIGHTS (3" DIA) OR RECESSED AT GND
- ◐ SURFACE MTD. WALL WASHER (ADJ) OR RECESSED AT GND
- ⊖ WALL MTD. SCONCE FIXTURE
- WALL MOUNTED STRIP
- UNDER CAB. STRIP LIGHT
- ⊗ CEILING MTD. LIGHT
- ⊙ SHOWER (NET) DOWNLIGHT AND FAN
- CABLE LIGHT SYSTEM / LOW VOLTAGE
- S₃ 3 WAY SWITCH
- S SWITCH
- S_H HINGE SWITCH
- TV COAXIAL CONNECTION
- ▽ PHONE
- GND CEILING

NOTES:

1. PROVIDE OUTLETS WHERE INDICATED AND ELSEWHERE TO CODE
2. PROVIDE GFI AT NET LOCATIONS
3. ALL LIGHTS TO BE DIMMER SWITCHED UNLESS NOTED OTHERWISE
4. ALL CEILING TO BE OPEN TO STRUCTURE UNLESS NOTED OTHERWISE



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PEAKS ISLAND, ME

NO.	DATE	DESCRIPTION
1	05.15.08	GENERAL REVISIONS
2	06.10.08	GENERAL REVISIONS
3	06.10.08	GENERAL REVISIONS
4	06.10.08	GENERAL REVISIONS
5	06.10.08	GENERAL REVISIONS
6	06.10.08	GENERAL REVISIONS
7	06.10.08	GENERAL REVISIONS
8	06.10.08	GENERAL REVISIONS
9	06.10.08	GENERAL REVISIONS
10	06.10.08	GENERAL REVISIONS

REVISIONS

Date Issued: 05.15.08

Project Number: 071010

Drawing Scale: 1/2" = 1'-0"

SHEET NAME

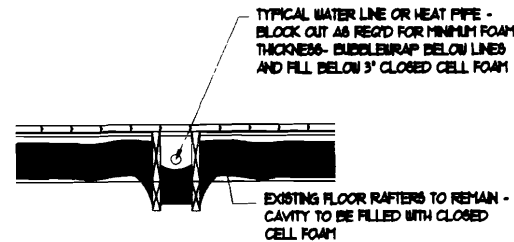
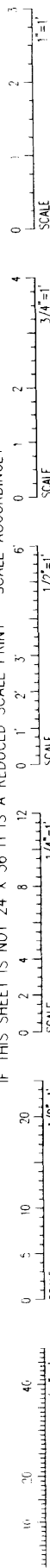
ATTIC LIGHTING /
POWER PLAN

Drawn By

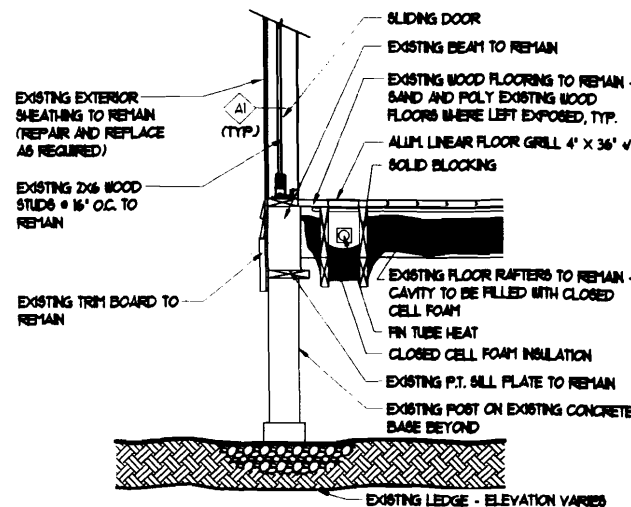
Checked By

A-33

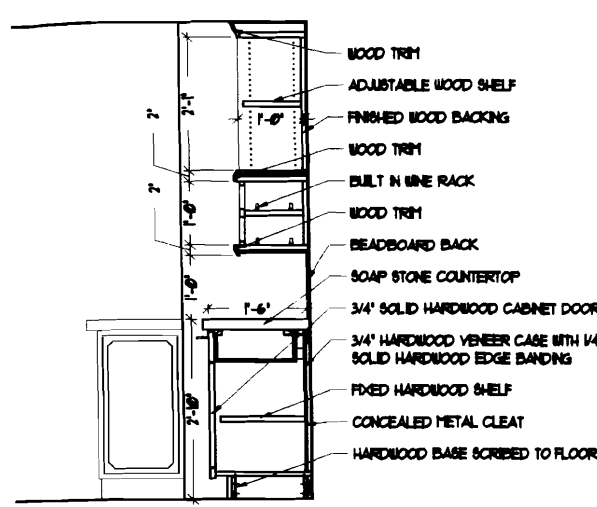
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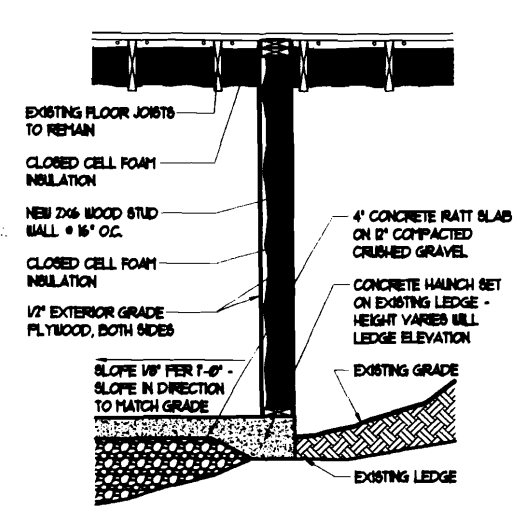
41 TYPICAL WATER LINE OR HEAT PIPE
SCALE: 3/4" = 1'-0"



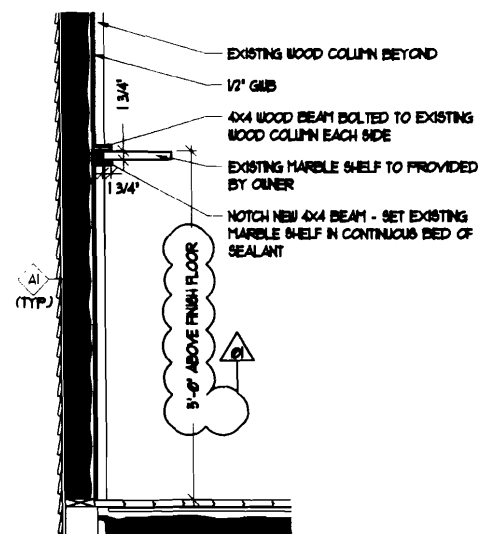
32 SECTION • SLIDING DOOR
SCALE: 3/4" = 1'-0"



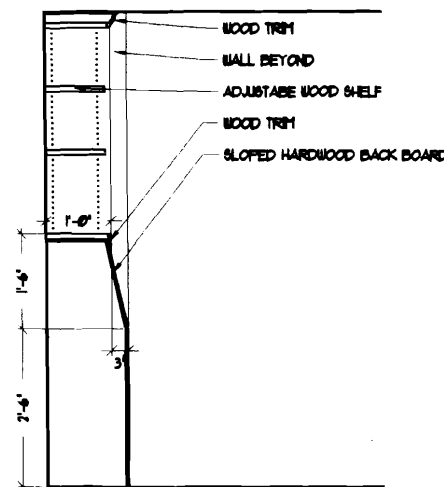
23 SECTION • BOOKCASE / WINE RACK
SCALE: 3/4" = 1'-0"



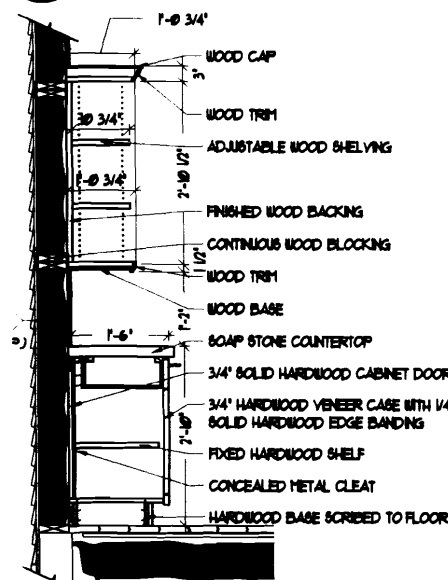
12 WALL SECTION • UTILITY ROOM
SCALE: 3/4" = 1'-0"



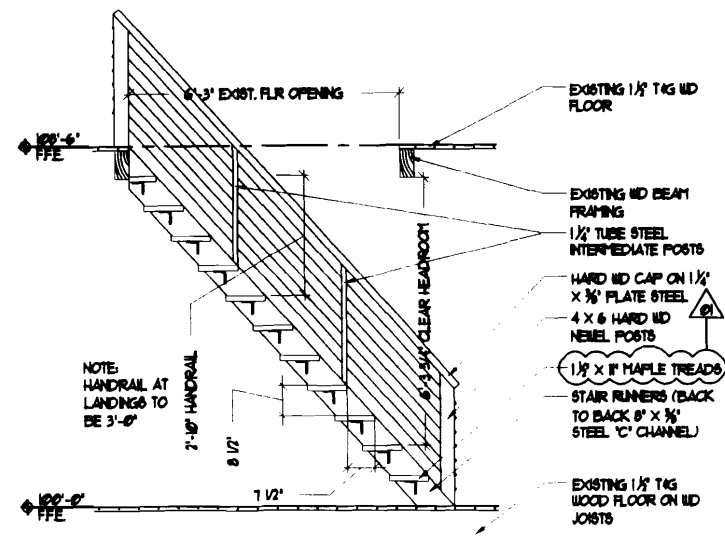
31 SECTION • BOOKCASE IN LIVING ROOM
SCALE: 3/4" = 1'-0"



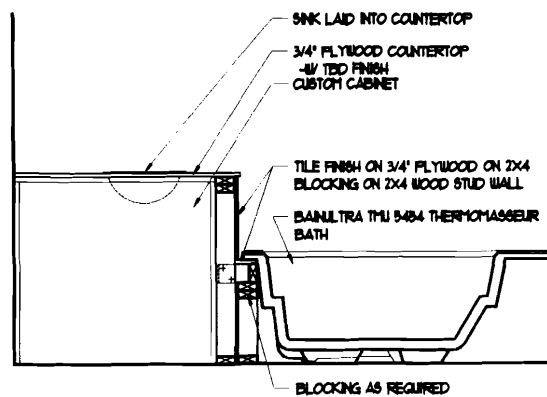
21 SECTION • BOOKCASE IN MASTER BED
SCALE: 3/4" = 1'-0"



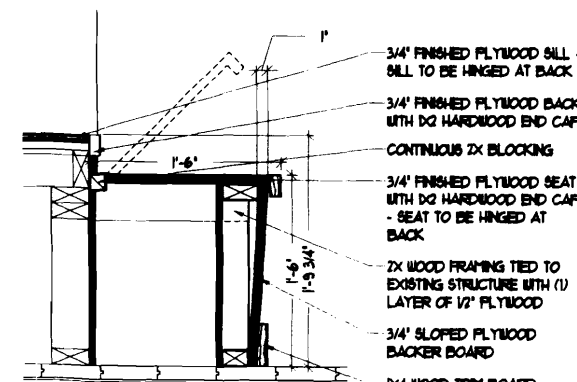
11 SECTION • LIVING ROOM BOOK SHELF
SCALE: 3/4" = 1'-0"



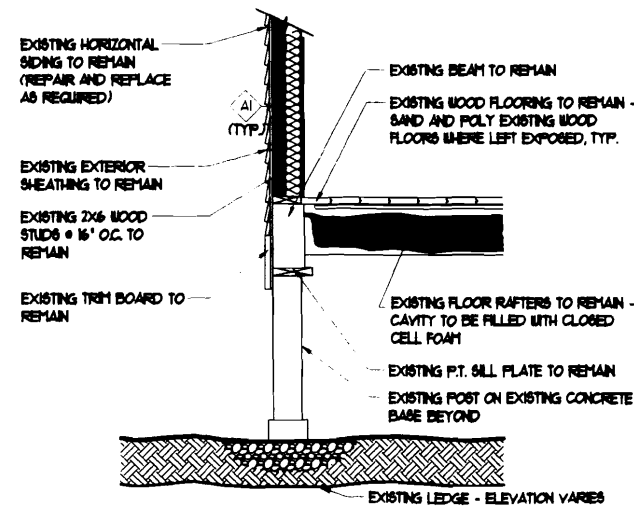
40 STAIR SECTION
SCALE: 1/2" = 1'-0"



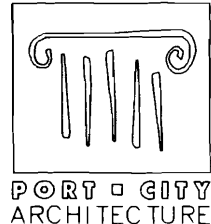
30 SECTION • BATHTUB SURROUND
SCALE: 3/4" = 1'-0"



20 SECTION • DINING ROOM BENCH
SCALE: 1/2" = 1'-0"



10 TYPICAL FOUNDATION DETAIL
SCALE: 3/4" = 1'-0"



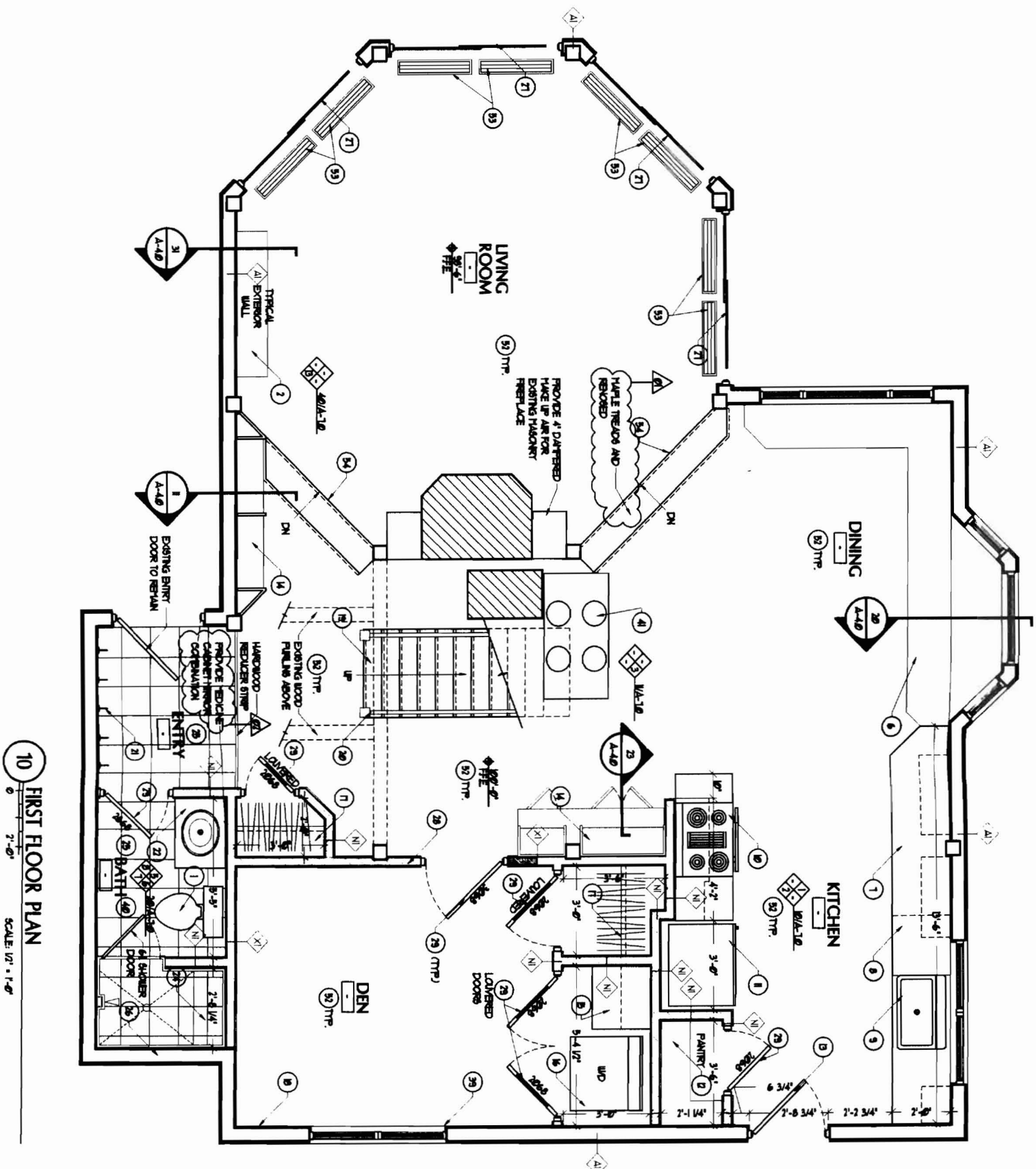
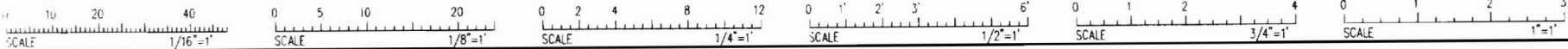
65 NEWBURY STREET
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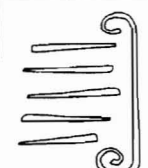
NO.	DATE	DESCRIPTION
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100	09.15.06	GENERAL REVISIONS

BUILDING
DETAILS

A-4.0



- CONSTRUCTION NOTES:**
1. NEW HIGH BOUL TOILET
 2. EXISTING HANGABLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
 3. NOT USED
 4. NOT USED
 5. NOT USED
 6. BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENT UNDER SEAT - SEE KITCHEN DRAWINGS
 7. NEW 2\"/>
 8. NEW 3\"/>
 9. NEW 3\"/>
 10. WHITE THERMATE PAINTRY SHELVING
 11. RELOCATE EXISTING DOOR - NEW EXISTING WALL AND REBUILD BLACK DECK AS REQUIRED
 12. NEW DOORCASE - 3\"/>
 13. NEW 2\"/>
 14. NEW 2\"/>
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**MCCARTHY RESIDENCE
HOUSE RENOVATION**

806 SEASHORE AVE
PEAKS ISLAND, ME

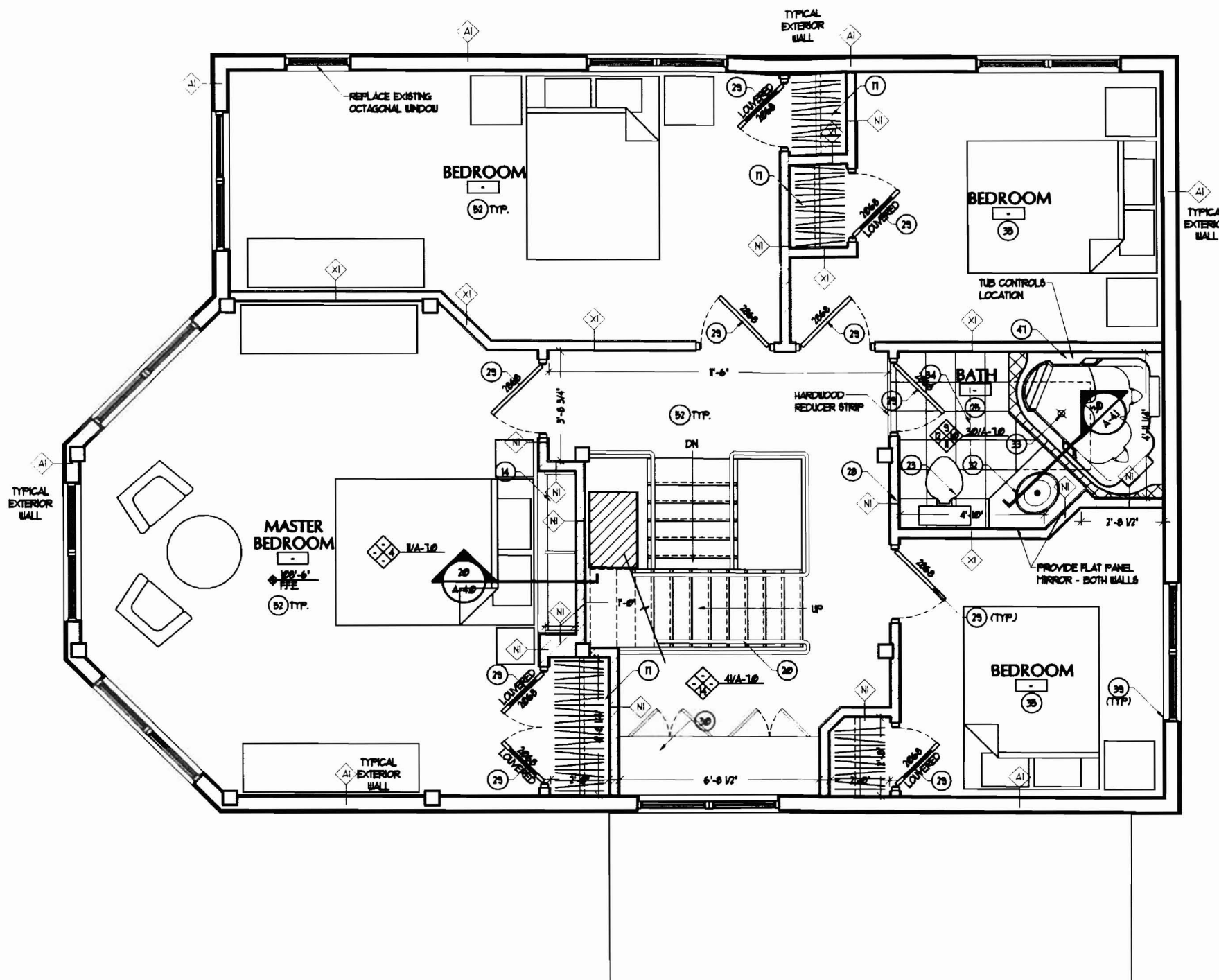
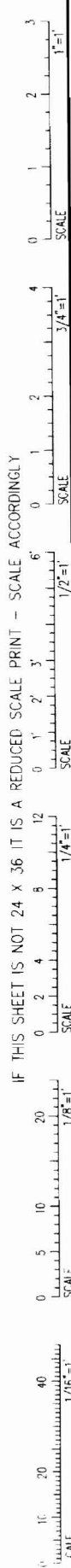
**FIRST FLOOR
PLAN**

Scale: 1/8\"/>

Drawn by: **A-1.1**

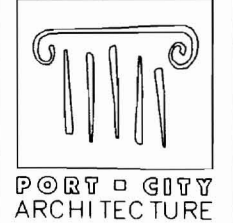
Checked by: **A-1.1**

IF THIS SHEET IS NOT 24 X 36 IT IS A REDUCED SCALE PRINT - SCALE ACCORDINGLY



10 SECOND FLOOR PLAN
SCALE: 1/2" = 1'-0"

- CONSTRUCTION NOTES:**
1. NEW HIGH BOWL TOILET
 2. EXISTING MARBLE SHELF TO BE INSTALLED - SEE ELEVATION AND SECTION
 3. NOT USED
 4. NOT USED
 5. NOT USED
 6. BUILT IN PLACE WOOD BENCH WITH NO BACKREST - BENCH TO HAVE STORAGE COMPARTMENTS UNDER SEAT
 7. NEW KITCHEN CABINETS - 36" TO TOP OF COUNTER TYP. - SEE KITCHEN DRAWINGS
 8. NEW 24" WIDE DISHWASHER - (F.B.O. I.B.C.)
 9. NEW 36" INLAID KITCHEN SINK
 10. NEW 36" WIDE OVEN / RANGE - (F.B.O. I.B.C.)
 11. NEW 33" WIDE REFRIGERATOR - (F.B.O. I.B.C.)
 12. WHITE MELAMINE PANTRY SHELVING
 13. RELOCATE EXISTING DOOR - INFILL EXISTING WALL AND REBUILD BACK DECK AS REQUIRED
 14. NEW BOOKSHELF - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSGING SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0" - SEE ELEV
 15. SHELVING WITH WOOD COUNTERTOP
 16. NEW STACKABLE WASHER AND DRYER - (F.B.O. I.B.C.)
 17. CLOSET SHELVING - 3/4" AC FIR PLYWOOD WITH 1X FIR NOSGING PROVIDE FIR CLOSET RODS. ALL FIR STAINED / POLYURETHANE FINISH
 18. EXISTING ELECTRICAL PANEL TO REMAIN
 19. CENTER STAIR BETWEEN (2) EXISTING FURLING 4 NOTCH BEAM FOR HEADROOM
 20. PROVIDE NEW STAIR FINISHES FOR THE EXISTING 8 1/2" RISE AND 1 1/2" TREAD STAIR IMPROVE CODE COMPLIANCE TO THE BEST DEGREE POSSIBLE. PROVIDE NEW CABLE RAILING SYSTEM FOR ENTIRE STAIR
 21. METAL COAT HOOKS - (F.B.O. I.B.C.)
 22. INSTALL EXISTING MARBLE TOP SINK (F.B.O.)
 23. NEW TOILET - F.B.O.
 24. NEW TILE SHOWER SEAT
 25. TILE FLOOR - COLOR TBD
 26. REMOVE EXISTING DOOR AND INFILL EXISTING WALL AS REQUIRED
 27. PROVIDE NEW ICE AND WATER SHIELD AROUND EXISTING SLIDING GLASS DOORS - REPLACE SIDING AS REQUIRED
 28. ALL INTERIOR WALLS SHALL BE 2X4 WOOD STUDS @ 16" O.C. WITH 1/2" GYPSUM BOARD EACH SIDE
 29. ALL INTERIOR DOORS SHALL BE 4 PANEL STYLE AND RAIL SHAKER STYLE DOORS
 30. UNDER WINDOW CABINETS
 31. NOT USED
 32. NEW SINK INLAID INTO NEW LAVATORY WITH SOLID COUNTERTOP
 33. NEW BATH TUB THU 1-1/4" THERMOCLASSIC BATH INLAID INTO TILE SURROUND BASE
 34. EXISTING SKYLIGHT TO RECEIVE NEW FLASHING AND SEALANT
 35. CARPET AND PAD TO BE INSTALLED - ADD PLYWOOD SUBFLOOR AS REQUIRED
 36. NEW SKYLIGHT TO MATCH EXISTING
 37. NOT USED
 38. NEW STORAGE SHELVING - 3/4" HARDWOOD VENEER PLYWOOD WITH HARDWOOD NOSGING SUPPORT WITH MORTISED KV BRACKETS IN MAX SPANS OF 3'-0"
 39. PROVIDE LOW EXPANDING FOAM AROUND ALL EXISTING EXTERIOR WINDOWS & DOORS
 40. RAISE EXISTING FLOOR TO MATCH PRIMARY FIRST FLOOR LEVEL
 41. EXISTING WOOD STOVE
 42. SUBFLOOR - NO FINISH
 43. RELOCATE EXISTING WATER AND SEPTIC LINES TO ENTER GRADE WITHIN PERIMETER ENCLOSURE
 44. NEW INSULATED EXTERIOR 3'-0" X 4'-0" ACCESS PANEL / DOOR AND FRAME
 45. NOT USED
 46. PROVIDE NEW CEILING FAN
 47. PROVIDE FLEXIBLE SHOWER HEAD AT BATH EDGE
 48. PROVIDE NEW HOSEBIDS
 49. NOT USED
 50. THE DIRECT VENT FROM THE OIL BOILER SHALL BE INSTALLED PER IN A LOCATION WHICH COMPLIES WITH ALL REQUIRED CLEARANCES FROM DOORS AND WINDOWS
 51. NOT USED
 52. SAND AND POLY EXISTING WOOD FLOORS WHERE REQUIRED, TYP.
 53. PROVIDE REMOVABLE 4' X 36" V- FLOOR GRILLS FOR FIN TUBE HEAT BELOW
 54. PROVIDE TOE KICK HEATERS IN EXISTING STAIR TREADS
 55. PROVIDE PAINTED ACCESS DOOR SIMILAR TO INTERIOR DOORS



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**MCCARTHY RESIDENCE
HOUSE RENOVATION**
806 SEASHORE AVE
PEAKS ISLAND, ME

NO.	DATE	DESCRIPTION
2	09/20/00	GENERAL REVISIONS
1	09/20/00	GENERAL REVISIONS
0		DATE DESCRIPTION
REVISIONS		
Date Issued: 09.20.00		
Project Number: 071010		
Drawing Scale: 1/2" = 1'-0"		
SHEET NAME		
SECOND FLOOR PLAN		
Drawn By:		
Checked By: A-12		