

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION

PERMIT

Permit Number: 080505

408

CITY OF PORTLAND

This is to certify that WILLIAMS TIMOTHY & ZABETH 1980/Bill Bunton

has permission to Amendment to #07-1280 - same ceiling on the second floor

AT 60 OAKLAWN RD

090 J002001

provided that the person or persons who perform or supervise the work in accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procured before this building or part thereof is locked or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas N. Marley 08/01/08
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

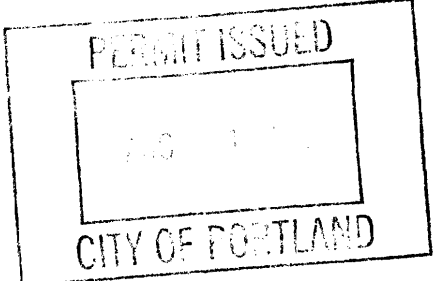
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0505	Issue Date:	CBL: 090 J002001
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Location of Construction: 60 OAKLAWN RD, <i>Peaks Island</i>		Owner Name: WILLIAMS TIMOTHY & ELIZAB		Owner Address: 200 S MAYA PALM DR		Phone: 207-774-0111	
Business Name:		Contractor Name: Bill Bunton		Contractor Address: 87 Middle Road Cumberland		Phone: 2077740111	
Lessee/Buyer's Name		Phone:		Permit Type: Amendment to Single Family			Zone: IR-2
Past Use: Single Family Home -		Proposed Use: Single Family Home - Amendment to #07-1280 - Reframe ceiling on the second floor		Permit Fee: \$30.00	Cost of Work: \$0.00	CEO District: 1	
Proposed Project Description: Amendment to #07-1280 - Reframe ceiling on the second floor				FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	
				Signature:		Signature: <i>Jim 8/1/08</i>	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)							
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied							
Signature:				Date:			

Permit Taken By: lmd	Date Applied For: 05/13/2008	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>see original permit 07-1280 for details</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/ cond. laws</i> Date: <i>5/14/08</i> <i>ABM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ABM</i> Date:</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 08-0505	Date Applied For: 05/13/2008	CBL: 090 J002001
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Business Name:	Contractor Name: Bill Bunton	Contractor Address: 87 Middle Road Cumberland	Phone: (207) 774-0111
Lessee/Buyer's Name	Phone:	Permit Type: Amendment to Single Family	

Proposed Use: Single Family Home - Amendment to #07-1280 - Reframe ceiling on the second floor	Proposed Project Description: Amendment to #07-1280 - Reframe ceiling on the second floor
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/14/2008**Note:** **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 08/01/2008**Note:** **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>60 OAK-LAWN RD, PEAKS IS.</u>		
Total Square Footage of Proposed Structure/Area		Square Footage of Lot
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>090 J002001</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Address City, State & Zip	Telephone:
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ _____ C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>AMMENDMENT: REMOVED EXISTING COLUMN + RE-FRAMED CEILING (2ND FLOOR) TO CLEAN-UP CEILING. AL HODSON, STRUCTURAL ENGINEER, DID THE ENGINEERING.</u>		
Contractor's name: _____	_____	_____
Address: _____	CITY: _____	_____
City, State & Zip _____	_____	Telephone: _____
Who should we contact when the permit is ready: _____	MAY 13 2008	Telephone: _____
Mailing address: _____	_____	_____

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: _____ Date: _____

This is not a permit; you may not commence ANY work until the permit is issue

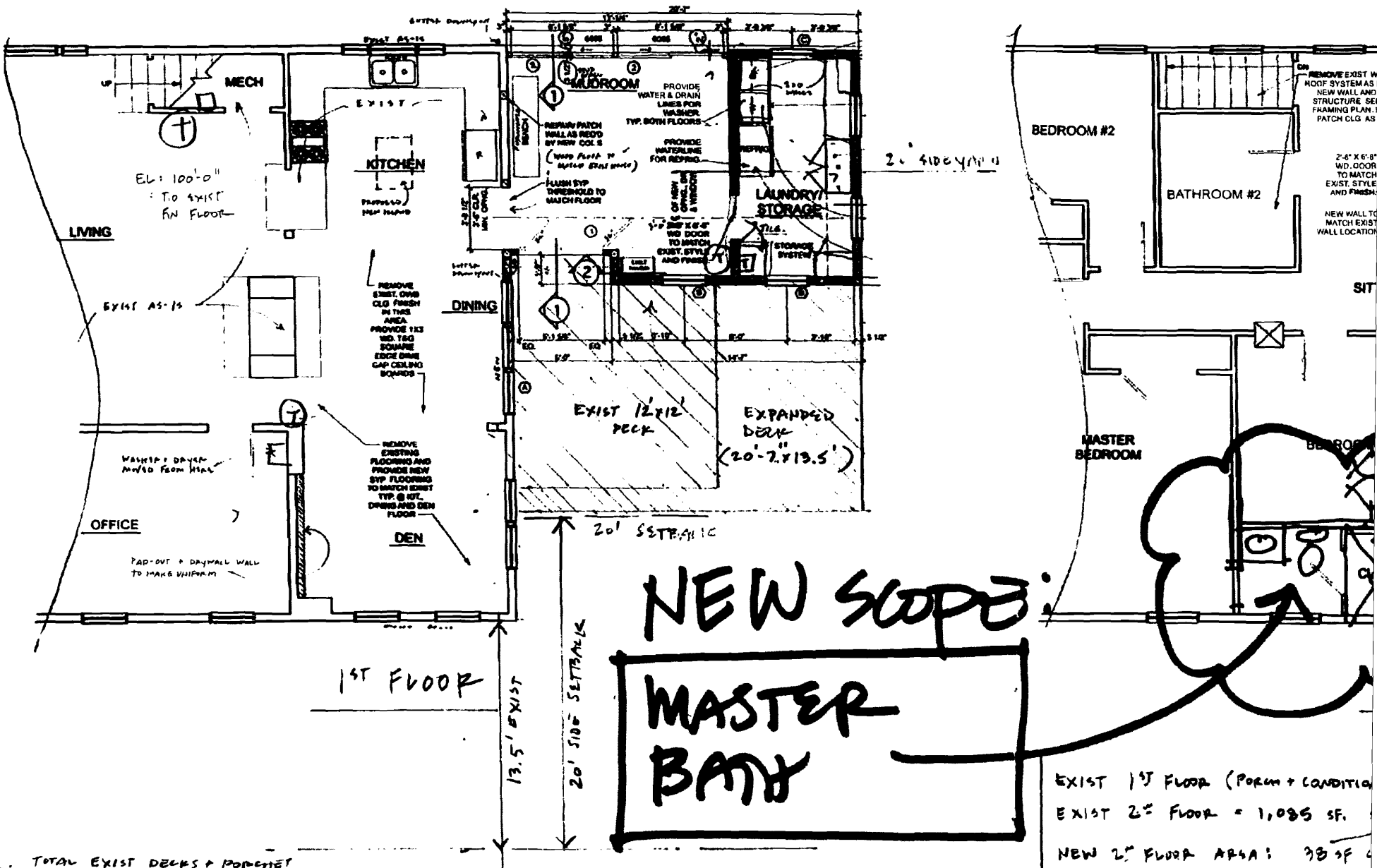
5016

MAY 20 2003

90 D.D.

PROPOSED WORK (PERMITS)

EXISTING 20'-7" x 14' MUDROOM, RE-BUILD ON SAME FOOTPRINT AS NEW MUDROOM



EXIST: TOTAL EXIST DECKS + PORCHES
ALL FLOOR AREA = 2982

ADD: 120 DECKS, 136 2ND FL.

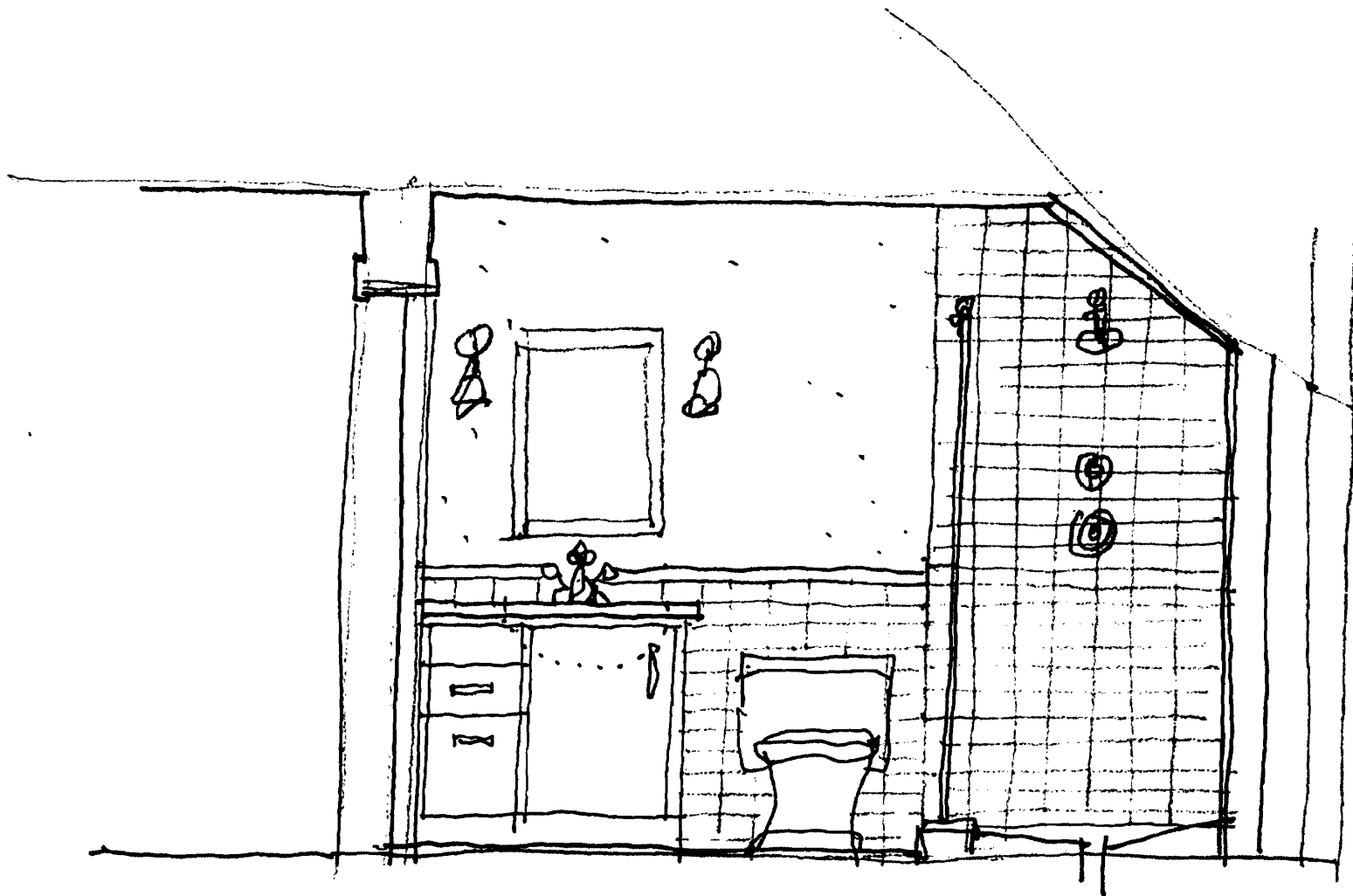
TOTAL PROPOSED SITE COVERAGE = 1753 + 144 + 120 + 120 = 2137 SF

TOTAL PROPOSED: 3238 SF

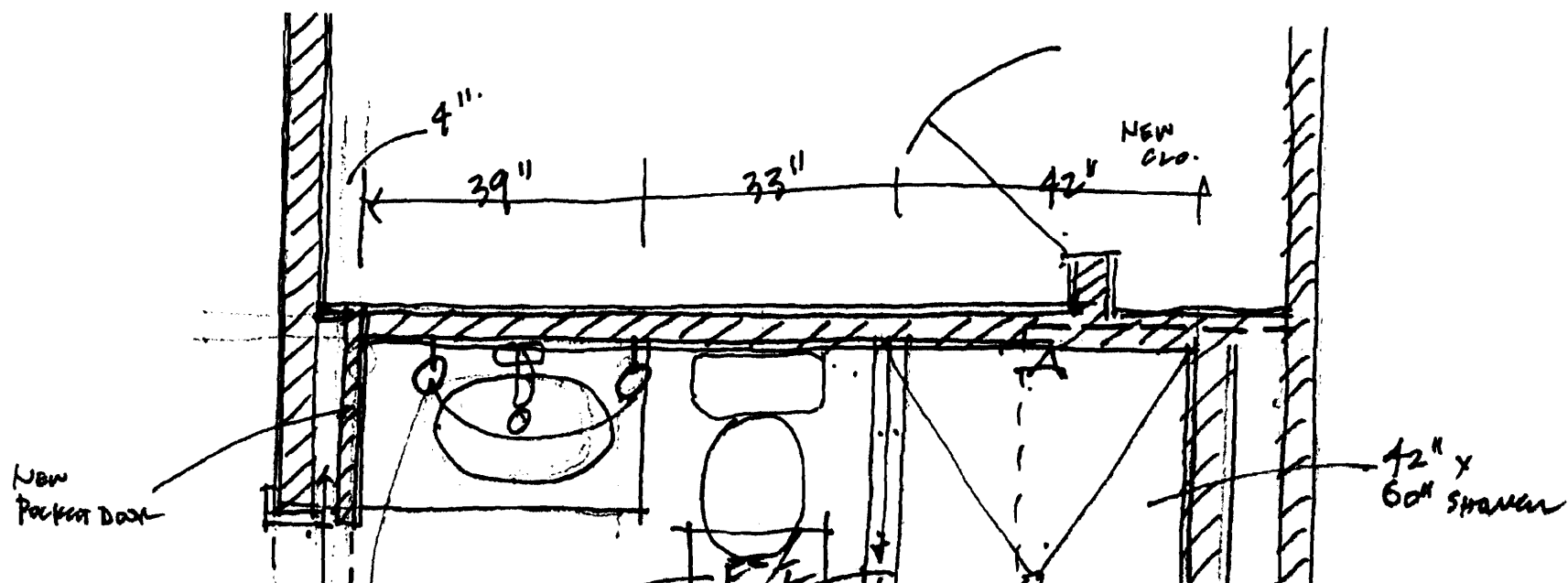


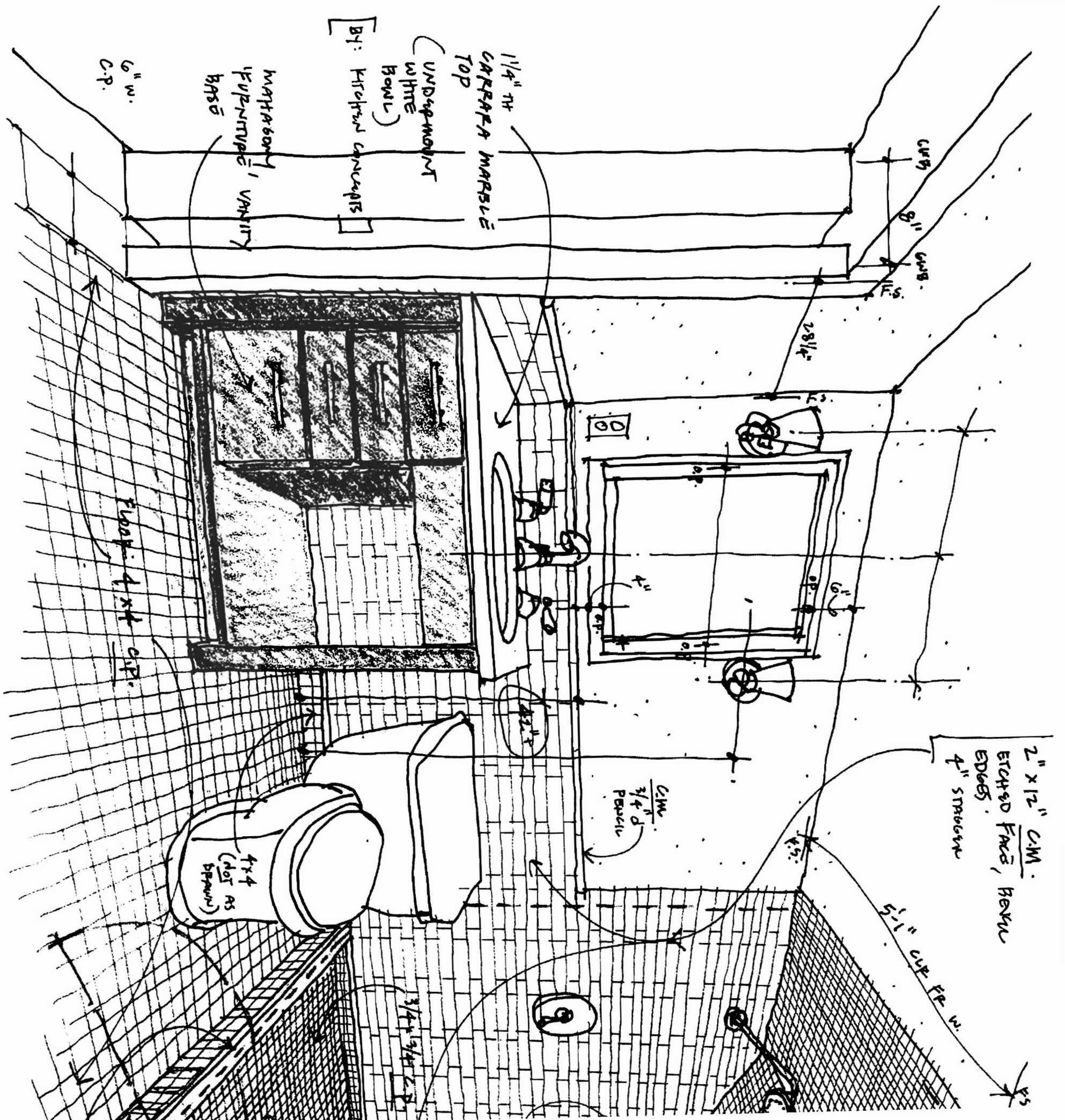
(*)

PER 14-430: BUILDING EXTS EXPANSION IS LIMITED TO 80% OF 2ND FLOOR EXIST = 1,085 SF + 136 SF

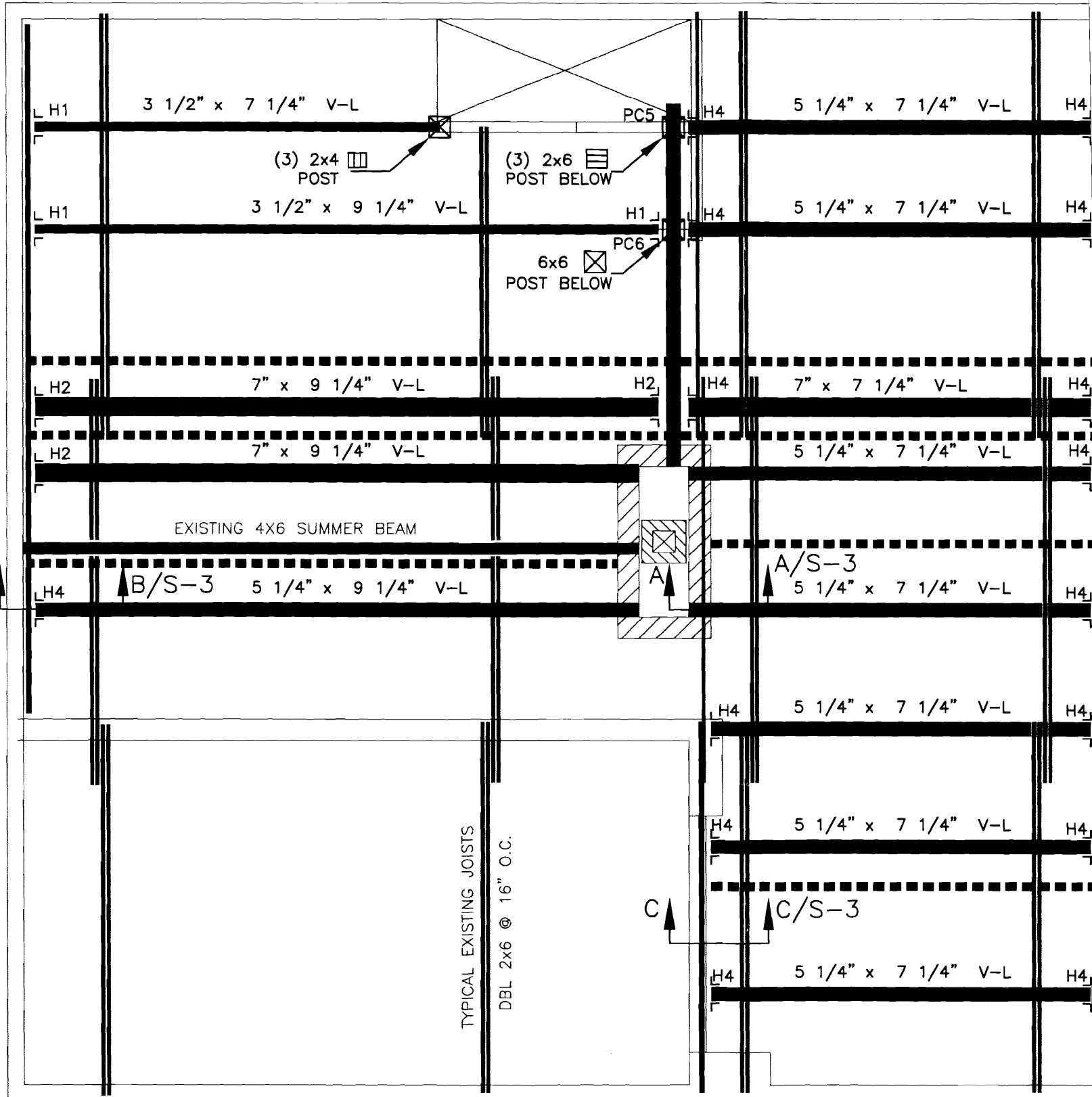


WILLIAMS: M. BATH 5.15.09 1/2" SCALE.





1 3/4" x 11 7/8" VERSA-LAM SCREWED TO EXISTING PLATES WITH 2 ROWS 3 5/8" TRUSSLOK SCREWS @ 16" O.C.
 PROVIDE ADDITIONAL TRUSSLOK SCREWS NEAR GIRDER HANGERS AS DIRECTED BY ENGINEER



SECOND FLOOR SUPPLEMENTAL FRAMING PLAN

SCALE: 1/4" = 1'-0"

KEY NOTES

NOTE 1: ■■■■ INDICATES SUGGESTED TEMPORARY SHORING LOCATION BOTH SIDES OF PRIMARY GIRDER

STRUCTURAL GENERAL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL SAFETY REQUIREMENTS.
2. NO PROVISIONS HAVE BEEN MADE FOR ANY TEMPORARY CONDITIONS THAT MAY ARISE DURING CONSTRUCTION PRIOR TO THE COMPLETION OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATE DESIGN AND CONSTRUCTION OF ALL FORMS, SHORING, AND TEMPORARY BRACING DURING THE PROJECT.
3. NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND EXISTING CONDITIONS THAT MAY AFFECT THE WORK. BECAUSE THIS PROJECT INVOLVES RETROFITTING AND MODIFICATIONS OF EXISTING STRUCTURES, THE CONTRACTOR SHALL TAKE THE NECESSARY MEASURE TO FIELD VERIFY EXISTING CONDITIONS AS SHOWN ON THE DRAWINGS.
4. ANY MODIFICATION OR ALTERATION OF THESE CONSTRUCTION DOCUMENTS OR CHANGES IN CONSTRUCTION FROM THE INTENT OF THESE DOCUMENTS BY THE CONTRACTOR WITHOUT WRITTEN APPROVAL OF THE ENGINEER SHALL REMOVE ALL PROFESSIONAL AND LIABILITY RESPONSIBILITY ON THE PART OF THE ENGINEER. ALTERNATE CONNECTION DETAILS MAY BE USED IF SUBMITTED TO THE ENGINEER FOR REVIEW, AND ACCEPTANCE GRANTED.
5. DO NOT SCALE FROM THE DRAWINGS.

DESIGN CRITERIA

1. INTERNATIONAL BUILDING CODE, 2006 EDITION; INCLUDING CONSIDERATION OF CHAPTER 34, EXISTING BUILDINGS.

ADDRESS: 60 OAKLAND ROAD, PEAKS ISLAND, PORTLAND, MAINE

SNOW LOAD: UNHEATED ROOF STRUCTURE
50 POUNDS PER SQUARE FOOT, UNIFORM (INCLUDES DRIFT)

LIVE LOADS: 40 PSF, (30 PSF IN SLEEPING ROOMS)

WIND LOAD: PER IBC SECTION 1609.0/ASCE 7-02 CHAPTER 6

BASIC WIND SPEED, (3 SEC GUST)	100 mph
IMPORTANCE FACTOR I_w	1.00
EXPOSURE CATEGORY	C
BUILDING CLASSIFICATION	II
BASIC WIND PRESSURE	20 psf
COMPONENT/CLADDING PRESSURE	30 psf

SEISMIC LOAD: PER IBC SECTION 1615.0;
EARTHQUAKE DESIGN DATA PER SECTION 1616.3:

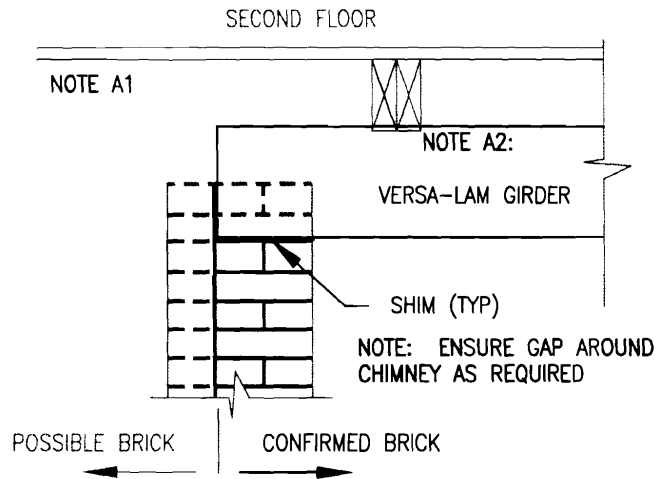
SEISMIC IMPORTANCE FACTOR, I_e	1.0
SEISMIC USE GROUP	I
SHORT-PERIOD RESPONSE ACCELERATION	0.37
1-SECOND RESPONSE ACCELERATION	0.10
SEISMIC DESIGN CATEGORY	C
BASIC SEISMIC FORCE-RESISTING SYSTEM	SHEAR WALLS
RESPONSE MODIFICATION FACTOR	1.5
ANALYSIS PROCEDURE:	EQUIVALENT LATERAL FORCE

LUMBER AND JOIST HANGERS

1. ALL COMPOSITE LUMBER USED ON THIS JOB SHALL BE VERSA-LAM ENGINEERED WOOD PRODUCTS. BENDING STRESS $F_b = 3100$ psi. FRAMING LUMBER USED FOR OTHER WALL AND ROUGH CARPETING SHALL BE SPRUCE-PINE-FIR NO. 2 OR BETTER, KILN DRIED TO A MOISTURE CONTENT OF 19 PERCENT. FASTENERS TO ATTACH VERSA-LAM MEMBERS SHALL BE MANUFACTURED BY FASTENMASTER INC., AGAWAM, MA (1-800-541-4373).
2. ALL JOIST HANGERS, HURRICANE TIES, AND ATTACHMENT HARDWARE SHALL BE AS SPECIFIED, MANUFACTURED BY SIMPSON STRONG-TIE. CONNECTORS SHALL MEET SIMPSON STRONG-TIE REQUIREMENTS.
3. SPECIAL ATTENTION SHOULD BE TAKEN TO INSTALL FASTENERS AS SHOWN ON THE DRAWINGS.
4. WHEN FASTENING INTO EXISTING LUMBER, IT MAY BE NECESSARY TO PREDRILL HOLES SO THAT NAILS OR SCREWS DO NOT CRACK EXISTING FRAMING. FASTENER ALIGNMENT, TEMPORARILY PIN JOIST HANGER IN PLACE.
5. NEW STRUCTURAL FRAMING INSTALLATION SHOULD OCCUR BEFORE FINISH CARPENTRY AND FINISH PAINTING SHOULD BE APPLIED. SHORING IS REMOVED.
6. KEEP LUMBER STORED ON SITE OFF OF THE GROUND BY USING BLOCKS. STORE OUT OF DIRECT SUNLIGHT TO DIMINISH UNEVEN DRYING.
7. DO NOT NOTCH JOISTS IN THE MIDDLE-THIRD OF THEIR SPAN. TO REPAIR EXISTING, NOTCHED JOISTS AND RAFTERS BY "SISTERING" WITH NEW MATERIAL OF THE SAME DEPTH. GLUE AND SCREW NEW MATERIAL TO THE EXISTING MATERIAL. PREDRILL HOLES INTO ADDED PIECES TO PROVIDE PRE-DRILLING FOR EXISTING MATERIAL. REFER TO PLANS AND DETAILS FOR CONNECTIONS.

SPECIAL NOTES TO BUILDER

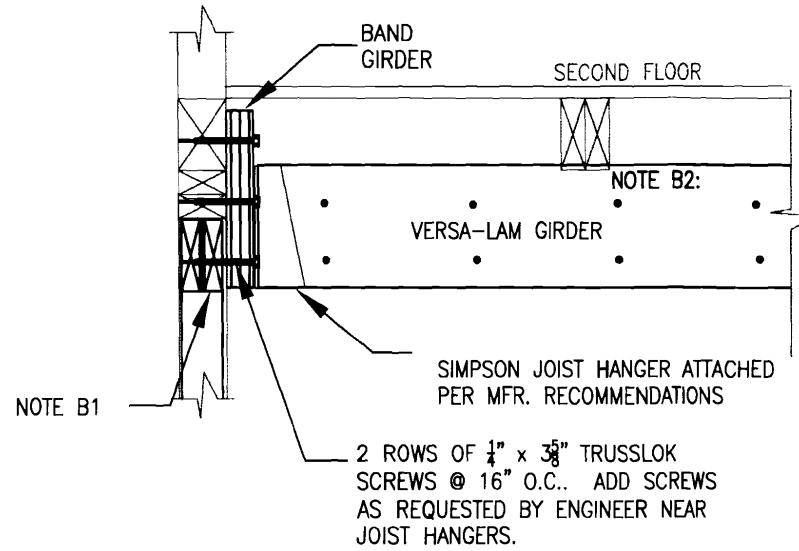
1. THE SCOPE FOR THIS PROJECT ENTAILS MODIFYING THE EXISTING SECOND FLOOR LEVEL SURFACE FOR THE NEW FIRST FLOOR CEILING, WHILE LEAVING THE SECOND FLOOR AND ROOF, AS NECESSARY.
2. IN ORDER TO NOT SIGNIFICANTLY PRESTRESS THE NEW FRAMING, SECOND FLOOR FINISHES, THE EXISTING SECOND FLOOR JOISTS SHALL BE JACKED, DESPITE THE VARYING LEVEL OF THE FLOOR FRAMING. JACKING SHOULD OCCUR SLOWLY, SO AS NOT TO CRACK EXISTING FINISHES. CARE SHOULD BE TAKEN TO AVOID CRACKING EXISTING FINISHES. MAY OCCUR BENEATH SUGGESTED TEMPORARY SHORING, PROCEED WITH CARE. IS ENCOUNTERED WHEN JACKING.
3. BECAUSE OF THE ANTICIPATED MECHANICAL, ELECTRICAL, AND PLUMBING WORK FOR THIS HOUSE, THE ENGINEER SHOULD BE NOTIFIED BEFORE ANY WORK IS DONE INTO THE FRAMING OR NOTCH FRAMING.



SECTION A-A

SCALE: 3/4" = 1'-0"

- NOTE A1: ENSURE GAP AROUND CHIMNEY AS REQUIRED
 NOTE A2: INSTALL 2x4 LEDGER WHERE NOTCH DEPTH EXCEEDS 3/4"



SECTION B-B

SCALE: 3/4" = 1'-0"

- NOTE B1: INSTALL JACK STUDS AND HEADERS LOCALLY BEHIND BAND GIRDER IF REQUIRED NEAR HANGERS
 NOTE B2: INSTALL 2x4 LEDGER WHERE NOTCH DEPTH EXCEEDS 3/4"

NOTE C1: INSTAL