

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

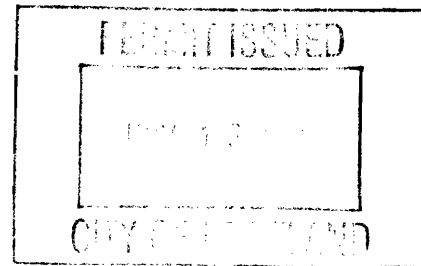
Permit No: 07-1280	Issue Date: 11/05/07	CBL: 090 J002001
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Location of Construction: 60 OAKLAWN RD, P.I.	Owner Name: WILLIAMS TIMOTHY & ELIZAB	Owner Address: 200 S MAYA PALM DR	Phone:
Business Name:	Contractor Name: Bill Bunton	Contractor Address: 87 Middle Road Cumberland	Phone: 2077740111
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IR-2

Past Use: Single Family Home	Proposed Use: Single Family Home - Existing 14' x 20' mudroom rebuild as 1½ story w/ storage & Laundry above	Permit Fee: \$1,270.00	Cost of Work: \$125,000.00	CEO District: 2
Proposed Project Description: Existing 14' x 20' mudroom rebuild as 1½ story w/ storage & Laundry above		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: SB IRC-2003	
		Signature: [Signature]		Signature: [Signature]
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Idobson	Date Applied For: 10/10/2007	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>part of house being added to is 25' beyond 75' setback line</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 15 - Zone C</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>using section 14-436(b) using 11700' allowed with this</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 10/26/07 <i>AKW</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING INSPECTION
PERMIT

Permit Number: 071280

This is to certify that WILLIAMS TIMOTHY & ELIZABETH ITS/Bill Buntonhas permission to Existing 14' x 20' mudroom build as 1 story storage & laundry aboveAT 60 OAKLAWN RD

L 090 J002001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or service is provided. 4 HOUR NOTICE REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Chris M 11/05/2007
 Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

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Permit No: 07-1280	Date Applied For: 10/10/2007	CBL: 090 J002001
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Location of Construction: 60 OAKLAWN RD	Owner Name: WILLIAMS TIMOTHY & ELIZAB	Owner Address: 200 S MAYA PALM DR	Phone:
Business Name:	Contractor Name: Bill Bunton	Contractor Address: 87 Middle Road Cumberland	Phone (207) 774-0111
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Demo existing 14' x 20' mudroom & rebuild as 1½ story w/ storage & Laundry above & expand existing 12' x 12' deck to 20'7" x 13.5' deck	Proposed Project Description: Demo existing 14' x 20' mudroom & rebuild as 1½ story w/ storage & Laundry above & expand existing 12' x 12' deck to 20'7" x 13.5' deck
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 10/26/2007
Note: Section 14-436(b) allows for an 80% increase on existing footprint. 80% of existing footprint is 2041 sf. **Ok to Issue:**
Half stoy that is being added is 180 sf. This addition is using 11% of the allowable 80% increase.

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Chris Hanson **Approval Date:** 11/05/2007
Note: **Ok to Issue:**

- 1) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approrval prior to work.
- 2) Fastener schedule per the IRC 2003
- 3) The design load spec sheets for any engineered beam(s) must be submitted to this office.
- 4) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.



General Building Permit Application


If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>60 OAKLAWN RD, PEAKS ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>EXIST: 2,590 SF, TOTAL W/NEW = 2,737 SF</u>	Square Footage of Lot <u>26,372</u>	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>90 - 5 - 2</u>	Applicant * <u>must be owner, Lessee or Buyer</u> * Name <u>TIM & LIZ WILLIAMS</u> Address <u>200 SOUTH MAYA PALM DRIVE</u> City, State & Zip <u>BOLA RATON, FL 33432</u>	Telephone: <u>LIZ: 207-730-0002</u> <u>(OR WILL WINKELMAN)</u> <u>C 201-699-2998 x100</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name <u>(LOCAL AGENT:)</u> <u>WILL WINKELMAN</u> Address <u>WINKELMAN ARCHITECTURE</u> <u>41 UNION WHARF, STE 4</u> City, State & Zip <u>PORTLAND, ME 04101</u>	Cost Of Work: \$ <u>125,000.</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>EXIST, ONE STORY MUDROOM REBUILD AS 1 1/2 STORY WITH LAUNDRY + STORAGE ABOVE</u> <u>14'x20'</u> <u>14'x20' (ON SAME FOOTPRINT)</u>		
Contractor's name: <u>BILL BUNTON</u> Address: <u>87 MIDDLE RD</u> City, State & Zip <u>CUMBERLAND, ME 04021</u> Telephone: <u>653-7650</u> Who should we contact when the permit is ready: <u>ARCHITECT: WILL WINKELMAN</u> Telephone: <u>699-2998</u> Mailing address: <u>WINKELMAN ARCHITECTURE: 41 UNION WHARF, STE 4, PORTLAND, 04101</u> <u>x100</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature:  Date: 10.9.07

DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, ME

This is not a permit; you may not commence ANY work until the permit is issued **OCT 10 2007**

RECEIVED



New Residential Single Family Permit Application Checklist

All of the following information is required and must be submitted. Checking off each item as you prepare your application package will ensure your package is complete and will help to expedite the permitting process.

The Maine Home Construction Contracts Act requires that any home construction or repair work for more than \$3000. in materials or labor must be based on a written contract unless the parties agree to exempt themselves. A sample contract is available on the City's website at www.portlandmaine.gov, in the Inspection Office, Room 315 of Portland City Hall or call (207)874-8703 to have one mailed to you.

All new two-family residential developments will be required to go through the minor site plan review process.

One (1) complete set of construction drawings must include:

- Cross sections w/framing details
- Floor plans and elevations to scale
- Stair details including dimensions of: rise/run, head room, guards/handrails, baluster spacing
- Window and door schedules
- Foundation plans w/required drainage and damp proofing (if applicable)
- Detail egress requirements and fire separation (if applicable)
- Insulation R-factors of walls, ceilings & floors & U-factors of windows per the IECC 2003
- Deck construction including: pier layout, framing, fastenings, guards, stair dimensions
- Reduced plans or electronic files in pdf format are required if originals are larger than 11" x 17"
- Proof of ownership is required if it is inconsistent with the assessors records

Separate permits are required for internal & external plumbing, HVAC, and electrical installations.

SITE
PLAN

Four (4) copies of the boundary survey/site plan are required and must include:

- A stamped boundary survey to scale showing north arrow, zoning district & setbacks to a scale of $\geq 1" = 20'$. The boundary survey should include the following:
- The footprint of the proposed structure and the distance from the actual property lines. Structures include decks, porches, steps, bow windows, cantilever sections and roof overhangs, sheds, pools, garages, and any other accessory structures and must be shown to scale. Photocopies of the plat or hand drawn footprints not to scale will not be accepted. The footprint should be consistent with the building plan.
- Location and dimensions of parking areas and driveways
- Finish floor or sill elevation (based on mean sea level datum)
- Location of proposed utilities
- Existing and proposed grades/contours
- Silt fence (erosion control) locations
- Location of two required street trees
- Separate requirements may apply for lots on unimproved streets
- A reduced boundary survey/site plan is required if original is larger than 11' x 17"

Please submit all of the information outlined in this application checklist. If the application is incomplete, the application may be refused.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Permit Fee: \$30.00 for the first \$1000.00 construction cost, \$10.00 per additional \$1000.00 cost

Site plan review fee: \$300.00

This is not a Permit; you may not commence any work until the Permit is issued.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1

Parcel ID 090 J002001

Location 60 OAKLAWN RD

Land Use SINGLE FAMILY

Owner Address WILLIAMS TIMOTHY & ELIZABETH JTS
200 S MAYA PALM DR
BOCA RATON FL 33432

Book/Page 10336/303

Legal 90-J-2

OAKLAWN RD
PEAKS ISLAND
5130 SF

*SUBJECT
HOUSE
26,3724
John*

Current Assessed Valuation

Land	Building	Total
\$323,400	\$118,200	\$441,600

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
1906	Old Style	1.5	2082	0.118	4	2		8	None	Pier/slab

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1998	8X12	B	G

Sales Information

Date	Type	Price	Book/Page
09/01/1992	LAND + BLDING	\$205,000	10336-303

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[New Search!](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1

Parcel ID 090 J009001

Location 488 ISLAND AVE

Land Use VACANT LAND

Owner Address WILLIAMS TIMOTHY & ELIZABETH
200 S MAYA PALM DR
BOCA RATON FL 33432

Book/Page 11324/336

Legal 90-J-9

ISLAND AVE
PEAKS ISLAND
21242 SF

(LAND, VACANT)

Current Assessed Valuation

Land	Building	Total
\$192,900	\$ 0.00	\$192,900

Property Information

Year Built	Style	Story	Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
					0.488						

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
03/09/1994	LAND + BLDING	\$40,000	11324-336

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[New Search!](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1

Parcel ID 090 J001001

Location 478 ISLAND AVE

Land Use SINGLE FAMILY

Owner Address WILLIAMS TIMOTHY A & ELIZABETH F JTS
200 S MAYA PALM DR
BOCA RATON FL 33432

Book/Page 14000/177

Legal 90-J-1

ISLAND AVE

OAKLAWN RD

PEAKS ISLAND 21008 SF

(NEIGHBOR STRUTMS)

Current Assessed Valuation

Land	Building	Total
\$375,900	\$111,100	\$487,000

Property Information

Year Built	Style	Story	Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement
1982	Ranch	1		1588	0.482	2	2		5	None	Full

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
SHED-METAL	1	1987	8X8	D	A

Sales Information

Date	Type	Price	Book/Page
07/01/1998	LAND + BLDING	\$203,000	14000-177
07/01/1998	LAND + BLDING		14000-175
07/01/1998	LAND + BLDING		14000-173

Picture and Sketch

[Picture](#) [Sketch](#) [Tax Map](#)

[Click here to view Tax Roll Information.](#)

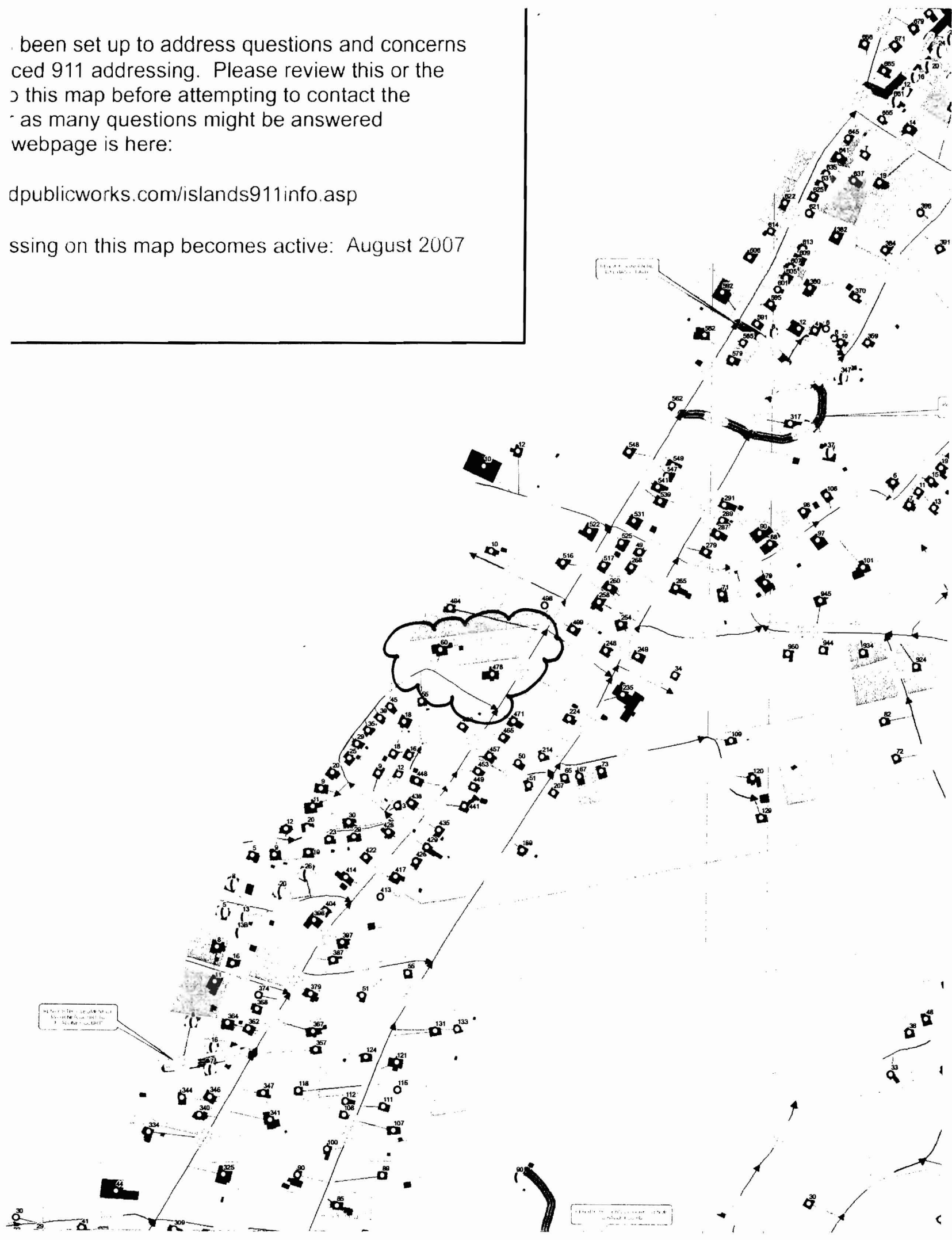
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[New Search!](#)

been set up to address questions and concerns
ced 911 addressing. Please review this or the
o this map before attempting to contact the
r as many questions might be answered
webpage is here:

dpublicworks.com/islands911info.asp

ssing on this map becomes active: August 2007



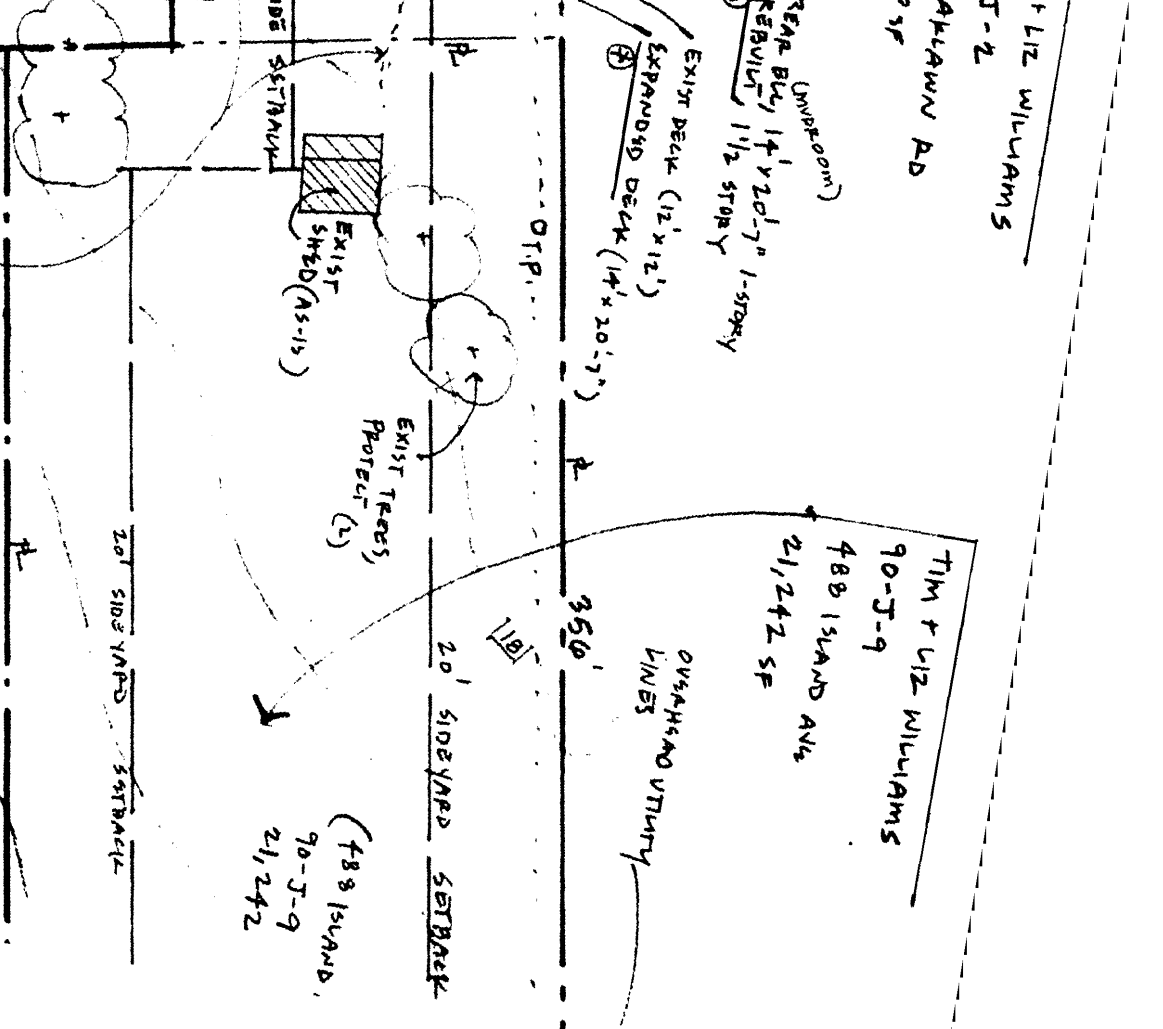
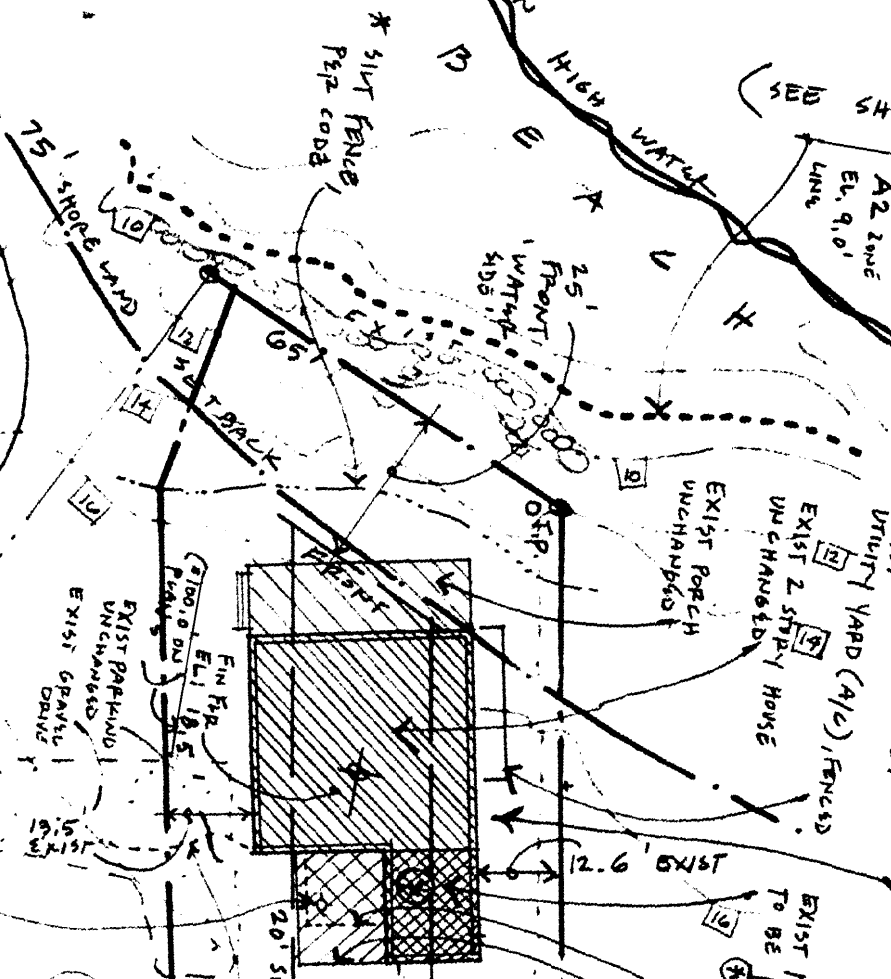
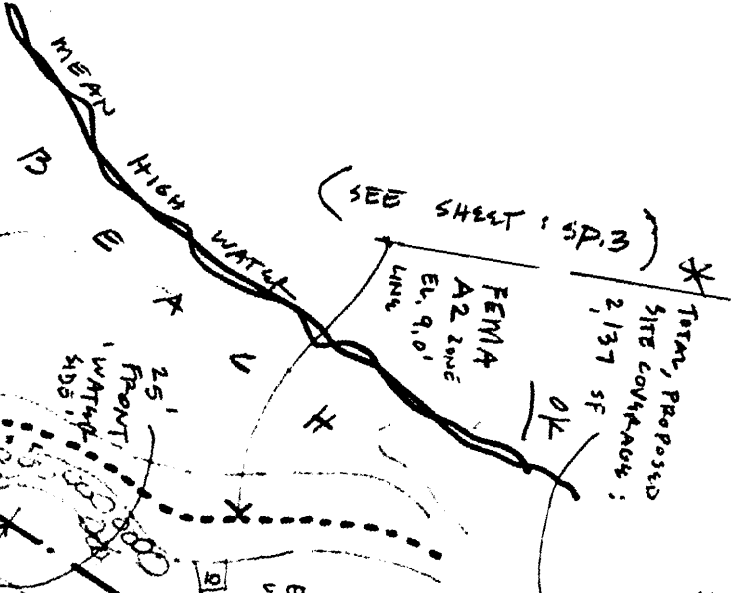
(K)

* Total, Proposed
Site Coverage:
2,137 SF

* IP-2
60715 26,137.2 SF
x 20% Lot Coverage
5,227.4 MAX ALLOW
SF COVERAGE

TIM + LIZ WILLIAMS
90-J-2
60 OAKLAWN RD
5,130 SF

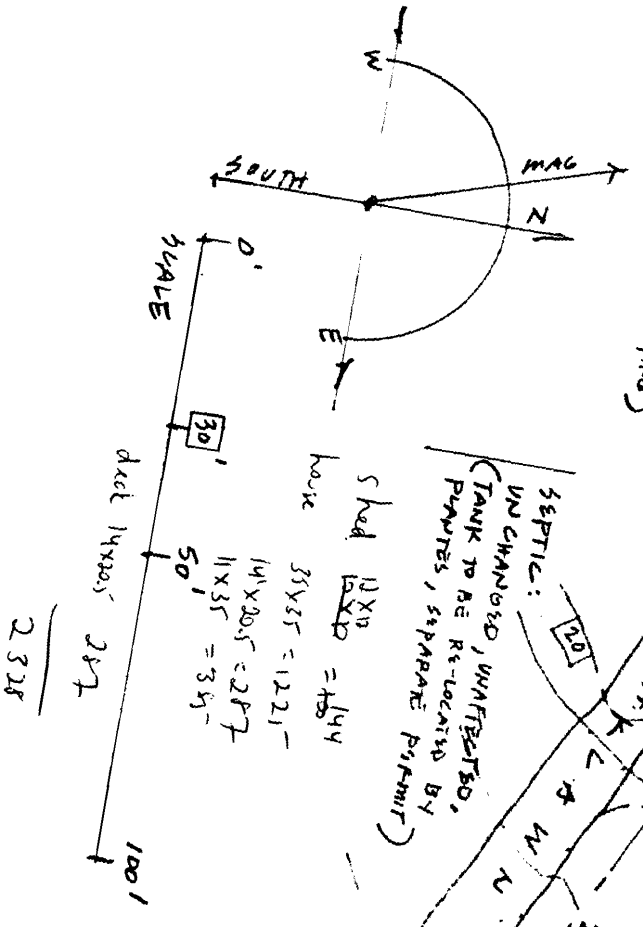
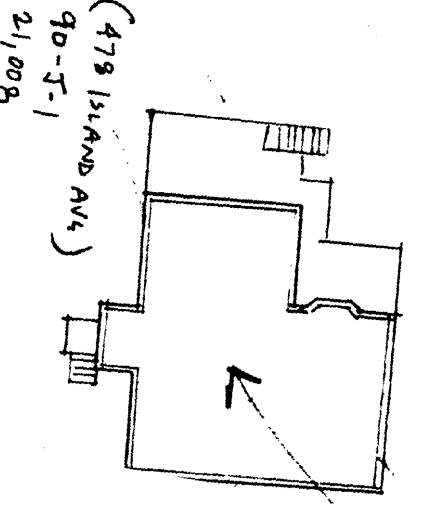
TIM + LIZ WILLIAMS
90-J-9
488 ISLAND AVE
21,242 SF



* ALL SITE PLAN INFO IS PER SURVEY BY: GENE SCHECH, PLS 181 (NORTHEASTERN LAND SURVEYING) 6.7.07

SEPTIC:
UN CHANGED, UNALTERED,
(TANK TO BE RE-LOCATED BY
OWNER, SEPARATE PERMIT)

GRADING:
UNCHANGED, ACCEPT RIGHT
AT DECK (GRADE TO DECK ONLY)



Sched 12X10
house = 454 SF
35X85 = 1225 SF
14'x20.5' = 287 SF
11'x35' = 385 SF
50' 100' 287' 2328'

80% 35x35 = 1225
 1x 35 = 35
 12x 12 = 144
 20.5x14 = 287

Adding 77
 10276

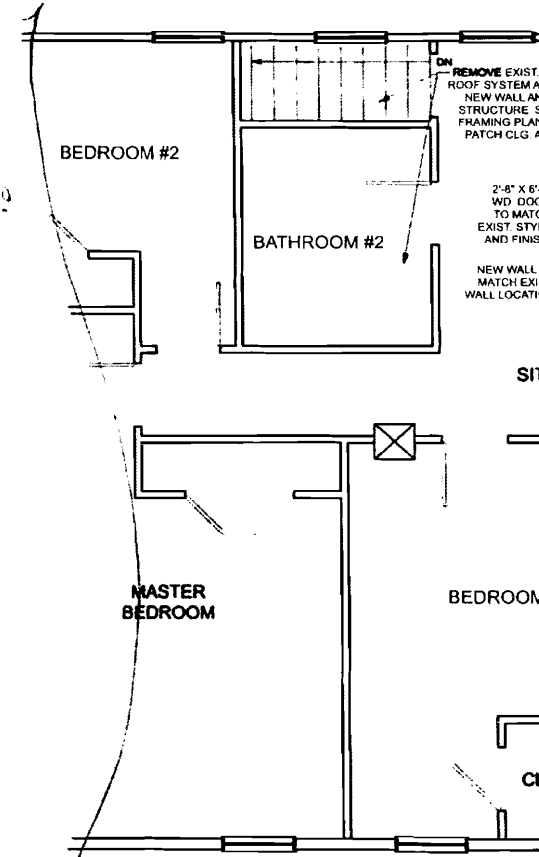
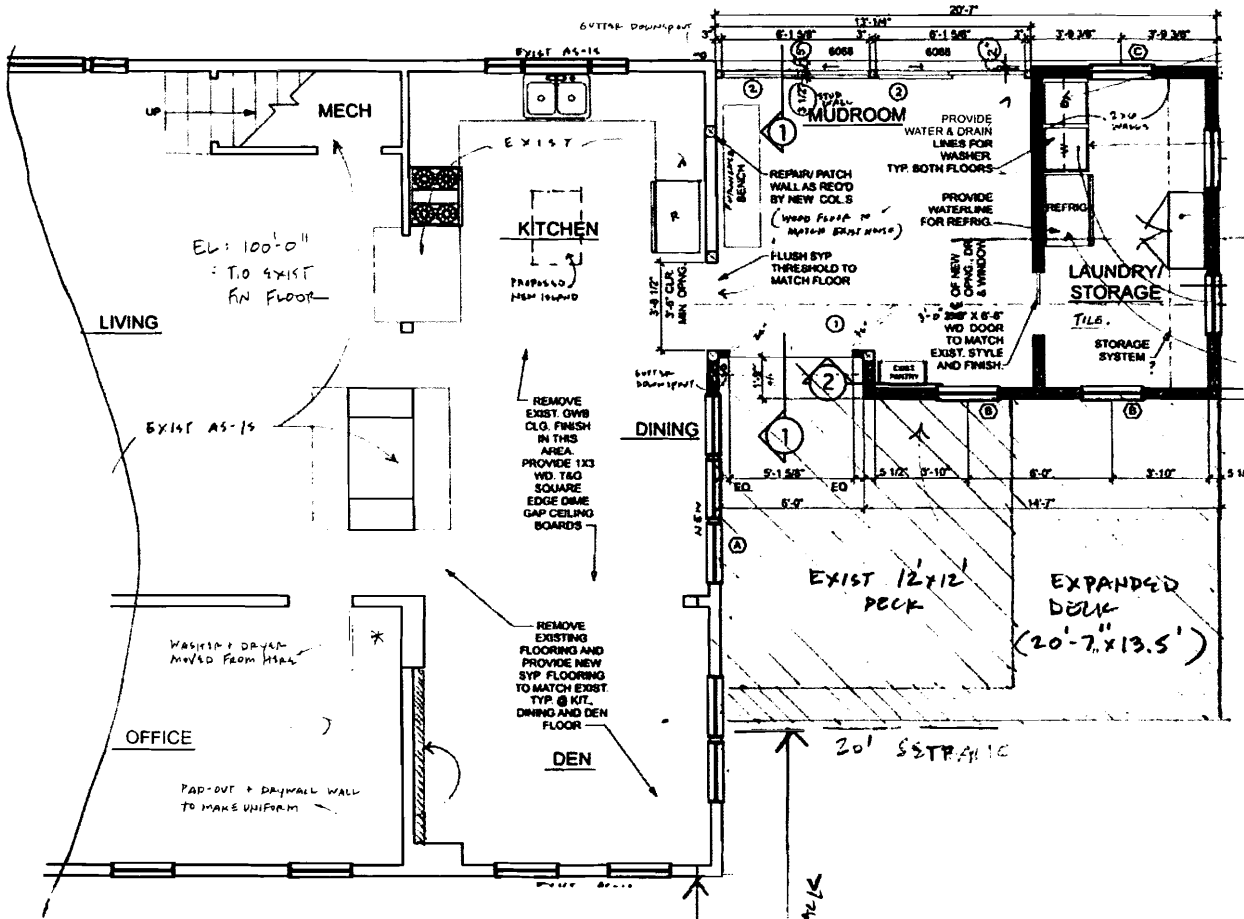
Using 11%
 17996 = 18000

2041 existing footprint

80% = 16328

PROPOSED 2ND FLOOR (PERM + CONDIT)

EXISTING 20'-7" x 14'
 MUDROOM, RE-BUILD ON SAME
 FOOTPRINT AS NEW MUDROOM



1ST FLOOR

13.5' EXIST
 20' SIDE SETBACK

EXIST: TOTAL EXIST DECKS + PORCHES
 ALL FLOOR AREA = 2982

ADD: +120 DECKS, 136 2ND FL.

TOTAL PROPOSED SITE COVERAGE = 1753 + 144 + 120 + 120 = 2137 SF
EXIST DECKS NEW DECKS 2x15F 2x14AS

TOTAL PROPOSED: 3239 SF



EXIST 1ST FLOOR (PERM + CONDIT)
 EXIST 2ND FLOOR = 1,085 SF.
 NEW 2ND FLOOR AREA: 38 SF



PER 14-430: BUILDING EXTS
 EXPANSION IS LIMITED TO 80% OF
 2ND FLOOR EXIST = 1,085 SF + 136 SF

EXIST



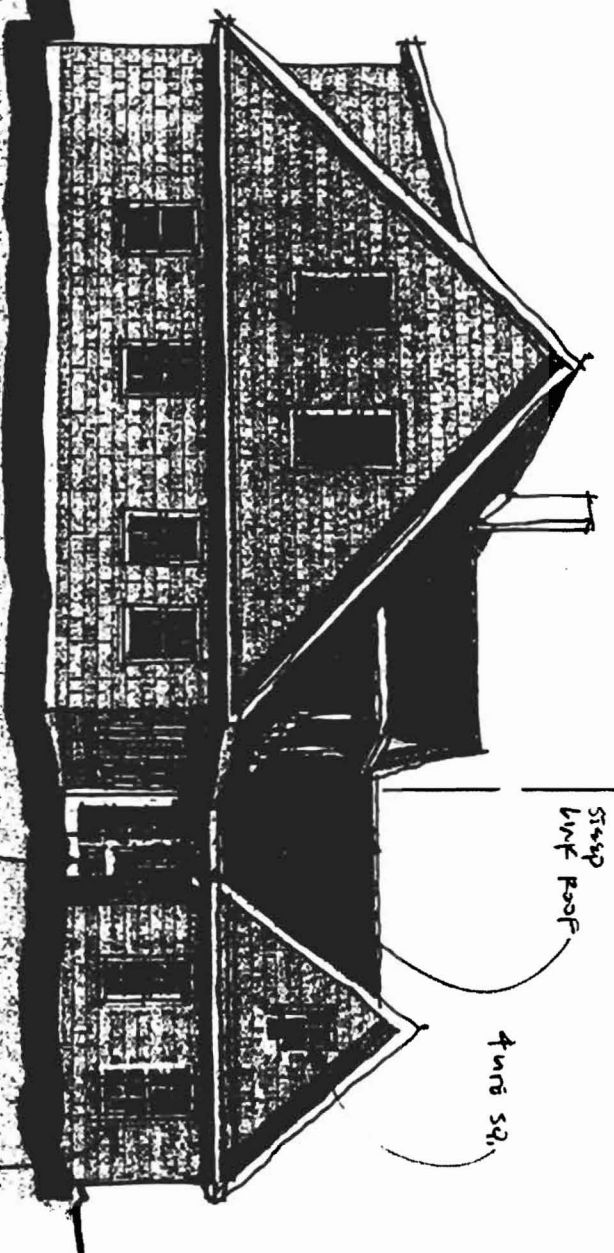
AREA OF WORK

E

EXIST AS-IS
* REBUILT AS 1 1/2 STORY

EMPTY PARTWAY - VIEW.

PROPOSED

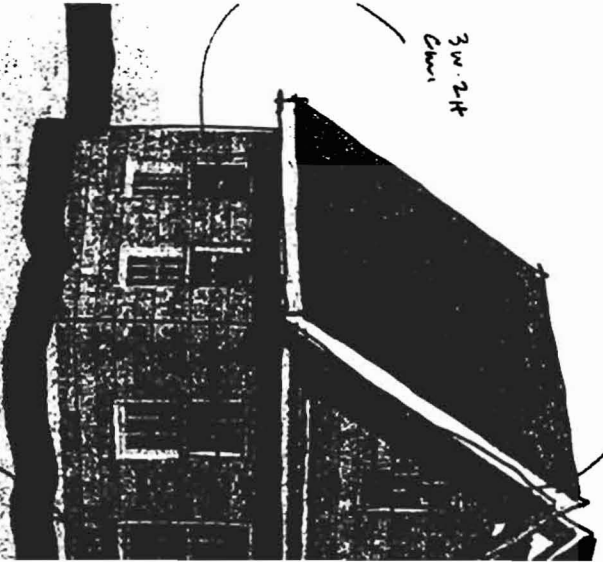


EMPTY *

2w x 2h
2w x 2h

4w x 5h

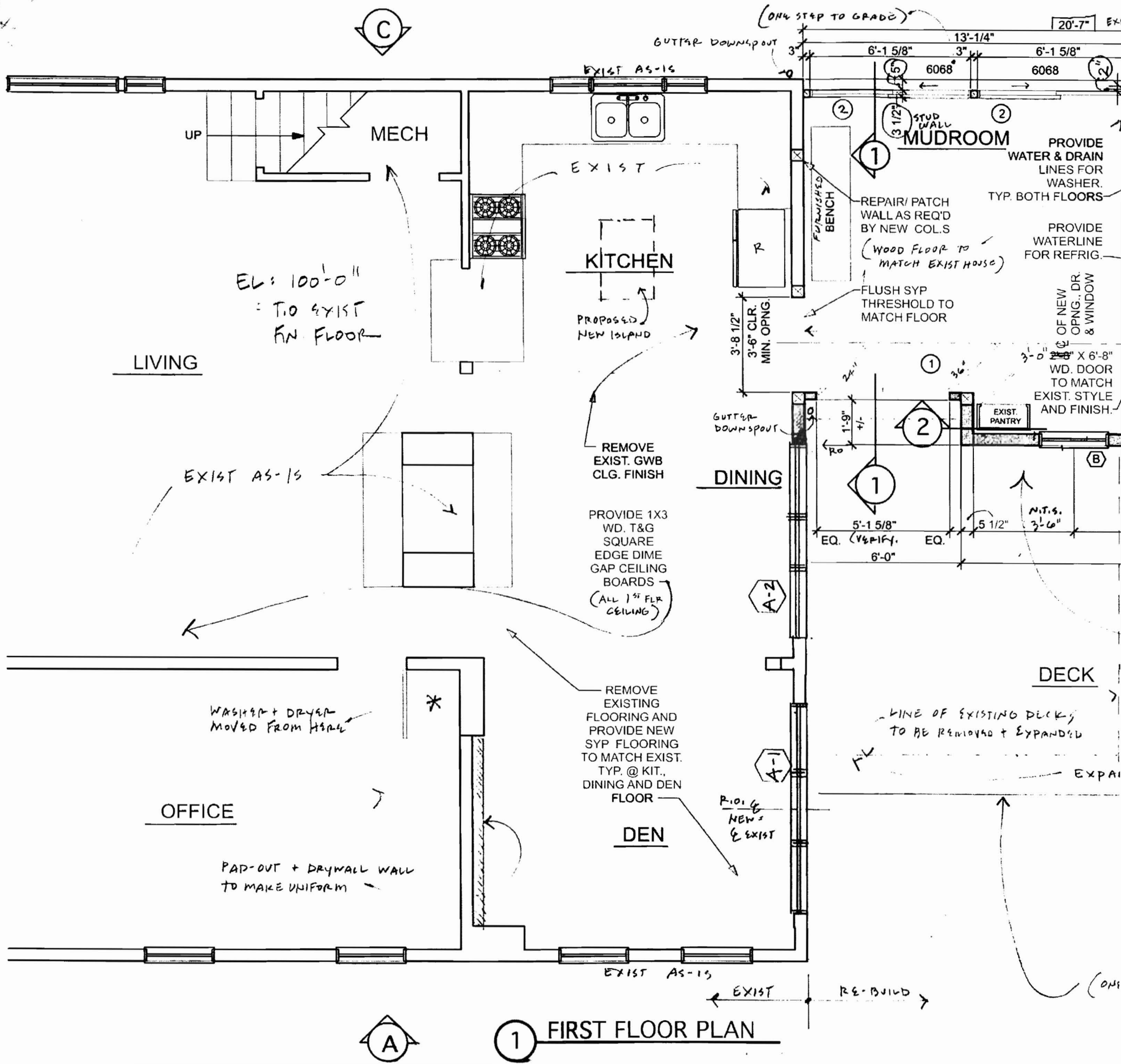
STEPPED GABLE ROOF



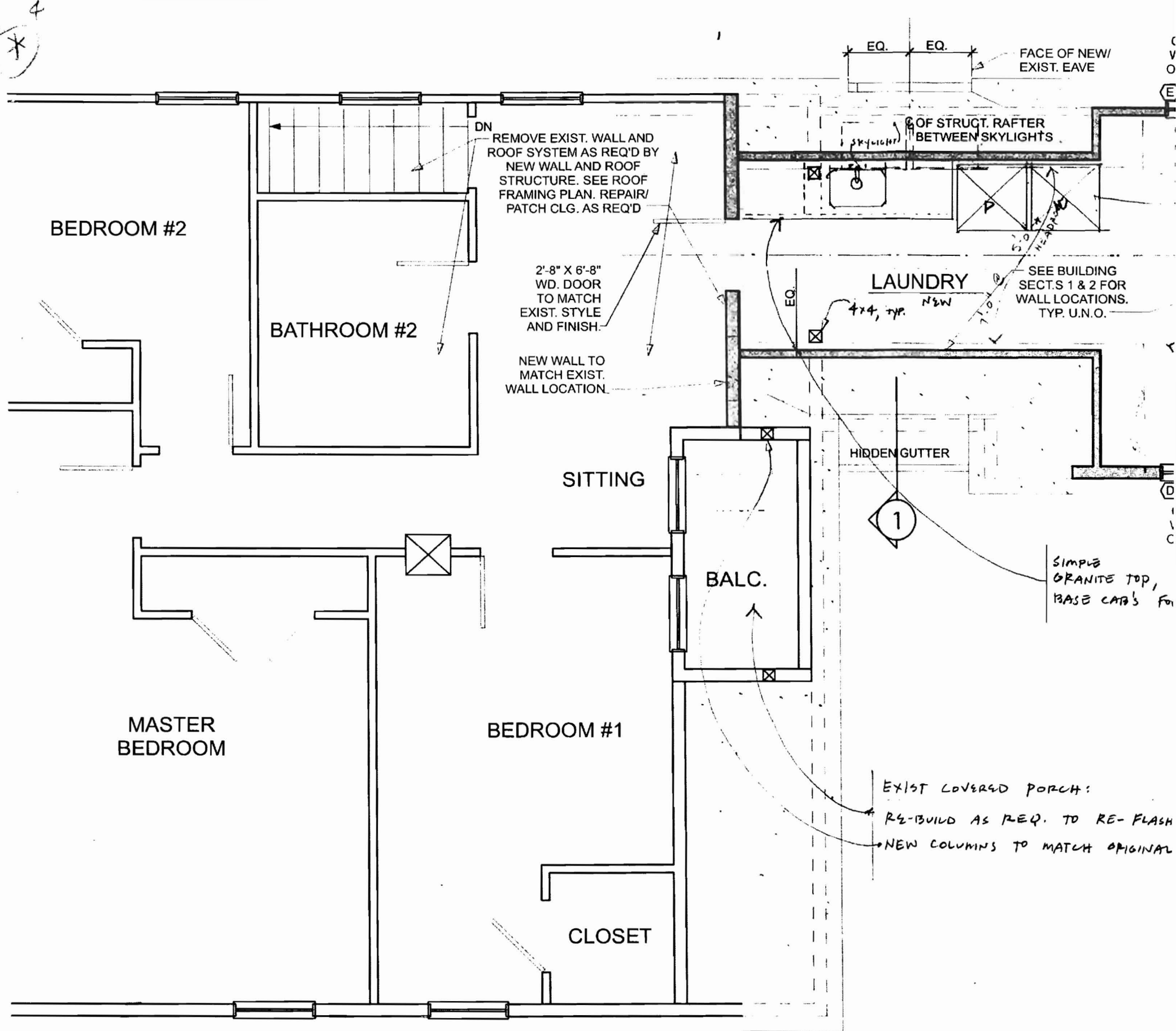
3w x 2h

STEPPED GABLE ROOF
2w x 3h

P



1 FIRST FLOOR PLAN



B SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

PELLA:

WINDOW/ SKYLIGHT SCHEDULE

(1) 3347 + (1) 23 5/8 47 + (1) 3347
DIRECT MULL.

(CUSTOM WIDTH)

QUANTITY:	TYPE:	SIZE (R.O.- W X H)	MODEL	TYPE	HEAD	MFR. / SERIES	NOTES
1	A-1	8'-3 3/4" x 3'-11 3/4"	(3) 3347	HUNG	MATCH EXIST ON SOUTH WALL	PELLA ARCH SERIES	ENDURA CLAD
1	A-2	6'-9 3/8" x 3'-11 3/4"	(3) UNITS W	HUNG	"	" "	3 LITE W
2	B	2'-0 1/2" x 3'-11 3/4"	(1) 23 5/8 47	HUNG	6'-10 1/2" A.F.F.	" "	CUSTOM U
3	C	1'-11 3/4" x 2'-1 3/4"	(1) 2325	AWNING	6'-10 1/2" A.F.F.	" "	
1	D	1'-2 3/4" x 2'-1 3/4"	(1) 1425	CASEMENT	4'-3" A. PLY SUB FUR.	" "	CUSTOM U
1	E	1'-11 3/4" x 2'-11 3/4"	(1) 2335	CASEMENT	4'-3" A. PLY SUB FUR.	" "	
	SKYLIGHT						
	F	2'-6 9/16" x 3'-2 7/8"	VS 304 (2 UNITS W/FLASHING KIT)	MANUAL-VENTING	SEE SECTION 1.	VELUX- DECK MOUNTED- VENTING	LAMINATED

VELUX:

NOTES: * LITE CUTS ARE PER ELEVATIONS. AUTHENTIC DIVIDED BARS W/ SPACER BAR. SEACAST HDW. 1/2 H.

1. ALL WINDOW UNITS TO BE PELLA ENDURA CLAD, ARCHITECT SERIES, PREPRIMED WOOD INTERIOR FOR PAINTED FINISH APPLIED IN FIELD. PROVIDE INSULATED LOW-E ARGON FILLED GLAZING (U-FACTOR= .35), W/ LITES TO MATCH EXISTING, UNLESS INDICATED OTHERWISE. VERIFY ALL WINDOW OPTIONS FOR EACH WINDOW WITH OWNER PRIOR TO ORDERING. PROVIDE SHOP DRAWINGS FOR ARCHITECT'S APPROVAL PRIOR TO ORDERING.

2. VERIFY ALL WINDOW R.O. DIMENSIONS PRIOR TO ROUGH FRAMING INSTALLATION.

3. VERIFY ALL FRAMING R.O. DIMENSIONS PRIOR TO ORDERING WINDOWS.

4. WINDOWS: EXTERIOR COLOR SHALL MATCH EXISTING. HARDWARE AND INSECT SCREEN FRAME COLOR SHALL BE DETERMINED BY OWNER & ARCHITECT.

5. VERIFY IN FIELD TEMPERED GLAZING REQUIREMENTS FOR WINDOWS A AND B

EXTERIOR DOOR SCHEDULE

MARVIN:

DOOR	R.O.	TYPE	MFR. / SERIES	NOTES
1	5'-1 5/8" X 7'-2 1/2" A.F.F.	PAIR- 2'-0" W inactive & 3'-0" W active leaf	MARVIN- CLAD ULTIMATE INSWING FRENCH DOOR	PROVIDE SCREEN DOOR AND MAHAGONY OVERLAY AT SILL.
2	6'-1 5/8" X 6'-10 1/2" A.F.F.	SLIDING (2 UNITS, SEPARATE)	MARVIN- CLAD ULTIMATE SLIDING FRENCH DOOR	PROVIDE SCREEN DOOR & EXTENSION SILL AT EXTERIOR TO COVER FNDN. WALL. PROVIDE MAHAGONY OVERLAY AT SILL.

PASSIVE SIDE: DEAD B.
NO SCREEN DOOR.

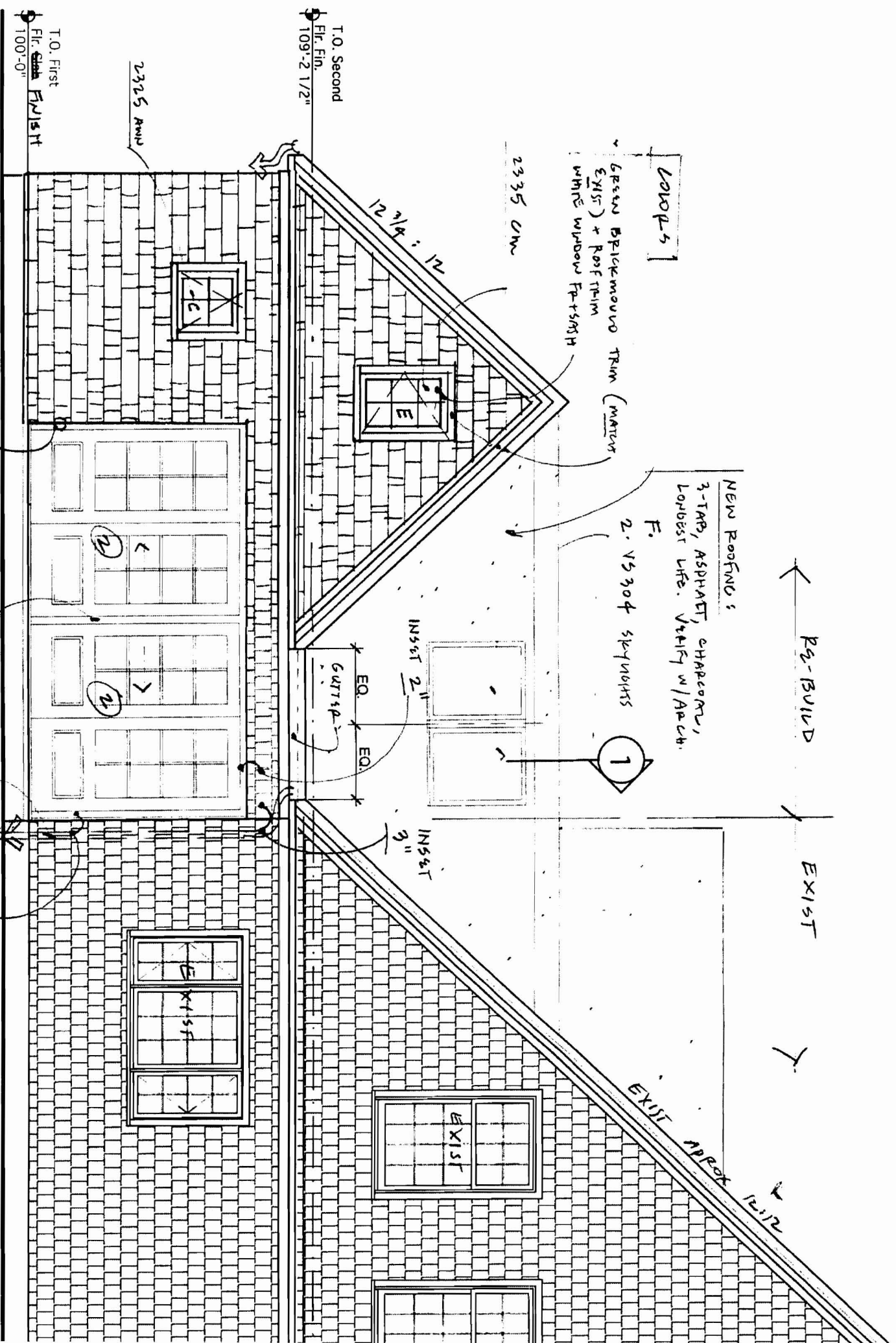
NOTES:

1. ALL WINDOW UNITS TO BE PREPRIMED WOOD INTERIOR FOR PAINTED FINISH APPLIED IN FIELD. PROVIDE INSULATED LOW-E ARGON FILLED GLAZING, W/ LITES TO MATCH EXISTING, UNLESS INDICATED OTHERWISE. VERIFY ALL WINDOW OPTIONS FOR EACH DOOR WITH OWNER PRIOR TO ORDERING.

2. VERIFY ALL DOOR R.O. DIMENSIONS PRIOR TO ROUGH FRAMING INSTALLATION.

3. VERIFY ALL FRAMING R.O. DIMENSIONS PRIOR TO ORDERING WINDOWS.

4. DOORS: EXTERIOR COLOR TO BE DETERMINED. HARDWARE AND INSECT SCREEN FRAME COLOR SHALL BE DETERMINED BY OWNER & ARCHITECT.



C NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

INSIST 5" (SHIMONS RETURN, AGAINST GREEN FLAT CN)
 DOWNSPOUT

INSIST 2"
 (2) STRODS

EQ. EQ.
 GUTTER

INSIST 2"

INSIST 3"

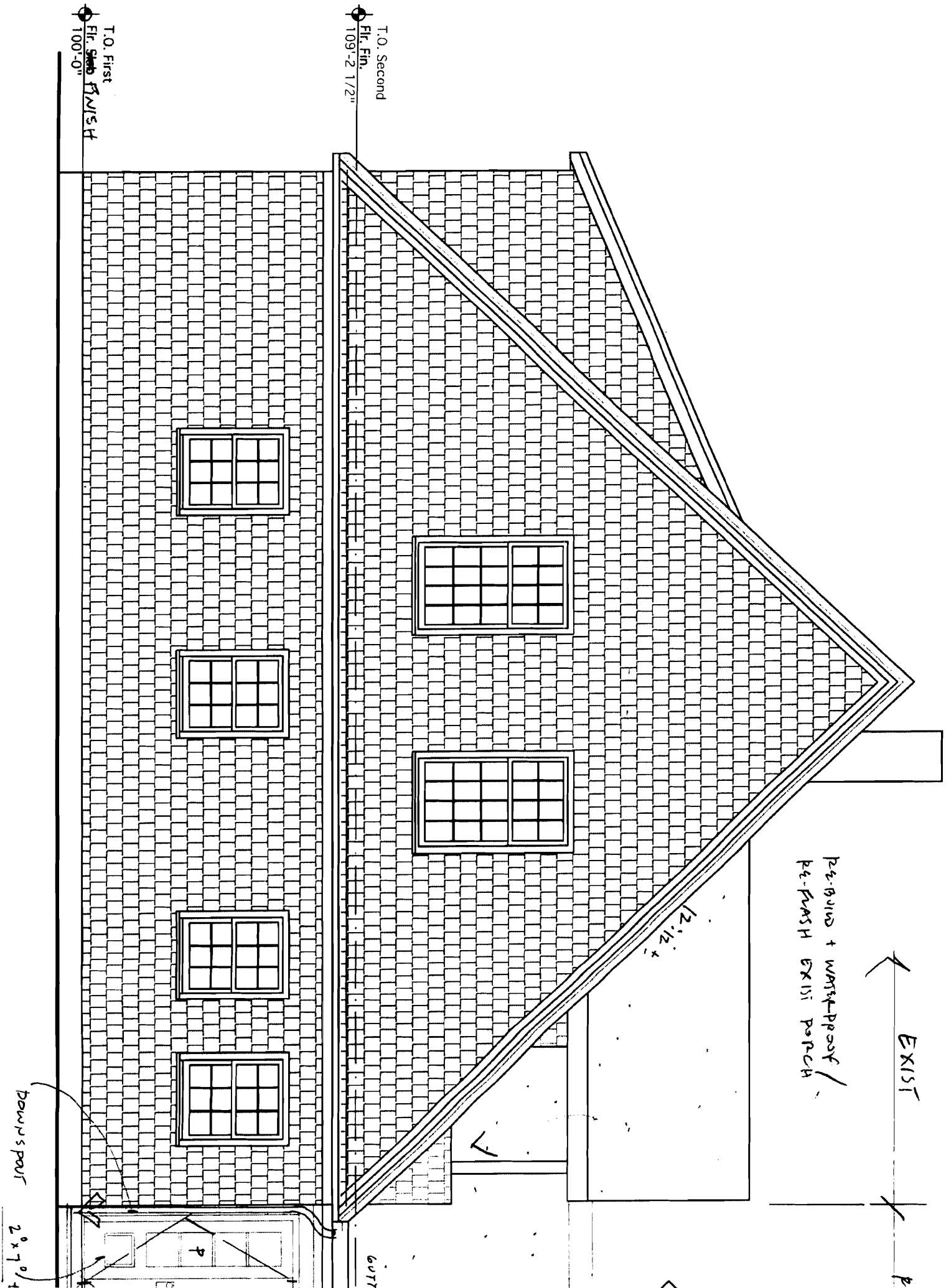
EXIST APPROX 12 1/2

← RE-BUILD

EXIST

T.O. First
 Fin. Slab Finish
 100'-0"

T.O. Second
 Fin. Fin.
 109'-2 1/2"



T.O. Second
 Flr. Fin.
 109'-2 1/2"

T.O. First
 Flr. Finish
 100'-0"

A

SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

down's pour

2' x 7' 0"

GUTT

RE-GRIND + WATER-PROOF /
 RE-FINISH EXIST PORCH

EXIST

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 60 Oak Lawn - Peaks Isl (90 J 2)		Owner: Timothy & Eliz Williams	Phone:	Permit # 60326
Owner Address: 1098 W Royal Palm Rd - Boca Raton FL 33486		Leasee/Buyer's Name:	Phone:	Business Name:
Contractor Name: * Will Winkelman Architects		Address: 500 Seashore Ave - Peaks Island ME 04108		Phone: 766-5669
Past Use: 1-fam		Proposed Use: 1-fam w porch	COST OF WORK: \$ 14,000	PERMIT FEE: \$ 90
Proposed Project Description: construct porch		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: Type:
Signature:		Signature:		Zone: CBL: TR-2 90-312
Permit Taken By: L Chase		Date Applied For: 4/24/96		Zone Approval: OK 4/25/96
<ol style="list-style-type: none"> This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. 		PEDESTRIAN ACTIVITIES DISTRICT (P.U.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Signature: Date:		Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied
SPECIAL ZONE OR REVIEW: <input checked="" type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <input type="checkbox"/> major <input type="checkbox"/> minor <input type="checkbox"/> mm		HISTORIC PRESERVATION: <input type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: 4/25/96		CITY OF PORTLAND MAY - 1 1996

PERMIT ISSUED WITH LETTER

CERTIFICATION

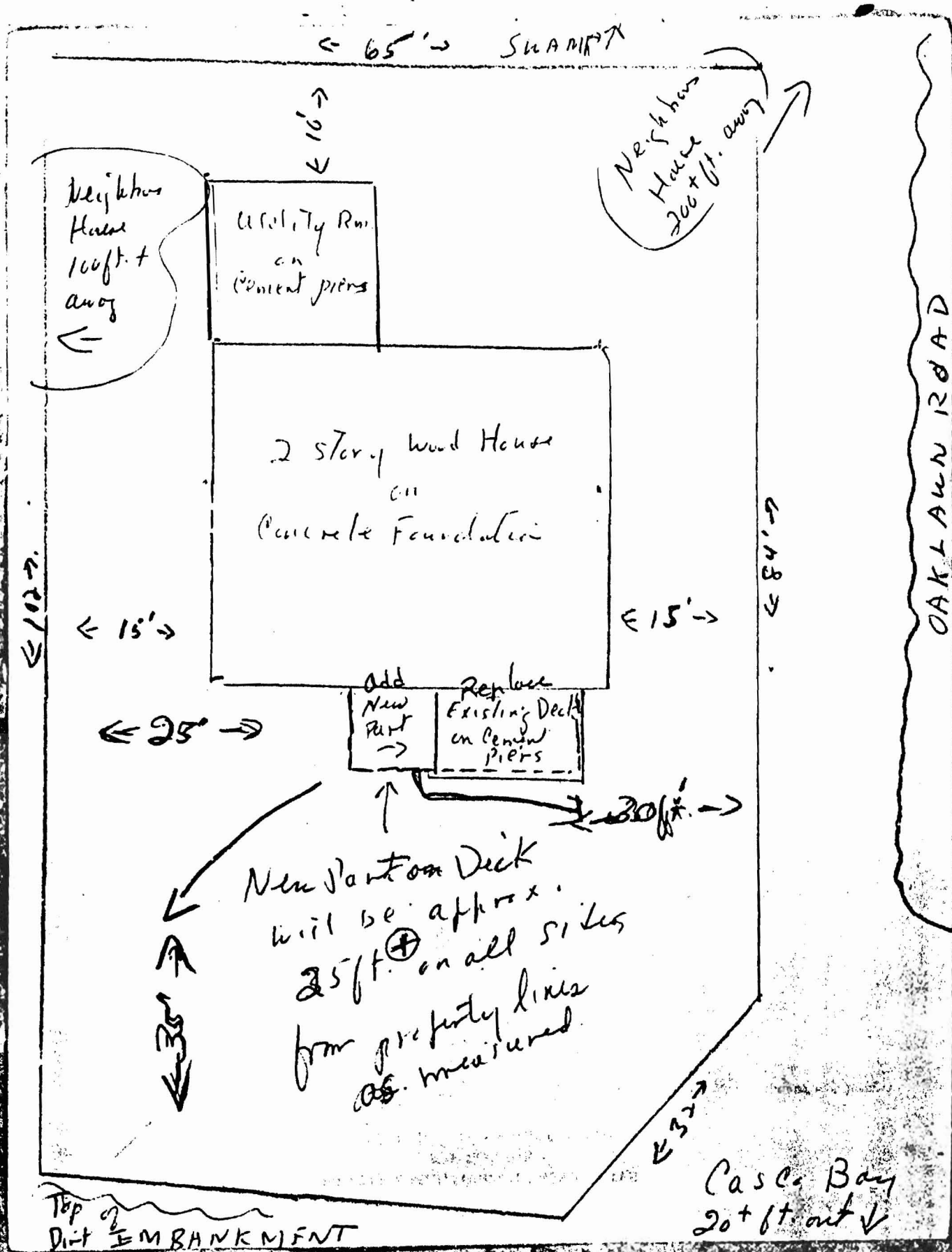
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT: *[Signature]* ADDRESS: DATE: 4/24/96 PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE: PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

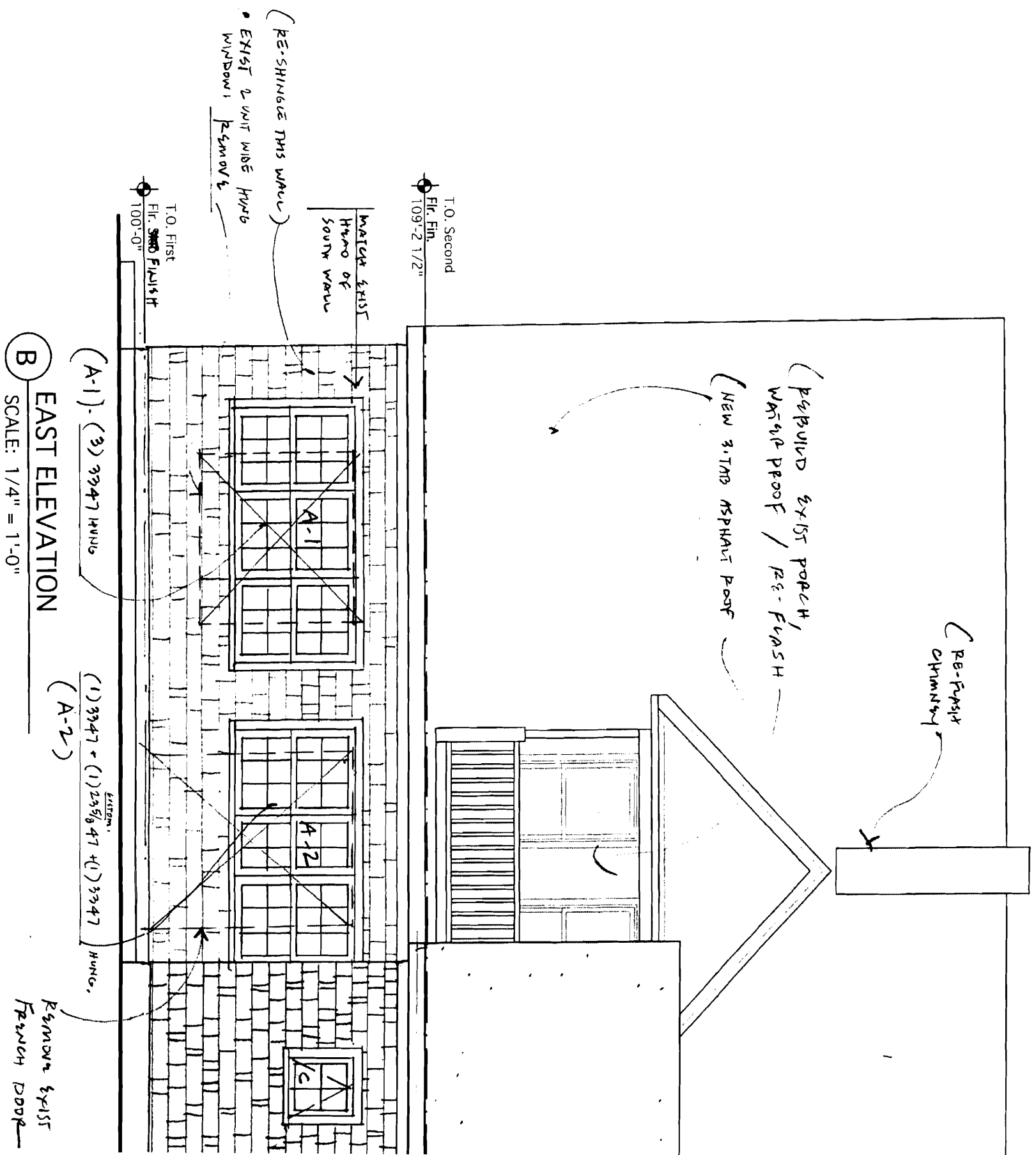
CEO DISTRICT **6**
A. Rowe



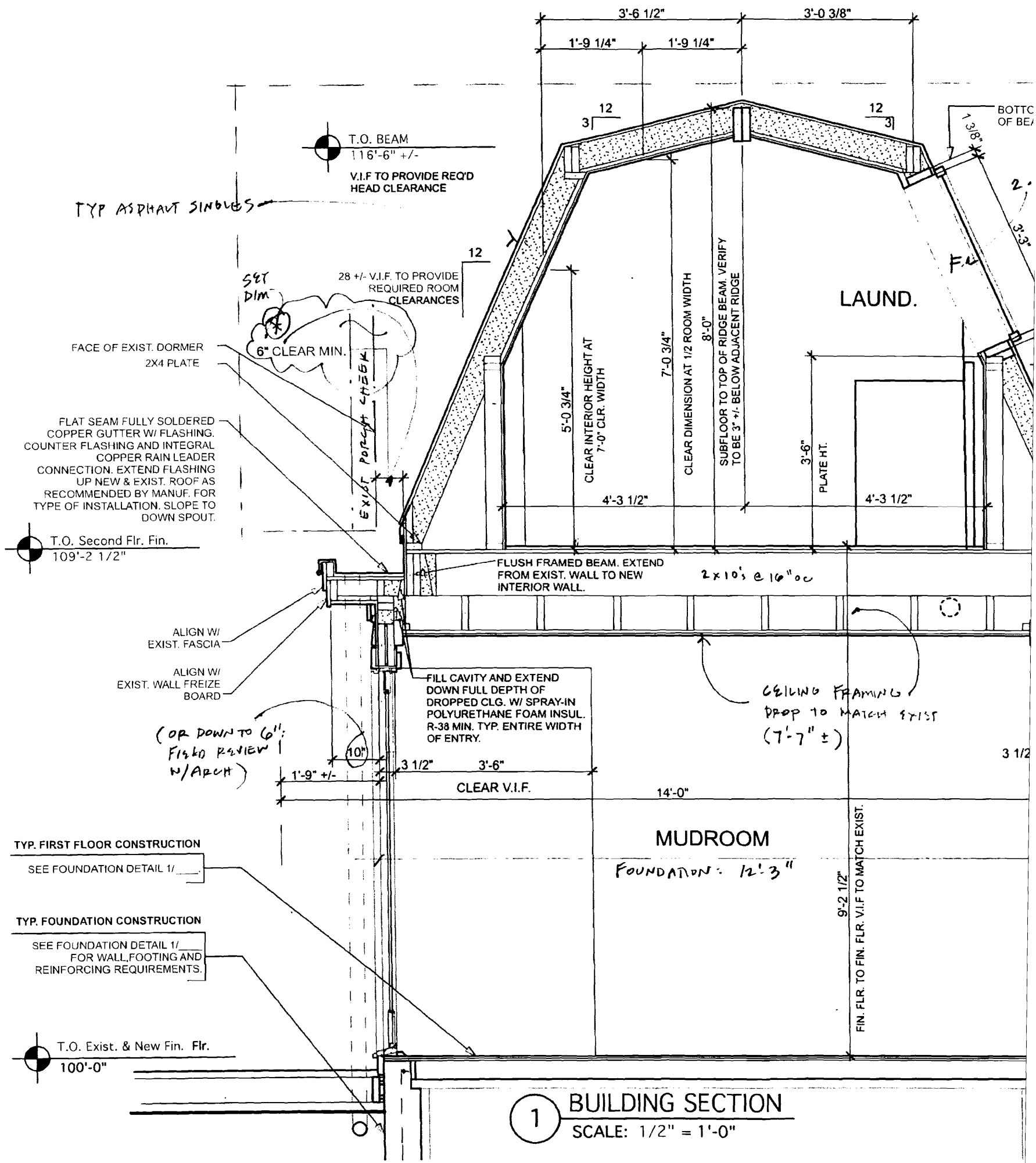
Applicant: Will Winkelman
Address: 60 OnLawn, Peaks Island
Assessors No.: 90-J-2
Date: 4/25/96

CHECK LIST AGAINST ZONING ORDINANCE

Date - Existing 1906
Zone Location - IK-2
Interior or corner lot -
Use - Expand porch $\approx 3' \times 18' = 54\text{ft}^2$ less than 30%
Sewage Disposal -
Rear Yards - 25' req - 25' + shown
Side Yards - 20' req - existing on one side - 20' shown on other
Front Yards -
Projections -
Height -
Lot Area -
Building Area -
Area per Family -
Width of Lot -
Lot Frontage -
Off-street Parking -
Loading Bays -
Site Plan - N/A
Shoreland Zoning - yes - within 75' of high water (ocean & stream)
Flood Plains - Can not expand more than 30% of the total existing footprint that is within the 75' setback which is approx 240ft. $\times 30\% = 72\text{ft}^2$ No more



9



TYP ASPHALT SHINGLES

T.O. BEAM
116'-6" +/-
V.I.F TO PROVIDE REQ'D
HEAD CLEARANCE

SET
DIM

28 +/- V.I.F. TO PROVIDE
REQUIRED ROOM
CLEARANCES

FACE OF EXIST. DORMER
2X4 PLATE

6" CLEAR MIN.

FLAT SEAM FULLY SOLDERED
COPPER GUTTER W/ FLASHING.
COUNTER FLASHING AND INTEGRAL
COPPER RAIN LEADER
CONNECTION. EXTEND FLASHING
UP NEW & EXIST. ROOF AS
RECOMMENDED BY MANUF. FOR
TYPE OF INSTALLATION. SLOPE TO
DOWN SPOUT.

T.O. Second Flr. Fin.
109'-2 1/2"

FLUSH FRAMED BEAM. EXTEND
FROM EXIST. WALL TO NEW
INTERIOR WALL.

2x10's @ 16" oc

ALIGN W/
EXIST. FASCIA

ALIGN W/
EXIST. WALL FREIZE
BOARD

(OR DOWN TO 6"
FIELD REVIEW
W/ARCH)

FILL CAVITY AND EXTEND
DOWN FULL DEPTH OF
DROPPED CLG. W/ SPRAY-IN
POLYURETHANE FOAM INSUL.
R-38 MIN. TYP. ENTIRE WIDTH
OF ENTRY.

CEILING FRAMING
PROP TO MATCH EXIST
(7'-7" ±)

1'-9" +/-
3 1/2"
3'-6"
CLEAR V.I.F.

TYP. FIRST FLOOR CONSTRUCTION

SEE FOUNDATION DETAIL 1/

TYP. FOUNDATION CONSTRUCTION

SEE FOUNDATION DETAIL 1/
FOR WALL, FOOTING AND
REINFORCING REQUIREMENTS.

T.O. Exist. & New Fin. Flr.
100'-0"

MUDROOM

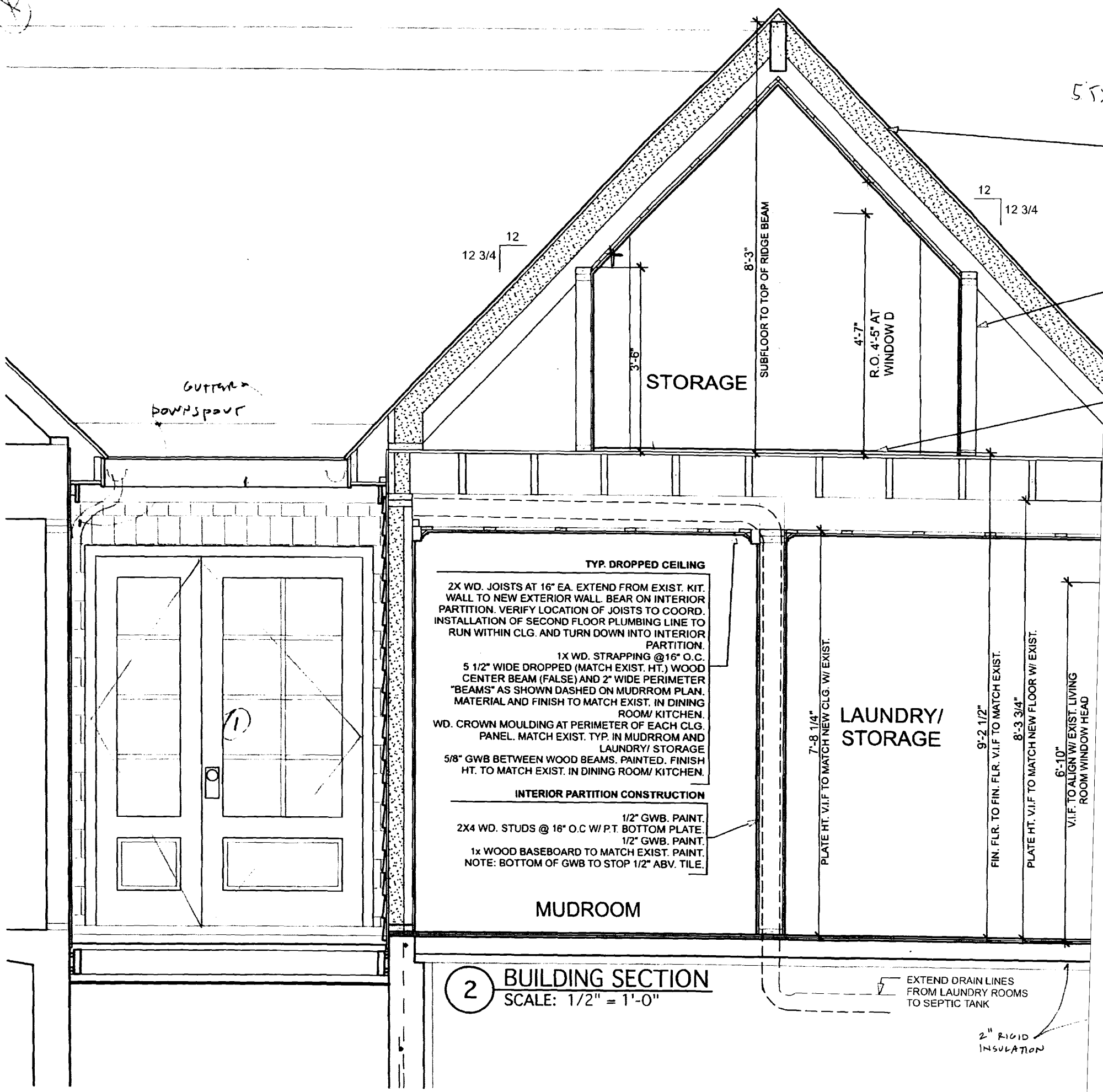
FOUNDATION: 12'-3"

9'-2 1/2"
FIN. FLR. TO FIN. FLR. V.I.F TO MATCH EXIST.

1 BUILDING SECTION
SCALE: 1/2" = 1'-0"

(K) 10

55x



GUTTER
DOWNSPOUT

12
12 3/4

12
12 3/4

8'-3"
SUBFLOOR TO TOP OF RIDGE BEAM

3'-6"

STORAGE

4'-7"
R.O. 4'-5" AT WINDOW D

TYP. DROPPED CEILING

2X WD. JOISTS AT 16" EA. EXTEND FROM EXIST. KIT. WALL TO NEW EXTERIOR WALL. BEAR ON INTERIOR PARTITION. VERIFY LOCATION OF JOISTS TO COORD. INSTALLATION OF SECOND FLOOR PLUMBING LINE TO RUN WITHIN CLG. AND TURN DOWN INTO INTERIOR PARTITION.

1X WD. STRAPPING @ 16" O.C.

5 1/2" WIDE DROPPED (MATCH EXIST. HT.) WOOD CENTER BEAM (FALSE) AND 2" WIDE PERIMETER "BEAMS" AS SHOWN DASHED ON MUDROOM PLAN. MATERIAL AND FINISH TO MATCH EXIST. IN DINING ROOM/ KITCHEN.

WD. CROWN MOULDING AT PERIMETER OF EACH CLG. PANEL. MATCH EXIST. TYP. IN MUDROOM AND LAUNDRY/ STORAGE

5/8" GWB BETWEEN WOOD BEAMS. PAINTED. FINISH HT. TO MATCH EXIST. IN DINING ROOM/ KITCHEN.

INTERIOR PARTITION CONSTRUCTION

1/2" GWB. PAINT.

2X4 WD. STUDS @ 16" O.C W/ P.T. BOTTOM PLATE.

1/2" GWB. PAINT.

1x WOOD BASEBOARD TO MATCH EXIST. PAINT.

NOTE: BOTTOM OF GWB TO STOP 1/2" ABV. TILE.

MUDROOM

7'-8 1/4"
PLATE HT. V.I.F TO MATCH NEW CLG. W/ EXIST.

LAUNDRY/
STORAGE

9'-2 1/2"
FIN. FLR. TO FIN. FLR. V.I.F TO MATCH EXIST.

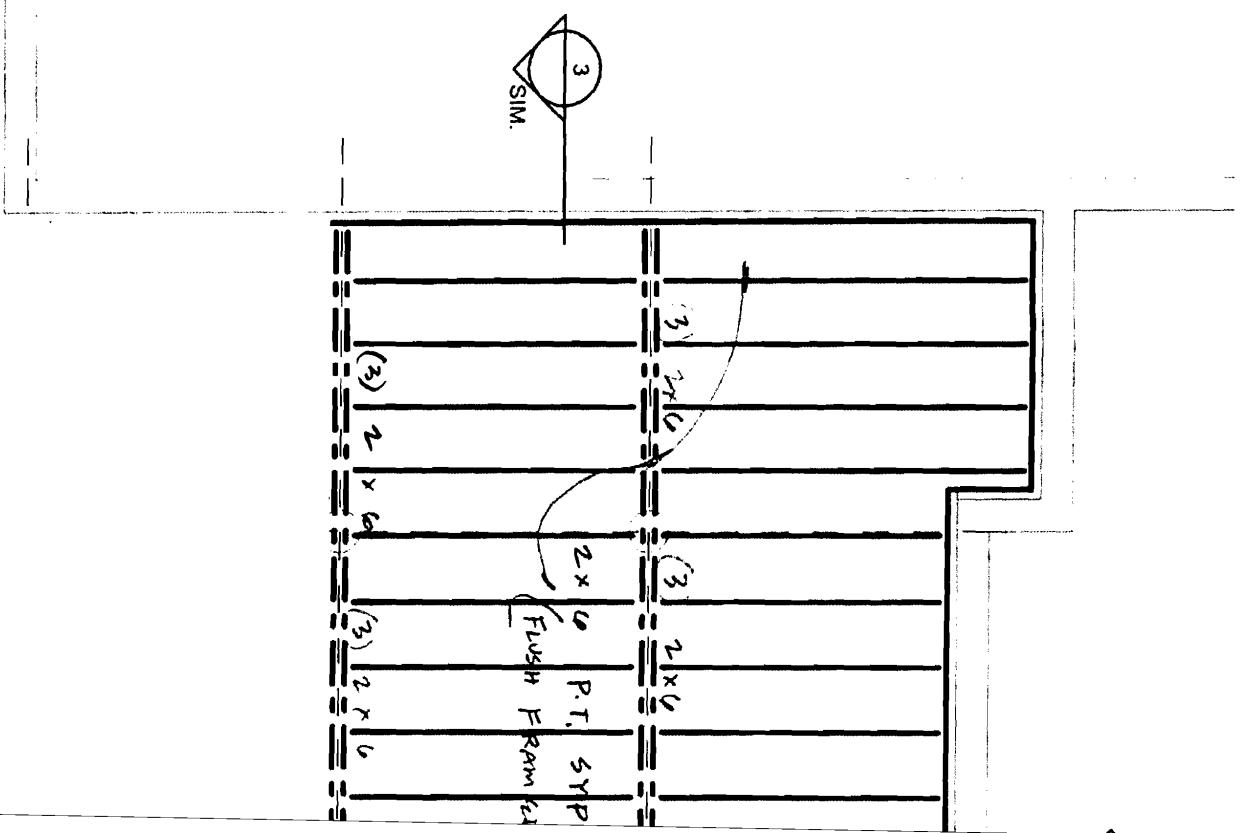
8'-3 3/4"
PLATE HT. V.I.F TO MATCH NEW FLOOR W/ EXIST.

6'-10"
V.I.F. TO ALIGN W/ EXIST. LIVING ROOM WINDOW HEAD

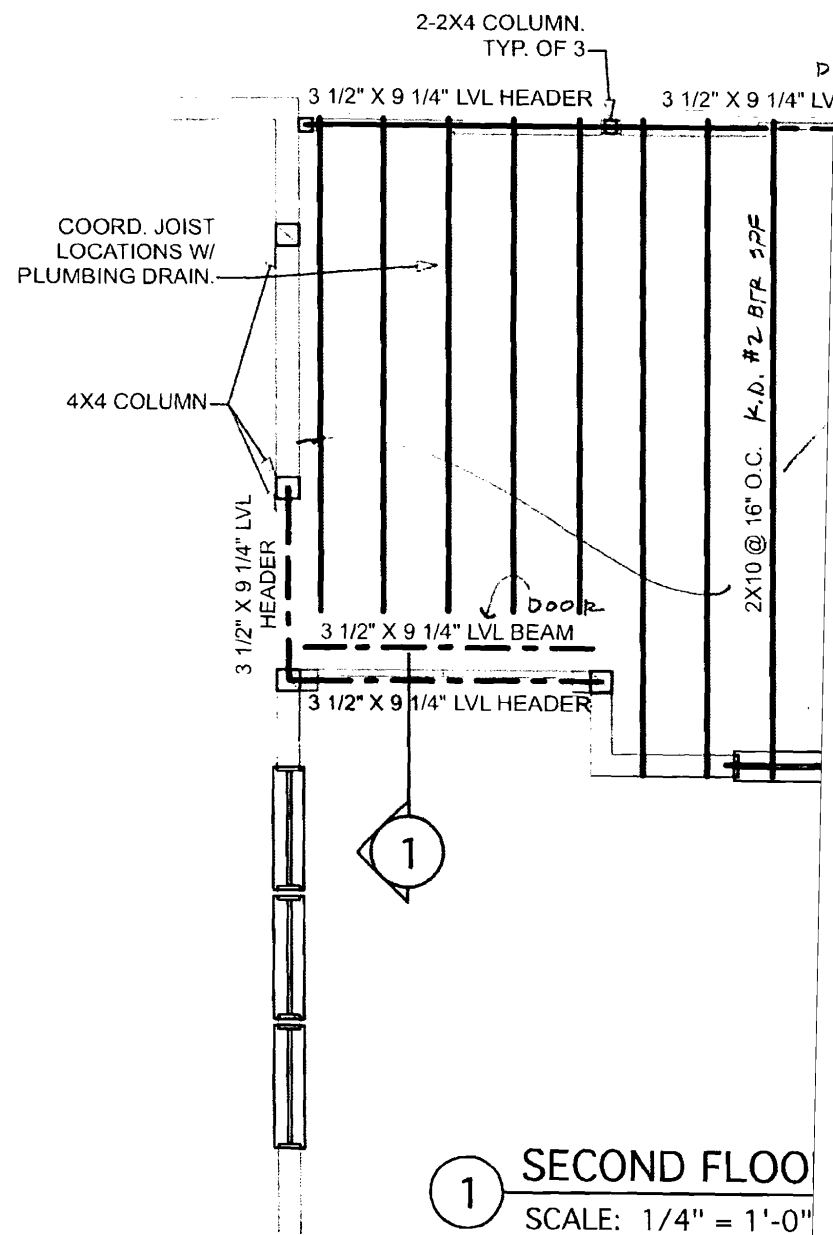
2 BUILDING SECTION
SCALE: 1/2" = 1'-0"

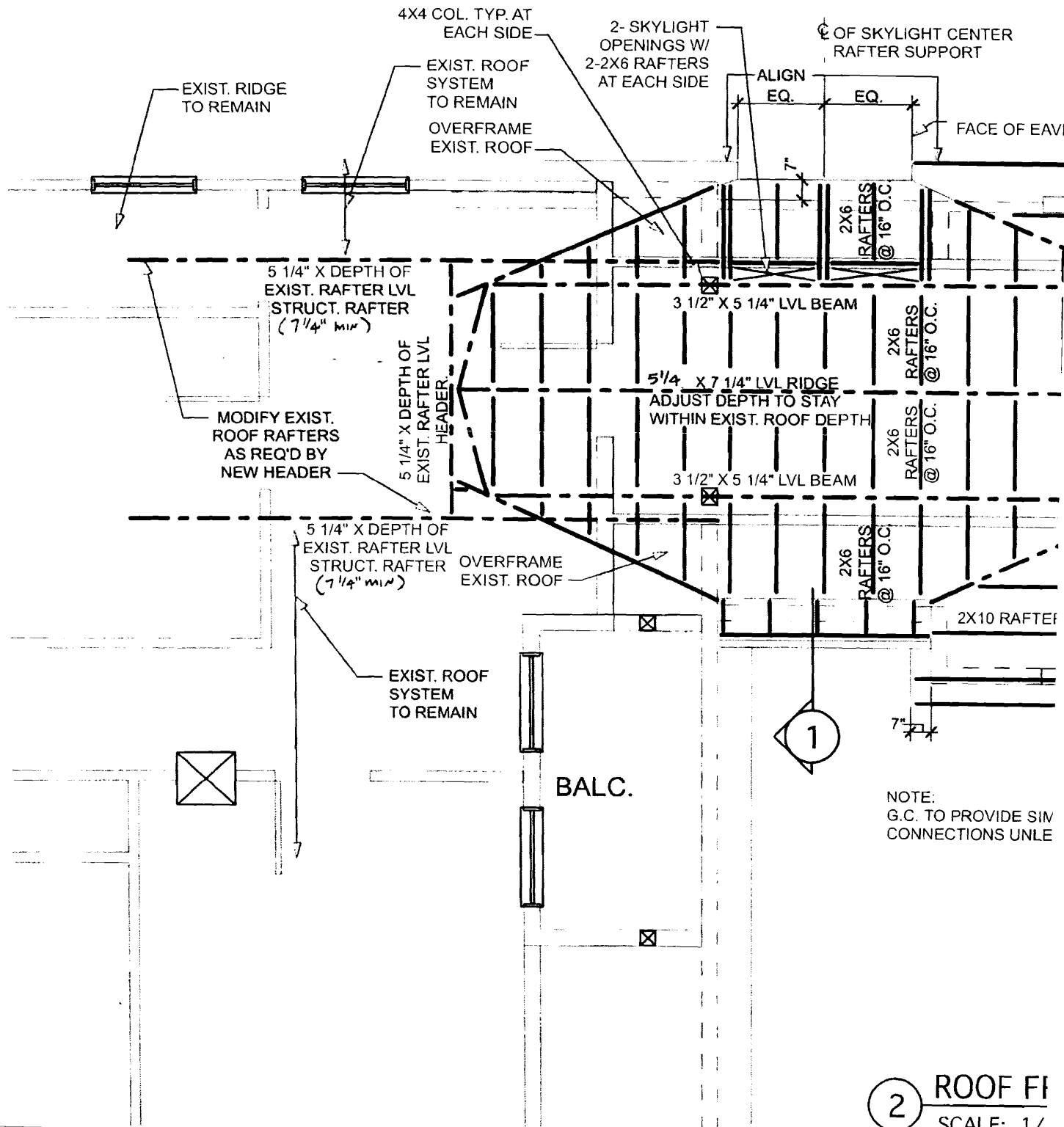
EXTEND DRAIN LINES FROM LAUNDRY ROOMS TO SEPTIC TANK

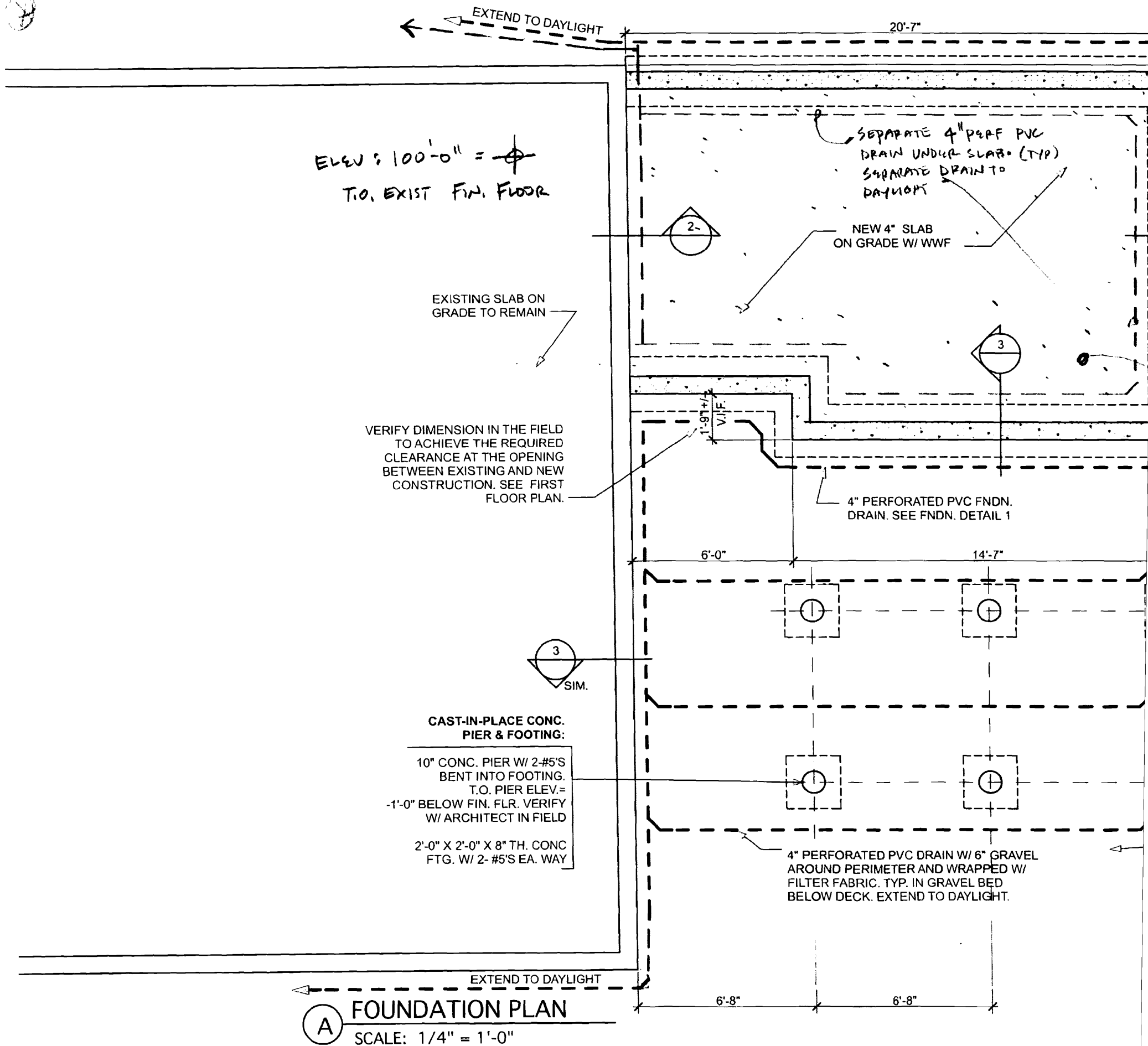
2" RIGID INSULATION

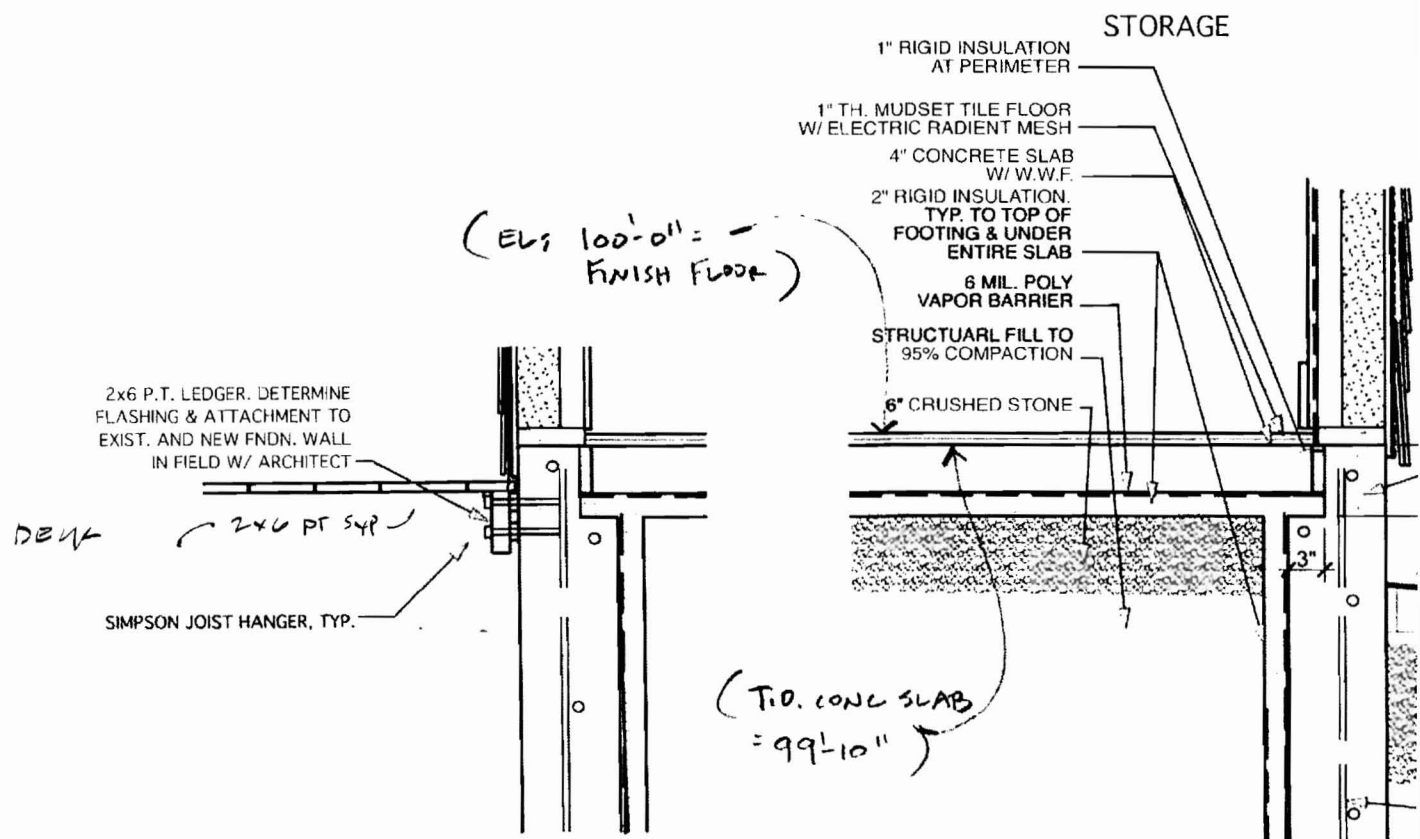


A DECK FRAMING PLAN
SCALE: 1/4" = 1'-0"

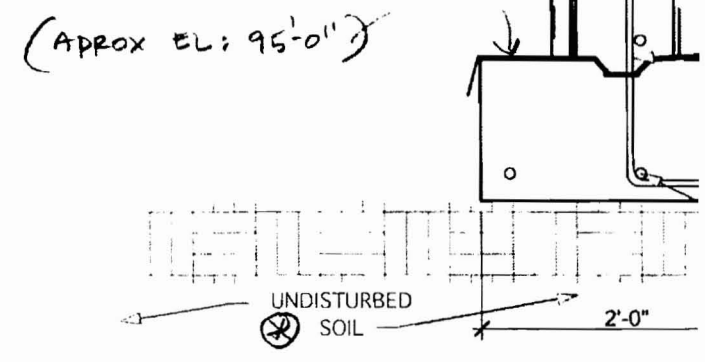




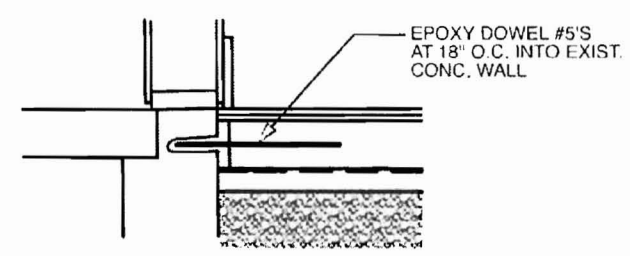




3 TYP. P.T. DECK FRAMING TO WALL DETAIL
SCALE: 3/4" = 1'-0"



1 TYP. WALL SECTION @ SLAB ON GRADE
SCALE: 3/4" = 1'-0"



2 TYP. SLAB TO EXIST. WALL DETAIL
SCALE: 3/4" = 1'-0"