

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

PERMIT ISSUED

| | | |
|-----------------------|----------------------------|------------------------------|
| Permit No: 02-0309 | Issue Date: APR 25 2002 | CBL: -12-B 090 H011001 |
|-----------------------|----------------------------|------------------------------|

| | | | |
|---|--|--|-------------------------------|
| Location of Construction: 12 Wild Rose Path | Owner Name: Geiermann Joseph & | Owner Address: 80 Webster St | Phone: 781-710-8921 |
| Business Name: | Contractor Name: Kiely, John | Contractor Address: 521 Island Ave. Peaks Island | Phone: 2077662026 |
| Lessee/Buyer's Name | Phone: | Permit Type: Additions - Dwellings | Zone: IR-2 |

| | | | | | |
|-----------------------------------|---------------------------------------|---|--|---------------------------|----------------|
| Past Use: Single Family | Proposed Use: Single Family | Permit Fee: \$93.00 | Cost of Work: \$8,483.00 | CEO District: 3 | 6,792 # |
| | | FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied | INSPECTION: Use Group: R4 Type: 5 | | |

Proposed Project Description:
Cover Deck/Addition of Bedroom, 2 Dormers & 2 Windows

Signature: _____ **Signature:** *[Signature]* 4/24/02

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ **Date:** _____

| | | |
|--------------------------------|--|------------------------|
| Permit Taken By: mjn | Date Applied For: 04/03/2002 | Zoning Approval |
|--------------------------------|--|------------------------|

| | | | |
|---|--|--|---|
| <p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p> | <p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>just outside of shoreland</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision <i>ok per 1A-436 to remain in hand</i></p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input checked="" type="checkbox"/> MN <input type="checkbox"/></p> <p><i>ok</i> Date: <i>4/12/02</i></p> | <p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p> | <p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p> |
|---|--|--|---|

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

| | | | |
|---|---------|------|-------|
| SIGNATURE OF APPLICANT | ADDRESS | DATE | PHONE |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE | | DATE | PHONE |

Application ID Number: 2-0309

Department: Zoning

Status: Approved with Conditions

Officer: Marge Schmuckal

Comments: 12 wildrose Path, P.I.

Approval Date: 04/12/2002

Signature Date: 04/08/2002



Approved by

Name: Marge Schmuckal

Date: 04/12/2002

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.

Create Date: 04/04/2002

By: mjn

Update Date: 04/12/2002

By: mes

4/3

02-0309

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 12 Wild Rose Path

Total Square Footage of Proposed Structure 1126 Square Footage of Lot 6792

Tax Assessor's Chart, Block & Lot Chart# 90 Block# H Lot# 12/13 Owner: Joseph Weiermann Telephone: 781-710-8921
Stephen W. Derby

Lessee/Buyer's Name (if Applicable) Applicant name, address & telephone: Joseph Weiermann Cost Of Work: \$ 8,483.00
8 Webster St. Fee: \$ 200.00
Arlington MA 02474

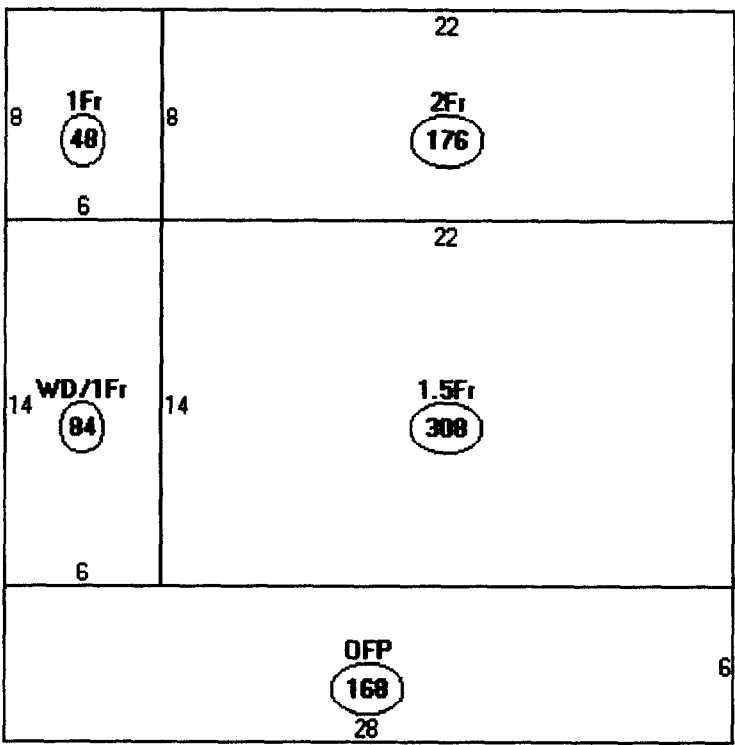
Current use: Second home Single Family
If the location is currently vacant, what was prior use: _____
Approximately how long has it been vacant: _____
Proposed use: _____
Project description: Cover second floor Deck to create third Bedroom add two Dormers with one window each

Contractor's name, address & telephone: John Kiely
Who should we contact when the permit is ready: John Kiely
Mailing address: 591 Island Ave
Peaks Island ME Phone: 207-766-2026

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable

WILL WINFELMAN, ARCHITECT
774-0111



Descriptor/Area

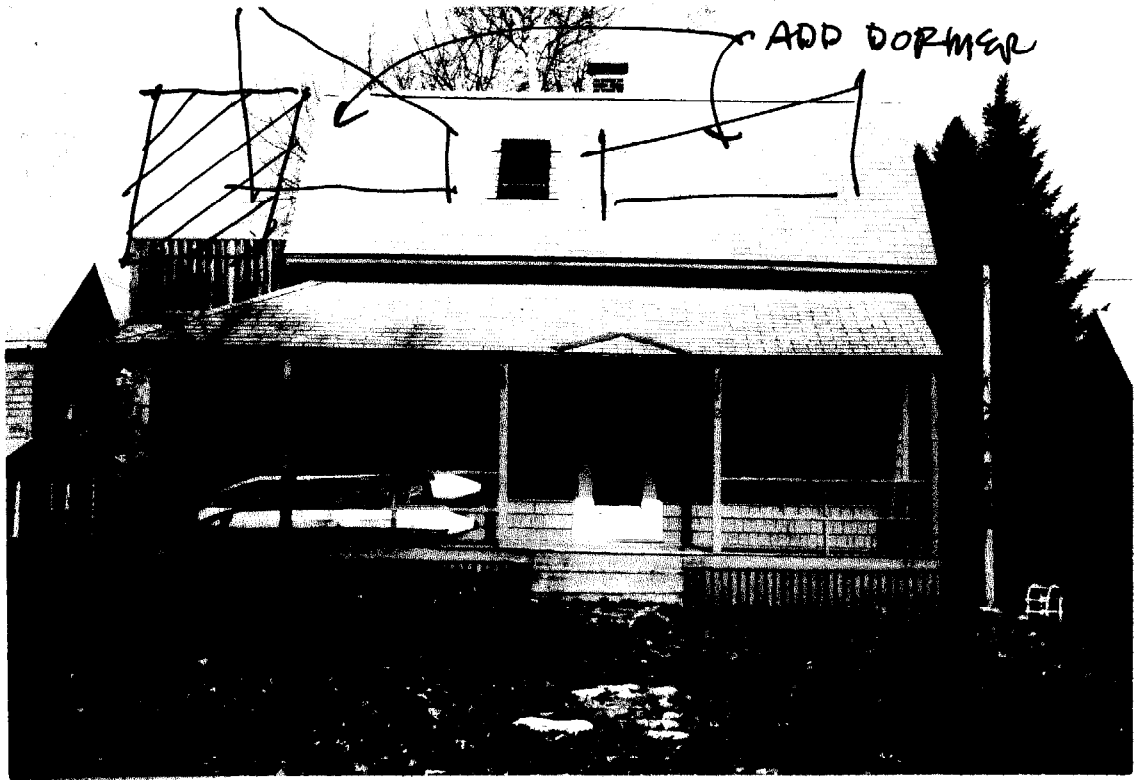
- A: 1.5Fr
308 sqft
- B: WD/1Fr
84 sqft
- C: 1Fr
48 sqft
- D: 2Fr
176 sqft
- E: OFF
168 sqft

784 #

$$6792 \# \times 20\% = 1358.4 \#$$

Added Square # Not more Than
50% of 1st floor
footprint
OK
14-436



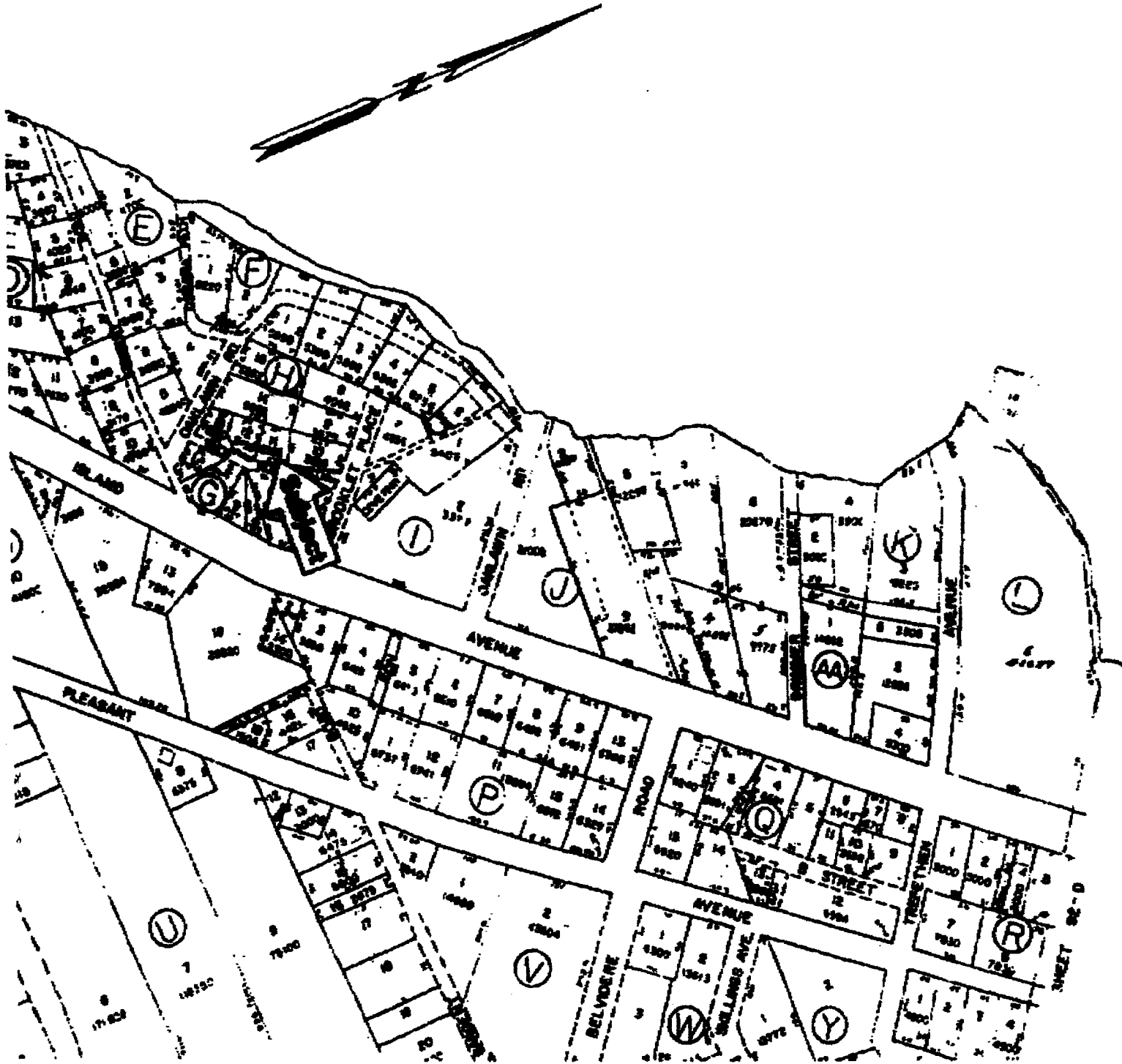


N^o 90
PEAKS ISLAND

03/26/2002 13:44 6173577441

COMPLUDRKS

PAGE 03

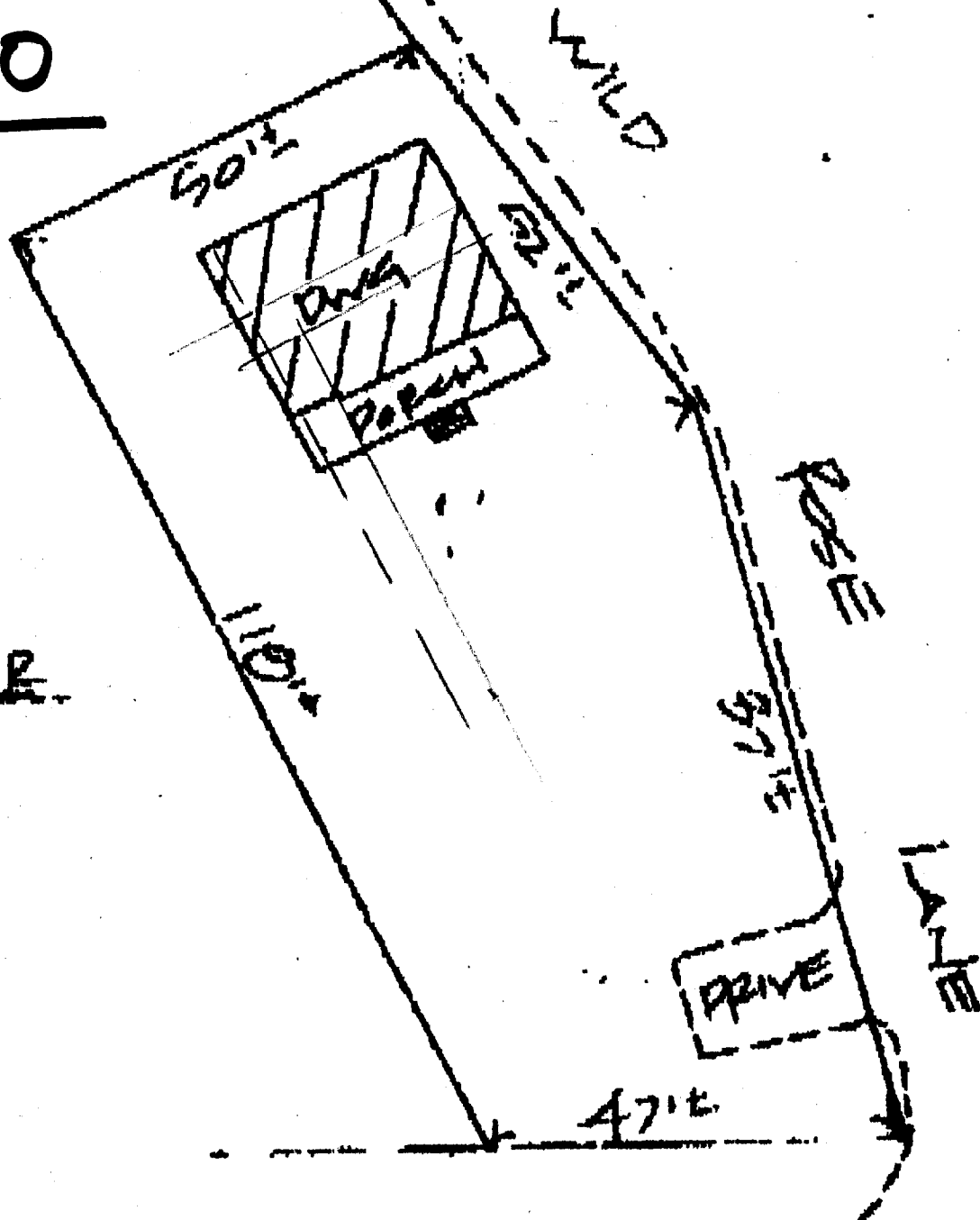


EXISTING CONDITION.

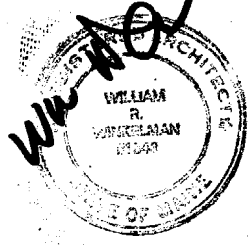
1:20

North

14'
LEAVOR

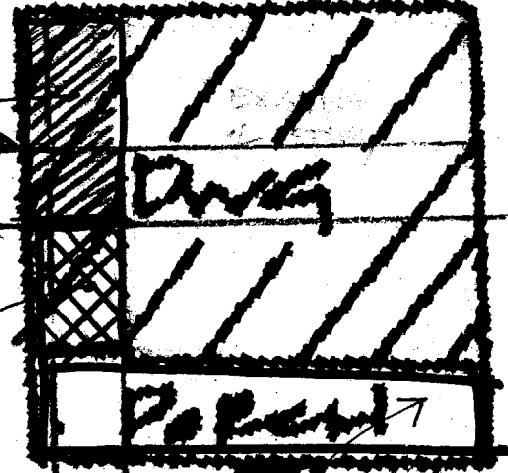


OAK LAWN ROAD



EXISTING 1 STORY

50'±



NEW

SECOND FLOOR ONLY PORCH (W/ ROOF) OVER EXISTING FIRST FLOOR. (6' x 13')

NEW

SECOND FLOOR ONLY EXPANSION OVER EXISTING FIRST FLOOR LIVING ROOM (6' x 8')

(EXISTING IS A DECK ON FIRST FLOOR ROOF)

EXISTING ONE STORY PORCH - AS-15.

SIDE YARD SETBACK
FRONT YARD SETBACK

20

25'

1/8" SCALE

4-3-02 1" = 8'

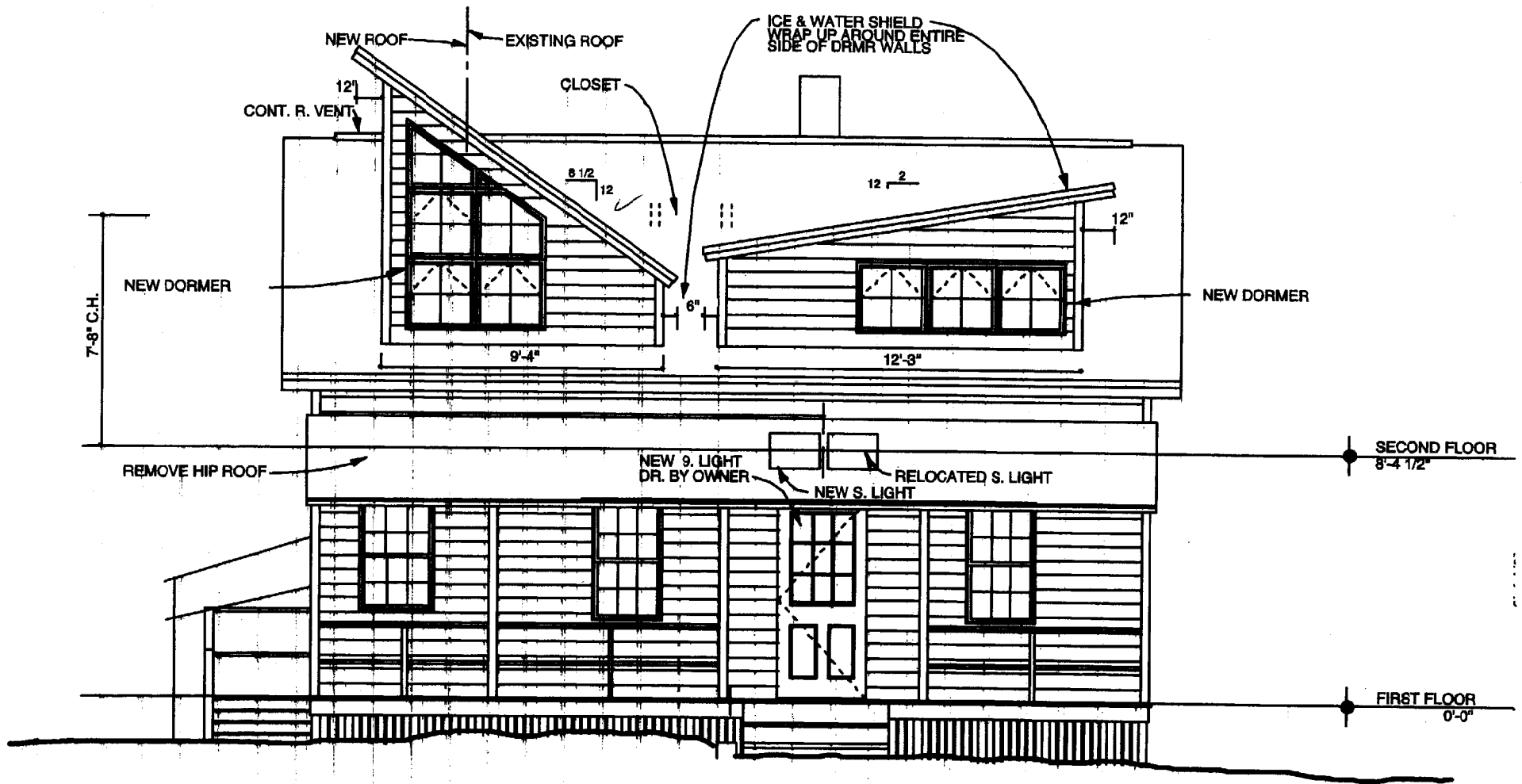
LEAFY

FOR

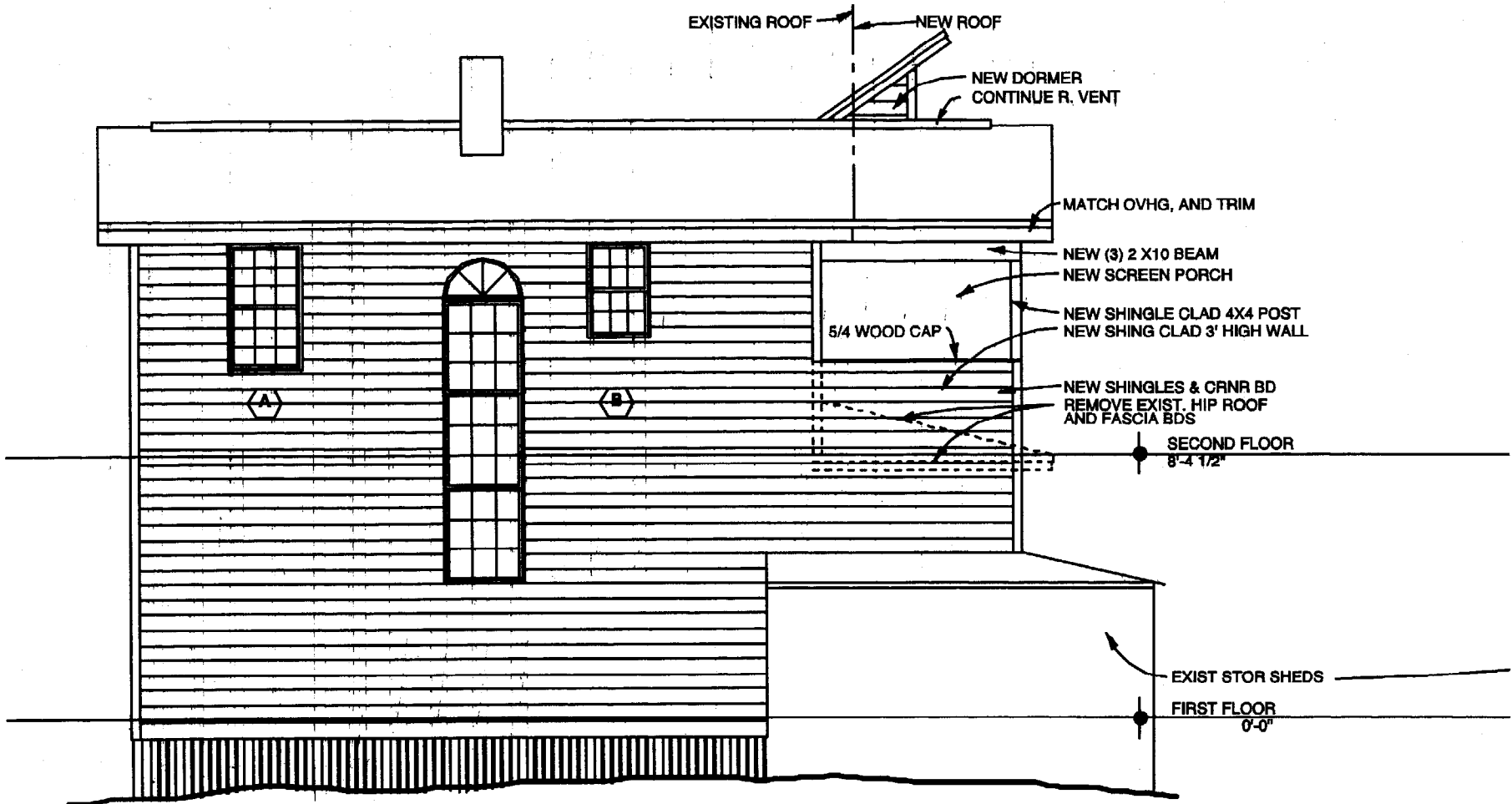
WILL WINKELMAN,
ARCHITECT

WIND

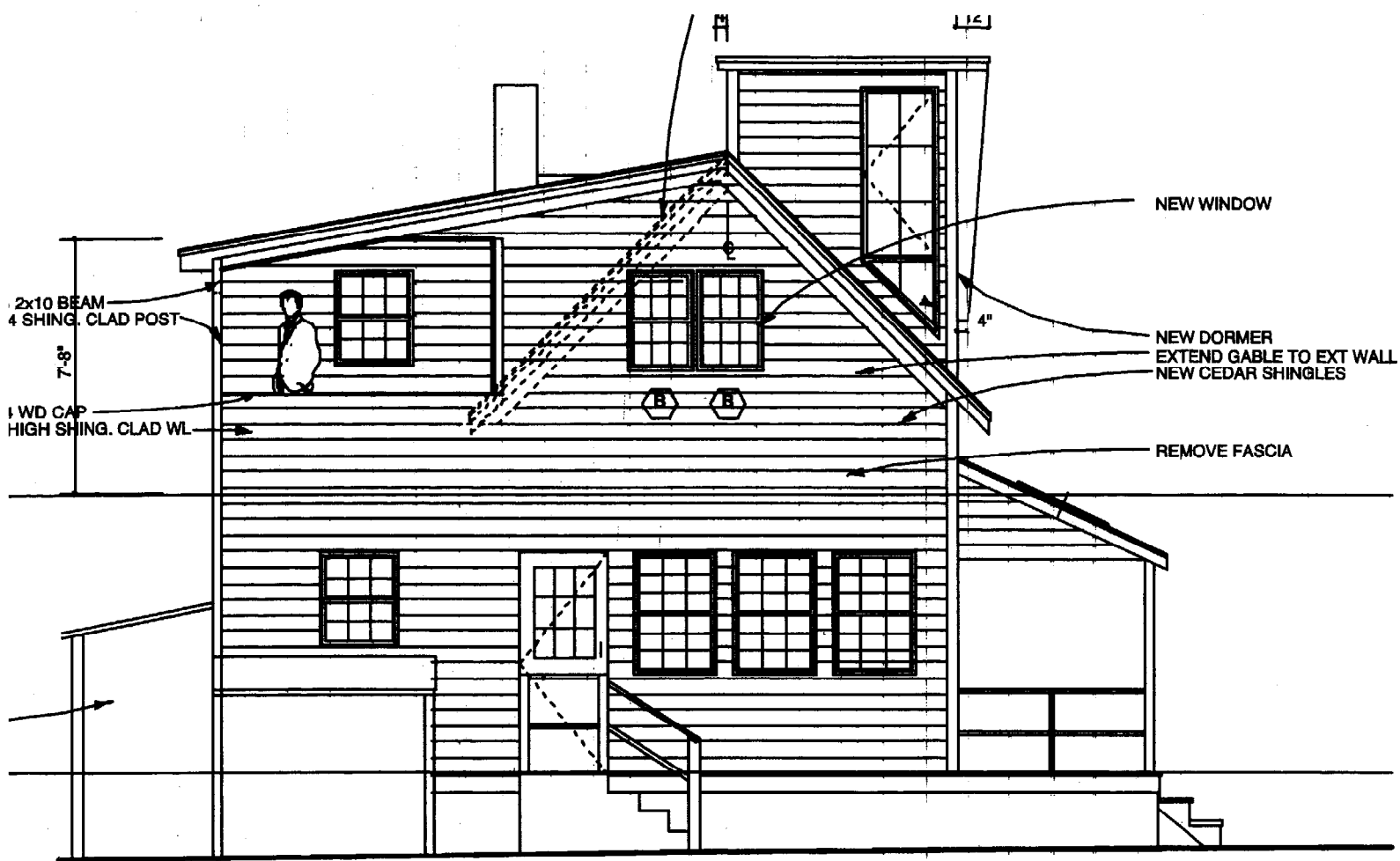
ROOF



① South Elevation
 scale: 1/4" = 1'-0"



3 **NORTH ELEVATION**
SCALE: 1/4" = 1'-0"



4

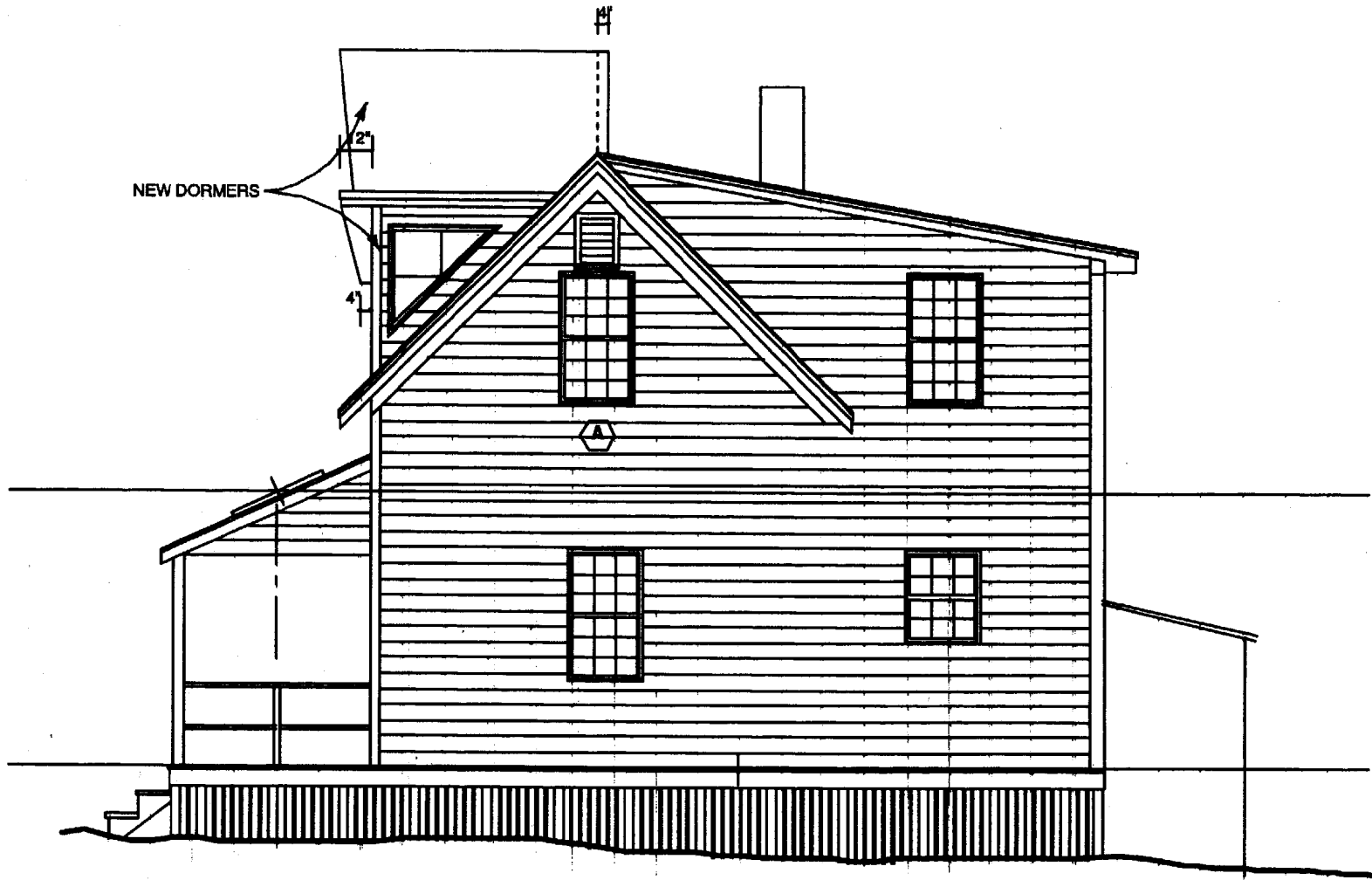
WEST ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATIONS

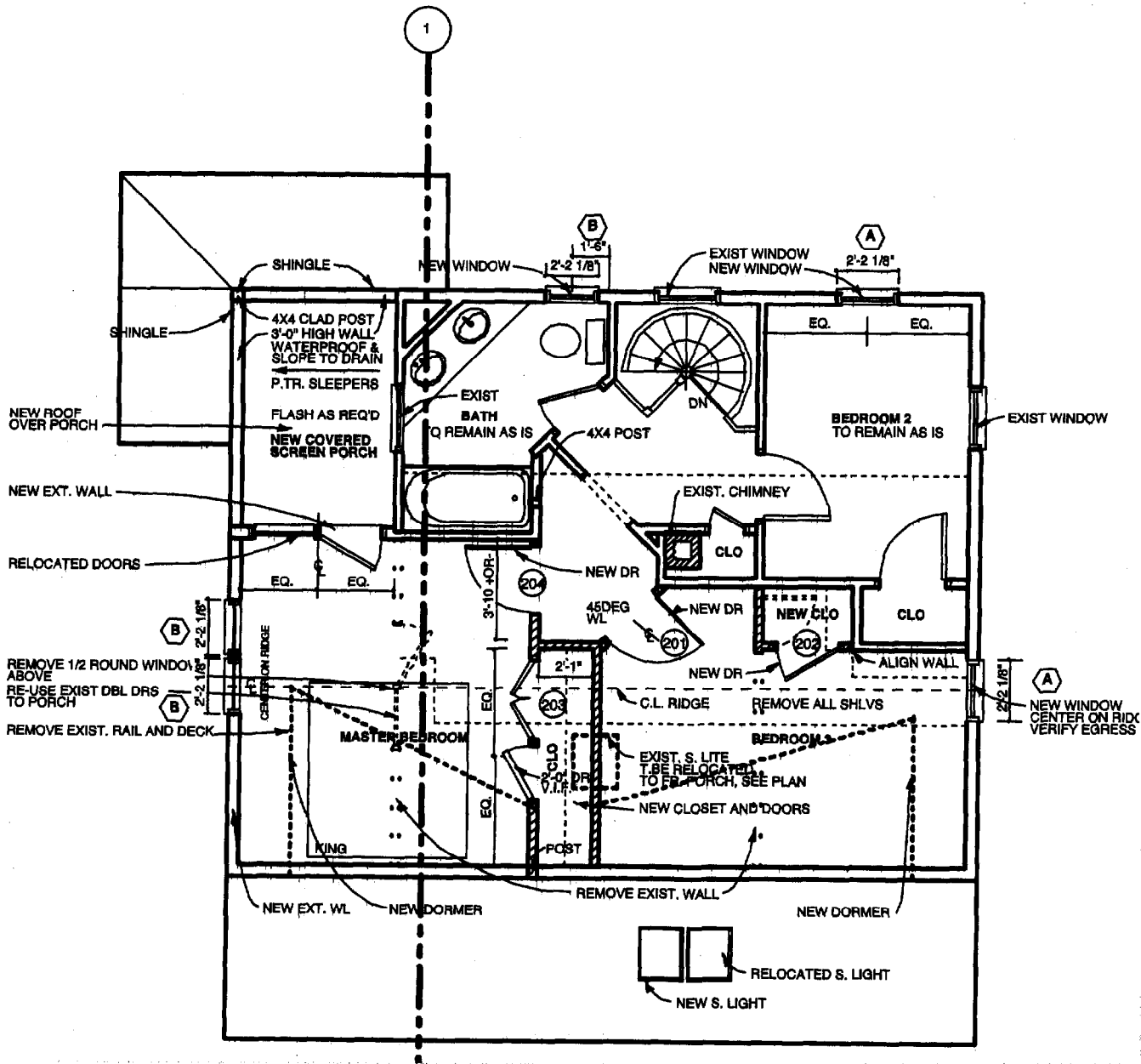
**GIERMANN/DERBY
RESIDENCE**

12 WILDROSE PATH



② EAST ELEVATION

Scale: $\frac{1}{4}'' = 1'-0''$



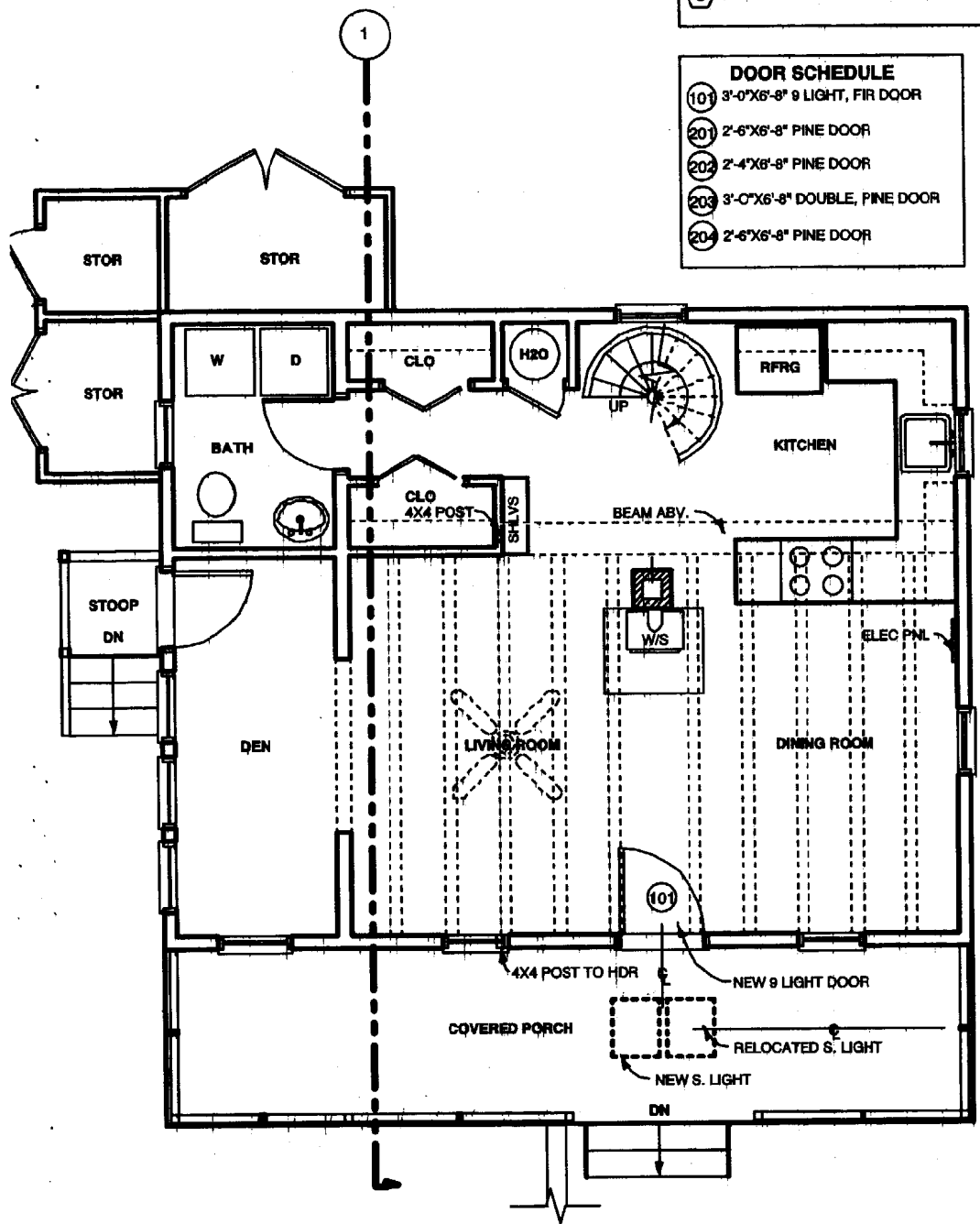
② SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"

B) 2X2 10 2'-2 1/8" X3'-1 1/4" . DOUBBLEHUNG




C) 3042 3'-2 1/8" X4'-5 1/4" . DOUBLEHUNG

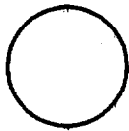
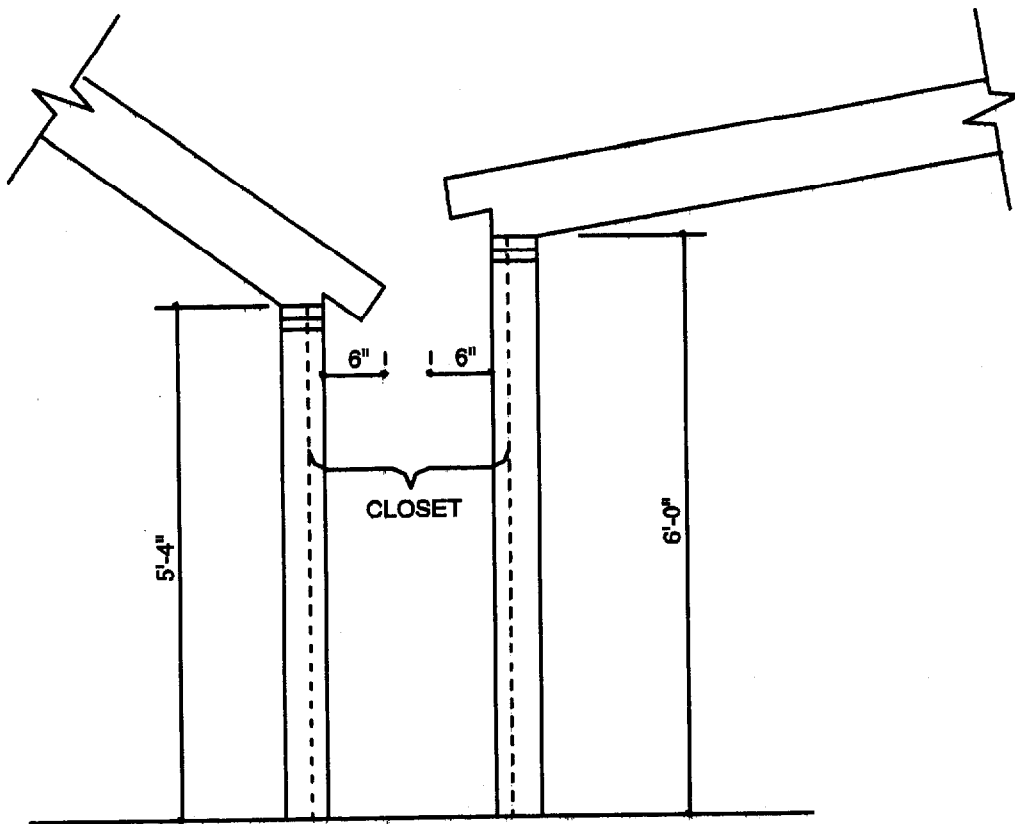
DOOR SCHEDULE

- 101 3'-0" X6'-8" 9 LIGHT, FIR DOOR
- 201 2'-6" X6'-8" PINE DOOR
- 202 2'-4" X6'-8" PINE DOOR
- 203 3'-0" X6'-8" DOUBLE, PINE DOOR
- 204 2'-6" X6'-8" PINE DOOR



1 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

 NEW WALLS
 EXISTING WALLS
 EXISTING WALLS TO BE REMOVED

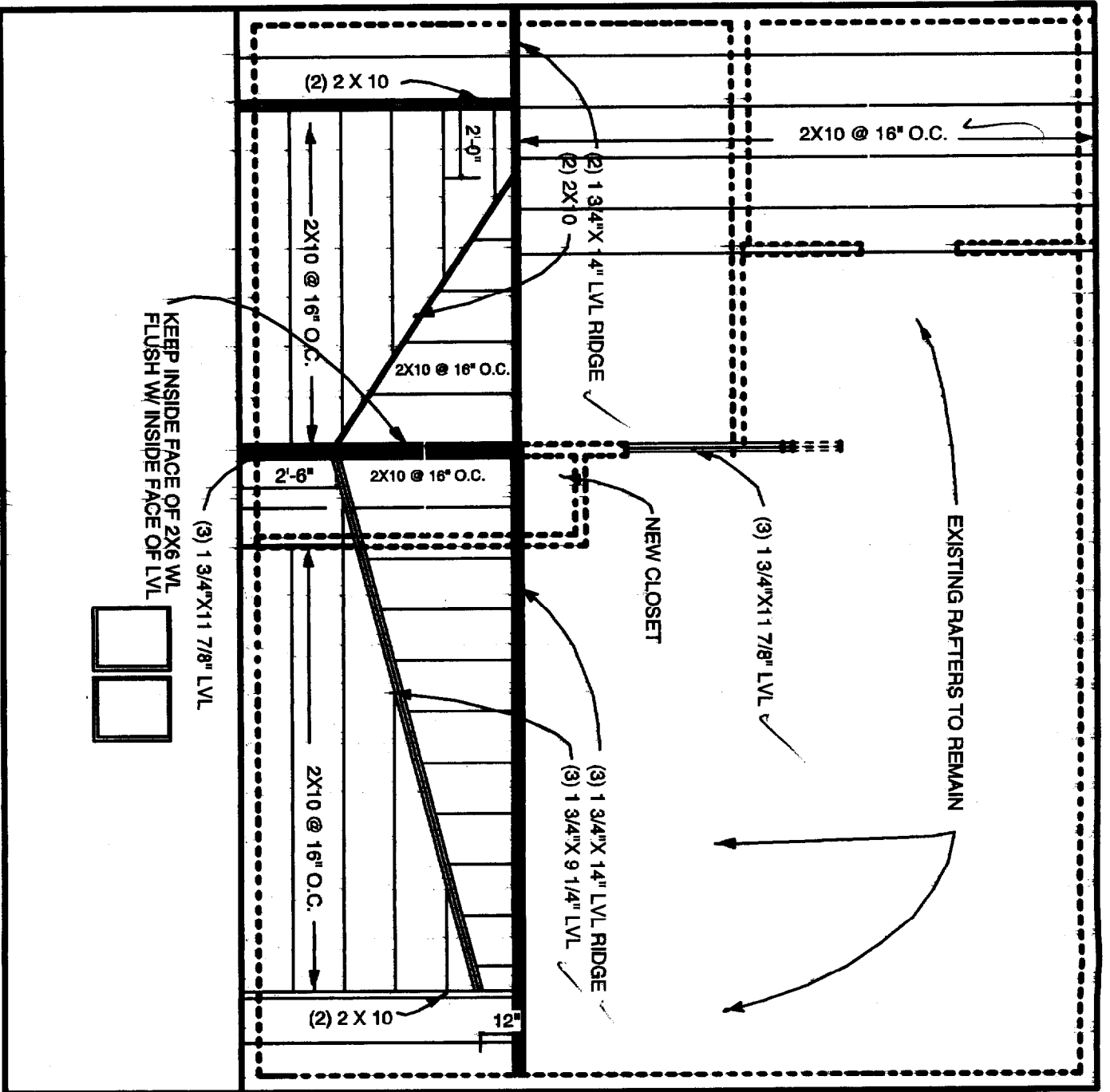


SECTION AT DORMER HEIGHTS

SCALE: 1/2" = 1'-0"

1 ROOF

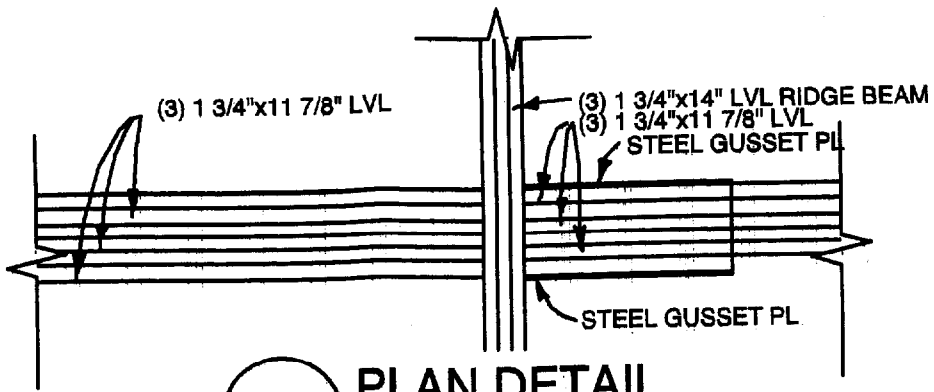
1 PORCH



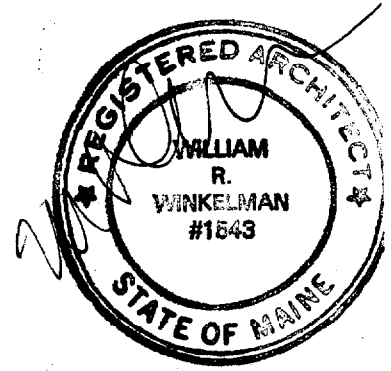
2 ROOF FRAMING PLAN

Scale: 1/4" = 1'-0"





3 **PLAN DETAIL**
SCALE: 1/2" = 1'-0"



3 SEE SECTION ABV.

RIDGE

- 5/8" CDX PLY SHEATHING
- 2"X10" RAFTERS @ 16" O.C.
- (3) 1 3/4"X11 7/8" LVL
- (3) 1 3/4"X14" LVL RIDGE BEAM
- 1/2" STEEL GUSSET PLATE
- (3) 1 3/4"X 11 7/8" LVL RAFTER

(3) 2X10 BEAM
4X4 POST

DORMER:
SEE ELEV/PLAN/FRAMING

78"



① SECTION

Scale: 1/2" = 1'-0"

ROOF FRAMING/SECTION