

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0988	Issue Date:	CBL: 090 H004001
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Location of Construction: 39 Oaklawn Rd <i>P.I.</i>	Owner Name: Day Thomas &	Owner Address: Rr2 Box 1449n	Phone: 603-726-3823
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <i>IR-2</i>

Past Use: Single family / Seasonal Residence	Proposed Use: Single family / construct new stair, new 2nd floor bathroom and additional work on 2nd floor.	Permit Fee: \$233.00	Cost of Work: \$30,000.00	CEO District: 3
Proposed Project Description: construct new stair, new 2nd floor bathroom and additional work on 2nd floor.		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: <i>R-3</i> Type: <i>SB</i> <i>BOCA 99</i>	
		Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: tmm	Date Applied For: 09/05/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>Additions upward beyond 75' setback</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Using 14-436 + 14-440</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/5/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>9/5/02</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

Date

Signature of Inspections Official

Date

CBL: 090 H 004 Building Permit #:

020988

39 Oaklawn Rd, P.I.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

BUILDING INSPECTION

Please Read Application And Notes, If Any, Attached

PERMIT

Permit Number: 020988

This is to certify that Day Thomas & /no contractor self
has permission to construct new stair, new 2nd floor bathroom and additional work on 2nd floor.
AT 39 Oaklawn Rd L 090 H004001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is opened or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS
Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name


Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Application ID Number

2-0988

Department

Zoning

Approved with Conditions

Tammy Munson

09/05/2002



09/04/2002



Tammy Munson

09/05/2002



09/05/2002

tmm

09/05/2002

tmm

Application ID:

Department:

Status:

Applicant:

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

309

Location/Address of Construction: <u>4 OAKLAWN RD. / PEAKS ISLAND, ME.</u>		
Total Square Footage of Proposed Structure <u>SF BUILDING COVERAGE = 155 SF</u>	Square Footage of Lot <u>6,365</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>Block# Lot#</u> Block# Page# Lot#	Owner: <u>TOM & MARY DAY</u>	Telephone: <u>603-726-3823</u>
Lessee/Buyer's Name (if Applicable) <u>90 H 004</u>	Applicant name, address & telephone: <u>TOM DAY WATERVILLE VALLEY RESORT WATERVILLE VALLEY, N.H.</u>	Cost Of Work: \$ <u>39,000</u> <u>233</u> Fee: \$ <u>204.00</u> <u>233</u>
Current use: <u>RESIDENCE (SEASONAL)</u> <u>03215</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>RESIDENCE (SEASONAL)</u>		
Project description: <u>(SEE ATTACHED DESCRIPTION)</u>		
Contractor's name, address & telephone: <u>owner</u>		
Who should we contact when the permit is ready: <u>HANS WARNER / JON BIRON</u>		
Mailing address: <u>WARNER DESIGN ASSOC., LLC. 28 MAPLE ST. PORTLAND, ME 04101</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>774-0906</u> <u>Call</u>		

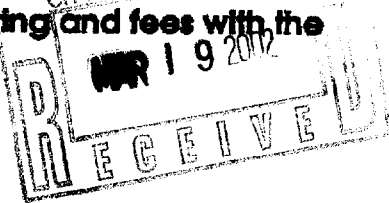
*Howe 95,000
29,000
Pd. in full*

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Officer's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>3/10/12</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall



Day Residence

CBL _____ STREET ADDRESS 39 Oaklawn Rd.

DATE TIME CONTACT NARRATIVE INITIALS

DATE	TIME	CONTACT	NARRATIVE	INITIALS
			① Battister spacing	
			② Wood cross pieces?	
			③ Safety @ 205 & 204	
			④ Battister detail	
			⑤ Not completely labeled	
			⑥ Safety glazing (bath + stairs)	
			⑦ 2'-5" width stairway	
			⑧ Want analysis on "Rot replacement"	
			⑨ Battister spacing	
			⑩ Structural Ridge Beam - pg. A4.0 section 1	
			⑪ Egress windows	
			Framing to infill floor (2nd) with 2x10	
			⑫ Micro Jams -	
			⑬ Rafter spacing	
			Missing sheet A3	
			Guards - all existing guards.	
			Went over all of the above w/ Hans Warner - will send me more info!	

4-11-02

M e m o r a n d u m

Warner Design Associates, LLC.

Date: April 11, 2001
To: Building Inspections, City of Portland
From: Hans Warner
Subject: Day Residence; Permit Application No# 020239 – March 19 2002

Property: 4 Oak lawn Road, Peaks Island, Maine
Book 11 / Page 99 / Lot

This Addendum forms a part of the Project Documents and modifies the original drawing set dated November 11, 2001.

Where any original item is amended, voided, or superseded hereby, the other provisions of such items not specifically amended, voided, or superseded, shall remain in effect

Addendum Items:

Drawing A1.0

- 1.) Detail 1; Foundation Plan, New foundations piers/footings shall be added at column grid locations 4A and 4B.
- 2.) Detail 2; First Floor Plan, Add a 4x4 wood post at column grid location 4B.
- 3.) Detail 2; First Floor Plan, Provide a microlam beam between Column grid 4B and 5B. Beam shall be two (2) 1 3/4" x 9 1/2" members.

Drawing A1.1

- 1.) Detail 1; Roof Framing Plan, Rafter Spacing shall be 16" OC in the new second floor bathroom turret roof, and in the section of roof connecting the turret to the new second floor master bedroom. Rafter spacing shall be 24" OC in all other areas of new construction, master bedroom and stair.
- 2.) Detail 1; Roof Framing Plan, Single 2x10 Valley Rafter over master bedroom roof shall be changed to two 2x10's.

Drawing A3.0

1.) Drawing Sheet #A3.0 does not exist in this drawing set.

Drawing A4.0

1.) Detail 1; Building Section, New structural ridge beam between column lines A and B shall be two (2) 1 3/4" x 9 1/2" microlam beams.

2.) Detail 1; Building Section, New structural beam along column lines B at the second floor floor shall be two (2) 1 3/4" x 9 1/2" microlam beams.

Drawing A5.0

1.) Window Type A shall be laminated, tempered safety glass, and shall be installed in all five (5) locations in the new upstairs bathroom.

2.) Window Type D shall be a casement egress window and shall be sized and located according to Drawing A1.1 & A2.0. The correct RO window dimensions shall be 2'-4 7/8" x 3'-5 3/8". Delete all reference to these windows (location and size) shown on Drawing A4.0, Detail 3, Building Section.

General Notes

1.) General Note #1: On Drawings A1.0, A1.1 and A4.0 – The following note, “*Any / all existing framing members that need to be replaced due to rot, checking, or splitting, shall be replaced with pressure treated lumber – size to be determined by engineer or contractor*” shall be modified to read, “Any / all existing framing members that need to be replaced due to rot, checking, or splitting, shall be replaced with pressure treated lumber – the size of framing members shall be determined by an engineer, and the Department of inspections shall be notified”.

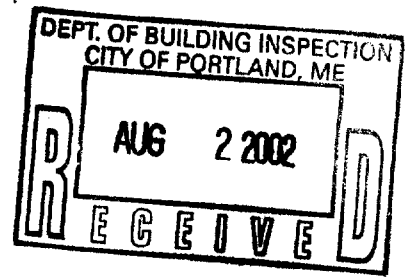
2.) General Note #2: New smoke detectors are required. Detectors must be connected to AC primary power source with battery backup. Locate detectors in all sleeping areas and in each floor level within the house.

4 Oaklawn Road Peaks Island, Maine

This project was reviewed on two separate occasions with Marge Schmuckal and Mike Nuggent from the Department of Planning, and/with Jon Biron from our office.

Project Description:

- Remove the existing interior stair
- Construct new stair in the present location of the existing First Floor open deck on the South West side of the building.
- Construct additional Second Floor space above the existing one story Kitchen at South East side of the building. The existing Kitchen is a one story structure w/ a shed roof.
- Construct a new Second Floor Bathroom above the existing one story Bathroom at the East side of the building. The existing bathroom is a one story structure w/ a shed roof.



Memorandum

Warner Design Associates, LLC. — Hans@ 774-0806

Date: July 20, 2002
To: Department of Planning / inspections
From: Hans Warner
Subject: Building Permit Application
Regarding property at 4 Oak Lawn Road, Peaks Island
Day Residence / Book 11 / Page 99

This project was initially submitted for building permit on March 19th, 2002, CBL#090 H 004.

The project was reviewed by Marge Schmuckal of the Planning department and Mike Nuggent of the Inspections department during the months of April and May, 2002.

At the time the project was reviewed, Mike Nuggent made a number of recommendations so that the new egress stair could meet the necessary building code requirements. Included as a part of this recommendation was a request to increase the width of the stair beyond the footprint of the existing grade level deck where the new building addition was to be located. Mike suggested that we speak to Marge Schmuckal in the Planning Department with regard to how we could proceed with this requested increase in stair width while working within the proper setbacks and constraints of the applicable City Ordinances. Marge suggested that we use the following section of the City Ordinance as a guideline for our submission.

After the time period this initial review, the owners of the property, Tom and Beth Day, chose to delay the construction of their addition until September or October so that they could enjoy the summer months unencumbered by construction.

Accordingly, we now submit the following additional package of drawings for review based on the recommendations from both Marge and Mike to use section #14-440 of the Portland City Ordinance.

Section #14-440: Exterior Egress

(a):

There is no practical and economically reasonable way to provide egress from the second floor to the first floor within the constraints of the existing buildings exterior walls.

The enclosed plan indicates both existing and proposed stairs. As shown, the existing stair is located in the only place within the confines of the present exterior walls that can connect the existing first floor plan and proposed second floor layouts. The risers and treads that comprise this existing stair, however, are nonconforming, and present an extreme tripping hazard in the present location. There is no additional room at the top or bottom landing to extend and reconstruct the stair so that it does meet compliance. The fact is, that there is no reasonable location in the existing building envelope that provides space for a code compliant egress stair. The proposed drawings show that in order to provide conforming egress, an additional area must be added outside the constraint of the existing plan. We believe is the only reasonable solution.

(b):

The proposed new egress stair is located over the footprint of an existing grade level deck. The deck is located at the South corner of the existing building at the farthest point of public view possible from Oak Lawn Road. In our attempt to meet all applicable building codes we had to enlarge the area of the addition 1'-5" in width and 1'-7 1/2" in length beyond the existing 5'-6" x 12'-1 1/2" deck (see Drawing L1.0). We chose selectively to add this additional area to the South sides of the existing deck, further distancing the proposed addition from the nearest public way, and minimalizing the visual impact of the proposed addition.

In addition, Tom and Beth Day both felt strongly that the appearance of the new building match exactly the historic character of the existing house. We believe that the appearance of the proposed addition is very compatible with the existing house. The building facades closest to the street remained unchanged. The new facades of the building addition are positioned as far back from the street as is possible in an effort to minimalizes any visual impact.

To: Planning / Inspections Departments
From: Hans Warner
Date: July 20, 2002

Page 3

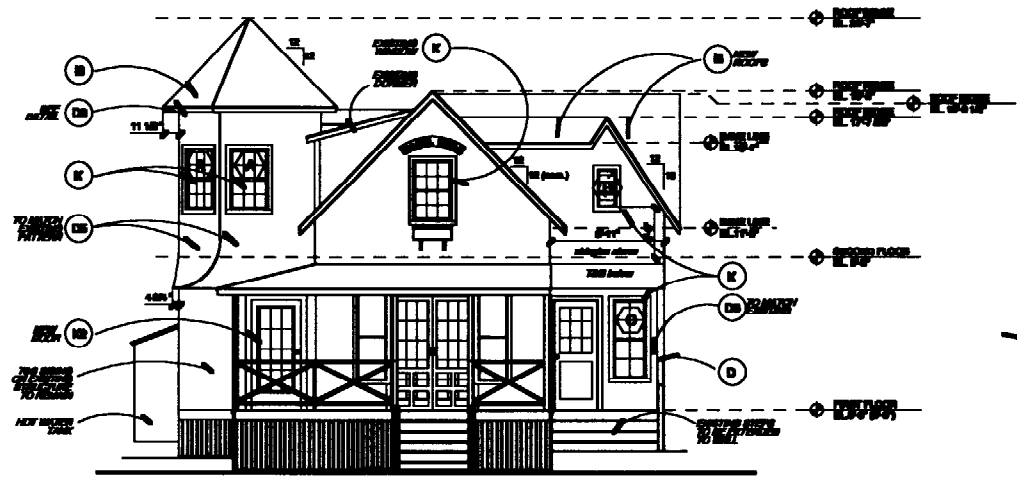
(c):

The proposed 1'-5" setback reduction is the least amount required in an effort to meet life and safety code requirements. We worked with the department of inspections and planning on a number of possible scenarios for a code compliant egress stair. We reviewed these scenarios and selected the one plan that provided the least amount of setback reduction while being located the furthest from Oak Lawn Road, the nearest public way.

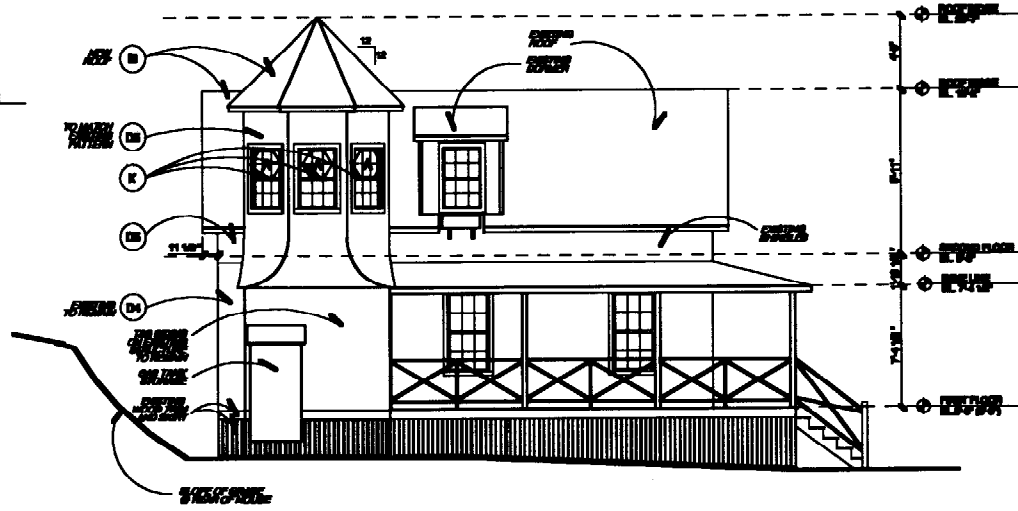
(d):

We believe the proposed egress stair meets all applicable regulations under article IX of the Portland City Ordinance and acknowledge that this addition is subject to review and approval under the provisions of this article.





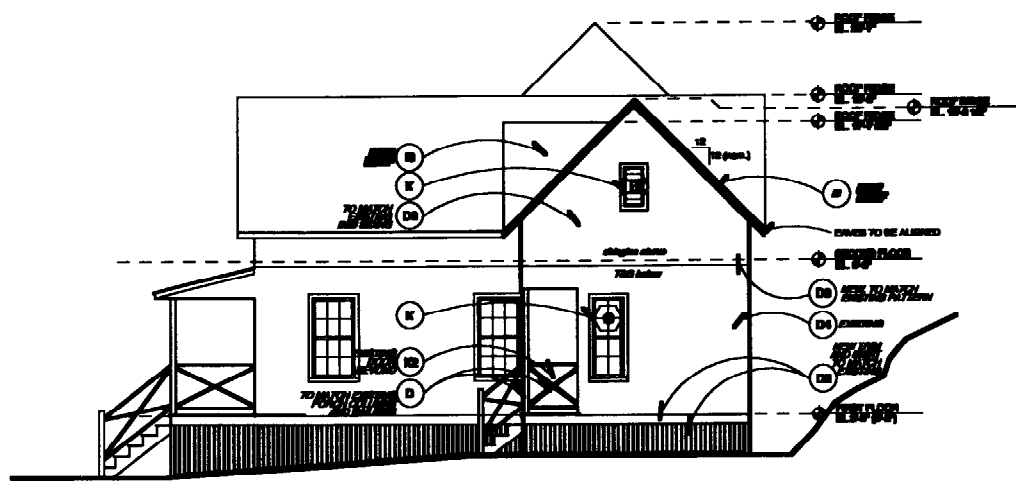
1 North elevation
10'-0" 11'-0" 12'-0" 13'-0" 14'-0" 15'-0" 16'-0" 17'-0" 18'-0" 19'-0" 20'-0"



2 East elevation
10'-0" 11'-0" 12'-0" 13'-0" 14'-0" 15'-0" 16'-0" 17'-0" 18'-0" 19'-0" 20'-0"



3 South elevation
10'-0" 11'-0" 12'-0" 13'-0" 14'-0" 15'-0" 16'-0" 17'-0" 18'-0" 19'-0" 20'-0"



4 West elevation
10'-0" 11'-0" 12'-0" 13'-0" 14'-0" 15'-0" 16'-0" 17'-0" 18'-0" 19'-0" 20'-0"

Warner
Design
Associates

residing design
interior design
planning

30 Maple Street
Portland, Maine
04107

Telephone 207 774 8200
Facsimile 207 779 8220
e-mail warnerdesign@earthlink.net

MATERIALS SCHEDULE

- A Cast in Place Concrete
- As Shown with on Form
- As Shown with on Form
- B Hardwood Siding
- C Hardwood Siding
- D Hardwood Siding
- E Hardwood Siding
- F Hardwood Siding
- G Hardwood Siding
- H Hardwood Siding
- I Hardwood Siding
- J Hardwood Siding
- K Hardwood Siding
- L Hardwood Siding
- M Hardwood Siding
- N Hardwood Siding
- O Hardwood Siding
- P Hardwood Siding
- Q Hardwood Siding
- R Hardwood Siding
- S Hardwood Siding

ALL WORK TO BE DONE IN ACCORDANCE WITH THE CITY OF PORTLAND BUILDING DEPARTMENT REGULATIONS AND THE INTERNATIONAL BUILDING CODES.

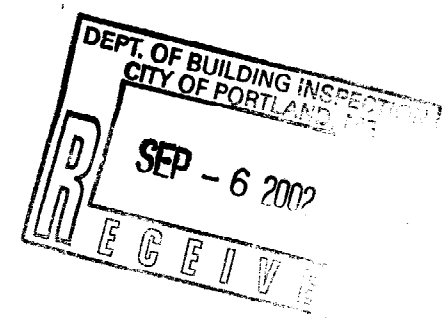
REVISION 1:	07/2002
REVISION 2:	08/2002

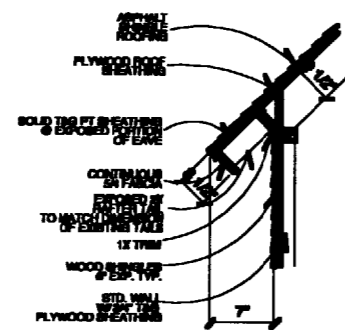
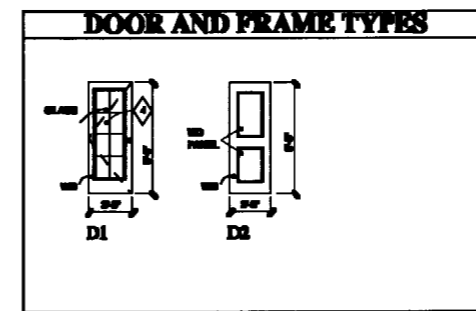
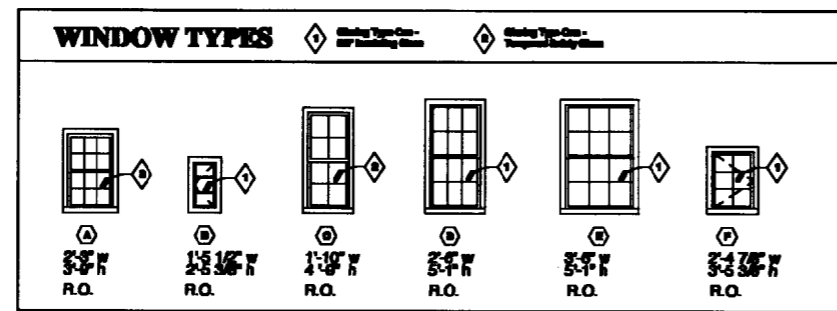
Day Residence
"Hazel Dell"
Peaks Island
Maine

Elevations

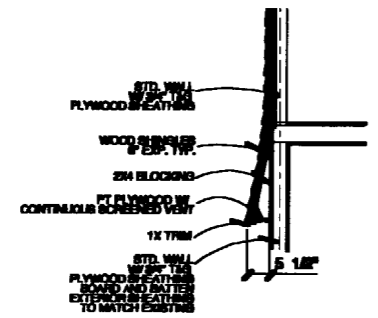
Scale: 1/4" = 1'-0" Date: 11-01-02
Drawn by: JWB
Checked by: JWB
Project No: 2002.02

Sheet No: **A2.0**

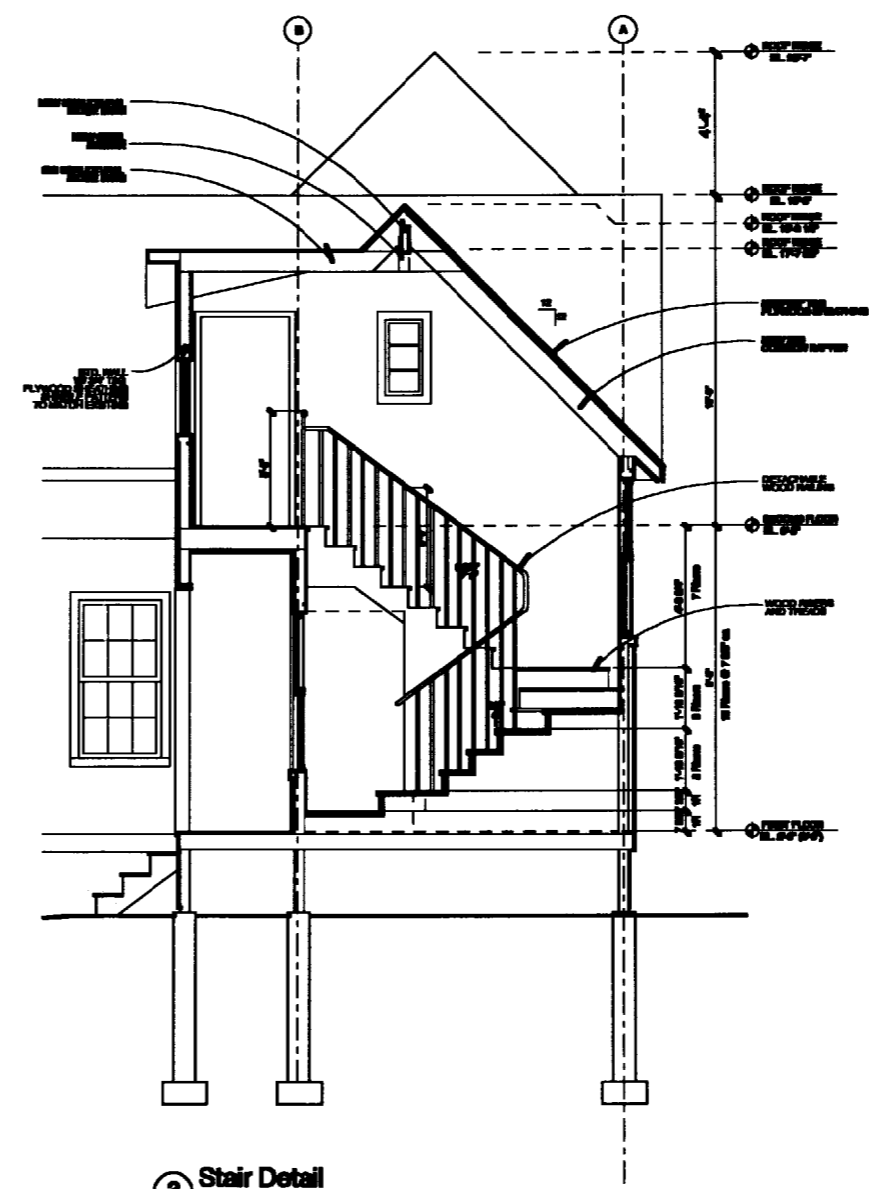




1 Turret Eave Detail
1/4" = 1'-0"



2 Turret Skirt Detail
1/4" = 1'-0"



3 Stair Detail
1/4" = 1'-0"

Warner Design Associates
 Building Design
 Interior Design
 Planning
 20 Maple Street
 Portland, Maine
 04107
 Telephone 603 774 6800
 Facsimile 603 772 4330
 E-mail warner@glphoenix.com

MATERIALS SCHEDULE

A	Ceiling in Place Concrete
AC	Concrete Slab on Grade
AD	Concrete Slab / Floor Deck
B	Insulated Concrete
C	Subflooring
CC	Subflooring
CD	Subflooring
D	Wood Siding
DD	Wood Siding
DD1	Wood Siding - Vertical T&B
DD2	Wood Siding - Vertical T&B
DD3	Wood Siding - Vertical T&B
DD4	Wood Siding - Vertical T&B
DD5	Wood Siding - Vertical T&B
DD6	Wood Siding - Vertical T&B
DD7	Wood Siding - Vertical T&B
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DD99	Wood Siding - Vertical T&B
DD100	Wood Siding - Vertical T&B

GENERAL NOTES:
 1. ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
 2. ALL MATERIALS TO BE APPROVED BY ARCHITECT PRIOR TO INSTALLATION.
 3. ALL MATERIALS TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.

No.	Description	Date

Day Residence "Hazel Dell"
 Peaks Island
 Maine

Sections

Scale: 1/4" = 1'-0" Date: 11-11-09
 Drawn by: JH
 Checked by: JH
 Approved by: JH
 Project No: 2009-02