



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

- A1 Title Page
- A2 Proposed Site Plan
- A3 Existing First Floor Plan
- A4 Existing Second Floor Plan
- A5 Existing Third Floor Plan
- A6 Existing East Elevation
- A7 Existing South Elevation
- A8 Existing West Elevation
- A9 Proposed First Floor Plan
- A10 Proposed Second Floor Plan
- A11 Proposed Third Floor Plan
- A12 Proposed East Elevation
- A13 Proposed South Elevation
- A14 Proposed West Elevation
- A15 Proposed Interiors One
- A16 Proposed Interiors Two
- A17 Existing North Elevation
- A18 Proposed North Elevation
- S1 Proposed Foundation Plan
- S2 Proposed Second Floor Framing Plan
- S3 Proposed Third Floor Framing Plan
- S4 Proposed Ceiling/Roof Framing Plan
- S5 Proposed Porch/Deck Foundation and Floor Framing
- S6 Proposed Porch Roof and Outdoor Shower Framing
- E1 Proposed First Floor Power Plan
- E2 Proposed Second Floor Power Plan
- E3 Proposed Third Floor Power Plan
- E4 Proposed First Floor Lighting Plan
- E5 Proposed Second Floor Lighting Plan
- E6 Proposed Third Floor Lighting Plan

Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

Title Page

PROJECT

Branson Residence

**5 Beach Road
Peaks Island, Me.
04108**

DATE	REVISED
5.9.14	5.22.14 10.30.14 7.31.14

SCALE	DRAWN BY
	Rachel & Harvey

NOTES

A1



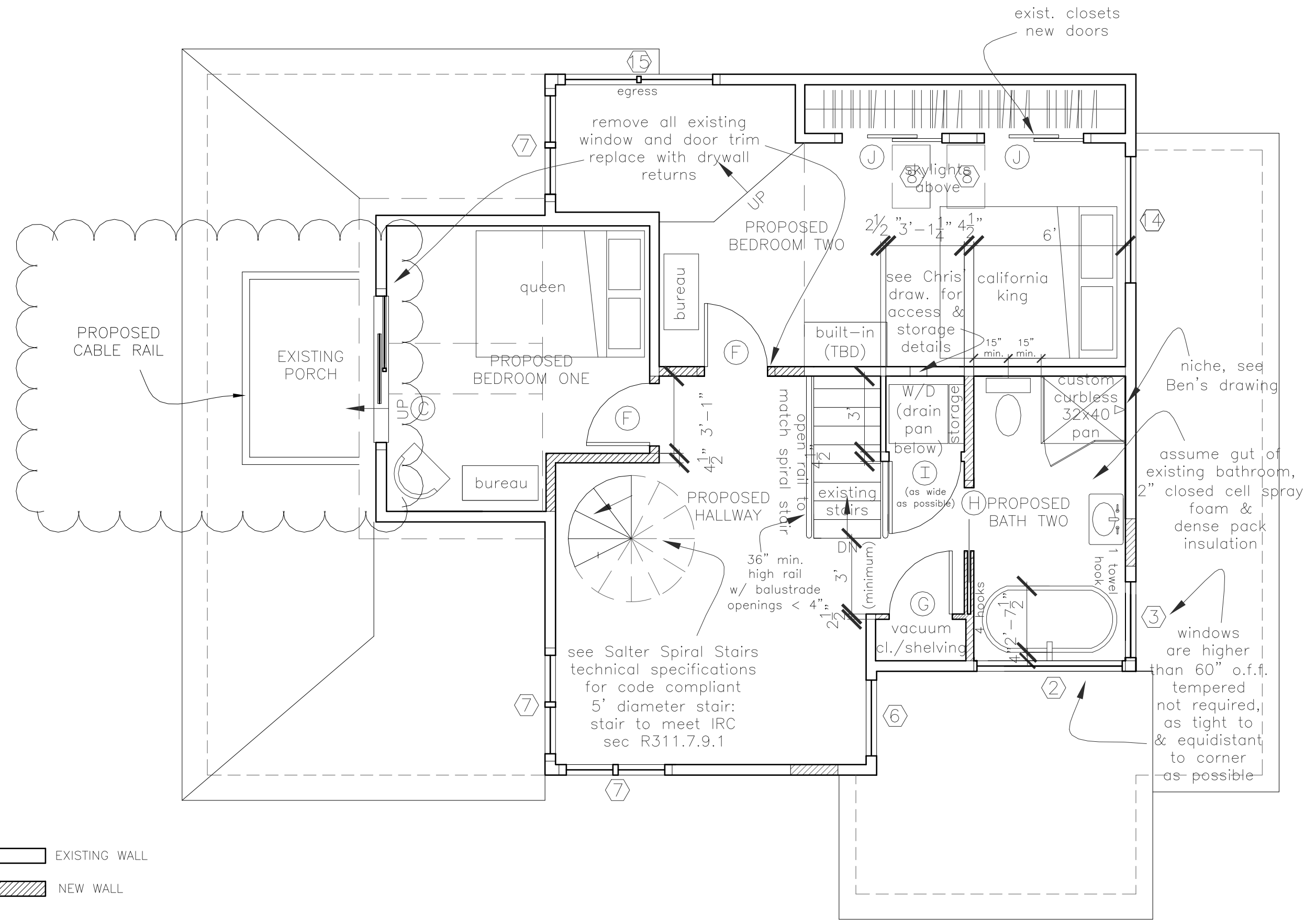
Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

**Proposed
Second Floor
Plan**



EXISTING WALL
NEW WALL



PROJECT
Branson Residence

5 Beach Road
Peaks Island, Me.
04108

DATE 5.9.14
REVISED 5.22.14 10.30.14
7.31.14

SCALE 1/4" = 1'-0"
DRAWN BY Rachel & Harvey

NOTES

A Proposed Second Floor
1/4" = 1'-0"

A10



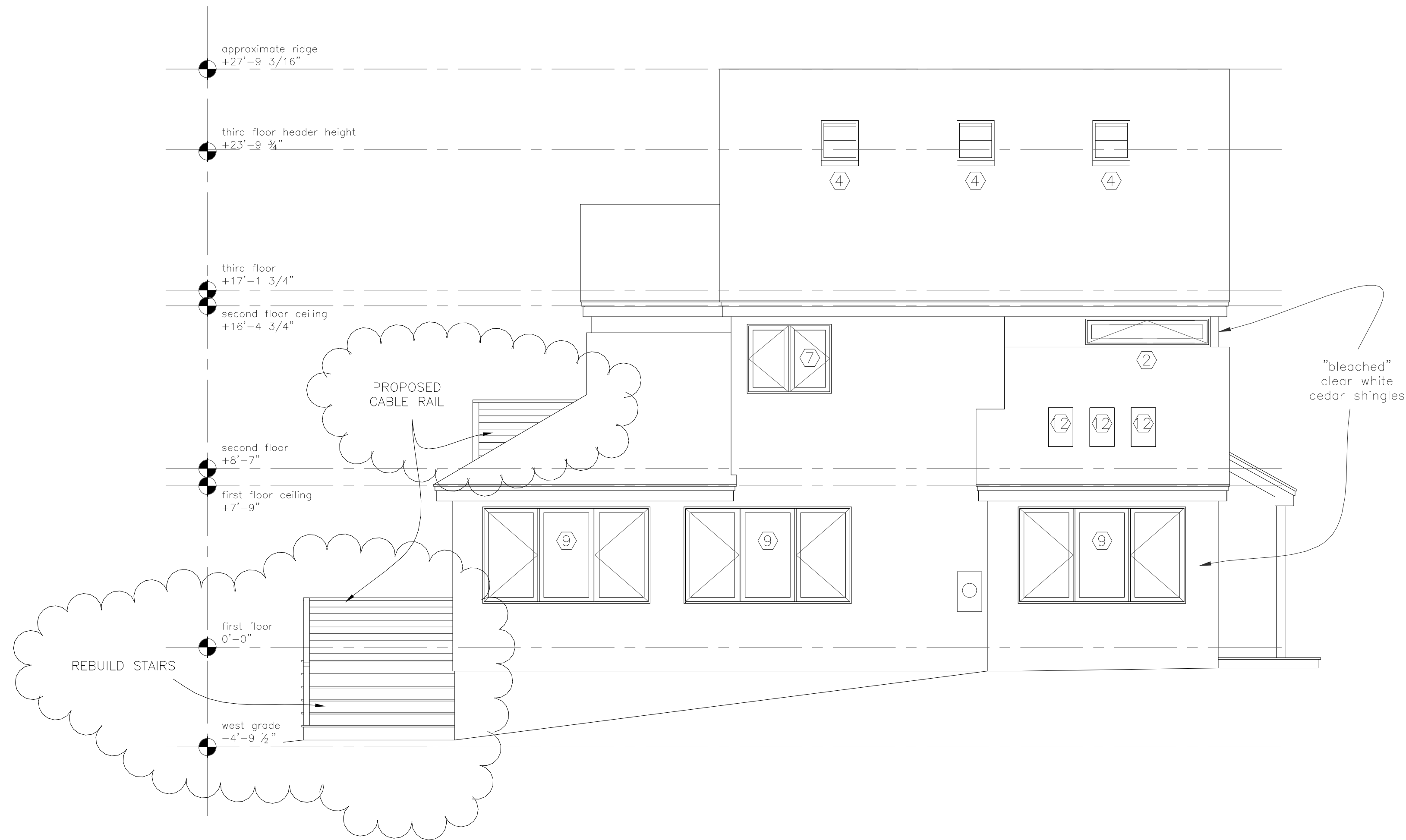
Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

**Proposed
South
Elevation**



PROJECT

Branson Residence

**5 Beach Road
Peaks Island, Me.
04108**

DATE 5.9.14 REVISED 5.22.14 10.30.14
7.31.14

SCALE 1/4" = 1'-0" DRAWN BY Rachel & Harvey

NOTES

A Proposed South Elevation
1/4" = 1'-0"

A13



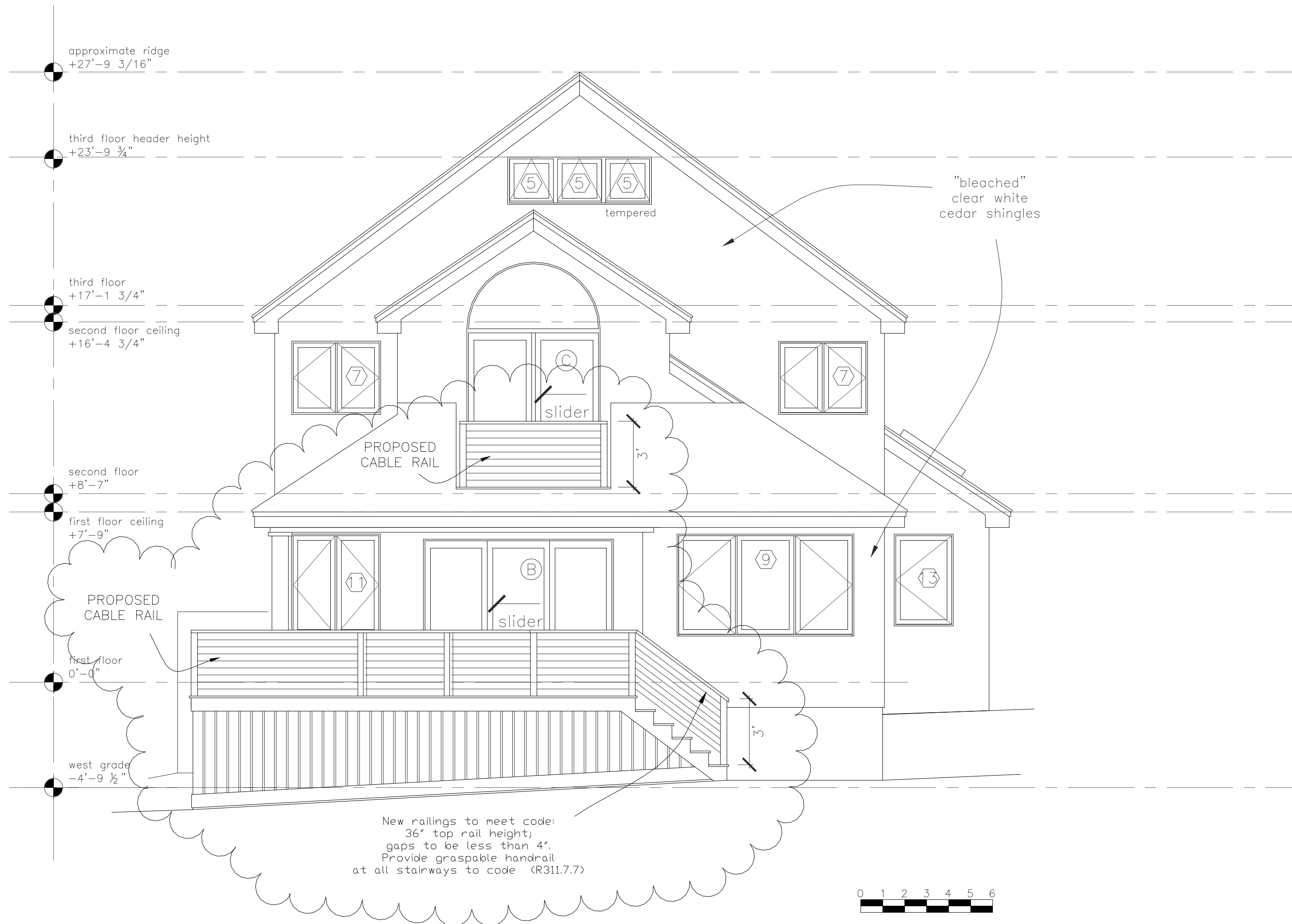
Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

Proposed
West
Elevation



PROJECT

Branson Residence

5 Beach Road
Peaks Island, Me.
04108

DATE	REVIS
5.9.14	5.22.14 10.30.14 7.31.14

SCALE	DRAWN BY
1/4" = 1'-0"	Rachel & Harvey

NOTES

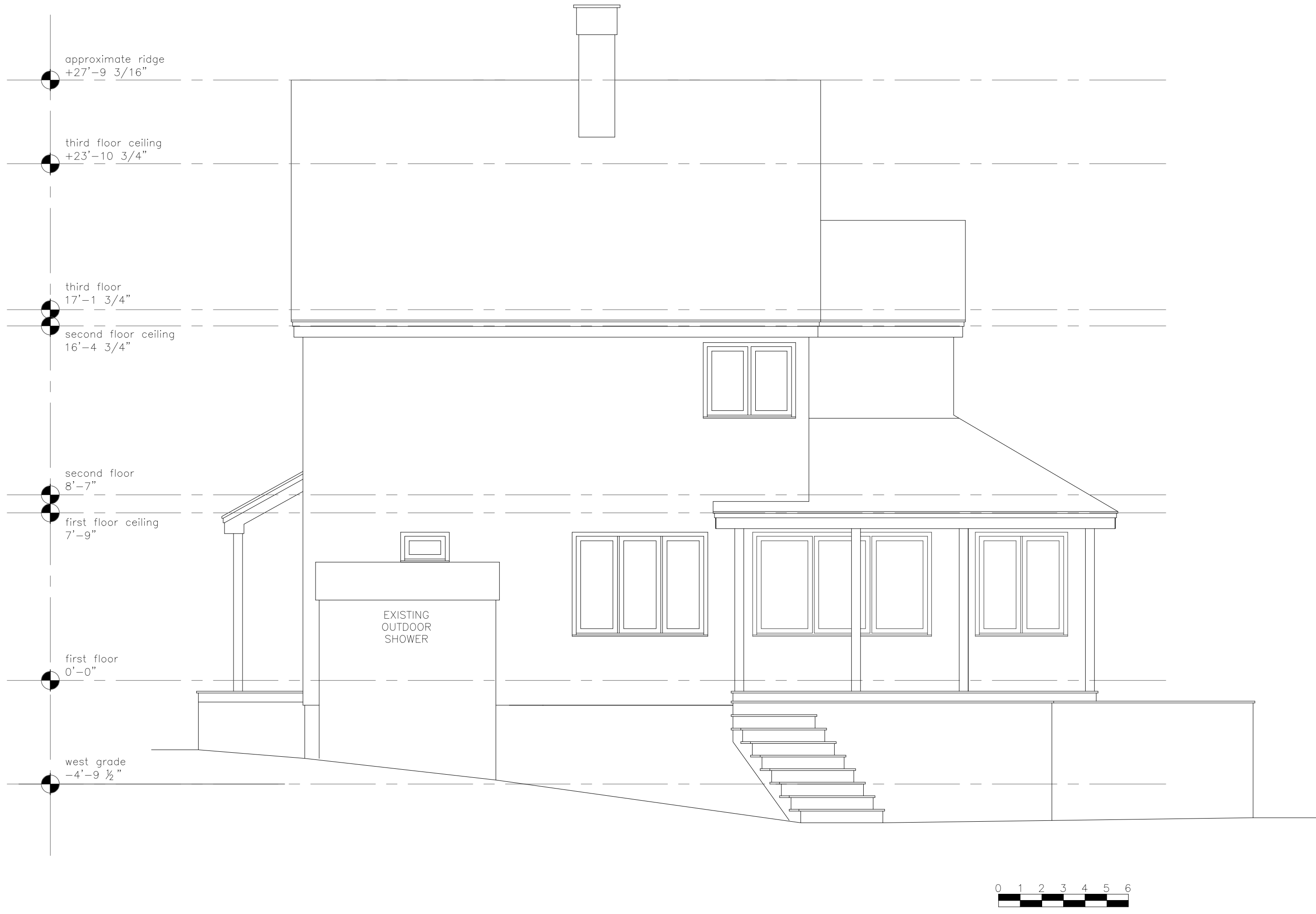
(A) Proposed West Elevation
1/4" = 1'-0"

A14



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14



Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

Existing
North
Elevation

PROJECT

Branson Residence

5 Beach Road
Peaks Island, Me.
04108

DATE
10.30.14

REVISED

SCALE
1/4" = 1'-0"

DRAWN BY
**Rachel &
Harvey**

NOTES

A Existing North Elevation
1/4" = 1'-0"

A17



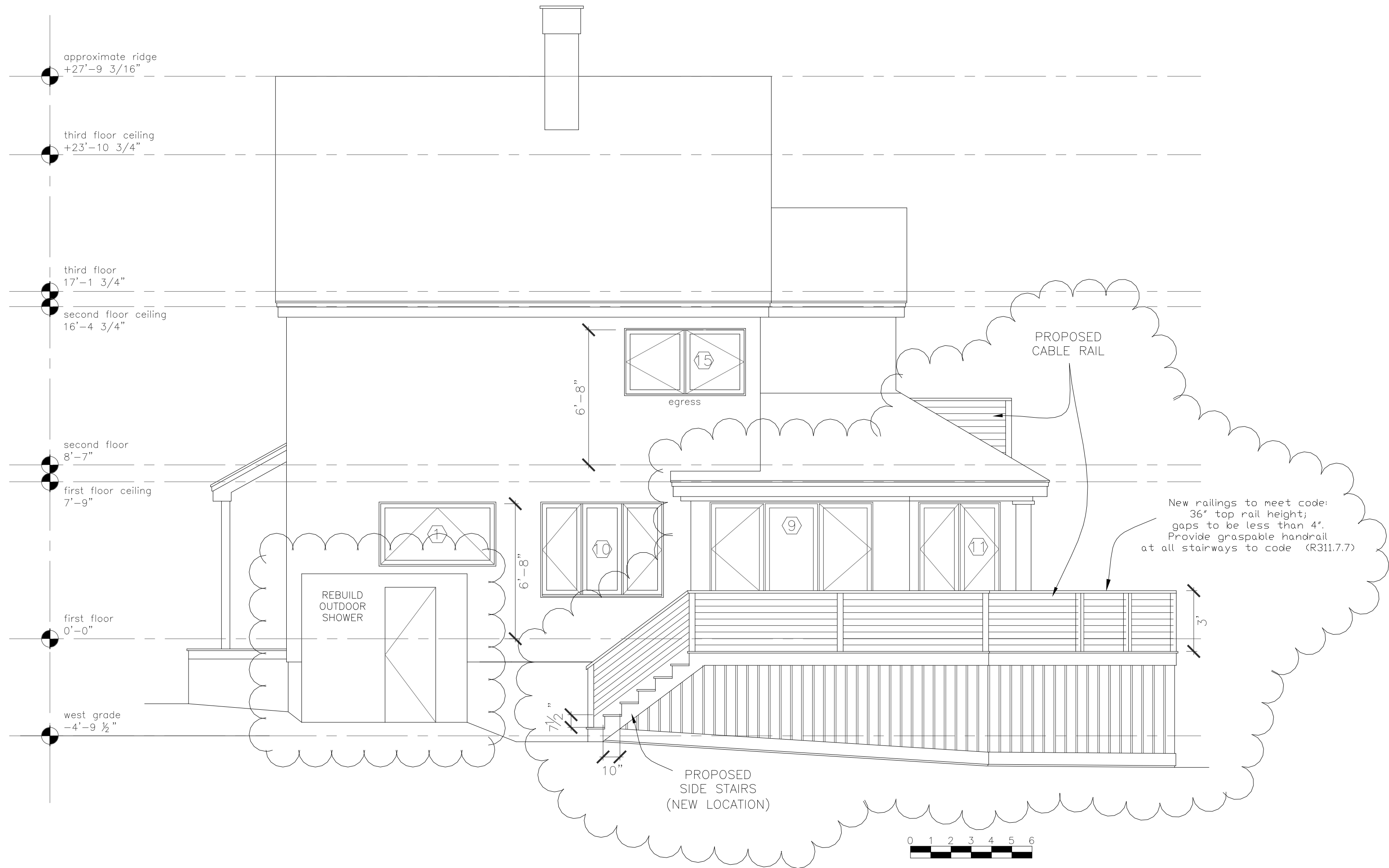
Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

Proposed North Elevation



A Proposed North Elevation
1/4" = 1'-0"

PROJECT
Branson Residence
5 Beach Road
Peaks Island, Me.
04108

DATE 10.30.14	REVISED
SCALE 1/4" = 1'-0"	DRAWN BY Rachel & Harvey

NOTES

A18



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

LOT COVERAGE CALCULATIONS:

EXISTING LOT 12,663 SF X(.20)= 2532 SF ALLOWABLE

EXISTING HOUSE	921 SF
EXISTING DECK/PORCH & MAIN STAIR	326 SF
EXISTING FRONT PORCH	113 SF
EXISTING OUTDOOR SHOWER	36 SF
EXISTING SIDE STAIR	31 SF

TOTAL EXISTING FOOTPRINT = 1,427 SF

REMOVE EXISTING SIDE STAIR - 31 SF

PROPOSED NEW SIDE STAIR + 17 SF

TOTAL PROPOSED FOOTPRINT = 1413 SF

ALLOWABLE FOOTPRINT REMAINING (2,532-1,377)=1,119 SF

CASCO BAY

BEACH RD.

5 BEACH RD.
PORTLAND, MAINE
C.B.L: 90-D-3-16
(12663 SF)

EXIST. DECK/PORCH
AND MAIN STAIR
(326 SQFT)
TO BE REPAIRED/REBUILT
WITHIN
EXISTING FOOTPRINT

25' front yard setback

EXIST. HOUSE
FOOTPRINT
(921 SQFT)
NO CHANGE

EXIST. SIDE STAIR
(TO BE REMOVED)
(31 SQFT)

PROPOSED SIDE STAIR
(17 SQFT)
(50 SQ. FT.
ALLOWED PER
SECTION 14-425)

ADJACENT
LOT

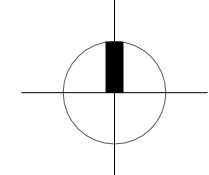
EXISTING OUTDOOR SHOWER
(36 SQFT)
TO BE REBUILT WITHIN
EXISTING FOOTPRINT

EXIST. FRONT PORCH
FOOTPRINT
(113 SQFT)
NO CHANGE

ADJACENT
LOT

ADJACENT
LOT

SUNSET RD.



Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

Proposed
Site Plan

PROJECT
Branson Residence

5 Beach Road
Peaks Island, Me.
04108

DATE 5.9.14 REVISED 5.22.14 10.30.14
7.31.14

SCALE 1/16" = 1'-0" DRAWN BY Rachel & Harvey

NOTES

A Proposed Site Plan
1/16" = 1'-0"

A2



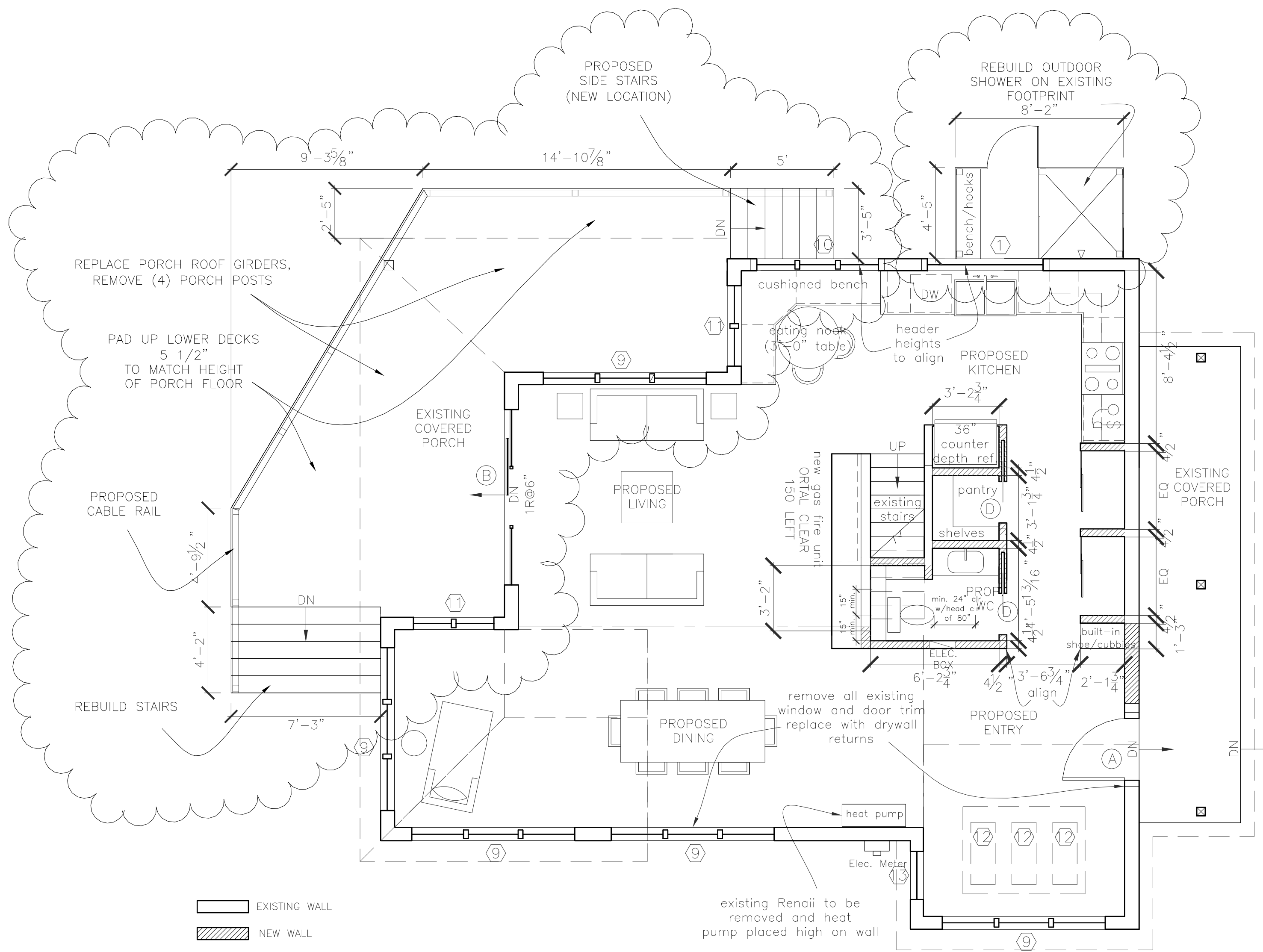
Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

Rachel Conly
Architectural Design

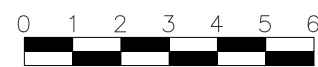
26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

Proposed First Floor Plan



NOTES:

- 1.) ASSUME REMOVAL OF EXISTING FIBERGLASS AND INSTALLATION OF DENSEPACK CELLULOSE THROUGHOUT
- 2.) ASSUMES MOVING UTILITIES TO INSULATED CRAWL
- 3.) ASSUME SIZING FOR A HEAT PUMP AND HEAT RECOVERY VENTILATOR



existing Renaii to be removed and heat pump placed high on wall

PROJECT

Branson Residence

**5 Beach Road
Peaks Island, Me.
04108**

DATE 5.9.14	REVISED 5.22.14 10.30.14 7.31.14
----------------	--

SCALE 1/4" = 1'-0"	DRAWN BY Rachel & Harvey
-----------------------	--

NOTES

A Proposed First Floor
1/4" = 1'-0"

A9



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

**Proposed
Porch/Deck
Foundation
and
Floor Framing
Plan**

PROJECT

Branson Residence

**5 Beach Road
Peaks Island, Me.
04108**

DATE
10.30.14

REVISED

SCALE
1/4" = 1'-0"

DRAWN BY
**Rachel &
Harvey**

NOTES

CORNER POST FOOTING SPECIFICATIONS

- 1) 22" SQUARE X 10" THICK FOOTING, MIN. 4'-0" DEEP ON SOIL (OR PINNED TO ROCK)
- 2) PIERS TO BE MIN. 10" SQUARE OR ROUND, DOWELED TO FOOTING WITH (2) #3 24" LONG W/ 4" HOOK & (3) #3 VERTICAL BARS & #3 HOOPS AT 8" VERTICAL SPACING.
- 3) SIMPSON AB-TYPE POST BASE, OR EQUAL INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 4) PRESSURE TREATED 6X6 POST
- 5) SOLID BLOCKING WITHIN DECK JOIST BOX (OR CONTINUOUS POST FROM ROOF TO PIER)

END POST FOOTING SPECIFICATIONS

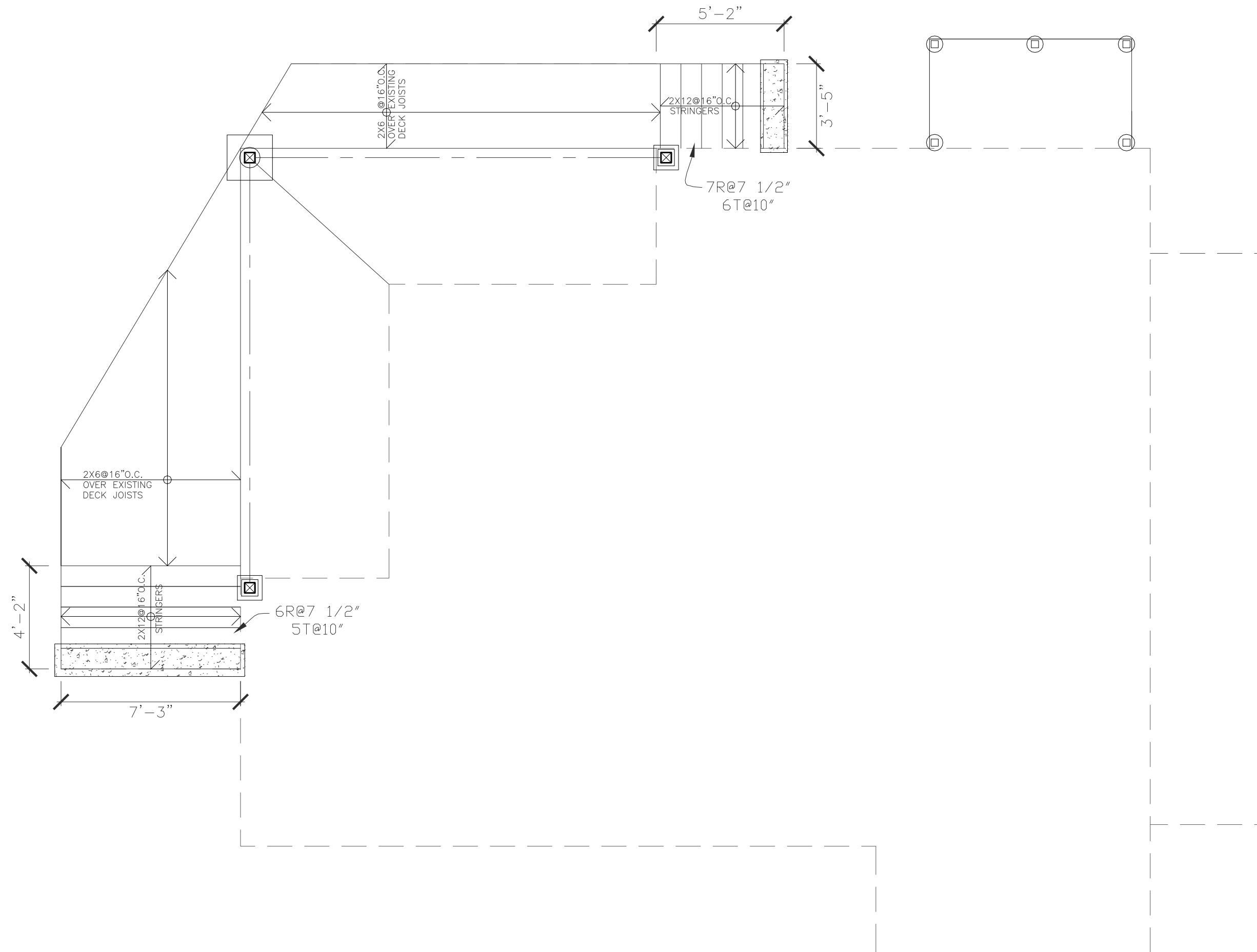
- 1) 12" SQUARE X 10" THICK FOOTING, MIN. 4'-0" DEEP ON SOIL (OR PINNED TO ROCK)
- 2) PIERS TO BE MIN. 8" SQUARE, DOWELED TO FOOTING WITH (2) #3 24" LONG W/ 4" HOOK & (3) #3 VERTICAL BARS & #3 HOOPS AT 8" VERTICAL SPACING.
- 3) SIMPSON AB-TYPE POST BASE, OR EQUAL INSTALLED PER MANUFACTURER'S RECOMMENDATIONS.
- 4) PRESSURE TREATED 6X6 POST
- 5) SOLID BLOCKING WITHIN JOIST BOX

EXTERIOR STAIR FOOTING SPECIFICATIONS

- 1) 12" X 6" FOOTING (R403.1.1) MIN 4'-0" DEEP ON SOIL (OR PINNED TO ROCK)
- 2) 8" HOLLOW CMU FROSTWALL (R404.1.1)
- 3) 2X8 P.T. SOLE PLATE ANCHORED TO FROSTWALL ACCORDING TO R403.1.6 (FULLY GROUT CELLS OF TOP COURSE OF CMU TO HOLD ANCHOR BOLTS)

OUTDOOR SHOWER FOOTING SPECIFICATIONS

- 1) 8"Ø X MIN. 48" DEEP CONCRETE "SONOTUBE" FOOTING
- 2) SIMPSON AB-TYPE POST BASE, OR EQUAL INSTALLED PER MANUFACTURER'S RECOMMENDATIONS
- 3) 4X4 P.T. POST (FULL HEIGHT OF SHOWER)



A Proposed Porch/Deck Foundation and Floor Framing
1/4" = 1'-0"

S5



Reviewed for Code Compliance
Inspections Division
Approved with Conditions
Date: 12/17/14



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Jeff Levine, AICP, Director
Director of Planning and Urban Development

Tammy Munson
Director, Inspections Division

Electronic Signature and Fee Payment Confirmation

Notice: Your electronic signature is considered a legal signature per state law.

By digitally signing the attached document(s), you are signifying your understanding this is a legal document and your electronic signature is considered a **legal signature** per Maine state law. You are also signifying your intent on paying your fees by the opportunities below.

I, the undersigned, intend and acknowledge that no permit application can be reviewed until payment of appropriate permit fees are **paid in full** to the Inspections Office, City of Portland Maine by method noted below:

- Within 24-48 hours, once my complete permit application and corresponding paperwork has been electronically delivered, I intend to **call the Inspections Office** at 207-874-8703 and speak to an administrative representative and provide a credit/debit card over the phone.
- Within 24-48 hours, once my permit application and corresponding paperwork has been electronically delivered, I intend to **hand deliver** a payment method to the Inspections Office, Room 315, Portland City Hall.
- I intend to deliver a payment method through the U.S. Postal Service mail once my permit paperwork has been electronically delivered.

Applicant Signature: Rachel A. Conly

Date: 11.03.14

I have provided digital copies and sent them on:

Date: 11.03.14

NOTE: All electronic paperwork must be delivered to buildinginspections@portlandmaine.gov or by physical means ie; a thumb drive or CD to the office.

Room 315 - 389 Congress Street- Portland, Maine 04101 (207) 874-8703 - Fax: 874-8716 - TTY: 874-8936



Reviewed for Code Compliance
Inspections Division
Approved with Conditions

Date: 12/17/14

Rachel Conly
Architectural Design

26 Sterling Street
Peaks Island, Maine 04108
207.766.5625

**Proposed
Porch Roof
and
Outdoor Shower
Framing
Plan**

PROJECT

Branson Residence

**5 Beach Road
Peaks Island, Me.
04108**

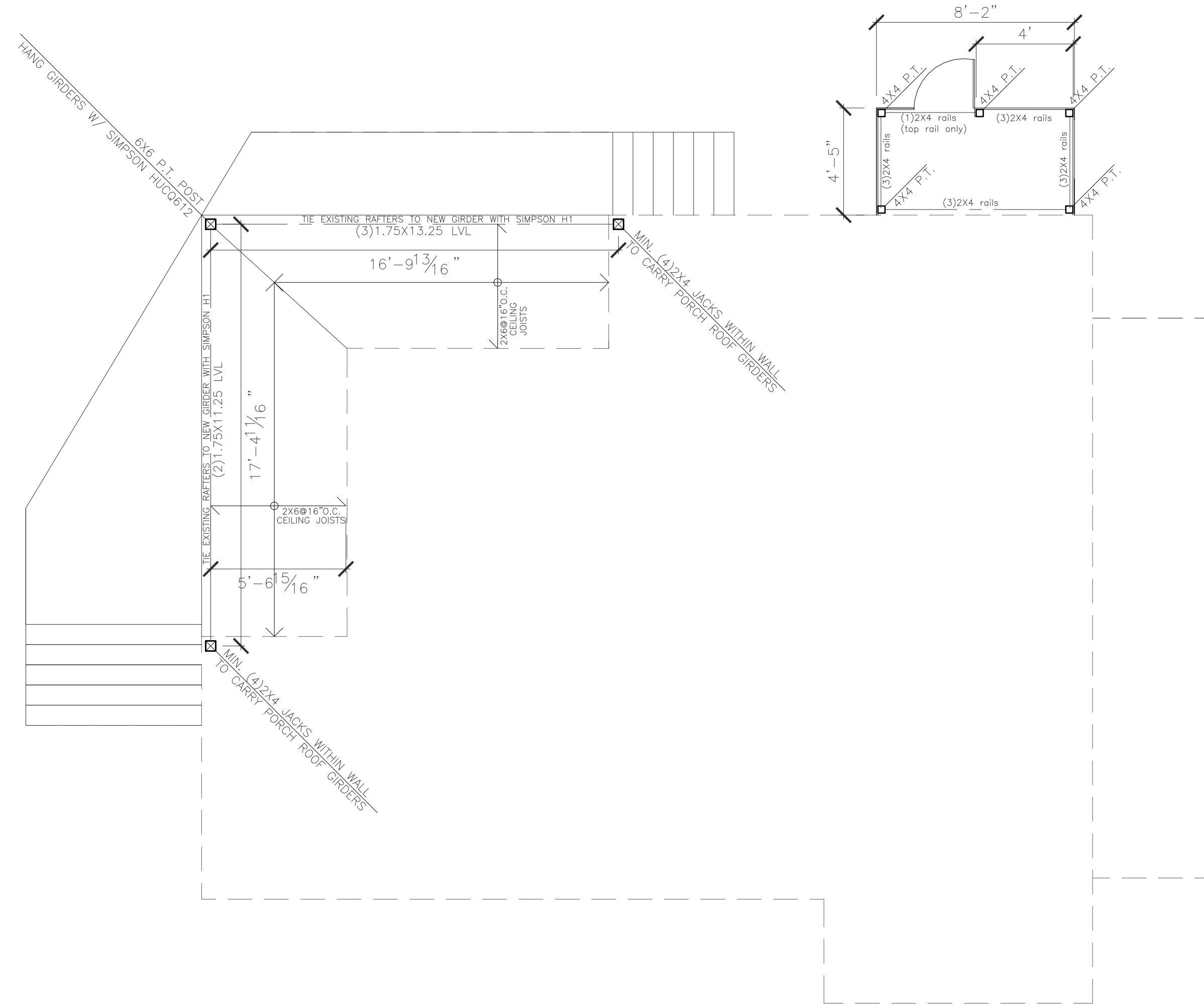
DATE
10.30.14

REVISED

SCALE
1/4" = 1'-0"

DRAWN BY
**Rachel &
Harvey**

NOTES



A Proposed Porch Roof and Outdoor Shower Framing
1/4" = 1'-0"

S6