

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that MICHAEL J CHAPEY

Located At 5 SUNSET RD (PEAKS ISLAND)

Job ID: 2011-12-2961-SOB

CBL: 090-C-003-001

has permission to Build a new Seawall in front of an existing Seawall (Single Family Residence) provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

01/12/2012

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY
PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
 - **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
 - **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**
1. Footings/Setbacks prior to pouring concrete
 2. Final Inspection, See Building Condition of Approval # 3.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Director of Planning and Urban Development

Job ID: 2011-12-2961-SOB

Located At: 5 SUNSET RD

CBL: 090- C-003-001

Conditions of Approval:

Building

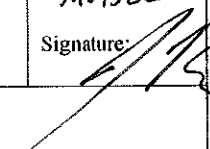
1. Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
2. This permit is approved under repair of an Existing Structures. Guardrails and handrails, stair rise/run profile and continuity shall comply with new codes to the fullest extent possible. Fall protection, and further review may be required if the grade deviates from the proposed plan.
3. Prior to the final inspection a sealed letter from your Engineer shall be submitted to this office confirming that based on inspections performed all discrepancies have been corrected and the structural work is in substantial compliance with the approved plans.


DRC

1. See attached documentation (Letter dated July 28, 2011) from the Planning Division.

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-12-2961-SOB	Date Applied: 12/20/2011	CBL: 090- C-003-001	
Location of Construction: 5 SUNSET RD, Peaks Island	Owner Name: MICHAEL J CHAPEY	Owner Address: 110 MIDDLEBROOK FARM RD WILTON, CT 06897	Phone: 203-564-3404
Business Name:	Contractor Name: Lionel Plante Associates	Contractor Address: 98 Island Ave., Peaks Island, ME 04108	Phone: (207) - 766-2507
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: IR-2
Past Use: Single family	Proposed Use: Same - single family - build new seawall in front of existing seawall	Cost of Work: 45000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: Type: Seawall MUBEC Signature: 
Proposed Project Description: construct new granite block seawall		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>received DEP approval</i> <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan <i>Luella</i> 2011-235 <input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM Date: DEC 6 12/22/11 	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ABM</i>
	CERTIFICATION		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

It-3, Shoreland

2011-12-2961



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 5 Sunset Road, Peaks Island		
Total Square Footage of Proposed Structure/Area 480 s.f.	Square Footage of Lot 6,142 s.f.	
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# Map 30, Block C, Lot 3	Applicant * <u>must</u> be owner, Lessee or Buyer* Name Michael J. Chapey Address 110 Middlebrook Farm Rd. City, State & Zip Wilton, CT 06987	Telephone: (207) 766-0047 (203) 564-3404
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 44,650.00 C of O Fee: \$ n/a Total Fee: \$ 466.50
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? Proposed Specific use: <u>Seawall Reconstruction</u> Is property part of a subdivision? <u>No</u> If yes, please name Project description: Applicant proposes to construct a new granite block seawall. The new seawall will abut the existing concrete seawall.		
Contractor's name: <u>Lionel Plante Associates</u> Address: <u>98 Island Avenue</u> City, State & Zip: <u>Peaks Island, Maine 04108</u> Telephone: <u>207-766-2507</u> Who should we contact when the permit is ready: <u>William R. Walsh</u> Telephone: <u>207-553-9898</u> Mailing address: <u>Walsh Engineering Associates, Inc., 918 Brighton Ave, Portland, Maine 04102</u>		

11-22-11

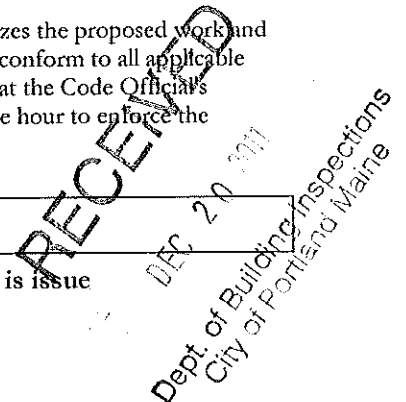
Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: William R. Walsh (AGENT) Date: 12/20/11

This is not a permit; you may not commence ANY work until the permit is issued.



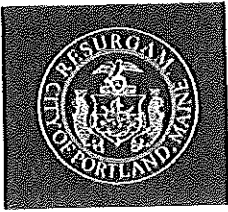
Jonathan Rioux - 5 Sunset Road, Peaks Island - Planning Conditions of Approval

From: Philip DiPierro
To: Rioux, Jonathan
Date: 1/12/2012 11:51 AM
Subject: 5 Sunset Road, Peaks Island - Planning Conditions of Approval
Attachments: Peaks Island - Sunset Rd. - 5 (Seawall Reconstruction) 7-28-11 8-2-11.pdf

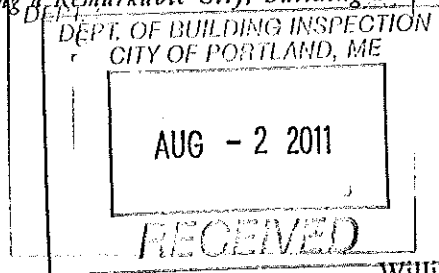
Jon, attached is the approval letter with the conditions of approval. The conditions of approval have been met.

Thanks.

Phil



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Planning and Urban Development Department
Penny St. Louis, Director

Planning Division
Alexander Jaegerman, Director

July 28, 2011

Michael J. Chapey
110 Middlebrook Farm Road
Wilton, CT 06897

William E. Walsh III, PE
Walsh Engineering Associates, Inc.
918 Brighton Avenue
Portland, Maine 04102

Project Name:	Seawall Reconstruction	Project ID:	2011-235
Address:	5 Sunset Road, Peaks Island	CBL:	090 - C - 003-001
Applicant:	Michael J. Chapey		
Planner:	Philip DiPierro		

Dear Mr. Chapey:

On July 28, 2011, the Planning Authority approved with conditions a Level II site plan for the seawall reconstruction project for 5 Sunset Road, Peaks Island as submitted by Walsh Engineering Associates, Inc. and shown on the approved plan L1.0 revision 3, dated 6-10-11, and plan L2.0 revision 4, dated July 28, 2011, prepared by William R. Walsh, III, PE, with the following conditions:

1. The required license agreements for construction activities that are to take place in the City's right-of-way as part of this project are to be submitted, reviewed, approved, and executed prior to the issuance of the building permit.
2. Evidence of project approval from the Maine Department of Environmental Protection (DEP), and the Army Corps of Engineers (ACOE) must be submitted prior to the issuance of the building permit.

The approval is based on the submitted site plan. If you need to make any modifications to the approved site plan, you must submit a revised site plan for staff review and approval.

STANDARD CONDITIONS OF APPROVAL

Please note the following standard conditions of approval and requirements for all approved site plans:

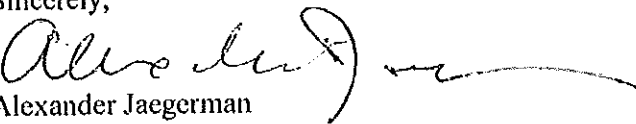
1. **Develop Site According to Plan** The site shall be developed and maintained as depicted on the site plan and in the written submission of the applicant. Modification of any approved site plan or alteration of a parcel which was the subject of site plan approval after May 20, 1974, shall require the prior approval of a revised site plan by the Planning Board or Planning Authority pursuant to the terms of Chapter 14, Land Use, of the Portland City Code.
2. **Separate Building Permits Are Required** This approval does not constitute approval of building plans, which must be reviewed and approved by the City of Portland's Inspection Division.
3. **Site Plan Expiration** The site plan approval will be deemed to have expired unless work has commenced within one (1) year of the approval or within a time period up to three (3) years from the approval date as agreed upon in writing by the City and the applicant. Requests to extend approvals must be received before the one (1) year expiration date.
4. **Performance Guarantee and Inspection Fees** A performance guarantee covering the site improvements, inspection fee payment of 2.0% of the guarantee amount and seven (7) final sets of plans must be submitted to and approved by the Planning Division and Public Services Department prior to the release of a building permit, street opening permit or certificate of occupancy for site plans. In addition, final sets of plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater. If you need to make any modifications to the approved plans, you must submit a revised site plan application for staff review and approval.
5. **Defect Guarantee** A defect guarantee, consisting of 10% of the performance guarantee, must be posted before the performance guarantee will be released.
6. **Preconstruction Meeting** Prior to the release of a building permit or site construction, a pre-construction meeting shall be held at the project site. This meeting will be held with the contractor, Development Review Coordinator, Public Service's representative and owner to review the construction schedule and critical aspects of the site work. At that time, the Development Review Coordinator will confirm that the contractor is working from the approved site plan. The site/building contractor shall provide three (3) copies of a detailed construction schedule to the attending City representatives. It shall be the contractor's responsibility to arrange a mutually agreeable time for the pre-construction meeting.
7. **Department of Public Services Permits** If work will occur within the public right-of-way such as utilities, curb, sidewalk and driveway construction, a street opening permit(s) is required for your site. Please contact Carol Merritt at 874-8300, ext. 8828. (Only excavators licensed by the City of Portland are eligible.)

8. **As-Built Final Plans** Final sets of as-built plans shall be submitted digitally to the Planning Division, on a CD or DVD, in AutoCAD format (*.dwg), release AutoCAD 2005 or greater.

The Development Review Coordinator must be notified five (5) working days prior to the date required for final site inspection. The Development Review Coordinator can be reached at the Planning Division at 874-8632. All site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

If there are any questions, please contact Philip DiPierro at (207) 874-8632.

Sincerely,


Alexander Jaegerman
Planning Division Director

Attachments:

1. Performance Guarantee Packet

Electronic Distribution:

Penny St. Louis, Director of Planning and Urban Development Department
Alexander Jaegerman, Division Director, Planning
Barbara Barhydt, Development Review Services Manager, Planning
Philip DiPierro, Development Review Coordinator/Planner, Planning
Marge Schmuckal, Zoning Administrator, Inspections Division
Tammy Munson, Plan Reviewer, Inspections Division
Lannie Dobson, Administration, Inspections Division
Michael Bobinsky, Director, Public Services
Katherine Earley, Engineering Services Manager, Public Services
Bill Clark, Project Engineer, Public Services
David Margolis-Pineo, Deputy City Engineer, Public Services
Jane Ward, Administration, Public Services
Capt. Keith Gautreau, Fire Department
Jeff Tarling, City Arborist, Public Services
Tom Errico, P.E., T.Y. Lin Associates
Dave Senus, P.E., Woodard & Curran
Assessor's Office
Approval Letter File

**REVOCABLE LICENSE FOR THE CONSTRUCTION, LOCATION,
INSTALLATION and MAINTENANCE
OF A SEAWALL
IN THE VICINITY OF 5 SUNSET ROAD**

This revocable license is granted by the City of Portland "CITY" to Michael J. Chapey hereinafter "OWNER" for the construction, location, installation and maintenance of a seawall (including, but not limited to, rip rap stone, concrete wall, granite block wall and wall toe protection) (hereinafter referred to as the "seawall") on property owned by the City in the vicinity of 5 Sunset Road (Peaks Island) Portland, Maine, as more particularly shown on the plan attached hereto as Exhibit A. The location, installation and maintenance of the seawall shall be governed by the terms of this License Agreement.

1. OWNER is hereby permitted to occupy the City land located adjacent to its property at 5 Sunset Road for the construction, location, installation, maintenance and placement of the seawall as shown and depicted on Exhibit A.

2. OWNER and its agents, successors and assigns shall be responsible for the proper location, installation and maintenance of the seawall on City property as shown and depicted on Exhibit A. In the event of damage to the same, OWNER shall promptly repair/restore/replace the seawall and notify the City of the same.

3. OWNER shall procure and maintain liability insurance in an amount of not less than Four Hundred Thousand Dollars (\$400,000) combined single limit (or the amount stated in the Maine Tort Claims Act as the same may be amended from time to time), covering claims for bodily injury, death and property damage and shall name the CITY as an additional insured with respect to such coverage.

4. OWNER, by execution of this License Agreement, hereby agrees to assume responsibility for any and all claims and/or damage to persons or property arising out of or in any way related to its entry upon CITY property located in the vicinity of 5 Sunset Road (as more particularly described and shown on Exhibit A), and does hereby forever waive, release, relinquish, remise and discharge the CITY, its agents, employees, successors and assigns from any and all losses, costs or expenses (including reasonable attorneys' fees), damages, demands, liabilities, claims, actions, causes of action, suits, or judgments (collectively, "Claims") whatsoever of every name and nature, including but not limited to claims based on negligence, in law and in equity, including without limitation those related in any manner to any accident or injury to, or death of, any person, or any damage to property occurring on, in or in the vicinity of the area covered by this License Agreement, arising out of the presence in and use by the OWNER of the area covered by this License Agreement.

5. This License may be revoked upon two (2) months written notice from the CITY to the OWNER and shall automatically terminate in the event that the building located at 5 Sunset Road is destroyed, removed or otherwise ceases to exist on the site.

Dated: Aug. 3, 2011

CITY OF PORTLAND
Mark W. Rees
Mark Rees
City Manager

OWNER
Michael Chappey

Print Name: Michael Chappey

STATE OF MAINE
CUMBERLAND, ss.

Dated: Aug. 3, 2011

Personally appeared the above-named Mark Rees, and gave oath that the foregoing statements made by him are true to the best of his knowledge, information and belief, and where based upon information and belief, he believes the same to be true.

Before me,
[Signature]
Notary Public/Attorney-at-Law ME Bar #9532

STATE OF MAINE
CUMBERLAND, ss.

Dated: July 29, 2011

Personally appeared the above-named Michael Chappey and gave oath that the foregoing statements made by him/her are true to the best of his/her knowledge, information and belief, and where based upon information and belief, he/she believes the same to be true.

Before me,
[Signature]
Notary Public/Attorney-at-Law ME Bar #9532

TEMPORARY CONSTRUCTION LICENSE

RE: 5 SUNSET ROAD

THIS TEMPORARY LICENSE made by and between the **CITY OF PORTLAND**, a body politic and corporate, located in Cumberland County, State of Maine (hereinafter "**CITY**") and **MICHAEL J. CHAPEY** (hereinafter "**Chapey**"), an individual with a mailing address of 110 Middlebrook Farm Road, Wilton Connecticut 06897.

WHEREAS, CHAPEY owns property located at 5 Sunset Road Portland, Maine (the "**Property**"); and

WHEREAS, CHAPEY has been granted approval from the **CITY** to install a seawall on the **Property** and abutting property of the **City** (pursuant to the terms of a revocable license executed herewith); and

WHEREAS, in order for **CHAPEY** to access the **Property** and perform the work he and his agents need to cross **City** property as more particularly shown and depicted in the diagram attached hereto as Exhibit A; and

NOW, THEREFORE, in consideration of the foregoing and the covenants herein contained, the **CITY** hereby grants to **CHAPEY** and his agents the following rights:

1. A temporary license for people and machinery to enter in, on and over the **City Property** (in the **Sunset Road** right-of-way) for the purpose of accessing the **Property** in order to perform the seawall work depicted in Exhibit A.
2. **CHAPEY** acquires no other rights in and to the **City Property**. This is a temporary license and no provision hereof shall be construed as conveying an easement or other estate in land.
3. The seawall work described herein shall be accomplished by **CHAPEY** and his agents at **CHAPEY'S** sole cost and expense.
4. To the fullest extent permitted by law, **CHAPEY** agrees to assume responsibility for any and all claims and/or damage to persons or property arising out of or in any way related to its entry upon the **City** property, and at all times shall defend, indemnify and hold harmless the **CITY**, its officers, agents and employees from any claims, liability, losses, costs, expenses (including, without limitation, reasonable attorney's fees), fines, damages or judgments, just or unjust, that arise out of or are caused, in whole or in part, by **CHAPEY** or his agents, constructors and their officers, employees or subcontractors in conjunction with the activities related to the slope stabilization work described herein, said claims to include, without being limited to, claims for personal injury or property damage, including damage to **CITY** employees or property. Nothing in this Agreement shall be

construed as authorizing CHAPEY or his agents to hold themselves out as an officer, agent or employee of the CITY. The terms of this indemnification provision shall survive termination or revocation of this Agreement.

5. CHAPEY'S agent/contractor shall provide, general liability insurance in the minimum amount of Four Hundred Thousand (\$400,000.00), combined single limit, covering bodily injury, death, property damage and CHAPEY'S or his agents' activities hereunder and naming the CITY as an additional insured thereon. In conjunction with the execution of this License, CHAPEY shall deliver to the CITY a certificate evidencing said insurance. CHAPEY shall also provide the CITY with no less than thirty (30) days prior written notice of cancellation or non-renewal of said insurance. All insurance policies hereunder shall be primary to any insurance, or self-insurance, maintained by the CITY.
6. In the event any damage occurs to the City Property as a result of the work described herein, CHAPEY shall promptly repair/restore the City property and/or is responsible for the prompt payment of any and all costs associated with the repair of said damage.
7. This temporary construction license shall expire on August 31, 2011, or upon the completion of the work contemplated by this agreement, whichever comes first.

IN WITNESS WHEREOF, the CITY and CHAPEY have set their hand and seals on Aug. 3, 2011, 2011.

CITY OF PORTLAND

By: Mark Rees
Mark Rees, City Manager

MICHAEL CHAPEY


Michael Chapoy

STATE OF MAINE
CUMBERLAND, ss.

Dated: Aug. 3, 2011

Personally appeared the above-named Mark Rees, and gave oath that the foregoing statements made by him are true to the best of his knowledge, information and belief, and where based upon information and belief, he believes the same to be true.

Before me,

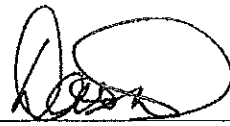

Notary Public/Attorney-at-Law ME Bar #9532

STATE OF MAINE
CUMBERLAND, ss.

Dated: July 29, 2011

Personally appeared the above-named Michael Chappay and gave oath that the foregoing statements made by him/her are true to the best of his/her knowledge, information and belief, and where based upon information and belief, he/she believes the same to be true.

Before me,


Notary Public/Attorney-at-Law ME Bar #9532



WALSENG-01

SNASON

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)
7/20/2011

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER License # AGR8150 Clark Insurance P O BOX 3543 Portland, ME 04104	CONTACT NAME: Susan Nason
	PHONE (A/C, No, Ext): (207) 523-2236 FAX (A/C, No): (207) 774-2994
E-MAIL ADDRESS:	
INSURER(S) AFFORDING COVERAGE	
INSURER A: Peerless Indemnity	NAIC # 18333
INSURER B: Peerless Insurance	24198
INSURER C: Maine Employers Mutual	11149
INSURER D: Travelers Indemnity of America	25666
INSURER E:	
INSURER F:	

INSURED

Walsh Engineering Associates
918 Brighton Avenue
Portland, ME 04102

COVERAGES CERTIFICATE NUMBER: REVISION NUMBER:

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSR	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS		
A	<input checked="" type="checkbox"/> GENERAL LIABILITY	X		BOP6608643	5/15/2011	5/15/2012	EACH OCCURRENCE	\$ 2,000,000	
	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY						DAMAGE TO RENTED PREMISES (Ea occurrence)	\$ 50,000	
	<input type="checkbox"/> CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR						MED EXP (Any one person)	\$ 5,000	
	GEN'L AGGREGATE LIMIT APPLIES PER:							PERSONAL & ADV INJURY	\$ 2,000,000
	<input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC						GENERAL AGGREGATE	\$ 4,000,000	
B	<input checked="" type="checkbox"/> AUTOMOBILE LIABILITY			BA6608642	5/15/2011	5/15/2012	COMBINED SINGLE LIMIT (Ea accident)	\$ 1,000,000	
	<input type="checkbox"/> ANY AUTO	<input type="checkbox"/> SCHEDULED AUTOS					BODILY INJURY (Per person)	\$	
	<input type="checkbox"/> ALL OWNED AUTOS	<input type="checkbox"/> NON-OWNED AUTOS					BODILY INJURY (Per accident)	\$	
	<input type="checkbox"/> HIRED AUTOS						PROPERTY DAMAGE (Per accident)	\$	
	<input type="checkbox"/> UMBRELLA LIAB						EACH OCCURRENCE	\$	
	<input type="checkbox"/> EXCESS LIAB						AGGREGATE	\$	
	<input type="checkbox"/> DED <input type="checkbox"/> RETENTION \$							\$	
C	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY			1810094312	6/14/2011	6/14/2012	<input checked="" type="checkbox"/> WC STATU-TORY LIMITS <input checked="" type="checkbox"/> OTH-ER		
	ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH)	<input type="checkbox"/> Y/N	N/A				E.L. EACH ACCIDENT	\$ 500,000	
	If yes, describe under DESCRIPTION OF OPERATIONS below						E.L. DISEASE - EA EMPLOYEE	\$ 500,000	
D	Prof Liability			105616400	5/15/2011	5/15/2013	E.L. DISEASE - POLICY LIMIT	\$ 500,000	
D	Deductible - \$0			105616400	5/15/2011	5/15/2013	Each Claim	1,000,000	
							Aggregate	1,000,000	

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (Attach ACORD 101, Additional Remarks Schedule, if more space is required)

For Professional Liability coverage, the aggregate limit is the total insurance available of all covered claims presented within the policy period. The limit will be reduced by payments of indemnity and expense.

Certificate holder is named as additional insured with regards to general liability arising out of the operations of the insured. Project is referenced for general liability...Seawall at 5 Sunset Road, Poaks Island, ME

CERTIFICATE HOLDER

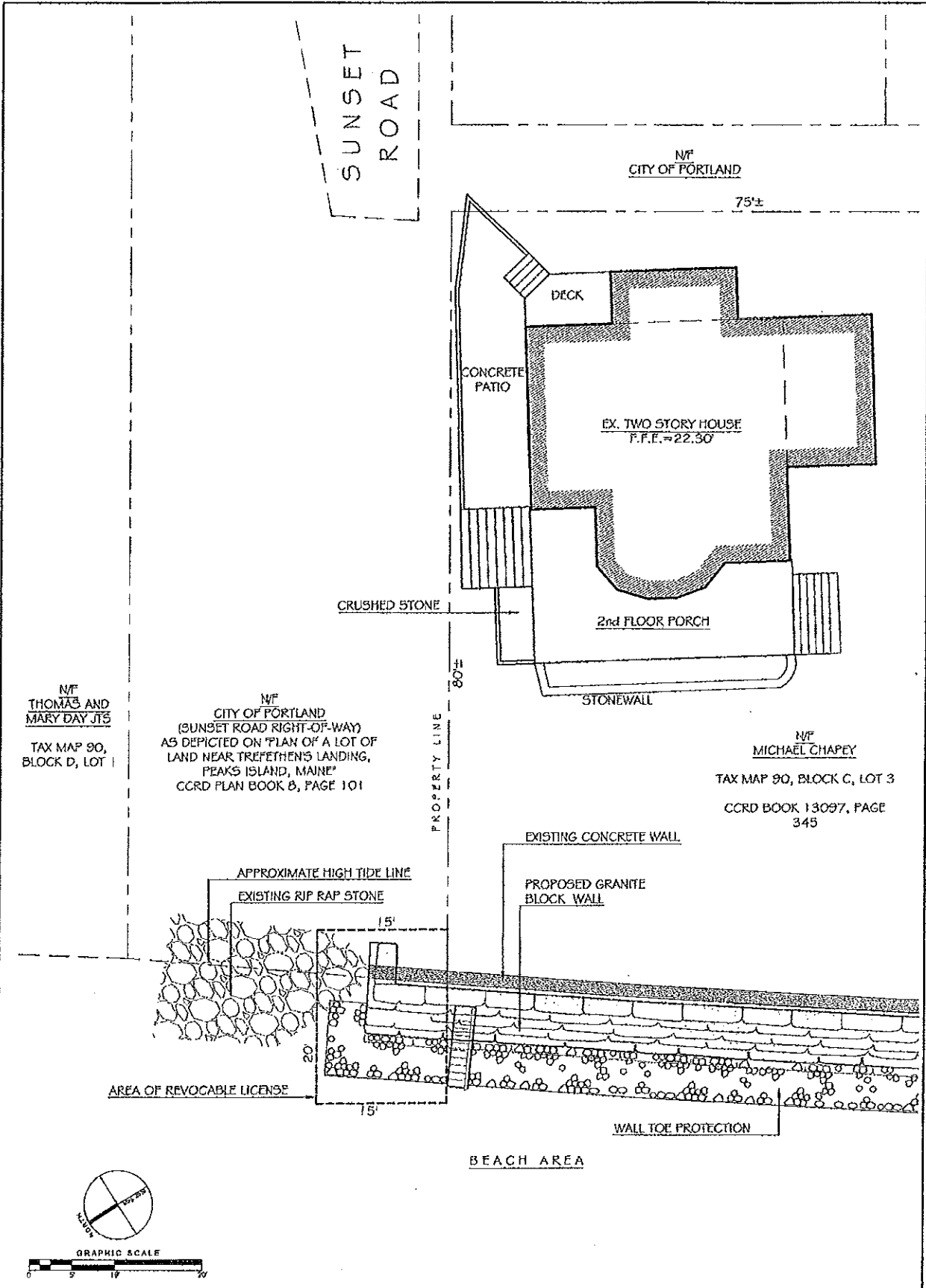
City of Portland
389 Congress Street
Portland, ME 04101

CANCELLATION

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE

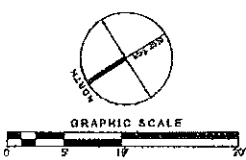
© 1988-2010 ACORD CORPORATION. All rights reserved.



N/F
THOMAS AND
MARY DAY JTS
TAX MAP 90,
BLOCK D, LOT 1

N/F
CITY OF PORTLAND
(SUNSET ROAD RIGHT-OF-WAY)
AS DEPICTED ON 'PLAN OF A LOT OF
LAND NEAR TREFETHEN'S LANDING,
PEAKS ISLAND, MAINE'
CCRD PLAN BOOK 8, PAGE 101

N/F
MICHAEL CHAPEY
TAX MAP 90, BLOCK C, LOT 3
CCRD BOOK 13097, PAGE
345



WALSH
ENGINEERING ASSOCIATES, INC.
918 Brighton Ave | Portland, Maine 04102
(404) 207-6531 | www.walsh-eng.com
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CHAPEY SEAWALL RECONSTRUCTION
5 Sunset Road, Peaks Island, Portland, Maine
for
Michael Chapey, 110 Middlebrook Farm Road, Wilton, CT 06897

Sheet Title:	EXHIBIT A:
Area of	Revocable License
Job No.:	138
Date:	July 26, 2011
Scale:	1" = 10'
Drawn:	MJK
Checked:	WVW



STATE OF MAINE
Department of Environmental Protection

PAUL R. LEPAGE
GOVERNOR

PATRICIA W. AHO
ACTING COMMISSIONER

August, 2011

Michael Chapey
110 Middlebrook Farm Road
Wilton, CT 06897

RE: Natural Resources Protection Act Application, Portland
L-25266-4D-A-N and L-25266-TW-B-N

Dear Mr. Chapey:

Please find enclosed a signed copy of your Department of Environmental Protection land use permit. Note that the permit includes a description of your project, findings of fact that relate to the approval criteria the Department used in evaluating your project, and conditions that are based on those findings and the particulars of your project. Please take several moments to read your permit carefully, paying particular attention to the conditions of the approval. The Department reviews every application thoroughly and strives to formulate reasonable conditions of approval within the context of the Department's environmental laws. You will also find attached some materials that describe the Department's appeal procedures for your information.

If you have any questions about the permit please contact me at (207) 615-6426 or at christine.woodruff@maine.gov.

Sincerely,

Christine Woodruff, Project Manager
Division of Land Resource Regulation
Bureau of Land & Water Quality

pc: File

Bill Walsh (at Walsh Engineering Associates via email)

AUGUSTA
17 STATE HOUSE STATION
AUGUSTA, MAINE 04333-0017
(207) 287-7688 FAX: (207) 287-7826
RAY BLDG., HOSPITAL ST

BANGOR
106 HOGAN ROAD
BANGOR ME 04401
(207-941-4570 FAX 207-941-4584

PORTLAND
312 CANCO ROAD
PORTLAND, MAINE 04103
(207) 822-6300 FAX: (207) 822-6303

PRESQUE ISLE
1235 CENTRAL DRIVE, SKYWAY PARK
PRESQUE ISLE, MAINE 04769-2094
(207) 764-0477 FAX: (207) 764-3143



STATE OF MAINE
DEPARTMENT OF ENVIRONMENTAL PROTECTION
17 STATE HOUSE STATION
AUGUSTA, ME 04333

DEPARTMENT ORDER

IN THE MATTER OF

MICHAEL CHAPEY
Portland, Cumberland County
SEAWALL REINFORCEMENT
L-25266-4D-A-N (approval)
L-25266-TW-B-N (approval)

) NATURAL RESOURCES PROTECTION
) COASTAL WETLAND ALTERATION
) SIGNIFICANT WILDLIFE HABITAT
) WATER QUALITY CERTIFICATION
) FINDINGS OF FACT AND ORDER

Pursuant to the provisions of 38 M.R.S.A. Sections 480-A *et seq.* and Section 401 of the Federal Water Pollution Control Act, the Department of Environmental Protection has considered the application of MICHAEL CHAPEY with the supportive data, agency review comments, and other related materials on file and FINDS THE FOLLOWING FACTS:

1. PROJECT DESCRIPTION:

A. Summary: The applicant owns a cottage with a lawn that extends down to an existing concrete seawall that was constructed in the 1940s on a small sand and cobble beach on Peaks Island. The approximate location of the subsurface wastewater disposal field is within five to 10 feet of the seawall. The footing of the seawall is exposed and is starting to be undermined by wave action, and the top of the wall is leaning toward the beach. The applicant proposes to place granite blocks on the seaward side of the seawall to prevent the seawall from falling over. The applicant proposes to place six courses of granite blocks 18 inches thick and two to three feet wide assembled such that they form 12-inch wide steps up to the same height as the existing seawall. The bottom blocks will be anchored below the elevation of the existing footing. Crushed stone over geotextile fabric will be placed between the existing wall and the granite blocks. Twelve-inch diameter stone over geotextile and covered with native excavated material will be used on the beach side of the lowest granite block. The project is shown on a plan titled "Chapey Seawall Reconstruction," prepared by Walsh Engineering Associates, and dated February 16, 2011, with a most recent revision date of April 21, 2011. The project site is located at 5 Sunset Road in the City of Portland with coastal frontage on Diamond Island Pass.

The southeast end of the seawall extends approximately one foot onto the property of the adjacent owners, Joseph and Margaret Gillooly, and makes a perpendicular connection to their wall. The applicant has submitted a letter from Joseph and Margaret Gillooly stating that they give permission to the applicant to extend the proposed stepped block wall in front of the applicant's wall that extends onto their property. The northeast end of the seawall extends approximately ten feet onto the City of Portland's property within the right of way of Sunset Road. The applicant has obtained an irrevocable license and temporary construction license from the City to complete the proposed construction on the end of the wall that is on the City's property.

B. **Current Use of the Site:** The applicant has a cottage approximately 38 feet from an existing approximately six-foot high seawall. The highest annual tide elevation is approximately 1.3 feet above the bottom of the seawall. There is a lawn area, a subsurface wastewater disposal field, and several large trees between the cottage and the seawall. There is an approximately ten-foot wide band of cobble at the base of the seawall, and the rest of the intertidal area is a fine sand, low profile beach.

2. EXISTING SCENIC, AESTHETIC, RECREATIONAL OR NAVIGATIONAL USES:

In accordance with Chapter 315, Assessing and Mitigating Impacts to Scenic and Aesthetic Uses, the applicant submitted a copy of the Department's Visual Evaluation Field Survey Checklist as Appendix A to the application along with a description of the property and the proposed project. The applicant also submitted several photographs of the proposed project site

The proposed project is located in the Atlantic Ocean, which is a scenic resource visited by the general public, in part, for the use, observation, enjoyment and appreciation of its natural and cultural visual qualities. The applicant proposes to plant two clusters of native shrubs at the top of the seawall and proposes to use light colored granite blocks to blend in with the existing pale sand of the beach and the precast concrete seawall on the adjacent property to reduce the visibility of the proposed project from the scenic resource. The appearance of the stepped granite blocks will not be significantly different from the appearance of the existing concrete wall and will be compatible with the concrete seawall and cobble of the adjacent shorefronts.

The proposed project was evaluated using the Department's Visual Impact Assessment Matrix and was found to have an acceptable potential visual impact rating. Based on the information submitted in the application, the visual impact rating, the Department determined that the location and scale of the proposed activity is compatible with the existing visual quality and landscape characteristics found within the viewshed of the scenic resource in the project area.

The Department did not identify any issues involving existing recreational and navigational uses.

The Department finds that the proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational or navigational uses of the protected natural resource.

3. SOIL EROSION:

The proposed project will prevent further scouring of sand and cobble at the toe of the existing seawall, which will prevent the seawall from eventually overturning and exposing the fill behind it to the tides. The proposed stepped granite blocks will have 12-inch diameter stone over geotextile at the toe to prevent scouring at the toe of the blocks. The Department finds that the activity will not cause unreasonable erosion of soil or sediment nor unreasonably inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment.

4. HABITAT CONSIDERATIONS:

The Department of Marine Resources (DMR) stated that the proposed project should not cause any significant adverse impact to marine resources, traditional fishing, navigation, recreation or riparian access.

This project is located in Tidal Waterfowl and Wading Bird Habitat, which is Significant Wildlife Habitats under the Natural Resources Protection Act. The Maine Department of Inland Fisheries and Wildlife (MDIFW) had no objections to the project.

The Department finds that the activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, threatened or endangered plant habitat, aquatic or adjacent upland habitat, travel corridor, freshwater, estuarine or marine fisheries or other aquatic life.

5. WATER QUALITY CONSIDERATIONS:

The Department does not anticipate that the proposed project will violate any state water quality law, including those governing the classification of the State's waters.

6. WETLANDS AND WATERBODIES PROTECTION RULES:

The applicant proposes to alter 620 square feet of coastal wetland to install the stepped granite blocks to stabilize the existing seawall. The supratidal is at the seawall. The upper intertidal along the toe of the seawall is cobble. Beyond the cobble, the intertidal area is sand.

The Department's Wetlands and Waterbodies Protection Rules, Chapter 310, require that the applicant meet the following standards:

A. **Avoidance.** No activity may be permitted if there is a practicable alternative to the project that would be less damaging to the environment. Each application for a coastal wetland alteration permit must provide an analysis of alternatives in order to demonstrate that a practicable alternative does not exist. The applicant submitted an alternatives analysis for the proposed project completed by Walsh Engineering Associates and dated February 2011. The applicant investigated the option of replacing the existing concrete seawall. Removing the existing wall would expose the soil behind the wall to tidal action and the slopes required to cut back the retained soils would negatively impact the existing subsurface wastewater disposal area. The applicant chose not to replace the wall because it would likely require replacement of the subsurface wastewater disposal area. The applicant investigated retaining the existing seawall and installing riprap revetment in front of the wall. If the riprap was installed with a one to one slope face and toed in below grade, the riprap would extend 12 to 15 feet in front of the seawall and would have over 1,000 square feet of impact. To minimize the amount of wetland impact and retain as much beach area as possible, the applicant chose to use stepped granite blocks stacked on the seaward side of the existing seawall so that the seawall remains in place to preserve the subsurface wastewater disposal area.

B. **Minimal Alteration.** The amount of coastal wetland to be altered must be kept to the minimum amount necessary for meeting the overall purpose of the project. The applicant minimized wetland impacts by selecting the stepped granite blocks, which will have fewer wetland impacts than the riprap alternative and will also maintain the integrity of the existing subsurface wastewater disposal system. The stepped face of the stacked granite blocks will reflect less wave energy back onto the beach than a replacement seawall, which may help maintain more sand on the beach near the project.

C. **Compensation.** In accordance with Chapter 310 Section 5(C)(7), the Department waived the requirement for a functional assessment or wetland compensation because the proposed project will have the least wetland impact without compromising the existing subsurface wastewater disposal

system. Additionally, the proposed project will not have an adverse impact on marine resources or wildlife habitat as determined by DMR and MDIFW.

The Department finds that the applicant has avoided and minimized coastal wetland impacts to the greatest extent practicable, and that the proposed project represents the least environmentally damaging alternative that meets the overall purpose of the project.

7. OTHER CONSIDERATIONS:

The Department did not identify any other issues involving existing scenic, aesthetic, or navigational uses, soil erosion, habitat or fisheries, the natural transfer of soil, natural flow of water, water quality, or flooding.

BASED on the above findings of fact, and subject to the conditions listed below, the Department makes the following conclusions pursuant to 38 M.R.S.A. Sections 480-A et seq. and Section 401 of the Federal Water Pollution Control Act:

- A. The proposed activity will not unreasonably interfere with existing scenic, aesthetic, recreational, or navigational uses.
- B. The proposed activity will not cause unreasonable erosion of soil or sediment.
- C. The proposed activity will not unreasonably inhibit the natural transfer of soil from the terrestrial to the marine or freshwater environment.
- D. The proposed activity will not unreasonably harm any significant wildlife habitat, freshwater wetland plant habitat, threatened or endangered plant habitat, aquatic or adjacent upland habitat, travel corridor, freshwater, estuarine, or marine fisheries or other aquatic life.
- E. The proposed activity will not unreasonably interfere with the natural flow of any surface or subsurface waters.
- F. The proposed activity will not violate any state water quality law including those governing the classifications of the State's waters.
- G. The proposed activity will not unreasonably cause or increase the flooding of the alteration area or adjacent properties.
- H. The proposed activity will not unreasonably interfere with the natural supply of movement of sand within or to the sand dune system, or unreasonably increase the erosion hazard to the sand dune system.
- I. The proposed activity is not on an outstanding river segment as noted in Title 38 M.R.S.A. Section 480-P.

THEREFORE, the Department APPROVES the above noted application of MICHAEL CHAPEY to shore up an existing seawall with a stepped granite block wall as described above, SUBJECT TO THE ATTACHED CONDITIONS, and all applicable standards and regulations:

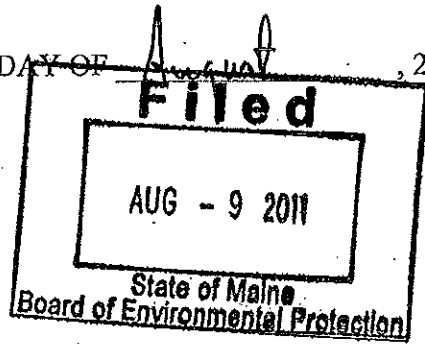
1. Standard Conditions of Approval, a copy attached.
2. The applicant shall take all necessary measures to ensure that his activities or those of his agents do not result in measurable erosion of soil on the site during the construction of the project covered by this approval.
3. Severability. The invalidity or unenforceability of any provision, or part thereof, of this License shall not affect the remainder of the provision or any other provisions. This License shall be construed and enforced in all respects as if such invalid or unenforceable provision or part thereof had been omitted.

THIS APPROVAL DOES NOT CONSTITUTE OR SUBSTITUTE FOR ANY OTHER REQUIRED STATE, FEDERAL OR LOCAL APPROVALS NOR DOES IT VERIFY COMPLIANCE WITH ANY APPLICABLE SHORELAND ZONING ORDINANCES.

DONE AND DATED IN AUGUSTA, MAINE, THIS 8th DAY OF August, 2011.

DEPARTMENT OF ENVIRONMENTAL PROTECTION

BY: *Patricia W. Aho*
 Patricia W. Aho, Acting Commissioner



PLEASE NOTE THE ATTACHED SHEET FOR GUIDANCE ON APPEAL PROCEDURES...

cgw/l25266an&bn/73134&73190

RECEIVED

DEC 22 2011



DEPARTMENT OF THE ARMY
NEW ENGLAND DISTRICT, CORPS OF ENGINEERS
696 VIRGINIA ROAD
CONCORD, MASSACHUSETTS 01742-2751

Dept. of Building Inspections
City of Portland Maine

REPLY TO
ATTENTION OF

MAINE GENERAL PERMIT (GP)
AUTHORIZATION LETTER AND SCREENING SUMMARY

MICHAEL CHAPEY
110 MIDDLEBROOK FARM ROAD
WILTON, CT 06897

CORPS PERMIT # NAE-2011-00453
CORPS PGP ID# 11-062
STATE ID# NRPA

DESCRIPTION OF WORK:

Place stone fill below the high tide line of Casco Bay at Peaks Island (Portland), Maine in order to supplement an existing deteriorated seawall with a new stone or concrete block wall immediately in front of the existing wall. This work is shown on the attached plans entitled "CHAPEY SEAWALL CONSTRUCTION" in two sheets dated "Feb. 16, 2011".

LAT/LONG COORDINATES : 43.6650898' N 70.1956297' W USGS QUAD: PORTLAND EAST, ME

I. CORPS DETERMINATION:

Based on our review of the information you provided, we have determined that your project will have only minimal individual and cumulative impacts on waters and wetlands of the United States. Your work is therefore authorized by the U.S. Army Corps of Engineers under the enclosed Federal Permit, the Maine General Permit (GP). Accordingly, we do not plan to take any further action on this project.

You must perform the activity authorized herein in compliance with all the terms and conditions of the GP [including any attached Additional Conditions and any conditions placed on the State 401 Water Quality Certification including any required mitigation]. Please review the enclosed GP carefully, including the GP conditions beginning on page 5, to familiarize yourself with its contents. You are responsible for complying with all of the GP requirements; therefore you should be certain that whoever does the work fully understands all of the conditions. You may wish to discuss the conditions of this authorization with your contractor to ensure the contractor can accomplish the work in a manner that conforms to all requirements.

If you change the plans or construction methods for work within our jurisdiction, please contact us immediately to discuss modification of this authorization. This office must approve any changes before you undertake them.

Condition 41 of the GP (page 18) provides one year for completion of work that has commenced or is under contract to commence prior to the expiration of the GP on October 12, 2015. You will need to apply for reauthorization for any work within Corps jurisdiction that is not completed by October 12, 2016.

This authorization presumes the work shown on your plans noted above is in waters of the U.S. Should you desire to appeal our jurisdiction, please submit a request for an approved jurisdictional determination in writing to the undersigned.

No work may be started unless and until all other required local, State and Federal licenses and permits have been obtained. This includes but is not limited to a Flood Hazard Development Permit issued by the town if necessary.

II. STATE ACTIONS: PENDING [], ISSUED [], DENIED [] DATE _____

APPLICATION TYPE: PBR: _____, TIER 1: X, TIER 2: _____, TIER 3: _____, LURC: _____, DMR LEASE: _____, NA: _____

III. FEDERAL ACTIONS:

JOINT PROCESSING MEETING: 3/3/11 LEVEL OF REVIEW: CATEGORY 1: _____ CATEGORY 2: X

AUTHORITY (Based on a review of plans and/or State/Federal applications): SEC 10 _____, 404 _____, 10/404 X, 103 _____

EXCLUSIONS: The exclusionary criteria identified in the general permit do not apply to this project.

FEDERAL RESOURCE AGENCY OBJECTIONS: EPA_NO _____, USF&WS_NO _____, NMFS_NO _____

If you have any questions on this matter, please contact my staff at 207-623-8367 at our Manchester, Maine Project Office. In order for us to better serve you, we would appreciate your completing our Customer Service Survey located at <http://per2.nwp.usace.army.mil/survey.html>

Jay L. Clement
JAY L. CLEMENT
SENIOR PROJECT MANAGER
MAINE PROJECT OFFICE

Frank J. Del Giudice 4-27-2011
FRANK J. DEL GIUDICE DATE
CHIEF, PERMITS & ENFORCEMENT BRANCH
REGULATORY DIVISION



US Army Corps
of Engineers
New England District

PLEASE NOTE THE FOLLOWING GENERAL CONDITIONS FOR
DEPARTMENT OF THE ARMY
GENERAL PERMIT
NO. NAE-2011-00453

1. This authorization requires you to 1) notify us before beginning work so we may inspect the project, and 2) submit a Compliance Certification Form. You must complete and return the enclosed Work Start Notification Form(s) to this office at least two weeks before the anticipated starting date. You must complete and return the enclosed Compliance Certification Form within one month following the completion of the authorized work and any required mitigation (but not mitigation monitoring, which requires separate submittals).
2. The permittee shall assure that a copy of this permit is at the work site whenever work is being performed and that all personnel performing work at the site of the work authorized by this permit are fully aware of the terms and conditions of the permit. This permit, including its drawings and any appendices and other attachments, shall be made a part of any and all contracts and sub-contracts for work which affects areas of Corps of Engineers' jurisdiction at the site of the work authorized by this permit. This shall be done by including the entire permit in the specifications for the work. If the permit is issued after construction specifications but before receipt of bids or quotes, the entire permit shall be included as an addendum to the specifications. The term "entire permit" includes permit amendments. Although the permittee may assign various aspects of the work to different contractors or sub-contractors, all contractors and sub-contractors shall be obligated by contract to comply with all environmental protection provisions of the entire permit, and no contract or sub-contract shall require or allow unauthorized work in areas of Corps of Engineers jurisdiction.
3. Adequate sedimentation and erosion control devices, such as geotextile silt fences or other devices capable of filtering the fines involved, shall be installed and properly maintained to minimize impacts during construction. These devices must be removed upon completion of work and stabilization of disturbed areas. The sediment collected by these devices must also be removed and placed upland, in a manner that will prevent its later erosion and transport to a waterway or wetland.
4. All exposed soils resulting from the construction will be promptly seeded and mulched in order to achieve vegetative stabilization.

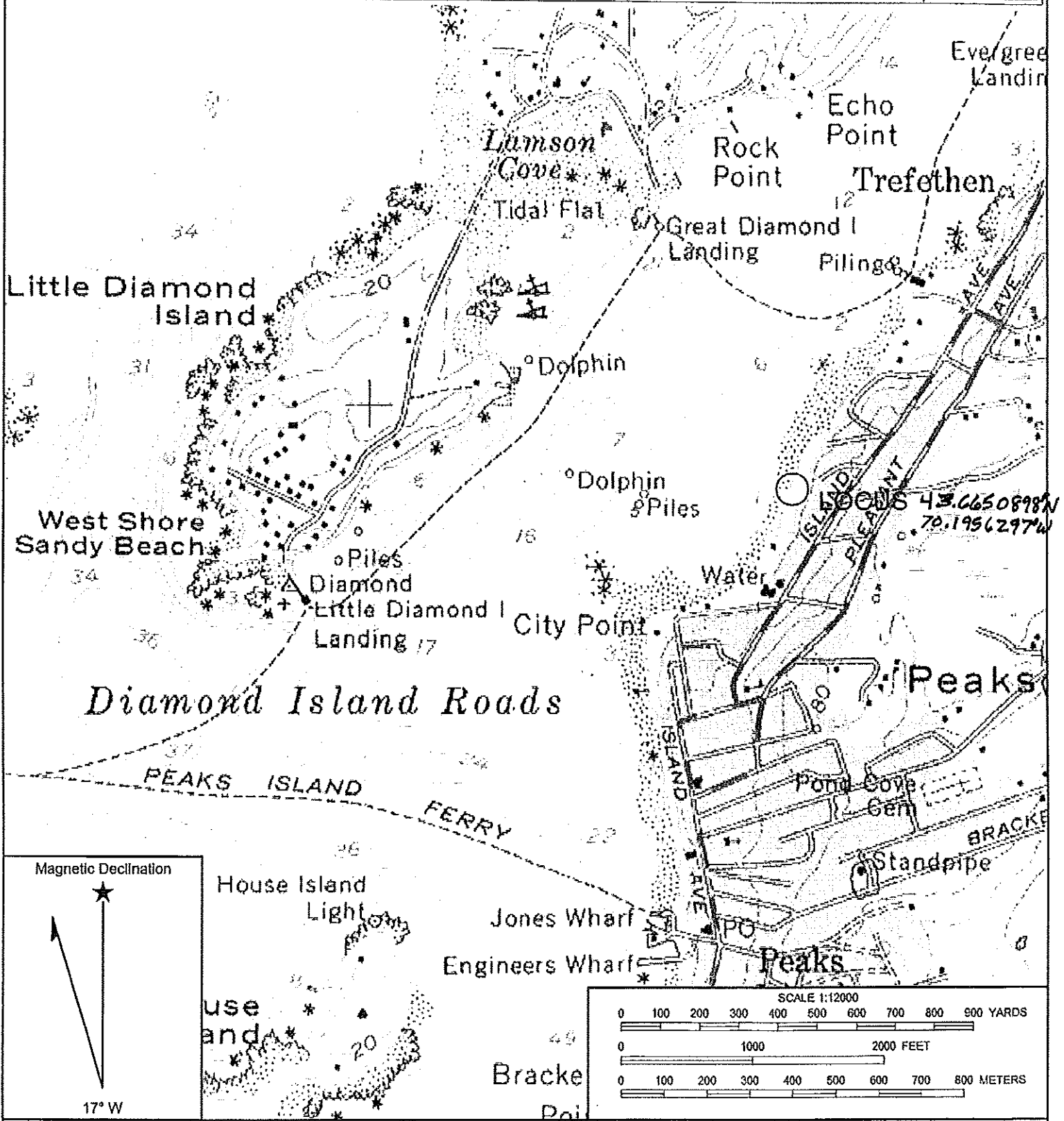
CHAPEY SEAWALL RECONSTRUCTION

5 Sunset Road, Peaks Island, Portland, Maine

for

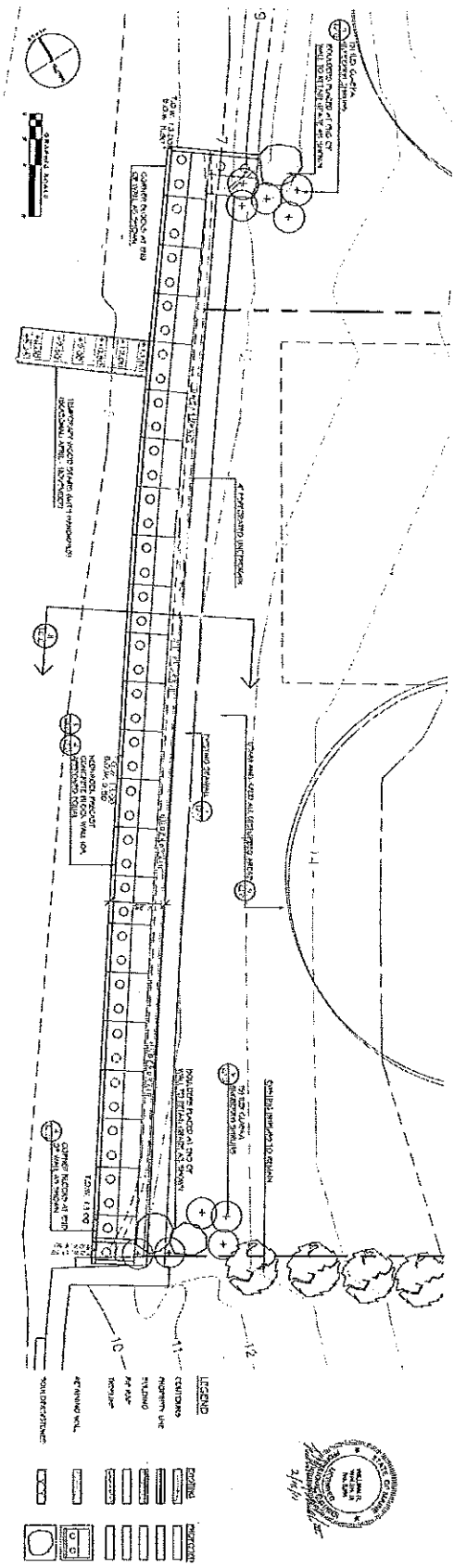
Michael Chapey, 110 Middlebrook Farm Road, Wilton, CT 06897

WALSH

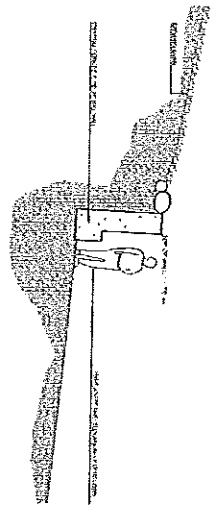


Name: PORTLAND EAST
 Date: 3/2/2011
 Scale: 1 Inch equals 1000 feet

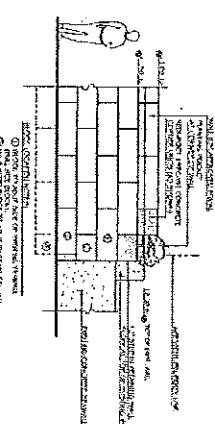
Location: 043.6649880° N 070.2033388° W NAD83
 Caption: Michael Chapey
 Proposed Riprap
 Peaks Island, Maine



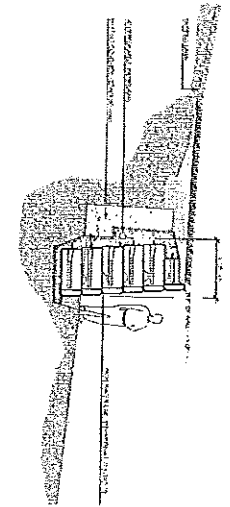
1.1 DETAIL PLAN CONCRETE BLOCK RETAINING WALL



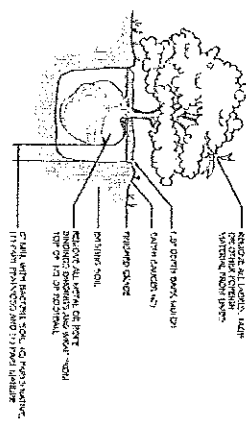
1.2 SECTION EXISTING RETAINING WALL



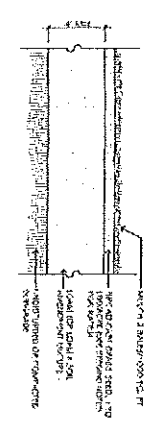
1.3 ELEVATION PROPOSED PRE-CAST CONCRETE BLOCK WALL AT SW CORNER



1.4 SECTION PROPOSED PRE-CAST CONCRETE BLOCK WALL



1.5 SHRUB PLANTING INSTALLATION



1.6 LOAM AND SEED DETAIL

GENERAL NOTES:

1. ALL WORK SHALL BE ACCORDING TO THE SPECIFICATIONS AND DETAILS SHOWN ON THESE PLANS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
4. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND STRUCTURES AT ALL TIMES.
5. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ENGINEER.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
7. ALL WORK SHALL BE ACCORDING TO THE LATEST EDITIONS OF THE STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, AS APPLICABLE.
8. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL UTILITIES AND STRUCTURES AT ALL TIMES.
9. ALL MATERIALS SHALL BE OF THE BEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND TESTING BY THE ENGINEER.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.

CHAPEY SEAWALL RECONSTRUCTION

5 Sunset Road, Peaks Island, Portland, Maine

for
Michel Chapey, 110 Middlebrook Farm Road, Wilton, CT 06897

WALSH
ENGINEERING CONSULTANTS INC.
110 Middlebrook Farm Road
Wilton, CT 06897
Tel: 203-691-1234
Fax: 203-691-1235
www.walsh-engineering.com

NO.	DESCRIPTION	DATE	BY	CHECKED
1	CONCRETE BLOCK WALL	12.0	JL	MS
2	SHRUB PLANTING	12.0	JL	MS
3	LOAM AND SEED DETAIL	12.0	JL	MS

Project: CHAPEY SEAWALL RECONSTRUCTION
Sheet: 12.0
Scale: AS SHOWN
Date: 12.0



**US Army Corps
of Engineers**
New England District

**GENERAL PERMIT
WORK-START NOTIFICATION FORM**
(Minimum Notice: Two weeks before work begins)

 * MAIL TO: U.S. Army Corps of Engineers, New England District *
 * Permits and Enforcement Branch *
 * Regulatory Division *
 * 696 Virginia Road *
 * Concord, Massachusetts 01742-2751 *

Corps of Engineers Permit No. [insert permit number] was issued to [insert permittee name], on (DATE). This work is located in (WATERBODY) at (ADDRESS), (CITY), (STATE). The permit authorized the permittee to (WORK DESCRIPTION).

The people (e.g., contractor) listed below will do the work, and they understand the permit's conditions and limitations.

PLEASE PRINT OR TYPE

Name of Person/Firm: _____

Business Address: _____

Telephone Numbers: () _____ () _____

Proposed Work Dates: Start: _____ Finish: _____

Permittee/Agent Signature: _____ **Date:** _____

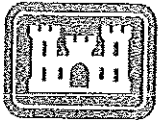
Printed Name: _____ **Title:** _____

Date Permit Issued: _____ **Date Permit Expires:** _____

FOR USE BY THE CORPS OF ENGINEERS

PM: _____ **Submittals Required:** _____

Inspection Recommendation: _____



**US Army Corps
of Engineers** ®
New England District

(Minimum Notice: Permittee must sign and return notification
within one month of the completion of work.)

COMPLIANCE CERTIFICATION FORM

Permit Number: _____

Project Manager _____

Name of Permittee: _____

Permit Issuance Date: _____

Please sign this certification and return it to the following address upon completion of the activity and any mitigation required by the permit. You must submit this after the mitigation is complete, but not the mitigation monitoring, which requires separate submittals.

 * MAIL TO: U.S. Army Corps of Engineers, New England District *
 * Permits and Enforcement Branch C *
 * Regulatory Division *
 * 696 Virginia Road *
 * Concord, Massachusetts 01742-2751 *

Please note that your permitted activity is subject to a compliance inspection by an U.S. Army Corps of Engineers representative. If you fail to comply with this permit you are subject to permit suspension, modification, or revocation.

I hereby certify that the work authorized by the above referenced permit was completed in accordance with the terms and conditions of the above referenced permit, and any required mitigation was completed in accordance with the permit conditions.

Signature of Permittee

Date

Printed Name

Date of Work Completion

() _____
Telephone Number

() _____
Telephone Number

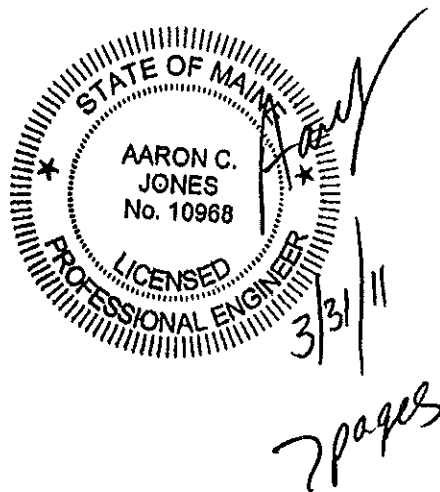


GRAVITY RETAINING WALL CALCULATIONS

5 Sunset Road
Peaks Island, ME

for
Walsh Engineering Associates, Inc.
918 Brighton Ave
Portland, ME 04101

S.I., Inc. Job # 11-0036



S Sunset Road, PEAKS ISLAND, ME

NEW GRANITE "GRAVITY" RETAINING WALL
FOR WALSH ENGINEERING, INC
207-553-9898

→ Existing WALL TO REMAIN

ASSUME : 1500 PSF BEARING PRESSURE
(ALLOWABLE)

40 pct Equivalent Fluid pressure
ON retaining walls

1.60 = Coeff of Frict
Granite to Granite

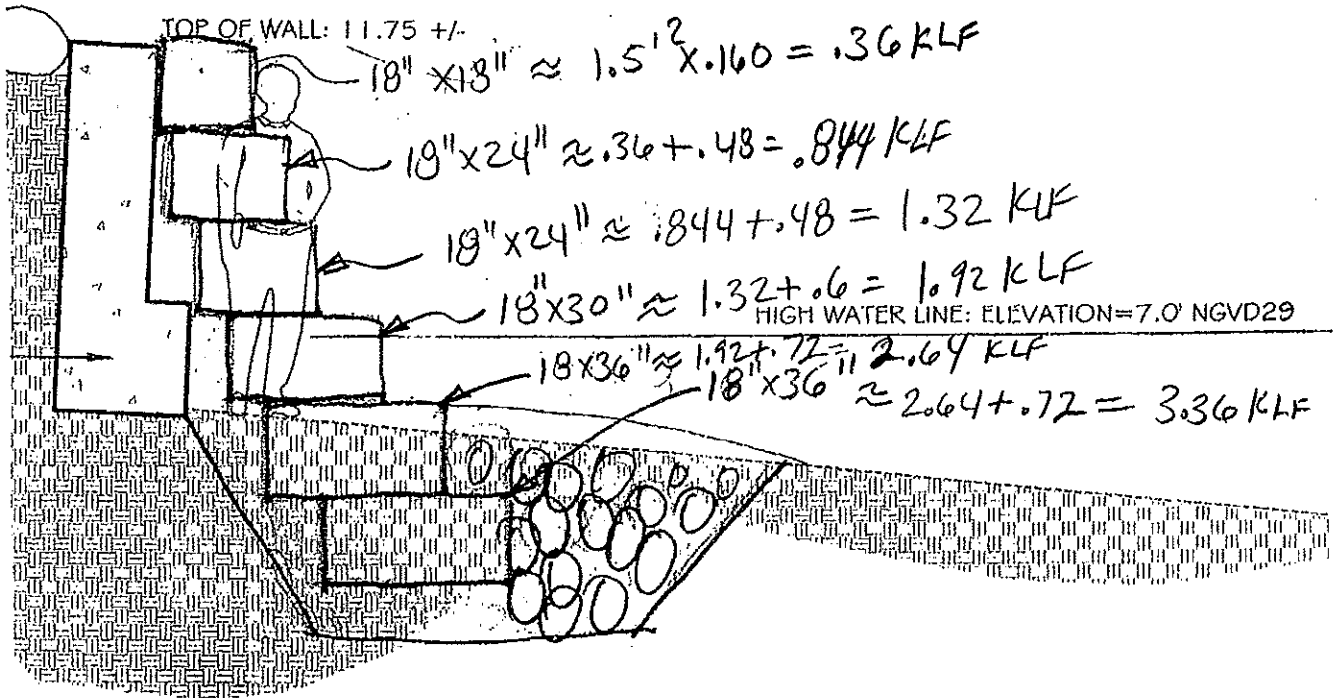
0.50 = Coeff. of Frict
Granite to CRUSHED STONE.

160 pct \approx Weight of
Granite.

300 pct \approx passive soil pressure.

→ ASE 17-05 + IBC 2009

→ WALL FULLY BACKED \therefore WAVE FORCE NOT
CONSIDERED.

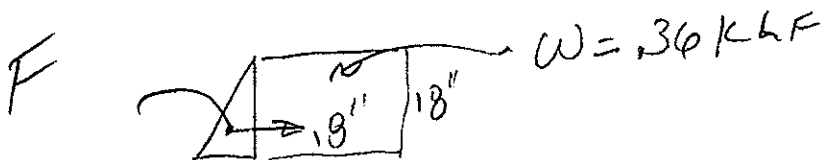


w/ TOTAL STONE LOAD @ HEEL OF BASE

STONE = 3.36 KLF @ 36" width

$$\approx 3.36 / 3 = 1.120 \text{ KSF}$$

Check Soil Pressure Behind wall @ Each Block



$$F = 1.5^2 \times 0.5 \times 40 \text{ pcf} = 45 \text{ pcf}$$

$$\text{Sliding Resistance} = 360 \text{ pcf} \times 0.6 = 216 \text{ pcf}$$

AT First Stone $\frac{216}{1.5} \geq 45 \text{ plf}$
∴ Sliding IS OK AT TOP

→ Check Bottom Stone

$$F = 9^2 \times 0.5 \times 40 \times 1$$

$$= 1,620 \text{ plf.}$$

$$\begin{aligned} \text{Resistance From Friction} &= 3,360 \text{ plf} \times .50 \\ &= 1,680 \text{ plf} \end{aligned}$$

$$1,620 \leq \frac{1,680}{1.5} \quad \therefore \text{NG Need}$$


passive resistance.

$$\begin{aligned} \text{w/ } 2\frac{1}{2}' \text{ IN SOIL} \quad P_r &= 2.5^2 \times 0.5 \times 300 \\ &= 937 \text{ plf} \end{aligned}$$

$$\begin{aligned} \left(\frac{937 + 1680}{1.5} \right) &= 1744 \geq 1620 \\ \therefore \text{OK AGAINST SLIDING AT BASE} \end{aligned}$$

→ Check @ 6' Down / TOP OF GRADE AT TOE

$F_c = 6^2 \times 0.5 \times 40 \text{ pcf}$



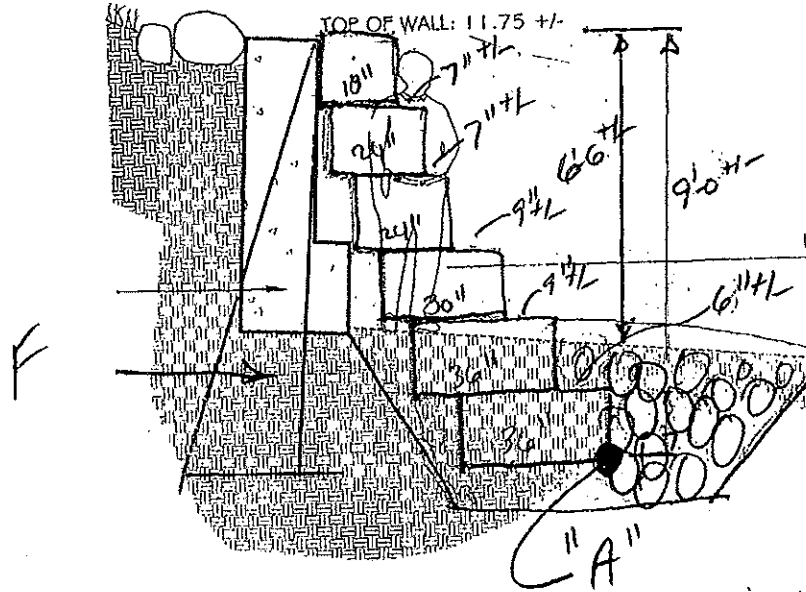
$F = 720 \text{ plf}$

Resistance due to Friction
 $= 1,920 \text{ plf} \times 0.60$
 $= 1,152 \text{ plf}$

$$720 \leq \frac{1,152}{1.5} = 768 \therefore \underline{\underline{\text{OK}}}$$

Granite stacked wall ok against sliding
w/ 2 1/2' TOE COVER

Check over TURNING



O.T.O. check

$$F_x \approx 9^2 / 2 \times 0.40 = 1,620 \# / LF$$

$$OTM = 3' \times 1,620 \# / LF = \underline{4,860}$$

$$\text{Resistance} \Rightarrow \left(\frac{3' \times 0.36}{1.08} \right) + \left(\frac{2.75' \times 0.48}{1.32} \right) + \left(\frac{2.5' \times 0.48}{1.2} \right)$$

W/C 6" MW Batter / STONE

$$+ \left(\frac{2.25' \times 0.6}{1.35} \right) + \left(\frac{2' \times 0.72}{1.44} \right)$$

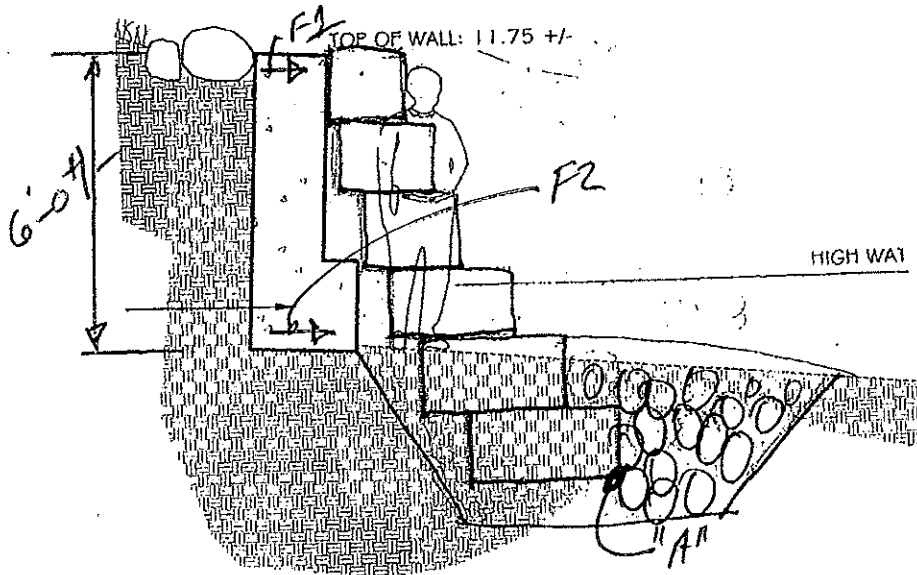
$$+ \left(\frac{1.5' \times 0.72}{1.08} \right)$$

$$= 7.47 \text{ FKIPS}$$

$$7.47 / 1.5 = 4.98 \text{ FKIPS} \geq 4.86 \text{ OK}$$

Check OT Resistance Against "Old Wall"

IF OLD WALL TO REMAIN



W/ OLD WALL CREATING STIFFNESS LOADS
ON NEW COULD BE @ TOP + BOT OF EXISTING

$$OT \text{ DUE TO OLD WALL} \Rightarrow 9' \times 1/3 \times (6^2 \times 0.5 \times 0.04) + 3' \times 2/3 \times (720 \text{ PLF})$$

$$2.13 \qquad \qquad \qquad + 1.425$$

$$\Rightarrow 3.55$$

$$3.55 \underline{\underline{<}} 7.47 \quad \circ \circ \text{ Full Soil Load}$$

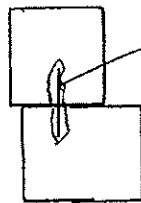
Amoribus.

Check top STONE AGAINST
TOP OF OLD WALL FORCE.

TOP STONE RESISTANCE TO SLIDING
 $= .6 \times 360 = 216 \text{ plf}$

TOP OF OLD WALL $(F_1) = 1/3 \times 720 \text{ plf}$
 $= 236 \text{ plf}$

$236 \geq \frac{216}{1.5}$ ∴ FIN TOP STONE



#5 EPOXY COATED
REBAR DOWELS X 9"
LONG INTO TOP +
SECOND STONE
AT 24" MAX. TYP



918 Brighton Ave | Portland, ME 04102
Phone 207.553-9898 | www.walsh-eng.com

TRANSMITTAL

Date: December 29, 2011 **Project Number:** 138

Project: 5 Sunset Road, Chapey Seawall Reconstruction

To: Jonathan Rioux, City of Portland Inspection Services Program

From: Michael King, Walsh Engineering Associates, Inc.

Copy: File

Enc: **One Set of Stamped Plans:**
L1.0 – Existing Conditions Plan, dated July 28, 2011
L2.0 – Site Plan, Details and Sections, dated July 28, 2011

Message:

Mailed
 Delivered

Fax

Number _____
No. of Pages (including cover) _____



918 Brighton Ave | Portland, ME 04102
Phone 207.553-9898 | www.walsh-eng.com

TRANSMITTAL

Date: December 20, 2011 **Project Number:** 138

Project: 5 Sunset Road – Chapey Residence

To: Marge Schmuckal, Building Inspections, City of Portland

From: Michael King, Walsh Engineering Associates, Inc.

Copy: File

Enc: One (1) Building Permit Application, dated December 20, 2011
One (1) 24" x 36" Approved Drawing Set, revised July 28, 2011
One (1) copy of City Of Portland Level II Site Plan approval,
dated July 28, 2011
One (1) copy of Maine DEP NRPA approval, dated August 9, 2011
One (1) copy of Gravity Wall Calculations, dated March 3, 2011
One (1) copy of Revocable License Agreement, dated July 29, 2011

Message:

Mailed
 Delivered

Fax

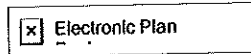
Number _____
No. of Pages (including cover) _____

Comments
Submitted

Marge Schmuckal - Electronic Plan Review Task for PEZ.2011-235.LEVII.PRSP.690

From: <eplan_admin@portlandmaine.gov>
To: <mes@portlandmaine.gov>
Date: 5/4/2011 12:29 PM
Subject: Electronic Plan Review Task for PEZ.2011-235.LEVII.PRSP.690

Electronic Plan Review
 Task Assignment
 Department Review



Please do not reply to this email, it is system generated.

Hello :

As a Plan Reviewer, you are tasked with reviewing the Plans and Documents for this Project. Please login to Electronic Plan Review, click on the task for this Project and begin the Review Process. If the task is no longer there, it means that another Plan Reviewer in your department has begun the review, and you may disregard this email. Please contact the appropriate department at the numbers listed below if you have any questions regarding this email.

Project Name: PEZ.2011-235.LEVII.PRSP.690
Project Description: 5 Sunset Rd. (Peaks Isl); Seawall Reconstruction
Task: DepartmentReview
Instructions: Upon acceptance of task, please review the required drawings and documents and provide an appropriate response and status.

[Login to Electronic Plan Review](#)

Department of Planning and Urban Development
 City of Portland
 389 Congress Street
 Portland, ME 04101

Planning Division, Development Review Services
 (207) 874-8719

Building Permits
 (207) 874-8703

Marge Schmuckal - 5 Sunset Rd, PI

From: Marge Schmuckal
To: Phillip DiPierro
Date: 5/17/2011 9:48 AM
Subject: 5 Sunset Rd, PI

Phil,
I put my comments in the system, but I don't think you have access to that, so I am attaching what I inputted.

5/16/2011 This property is located within the IR-2 Zone with a Shoreland overlay. The entire project is in the Shoreland Zone. The replacement wall is allowable under the Shoreland requirements. There should be proper steps taken during the replacement construction using Best Management Practices. No other activities of clearing or cutting vegetation are being approved with this approval. Separate permits are required thru the Inspection Services Division prior to work being commenced.

Marge

5 Sunset Rd, P.I. #2011-235

90-C-003

5/16/2011 This property is located within the IR-2 Zone with a Shoreland overlay. The entire project is in the Shoreland Zone. The replacement wall is allowable under the Shoreland requirements. There should be proper steps taken during the replacement construction using Best Management Practices. No other activities of clearing or cutting are being approved with this approval. Separate permits are required thru the Inspection Services Division prior to working being commenced.

Marge Schmuckal

Zoning Administrator

W A L S H
ENGINEERING ASSOCIATES, INC.

918 Brighton Avenue | Portland, Maine 04102

April 21, 2011

City of Portland Planning Board
c/o Ms. Barbara Barhydt
Portland City Hall
389 Congress Street
Portland, Maine 04101

**RE: Level II Site Plan Application
5 Sunset Road, Peaks Island
Tax Map 90-C, Lot 3**

Dear Barbara:

On behalf of Michael J. Chapey of 5 Sunset Road, we are pleased to submit the attached City of Portland Level II Site Plan Application for the Seawall reconstruction at 5 Sunset Road, Peaks Island, in Portland, Maine.

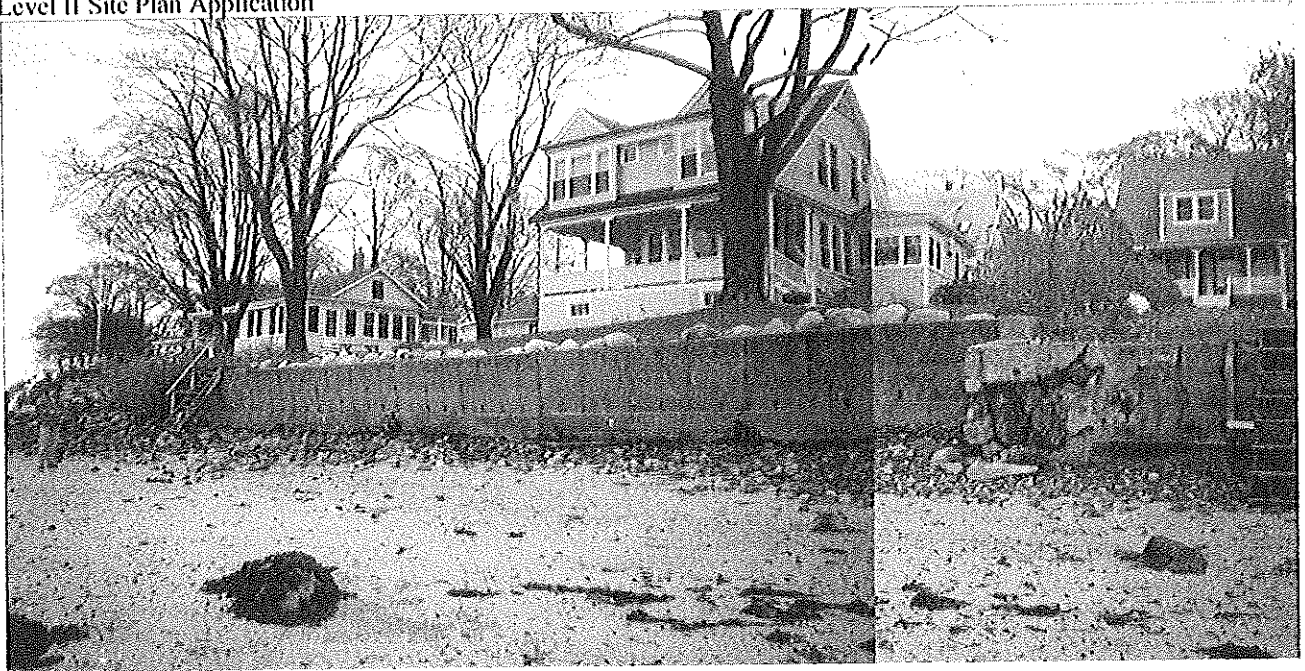
The applicant has submitted a Tier III Natural Resources Protection Permit (NRPA) application for this project to the Maine Department of Environmental Protection (DEP) and to the Army Corps of Engineers (ACOE) on February 18, 2010, which is currently under review. Revised plans were submitted to the DEP on April 21, 2011.

Location and Existing Zoning

The sites is identified as Map 90-C, Lot 3 on the City of Portland Assessor's Map. The parcel is located in the I – R2 Island Residential 2 Zone.

Proposed Site Improvement

The property at 5 Sunset Road is a shoreline property with frontage on Casco Bay and has an existing concrete seawall along the waterfront. The concrete seawall is believed to have been constructed in the 1940's and is in a deteriorated state, leaning towards the bay. It appears that the wall's failure is due to a combination of the foundation being undermined by tidal action and the lateral forces working on the wall (see photos below). Mr. Chapey proposes to construct a new wall immediately in front of the existing wall to prevent its failure. Without corrective measures, the existing wall will fail and the land above the wall will be exposed to direct tidal action.



View of Existing Seawall at 5 Sunset Road, Peaks Island, ME
(Photo by William R. Walsh, WEA, November, 2010.)



Detail photo of existing seawall
(Photo by William R. Walsh, WEA, November, 2010.)



Detail photo of existing seawall showing undermined foundation.
Photo by William R. Walsh, WEA, November, 2010.

The proposed plan calls for a new wall to be constructed as follows:

1. The existing concrete seawall will not be disturbed;
2. Install a new granite block seawall in front of the existing concrete seawall;
3. Install 4" perforated underdrain behind proposed wall (as shown on details);
4. Minimize disturbance in the areas below Highest Annual Tide (HAT) (elevation 7.0 NGVD) to be less than 500 s.f.; and
5. Stabilize all disturbed areas.

WEA has completed a detailed alternatives analysis for the wall replacement which was included as a part of the Maine DEP NRPA application. It is our opinion that not disturbing the existing wall leads to the most practicable and most environmentally sound repair to the wall.

The applicant proposes to construct a new seawall as described (and keep the existing seawall in-place) because the overall site impact will be far less than removing the existing wall. The disturbance caused by removing the existing seawall would jeopardize the stability of the land above the wall, including the existing leach bed and the large deciduous tree. This plan will:

1. Minimize the area waterfront disturbance;
2. Minimize the potential for soil erosion; and
3. Minimize construction activity and quickly stabilize the site.

The area of shoreline at 5 Sunset Road is mapped as Significant Wildlife Habitat for Tidal Waterfowl and Wading Birds by the Maine Department of Inland Fisheries and Wildlife

(MDIFW) and the Maine Department of Environmental Protection (DEP). Because of the wildlife significance of this area of coastline, the applicant proposes the following:

1. All work will be conducted after October 1 and April 1 to avoid conflicts with migrating, feeding and roosting shorebirds;
2. All materials used for the Shoreline Stabilization will be selected to minimize the visual impact. A dark gray granite will be utilized for the wall.

Attached Sheet L2.0 shows the proposed work area. Access to the work areas will be either provided by a barge from the water side or via Sunset Road from the land side. Tree removal within the Shoreland Zone is not anticipated for the completion of the proposed seawall.

Evidence of Right, Title or Interest

See attached Quitclaim Deed of 5 Sunset Road, dated May 23, 1997 (Plan Book 13097, Page 345), which conveys the parcel to Michael J. Chapey.

Approximately 7.5 l.f. of the existing seawall encroaches within the Sunset Road right-of-way (see attached L1.0 – Existing Conditions Plan). We have discussed options regarding this encroachment with Gary Wood, City of Portland Corporation Counsel. Based upon these discussions, the applicant will be applying for a revocable license to the City of Portland for the proposed site work within the right-of-way.

Assessment of Zoning

The site is located in the I-R2 Island Residential 2 Zone and the Shoreland Zone. The shoreline is located in the VE Flood Zone. The space and bulk requirements for the I-B Zone are as follows:

Minimum Lot size:	20,000 s.f.
Minimum Street Frontage:	70 feet
Minimum Front Yard:	25 feet
Minimum Rear Yard:	25 feet
Minimum Side Yard:	20 feet
Maximum Lot Coverage:	20 percent
Maximum Structure Height:	35 feet

The applicant is not proposing new structures and the existing setbacks and lot coverage percentage will remain unchanged.

Evidence of Financial and Technical Capacity

The applicant will fund the project through his own private funds. Walsh Engineering Associates, Inc. has been retained by the owners to design and oversee construction of the project. WEA has significant experience in the design and construction of shoreline stabilization and sea wall construction projects.

Existing and Proposed Easements or Other Burdens

There are no existing or proposed easements and/or burdens on the existing parcel.

Requests for Waivers of Site Plan Application Requirements

The applicant proposes to waive the following Level II Site Plan Application Requirements:

- Evidence of Utilities' Capacity to Serve the Development: This requirement is not applicable.
- Written Summary of Fire Safety: This requirement is not applicable.
- Traffic Analysis and Traffic Plan: This requirement is not applicable.
- Stormwater Management Plan: Aside from the minimal grading activity associated with construction, there will be no change to the site's existing stormwater flows.
- Written summary of Significant Natural Resources Located on the Site: There are no significant natural resources located on the site.
- Written Summary of Project's Consistency with related City Master Plans: This requirement is not applicable.
- Written Summary of Solid Waste Generation and Proposed Management of Solid Waste: This requirement is not applicable.
- Verification of HVAC Emission Requirements: This requirement is not applicable.
- Stamped and Signed Boundary Survey: The applicant requests this requirement be waived because ownership is not being transferred and the proposed site improvement will not impact any apparent adjacent properties.

Construction Management Plan

Work on the replacement seawall is proposed between October 1 and April 1 in order to provide little to no impact on migratory birds. With the exception of general maintenance activities and maintaining the erosion control devices, no soil disturbance or construction activity is proposed outside the advised time frame.

The Applicant is proposing 620 square feet of soil disturbance below the Highest Annual Tide (HAT) (elevation 7.0). If necessary, equipment and materials accessing the site will come ashore during high tide by barge. Otherwise, equipment and materials associated with the replacement seawall may access the site via Sunset Road. All temporary means of access way will be restored to the original condition and seeded upon completion of the project.

The plan for construction will be as follows:

1. Install mats on beach if equipment is to be used on it.
2. Excavate trench for wall footing.
3. Install wall footing.
4. Construct granite block wall.
5. Install toe protection.
6. Install 4" perforated underdrain behind existing wall.

7. Backfill wall with crushed stone.
8. Stabilize top of wall with loam and seed.

General seawall installation techniques, seeding and planting details are shown of Sheet L2.0.

Assessment of Conformity with Applicable Design Standards

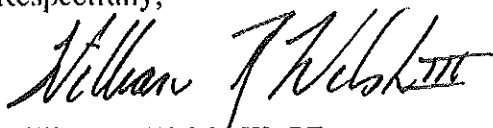
The proposed erosion control methods and proposed construction plan are based on conservation practices found in the Maine Erosion & Sediment Control Best Management Practices (BMP) Manual, Maine Department of Environmental Protection, March 2003, or latest edition. The contractor who implements the shoreline stabilization measures shall be familiar with this publication and adhere to it and the practices presented herein.

State and Federal Regulatory Approvals

This project requires a Tier III, Individual Natural Resources Protection Act (NRPA) permit from the Maine Department of Environmental Protection (DEP). This application is currently being reviewed by the department. The Army Corps of Engineers (ACOE) has received a copy of the Tier III NRPA permit and is currently reviewing the application.

Enclosed you will find one hard-copy of the Level II Site Plan Application, one (1) hard copy of the proposed Site Plan, a PDF file of the application (including attachments) and a check for \$400.00. I trust you will find the information sufficient for review. We look forward to working with you to process the application as quickly as possible.

Respectfully,



William R. Walsh, III, PE
Walsh Engineering Associates, Inc.

Enc. Level II Site Plan Application
Site Plan and Site Details (24" x 36" and 11" x 17")
Letter of Agency from Michael J. Chapey
Deed of 5 Sunset Road
Application fee (\$400)

Cc: Michael J. Chapey

PROJECT DATA

The following information is required where applicable, in order complete the application

Total Site Area	6,150 sq. ft.
Proposed Total Disturbed Area of the Site	620 sq. ft.
(If the proposed disturbance is greater than one acre, then the applicant shall apply for a Maine Construction General Permit (MCGP) with DEP and a Stormwater Management Permit, Chapter 500, with the City of Portland)	
IMPERVIOUS SURFACE AREA	
• Proposed Total Paved Area	0 sq. ft.
• Existing Total Impervious Area	2,065 sq. ft.
• Proposed Total Impervious Area	0 sq. ft.
• Proposed Total Impervious Area	2,065 sq. ft.
• Proposed Impervious Net Change	0 sq. ft.
BUILDING AREA	
• Proposed Building Footprint	N/A sq. ft.
• Proposed Building Footprint Net change	N/A sq. ft.
• Existing Total Building Floor Area	1,935 sq. ft.
• Proposed Total Building Floor Area	0 sq. ft.
• Proposed Building Floor Area Net Change	0 sq. ft.
• New Building	No (yes or no)
ZONING	
• Existing	I-R2 Island Residential 2
• Proposed, if applicable	N/A
LAND USE	
• Existing	Residential
• Proposed	Residential
RESIDENTIAL, IF APPLICABLE	
• Proposed Number of Affordable Housing Units	N/A
• Proposed Number of Residential Units to be Demolished	N/A
• Existing Number of Residential Units	N/A
• Proposed Number of Residential Units	N/A
• Subdivision, Proposed Number of Lots	N/A
PARKING SPACES	
• Existing Number of Parking Spaces	N/A
• Proposed Number of Parking Spaces	N/A
• Number of Handicapped Parking Spaces	N/A
• Proposed Total Parking Spaces	N/A
BICYCLE PARKING SPACES	
• Existing Number of Bicycle Parking Spaces	N/A
• Existing Number of Bicycle Parking Spaces	N/A
• Proposed Number of Bicycle Parking Spaces	N/A
• Total Bicycle Parking Spaces	N/A
ESTIMATED COST OF PROJECT	\$45,000.00

CHAPLEY SEAWALL RECONSTRUCTION
 5 Sunset Road, Peaks Island, Portland, Maine
 For
 Michael Chapley, 110 Redbrook Farm Road, Wilton, CT 06897

NO.	DATE	DESCRIPTION
1	08/15/10	PRELIMINARY
2	09/15/10	REVISED
3	10/15/10	REVISED
4	11/15/10	REVISED
5	12/15/10	REVISED
6	01/15/11	REVISED
7	02/15/11	REVISED
8	03/15/11	REVISED
9	04/15/11	REVISED
10	05/15/11	REVISED
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