

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 091224

PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that CLEMENTS JEFFREY D & NANCY L HESELTON JTS/Thomps

has permission to Interior remodel, windows and insulation. NOV 13 2009

AT 11 OCEAN ST, Peaks Island CBL 090 B003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Name

Thomas M. Mackley 11/12/09
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1224	Issue Date:	CBL: 090 B003001
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Location of Construction: 11 OCEAN ST <i>Peaks Island</i>	Owner Name: CLEMENTS JEFFREY D & NANC	Owner Address: 46 WOOD ST	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: 2077665219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: <i>IR-2</i>

Past Use: Single Family	Proposed Use: Single Family - Interior remodel, windows & insulation.	Permit Fee: \$820.00	Cost of Work: \$80,000.00	CEO District: 1
Proposed Project Description: Interior remodel, windows and insulation.		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>5B</i> <i>IRC 2003</i>	
		Signature: <i>Jm 11/12/09</i>		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____				

Permit Taken By: <i>jmy</i>	Date Applied For: 10/30/2009	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <i>within 250' but over 75' from HWM</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>11/3/09</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: <i>with handling</i>	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>
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PERMIT ISSUED

NOV 13 2009

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.


Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.



Signature of Applicant/Designee

11.13.09
Date



Signature of Inspections Official

11/12/09
Date

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-1224	Date Applied For: 10/30/2009	CBL: 090 B003001
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Location of Construction: 11 OCEAN ST	Owner Name: CLEMENTS JEFFREY D & NANC	Owner Address: 46 WOOD ST	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family - Interior remodel, windows & insulation.	Proposed Project Description: Interior remodel, windows and insulation.
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Marge Schmuckal	Approval Date: 11/03/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</p> <p>2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date:
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.</p> <p>2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</p>			

Comments: 11/3/2009-mes: I found on res. review desk and reviewed for zoning but couldn't sign off because MIS shut down access.
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General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 OCEAN STREET PEAKS ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>NO CHANGE /</u>		Square Footage of Lot <u>20,325 SF</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>90 B 3</u>	Applicant * must be owner, Lessee or Buyer * Name <u>JEFF CLEMENTS & NANCY HESLTON</u> Address <u>46 WOOD STREET</u> City, State & Zip <u>CONCORD, MA. 01742</u>	Telephone: _____
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>80,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>SAME</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>INTERIOR REMODEL, REPLACEMENT WINDOWS & NEW INSULATION</u>		
Contractor's name: <u>THOMPSON JOHNSON WOODWORKS</u> Address: <u>115 ISLAND AVE</u> City, State & Zip <u>PEAKS ISLAND, ME. 04108</u> Telephone: <u>207-766-5919</u> Who should we contact when the permit is ready: <u>RACHEL CONLY</u> Telephone: _____ Mailing address: <u>SAME</u> <u>OR HARVEY JOHNSON</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

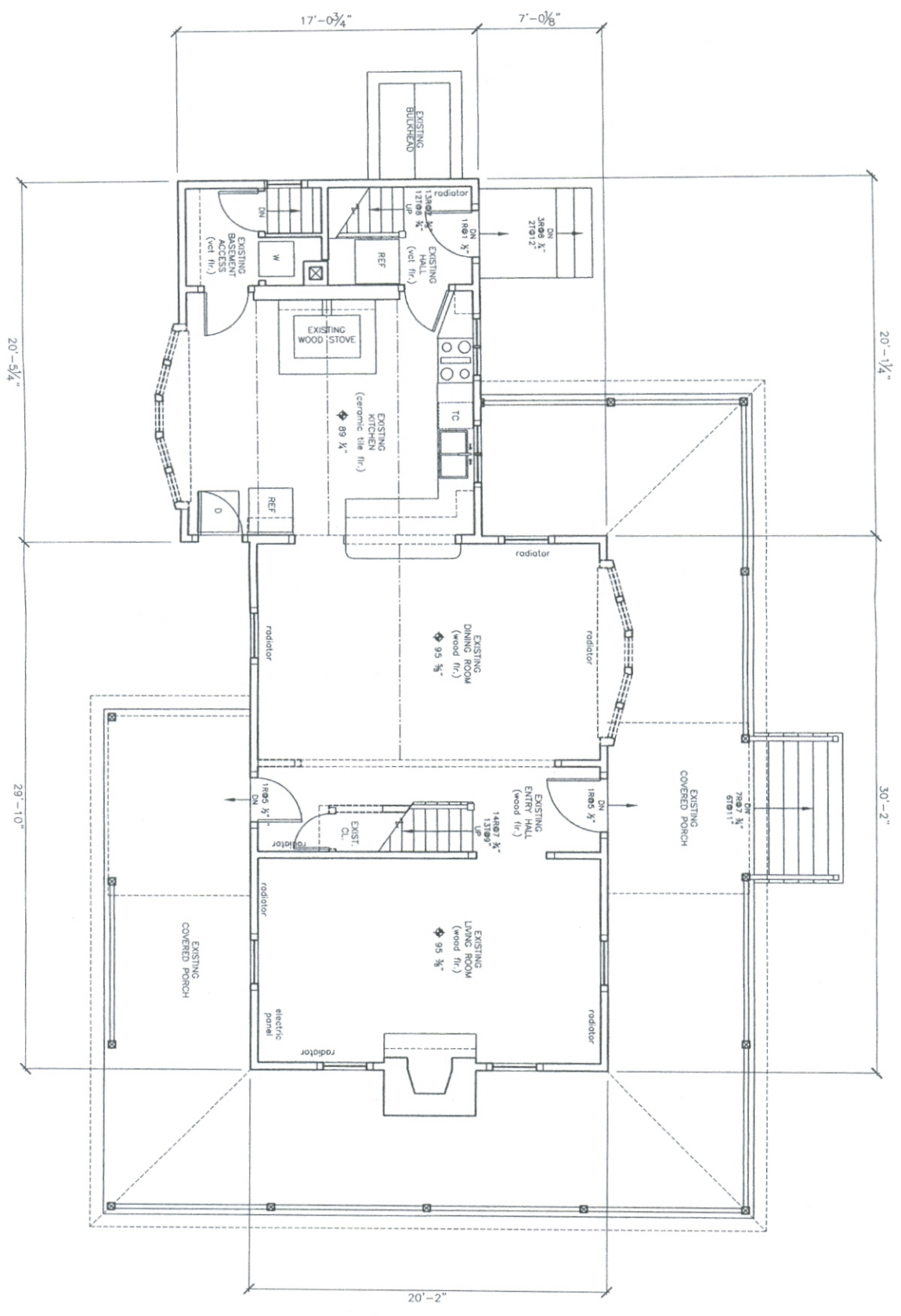
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 10-29-09

This is not a permit you may not commence ANY work until the permit is issue

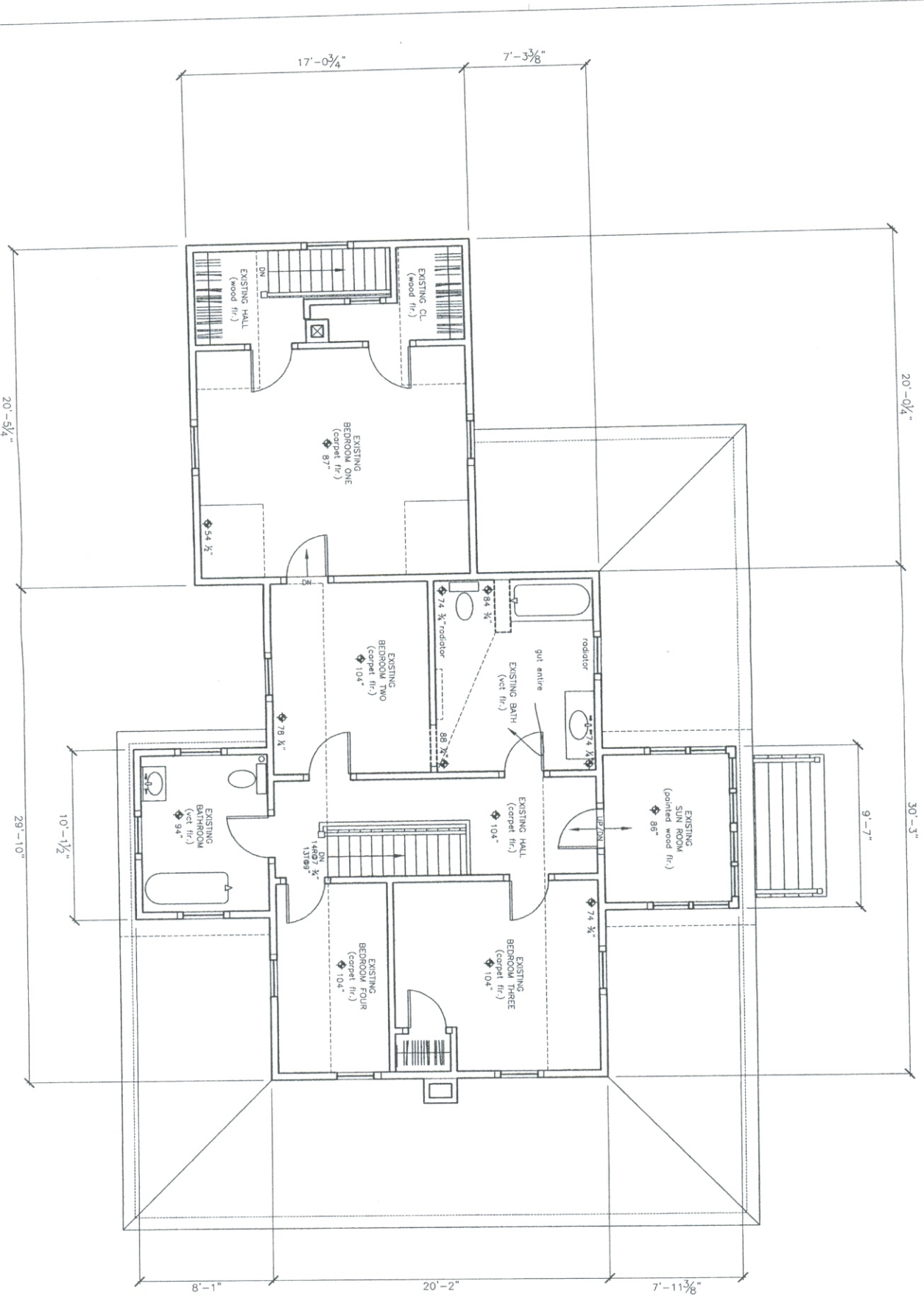
Existing Conditions:
First Floor Plan



Ⓐ Existing First Floor/Demo Plan
1/4" = 1'-0"

- Existing Wall
- Demo Wall

PROJECT		Clements/Heselton Residence	
DATE		7.3.09	REVISION
SCALE		1/4" = 1'-0"	DRAWN BY Rachel
NOTES		11 Ocean Street Peaks Island, Maine 04108	



A Existing Second Floor/Demo Plan
1/4" = 1'-0"

Existing Wall
Demo Wall

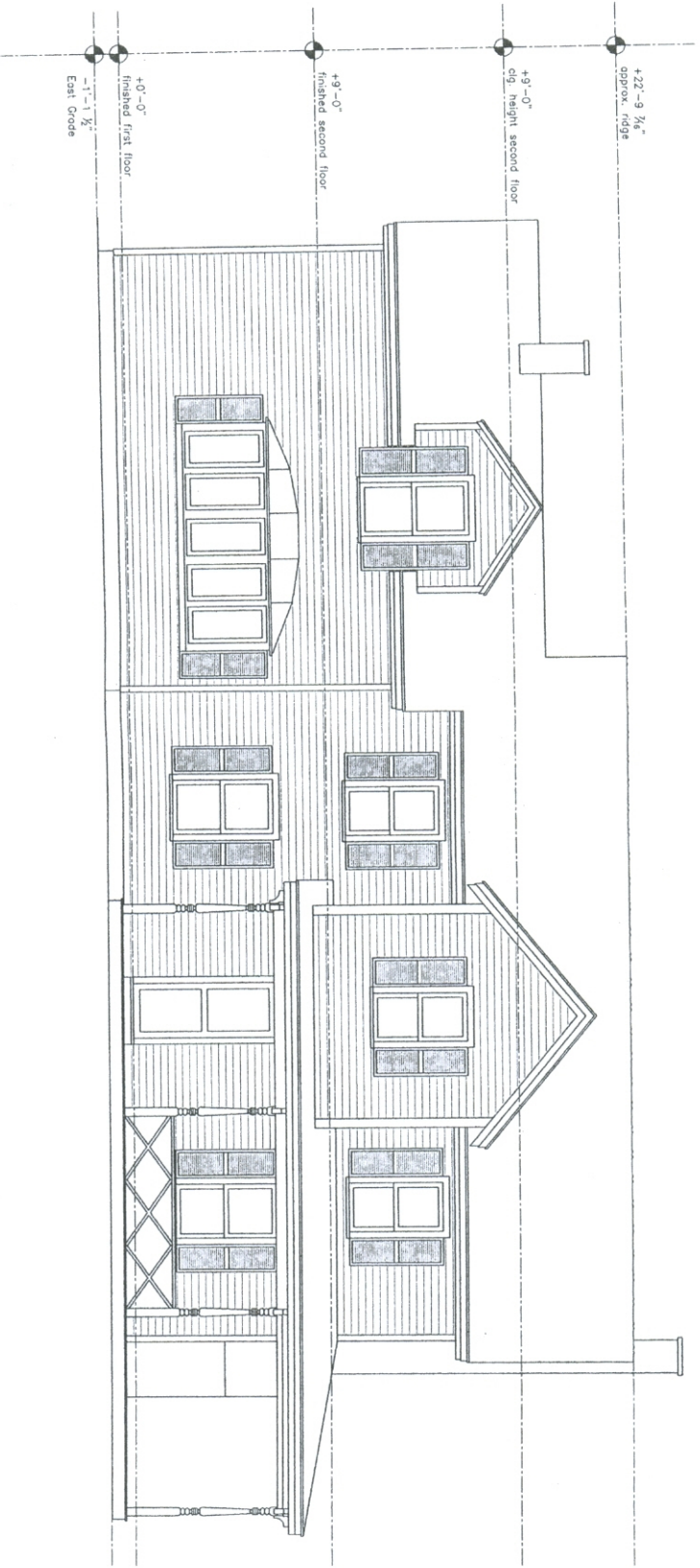
DATE	7.3.09	REVISED	10.30.09
SCALE	1/4"=1'-0"	DRAWN BY	Rachel
NOTES			

PROJECT
**Clements/Heslton
Residence**
11 Ocean Street
Peaks Island, Maine
04108

**Thompson Johnson
Woodworks**

115 Island Avenue
Peaks Island ME 04108
207.766.5919

**Existing Conditions:
East Elevation**



(A) Existing East Elevation
1/4" = 1'-0"

PROJECT

Clements/Heselton
Residence

11 Ocean Street
Peaks Island, Maine
04108

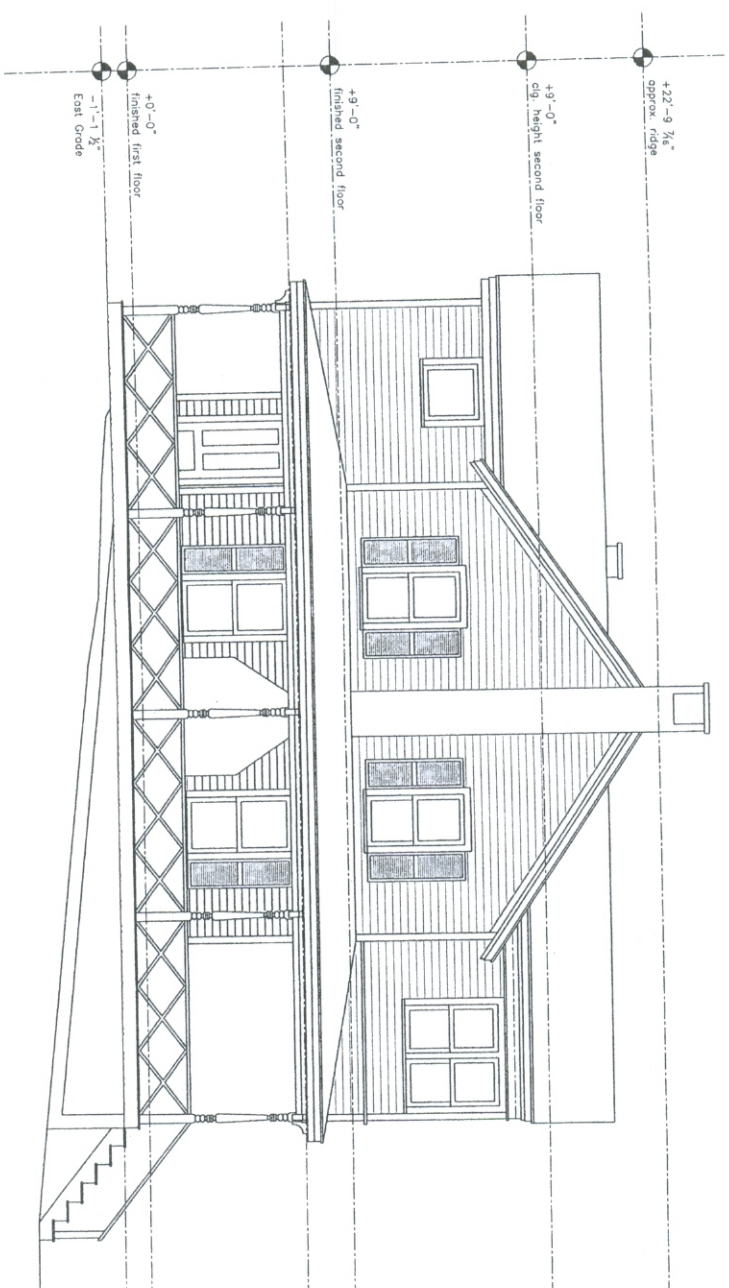
DATE	REVISED
7.3.09	10.30.09

SCALE: 1/4" = 1'-0"
DRAWN BY: Rachel

NOTES

A3

Existing Conditions:
North Elevation



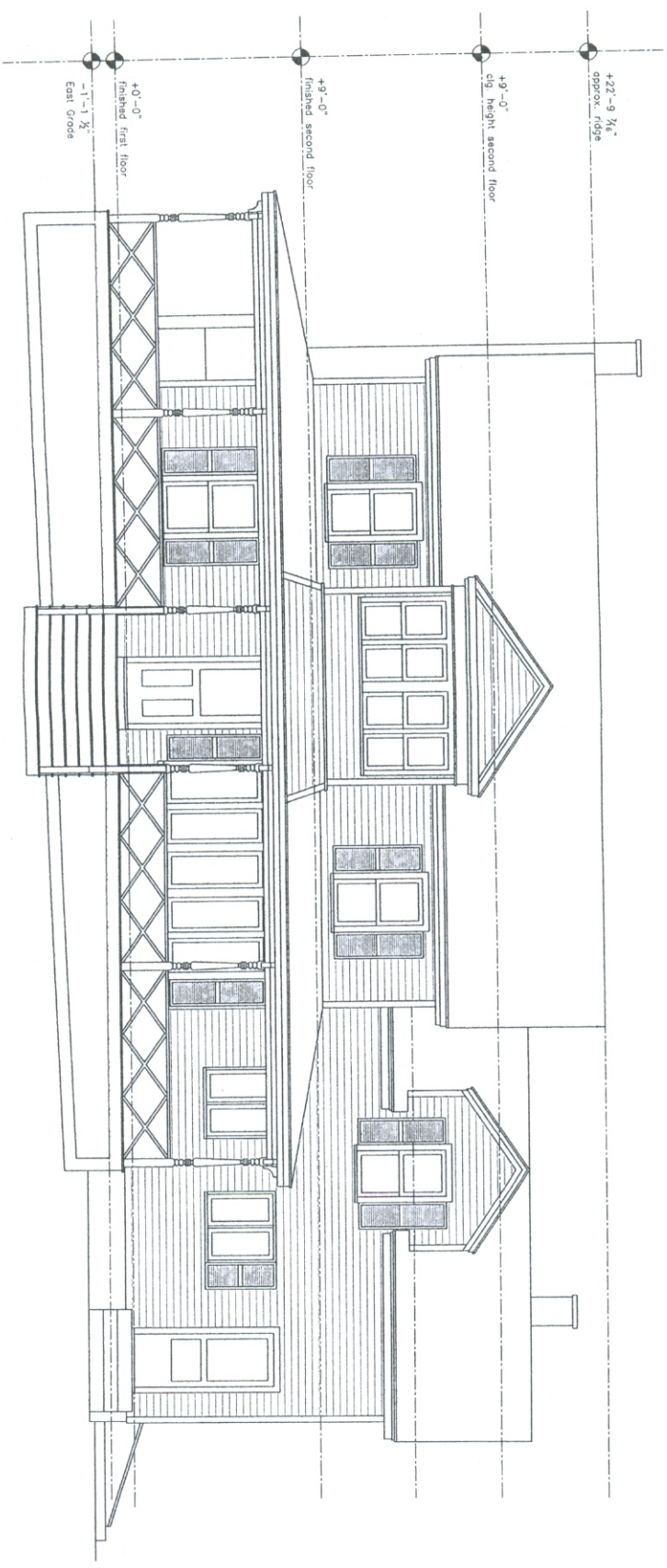
(A) Existing North Elevation
1/4" = 1'-0"

PROJECT
Clements/Heselton
Residence

11 Ocean Street
Peaks Island, Maine
04108

DATE	7.3.09	REVISED	10.30.09
SCALE	1/4" = 1'-0"	DRAWN BY	Rachel
NOTES			

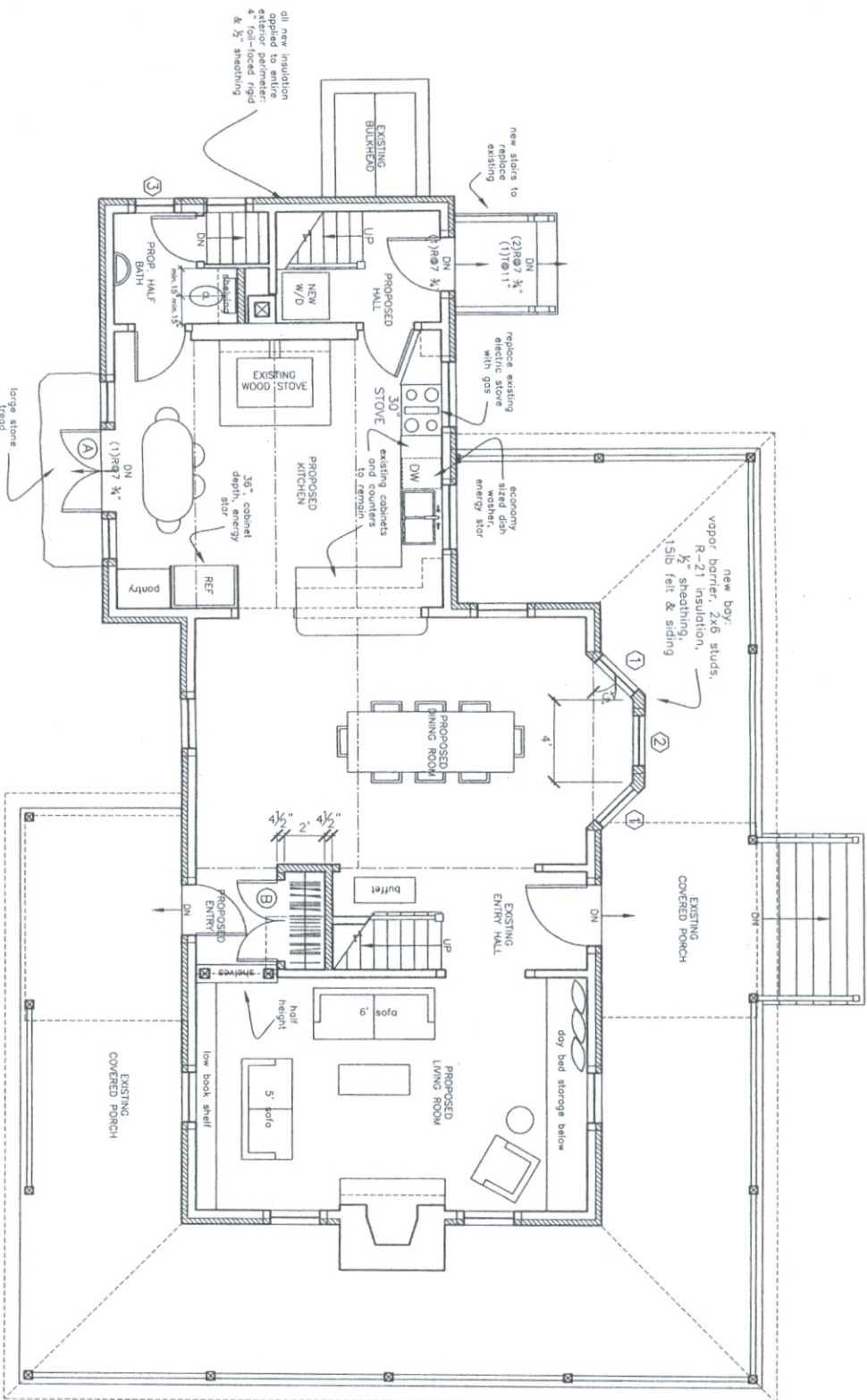
Existing Conditions:
West Elevation



(A) Existing West Elevation
1/2" = 1'-0"

PROJECT	
Clements/Heslton Residence	
11 Ocean Street Peaks Island, Maine 04108	
DATE	REVISED
7.3.09	10.30.09
SCALE	DRAWN BY
1/2" = 1'-0"	Rachel
NOTES	

**Proposed:
First Floor Plan**



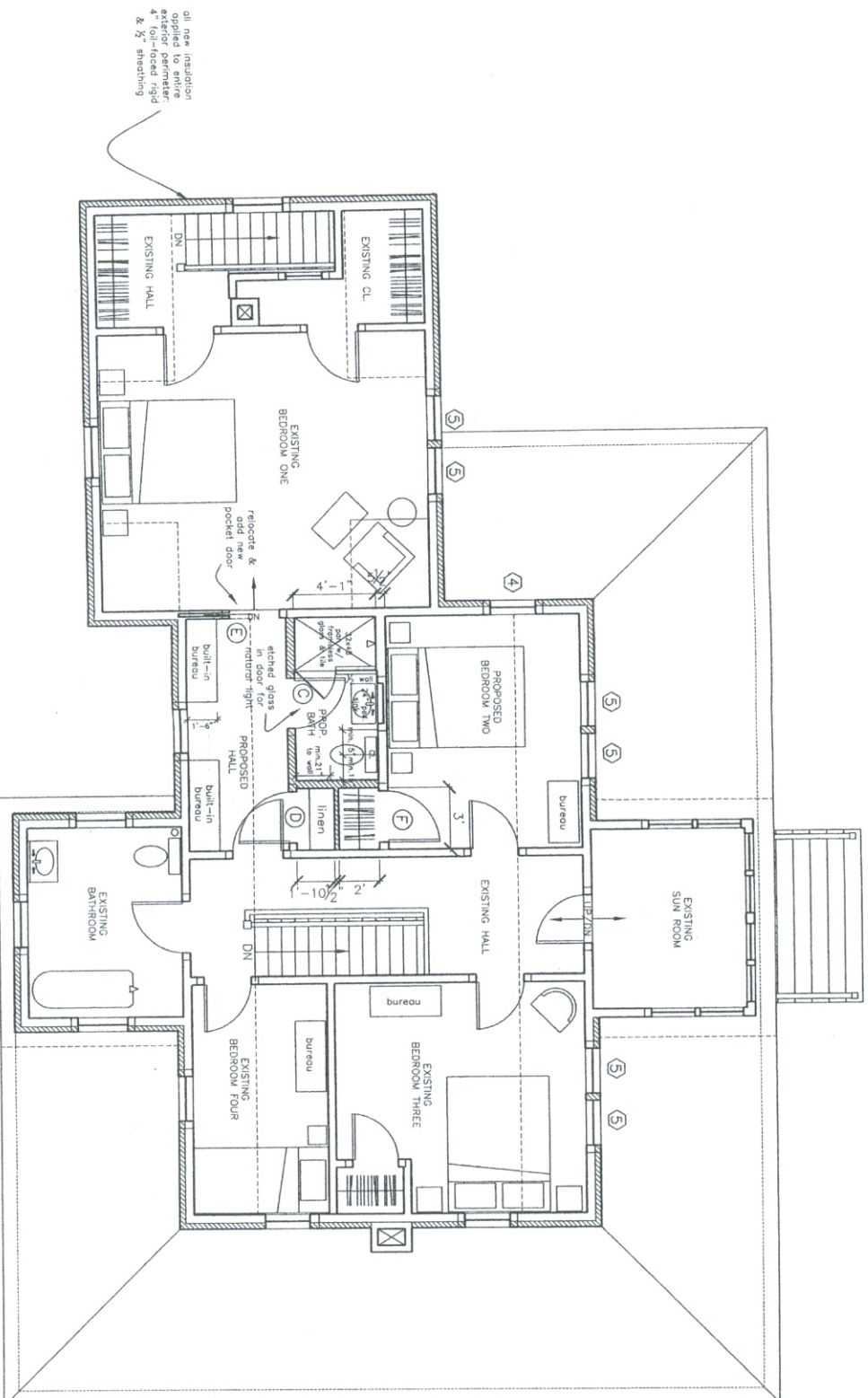
(A) Proposed First Floor Plan
1/4" = 1'-0"

Existing Wall
Proposed Wall

NOTE:
REPLACEMENT WINDOWS
TO BE INSTALLED IN ALL
EXISTING OPENINGS,
EXCEPT WHERE OTHERWISE
NOTED AS NEW OPENINGS.

DATE	7.3.09	REVISED	10.30.09
SCALE	1/4" = 1'-0"	DRAWN BY	Rachel
PROJECT	11 Ocean Street Peaks Island, Maine 04108		
PROJECT	Clements/Heselton Residence		

**Proposed:
Second Floor Plan**



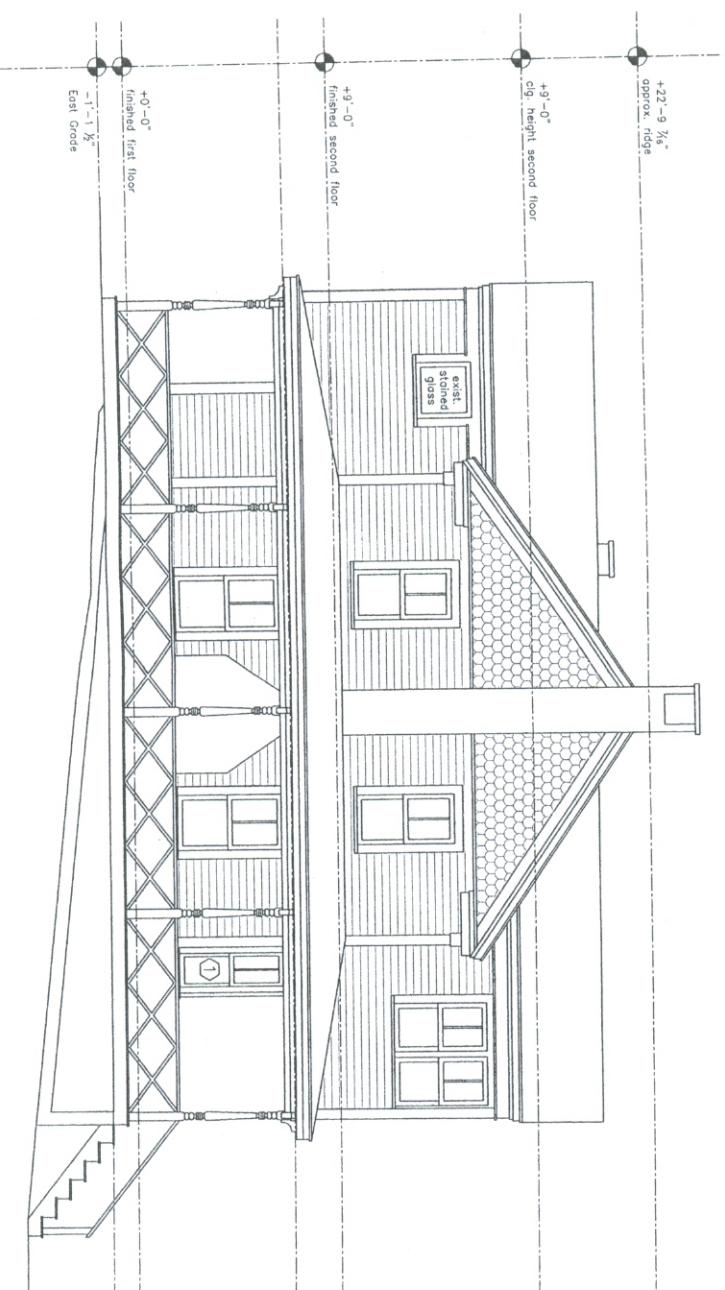
(A) Proposed Second Floor Plan
1/4" = 1'-0"

Existing Wall
Proposed Wall

NOTE:
REPLACEMENT WINDOWS
TO BE INSTALLED IN ALL
EXISTING OPENINGS,
EXCEPT WHERE OTHERWISE
NOTED AS NEW OPENINGS.

PROJECT	
Clements/Heselton Residence	
11 Ocean Street Peaks Island, Maine 04108	
DATE	REVISED
7.3.09	10.30.09
SCALE	DRAWN BY
1/4" = 1'-0"	Rachel
NOTES	

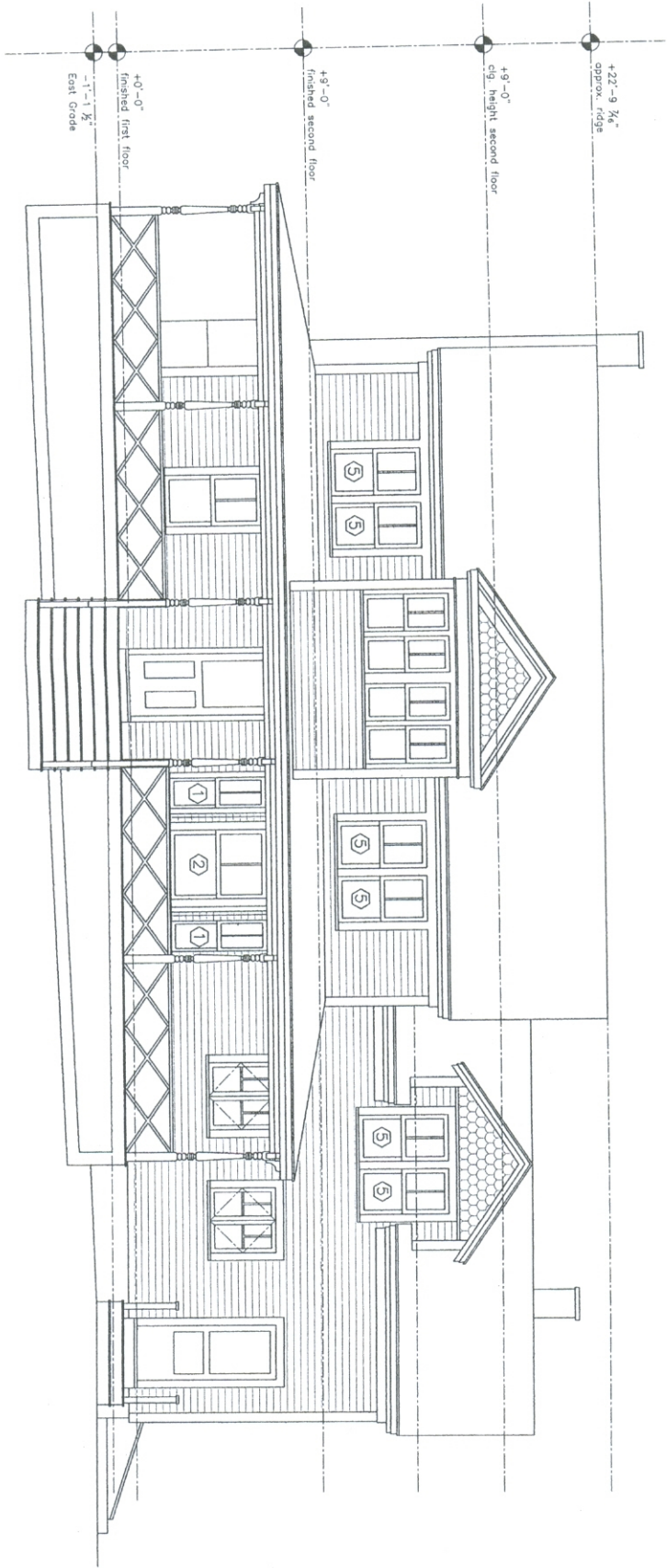
Proposed:
North Elevation



(A) Proposed North Elevation
1/2" = 1'-0"

PROJECT	
Clements/Heselton Residence	
11 Ocean Street Peaks Island, Maine 04108	
DATE	REVISED
7.3.09	10.30.09
SCALE	DRAWN BY
1/2" = 1'-0"	Rachel
NOTES	

Proposed:
West Elevation



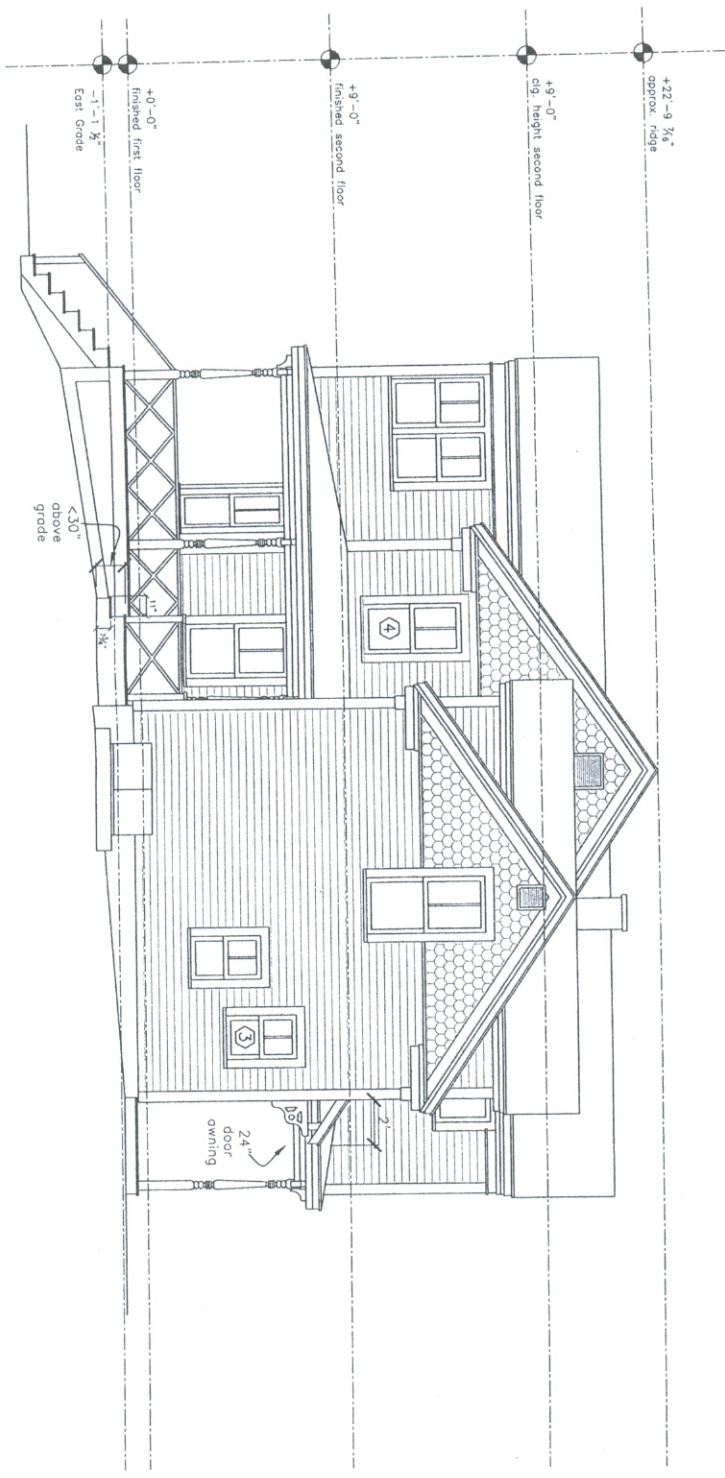
(A) Proposed West Elevation
1/4" = 1'-0"

PROJECT	
Clements/Heselton Residence	
11 Ocean Street Peaks Island, Maine 04108	
DATE	REVISION
7.3.09	10.30.09
SCALE	
DRAWN BY	
NOTES	

**Thompson Johnson
Woodworks**

115 island avenue
peaks island me 04108
207.766.5919

Proposed:
West Elevation

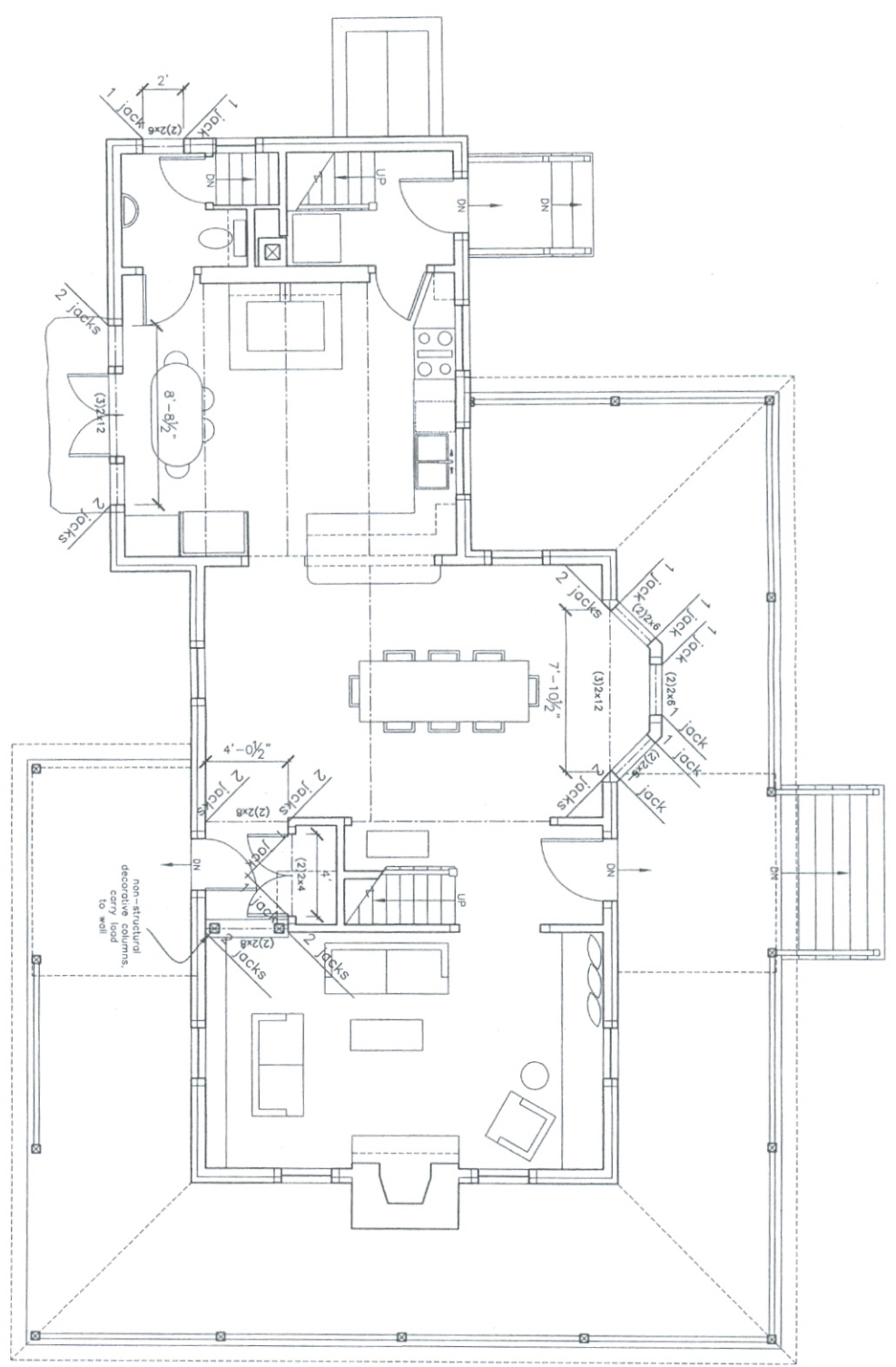


(A) Proposed South Elevation
1/4" = 1'-0"

PROJECT	
Clements/Heselton Residence	
11 Ocean Street Peaks Island, Maine 04108	
DATE	REVISED
7.3.09	10.30.09
SCALE	DRAWN BY
1/4" = 1'-0"	Rachel
NOTES	

A12

**Proposed:
Second Floor
Framing Plan**



Proposed First Floor Power
 $\frac{1}{4}'' = 1'-0''$

NOTE:
 REPLACEMENT WINDOWS
 TO BE INSTALLED IN ALL
 EXISTING OPENINGS,
 EXCEPT WHERE OTHERWISE
 NOTED AS NEW OPENINGS.

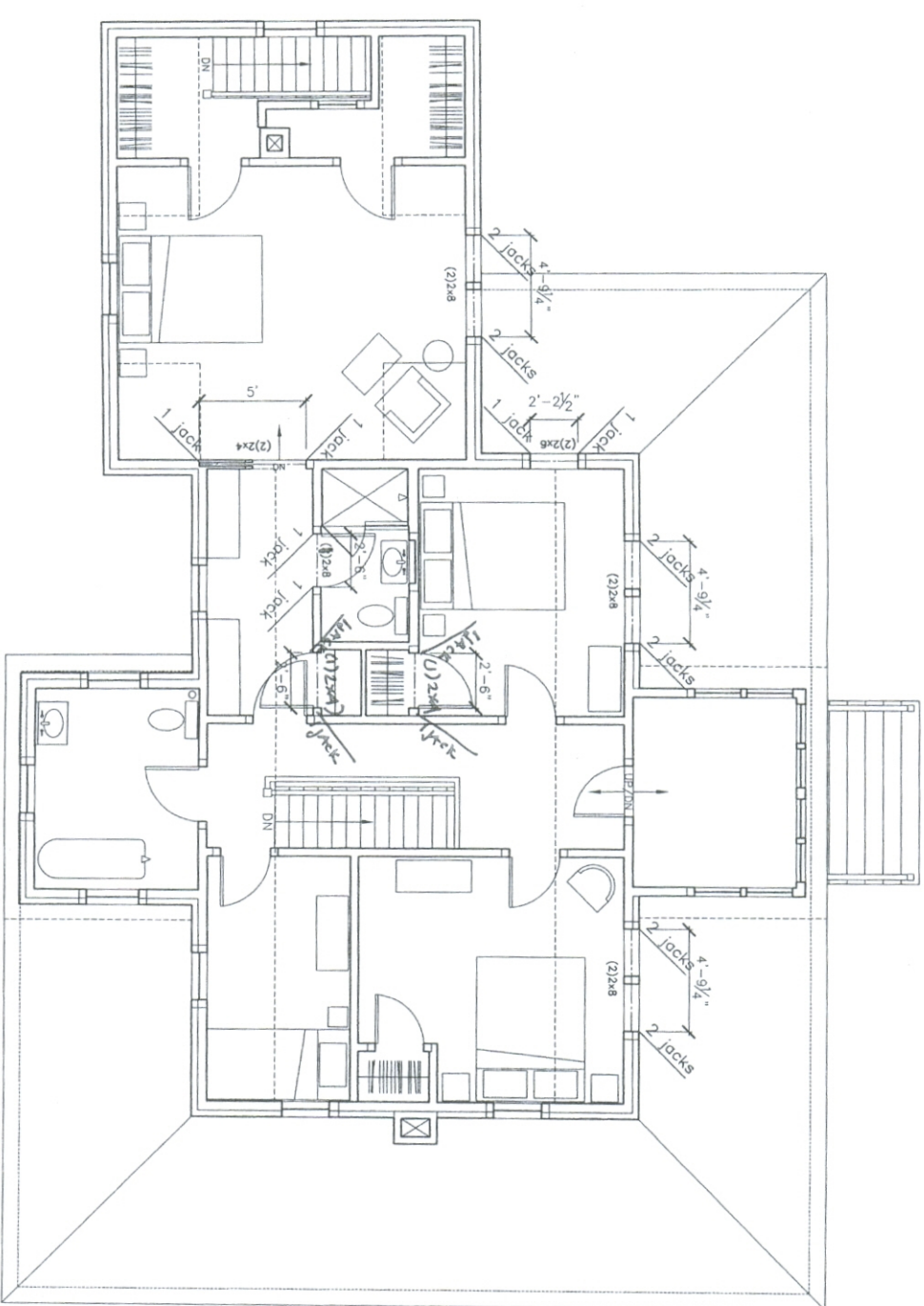
DATE	7.3.09	REVISED	10.30.09
SCALE	$\frac{1}{4}'' = 1'-0''$	DRAWN BY	Rachel

PROJECT
 Clements/Heslton
 Residence
 11 Ocean Street
 Peaks Island, Maine
 04108

**Thompson Johnson
Woodworks**

115 Island Avenue
Peaks Island, ME 04108
207.766.5919

**Proposed:
Attic Framing
Plan**



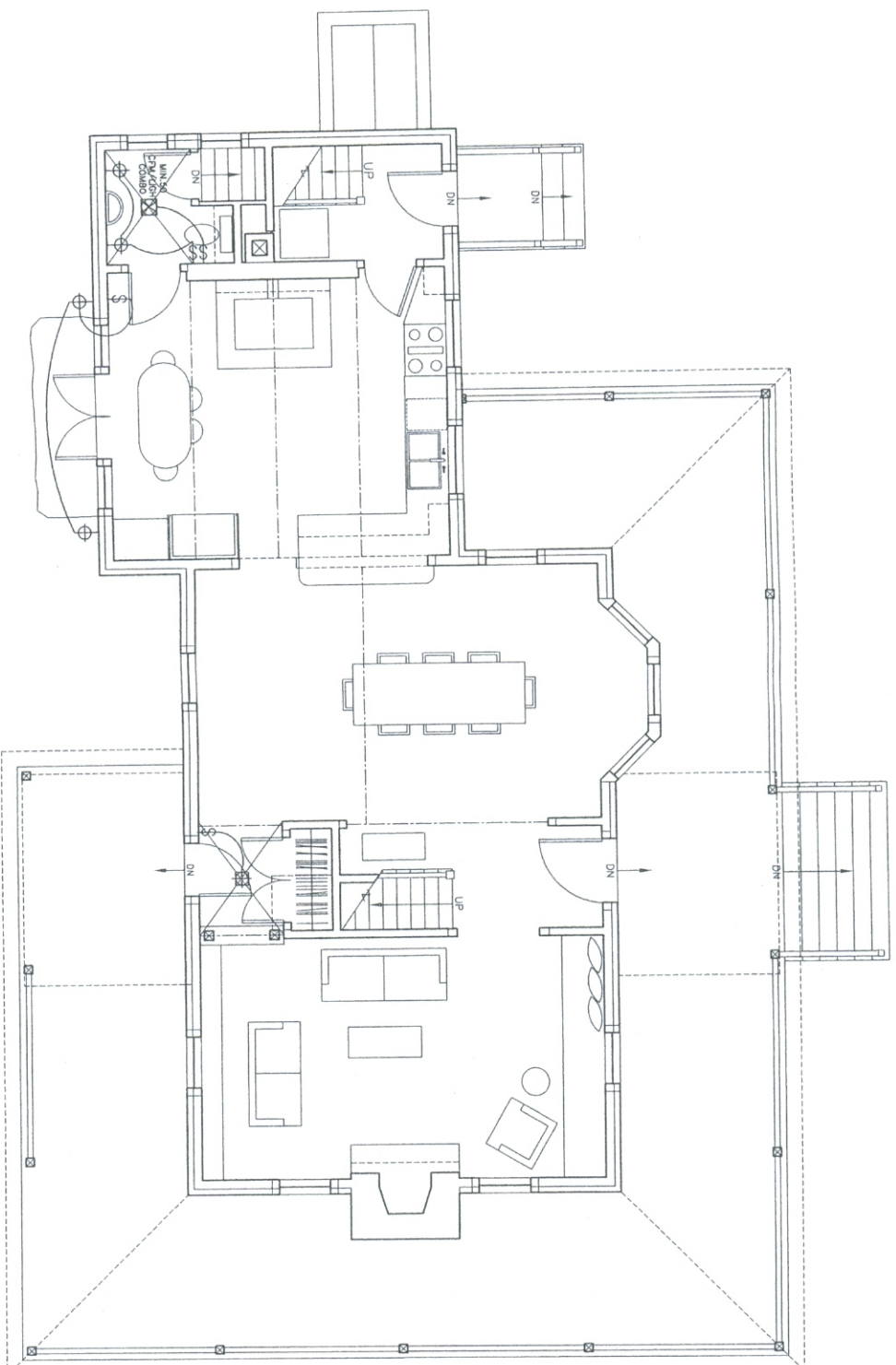
Ⓐ Proposed Second Floor Power
1/4" = 1'-0"

NOTE:
REPLACEMENT WINDOWS
TO BE INSTALLED IN ALL
EXISTING OPENINGS,
EXCEPT WHERE OTHERWISE
NOTED AS NEW OPENINGS.

PROJECT	
Clements/Heslton Residence	
11 Ocean Street Peaks Island, Maine 04108	
DATE	REVISION
7.3.09	10.30.09
SCALE	DRAWN BY
1/4" = 1'-0"	Rachel
NOTES	

S2

Proposed:
First Floor
Lighting Plan



Ⓐ Proposed First Floor Lighting
1/4" = 1'-0"

PROJECT
Clements/Heslton
Residence

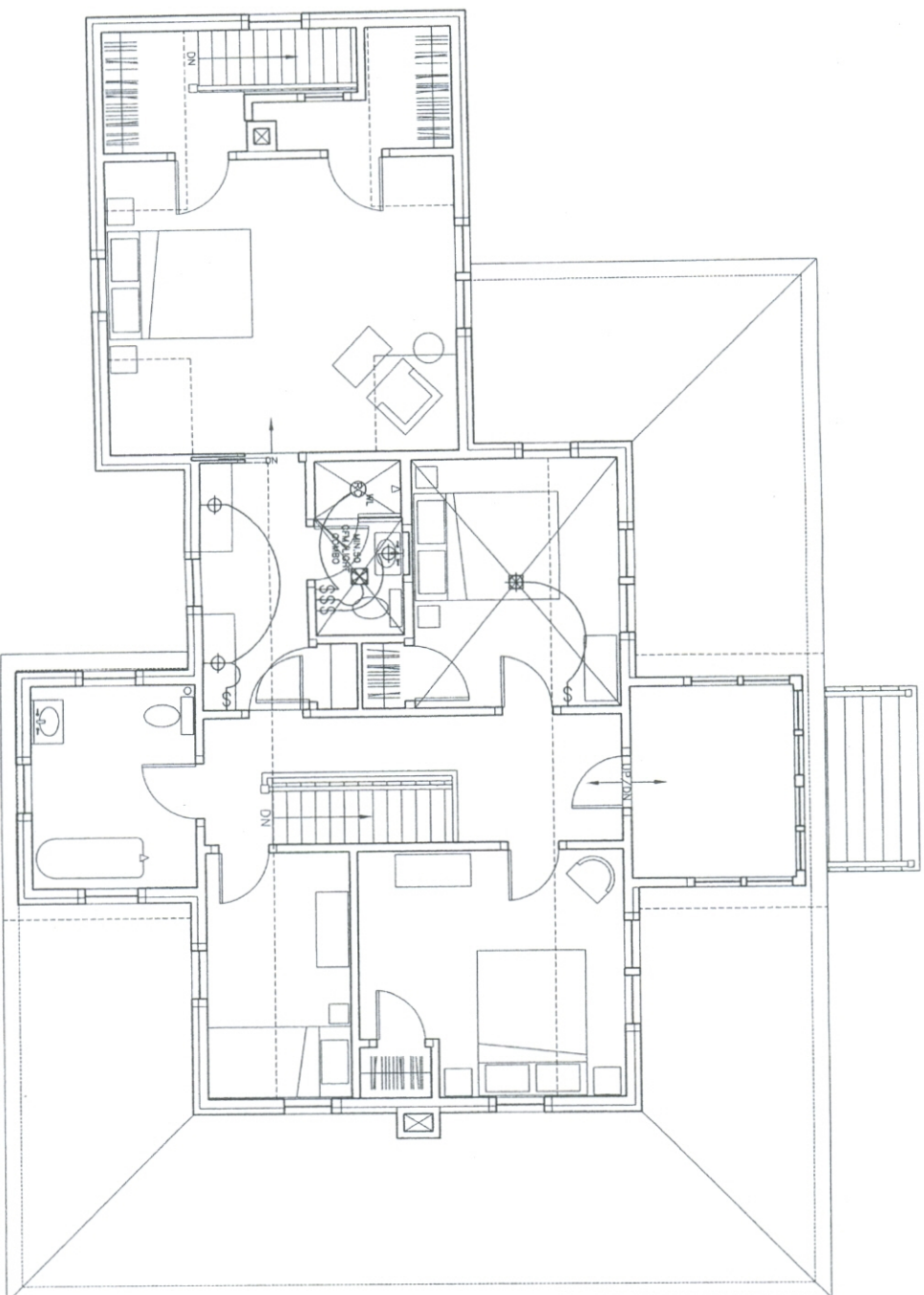
11 Ocean Street
Peaks Island, Maine
04108

DATE	7.3.09	REVISED	10.30.09
SCALE	1/4" = 1'-0"	DESIGNED BY	Rachel

NOTES

○	150	150	150
○	200	200	200
○	300	300	300
○	400	400	400
○	500	500	500
○	600	600	600
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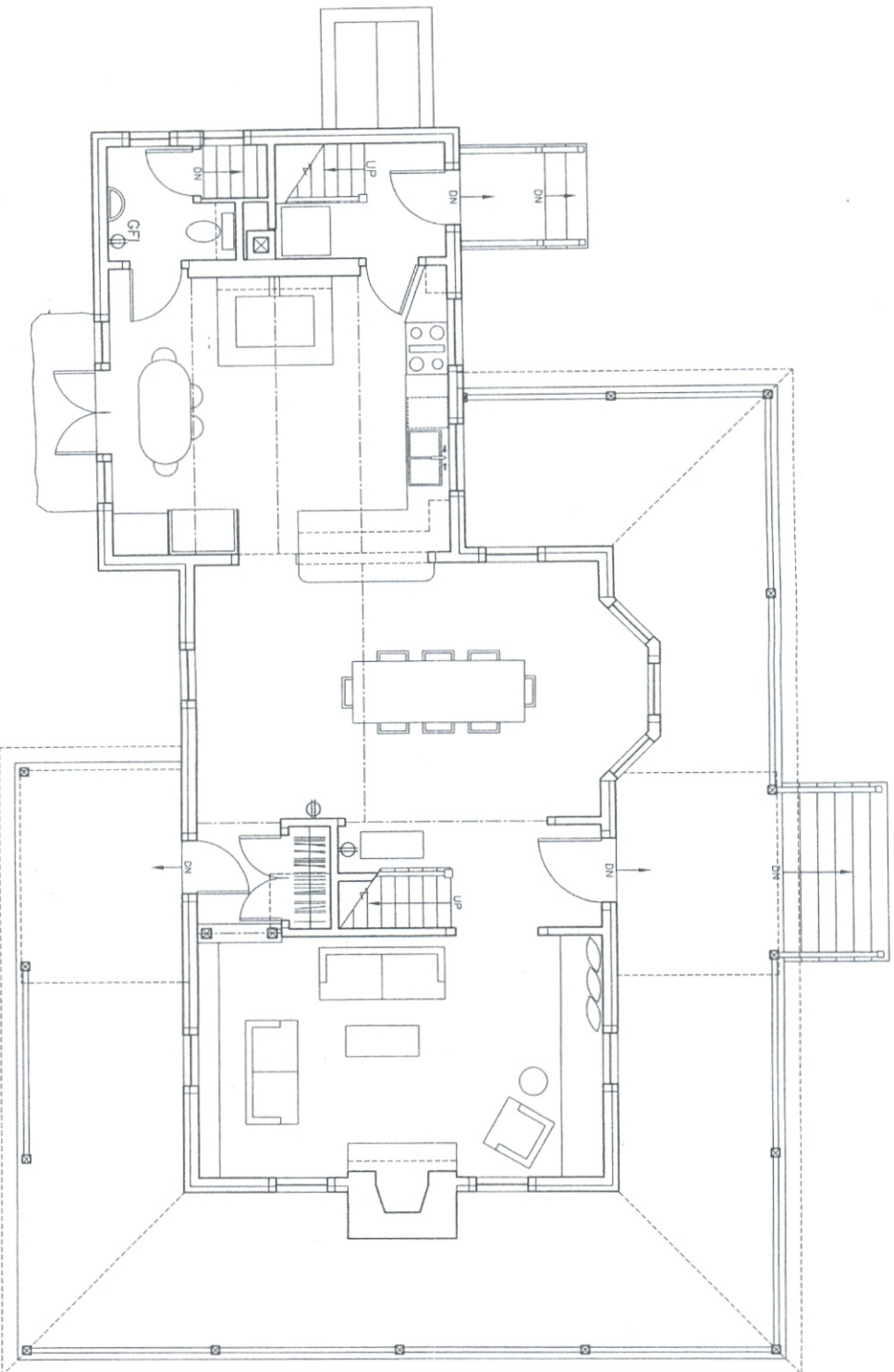
**Proposed:
Second Floor
Lighting Plan**



(A) Proposed Second Floor Lighting
1/4" = 1'-0"

DATE	7.3.09	REVISED	10.30.09
TITLE	DRAWN BY Rachel		
SCALE	1/4" = 1'-0"		
NOTES	1. All lighting equipment shall be installed in accordance with the manufacturer's instructions. 2. All lighting equipment shall be installed in accordance with the applicable code requirements. 3. All lighting equipment shall be installed in accordance with the applicable code requirements.		

**Proposed:
First Floor
Power Plan**



A Proposed: First Floor Power
1/4" = 1'-0"

PROJECT

Clements/Heselton
Residence
11 Ocean Street
Peaks Island, Maine
04108

DATE

7.3.09

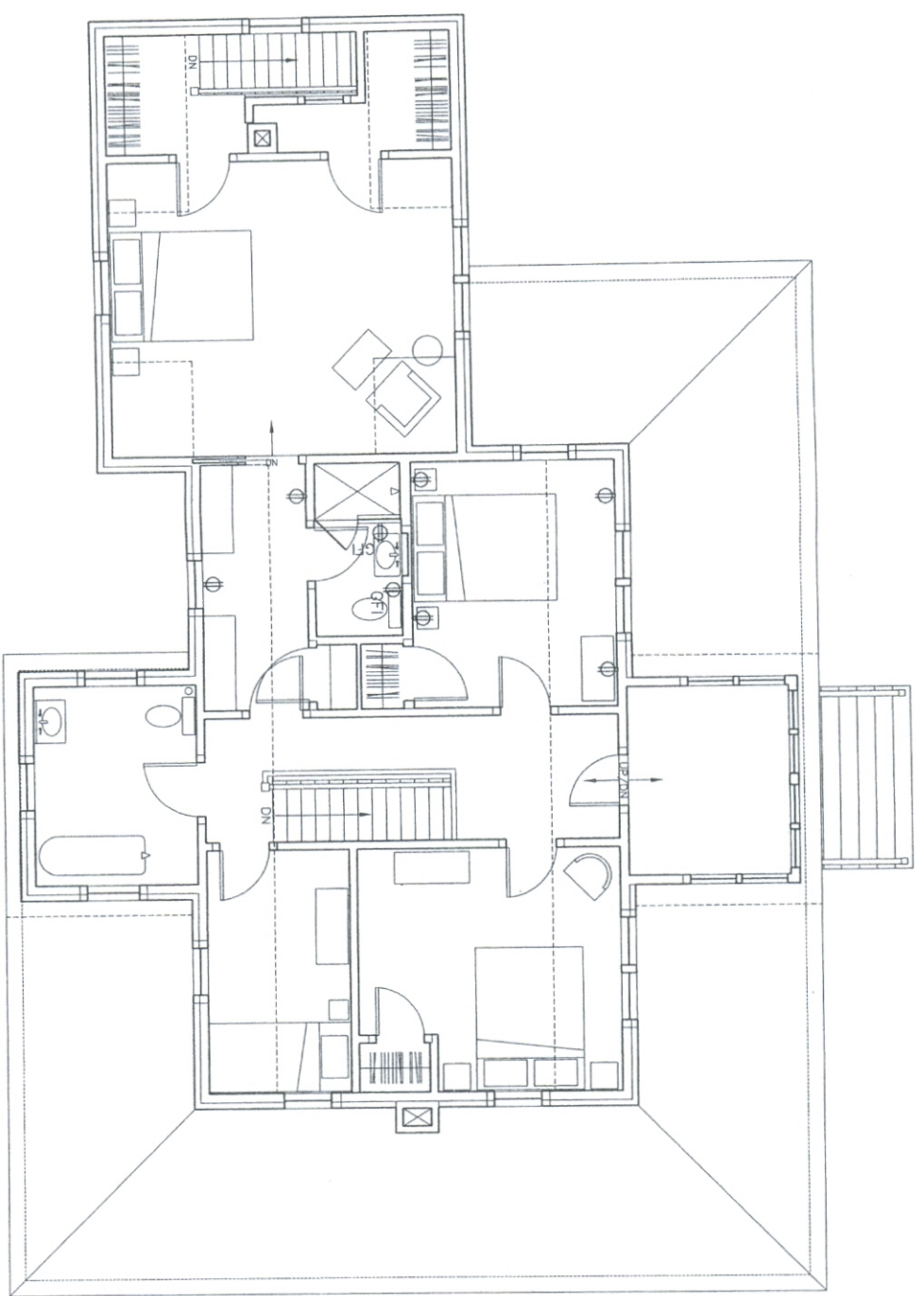
SCALE

1/4" = 1'-0"

NOTES

- 1. All work shall conform with current building codes.
- 2. All materials shall be of the highest quality.
- 3. All work shall be completed within the specified time frame.
- 4. All work shall be done in a professional and workmanlike manner.
- 5. All work shall be done in accordance with the approved plans.
- 6. All work shall be done in accordance with the approved specifications.
- 7. All work shall be done in accordance with the approved schedule.
- 8. All work shall be done in accordance with the approved budget.
- 9. All work shall be done in accordance with the approved contract.
- 10. All work shall be done in accordance with the approved terms and conditions.

**Proposed:
Second Floor
Power Plan**



(A) Proposed Second Floor Power
1/4" = 1'-0"

DATE	REVISED
7.3.09	10.30
SCALE DRAWN BY 1/4" = 1'-0" Ract	

NOTES

- 1. All electrical work shall conform to the 2011 National Electrical Code (NEC) and all applicable local codes.
- 2. All electrical work shall be done in accordance with the manufacturer's instructions.
- 3. All electrical work shall be done in accordance with the applicable local codes.
- 4. All electrical work shall be done in accordance with the applicable local codes.
- 5. All electrical work shall be done in accordance with the applicable local codes.
- 6. All electrical work shall be done in accordance with the applicable local codes.
- 7. All electrical work shall be done in accordance with the applicable local codes.
- 8. All electrical work shall be done in accordance with the applicable local codes.
- 9. All electrical work shall be done in accordance with the applicable local codes.
- 10. All electrical work shall be done in accordance with the applicable local codes.