

City of Portland, Maine - Building or Use Permit Application

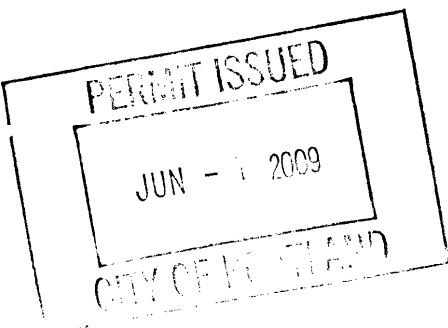
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0526	Issue Date:	CBL: 090 B003001
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Location of Construction: 11 OCEAN ST	Owner Name: CLEMENTS JEFFREY D & NANC	Owner Address: 46 WOOD ST	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone 2077665219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: +R2

Past Use: Single Family Home	Proposed Use: Single Family Home - Rot Repair and brick foundation repair	Permit Fee: \$120.00	Cost of Work: \$10,000.00	CEO District: 1
Proposed Project Description: Rot Repair and brick foundation repair		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	
		Signature:	Signature: Jm 6/4/09	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)				
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied				
Signature: _____ Date: _____				

Permit Taken By: Ldobson	Date Applied For: 06/01/2009	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: Jm 5/01/09	<p>Zoning Appeal</p> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<p>Historic Preservation</p> <input checked="" type="checkbox"/> Not in District or Landmark <input checked="" type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: Jm
			

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 09-0526	Date Applied For: 06/01/2009	CBL: 090 B003001
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Location of Construction: 11 OCEAN ST	Owner Name: CLEMENTS JEFFREY D & NANC	Owner Address: 46 WOOD ST	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Rot Repair and brick foundation repair	Proposed Project Description: Rot Repair and brick foundation repair
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Dept: Zoning	Status: Approved	Reviewer: Tom Markley	Approval Date: 06/01/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.			
2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.			
Dept: Building	Status: Approved with Conditions	Reviewer: Tom Markley	Approval Date: 06/01/2009
Note:			Ok to Issue: <input checked="" type="checkbox"/>
1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.			
2) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm or HVAC or exhaust systems. Separate plans may need to be submitted for approval as a part of this process.			

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

 X **Final inspection required at completion of work.**

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection.

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED.

Paul Dely
Signature of Applicant/Designee

6-1-09
Date

Thomas H. Madala
Signature of Inspections Official

6/1/09
Date



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>11 OCEAN STREET PEAKS ISLAND 04108</u>		
Total Square Footage of Proposed Structure/Area <u>EXISTING FOOTPRINT: 1955</u>		Square Footage of Lot <u>20,325</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>90 B 3</u>	Applicant *must be owner, Lessee or Buyer* Name <u>JEFF CLEMENTS & NANCY HESELTON</u> Address <u>46 WOOD ST.</u> City, State & Zip <u>CONCORD, MA. 01742</u>	Telephone: _____
Lessee/DBA (If Applicable) _____	Owner (if different from Applicant) Name _____ Address _____ City, State & Zip _____	Cost Of Work: \$ <u>10,000</u> C of O Fee: \$ _____ Total Fee: \$ <u>120</u>
Current legal use (i.e. single family) <u>SFR</u> If vacant, what was the previous use? <u>N/A</u> Proposed Specific use: <u>SFR</u> Is property part of a subdivision? <u>N/A</u> If yes, please name _____ Project description: <u>ROT REPAIR AND BRICK FOUNDATION REPAIR</u>		
Contractor's name: <u>THOMPSON JOHNSON WOODWORKS</u> Address: <u>115 ISLAND AVE</u> City, State & Zip: <u>PEAKS ISLAND, ME. 04108</u> Telephone: <u>766-5919</u> Who should we contact when the permit is ready: <u>RACHEL CONLY</u> Telephone: <u>766-5919</u> Mailing address: <u>SAME AS ABOVE</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Rachel Conly Date: 5-28-09

This is not a permit; you may not commence ANY work until the permit is issued

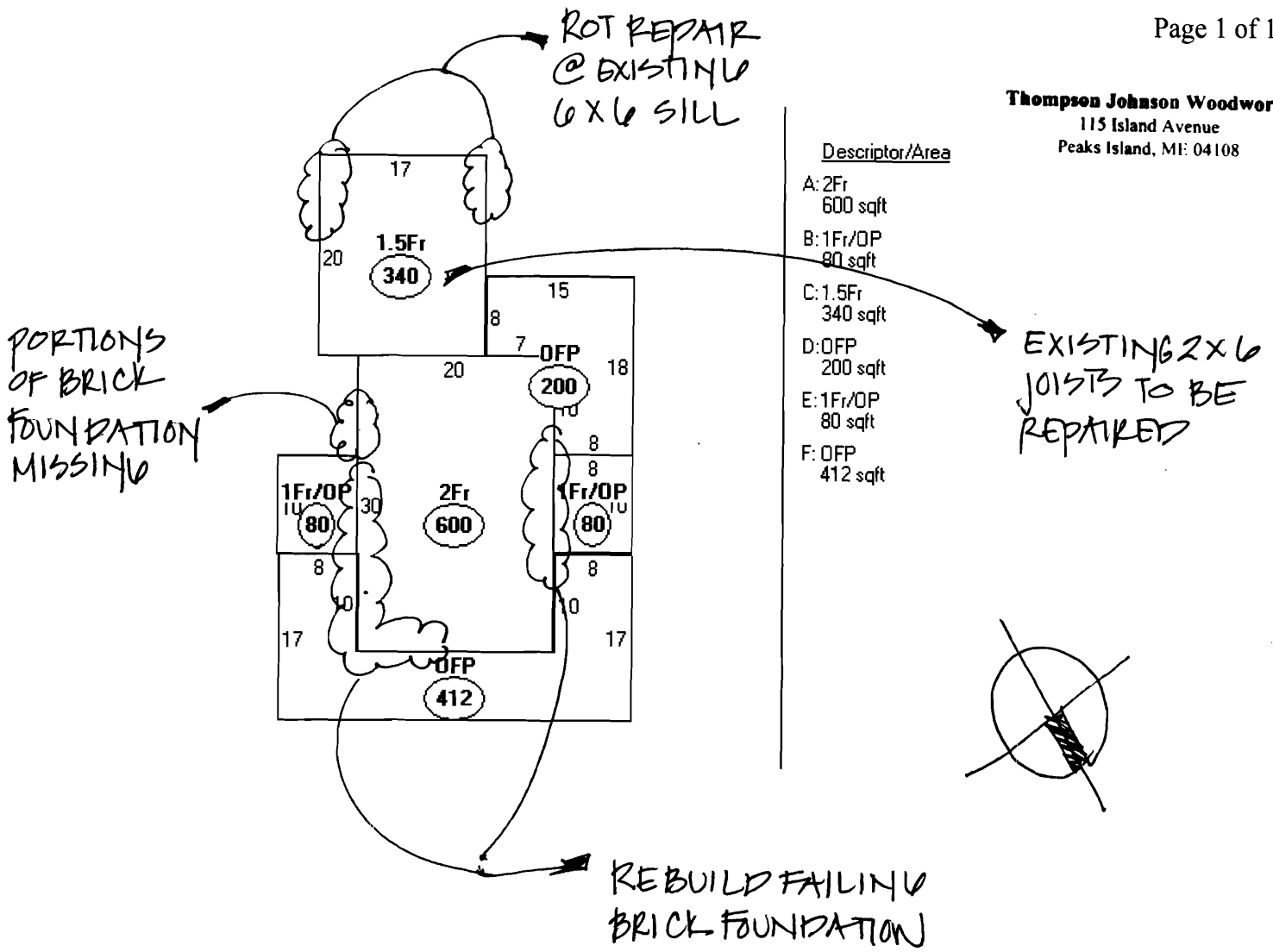


PHOTO OF EXISTING HOUSE FROM THE NORTHEAST.

CLEMENTS/HESLTON RESIDENCE

PAGE ONE

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, ME 04108



SCOPE OF WORK TO BE DONE AS NOTED ABOVE. (SEE PHOTOGRAPHS FOR DETAILS) ALL WORK TO BE DONE WITHIN EXISTING FOOTPRINT. ALL WORK OF A "ROT AND REPAIR" NATURE. EXISTING HOUSE SITS ON A BRICK STEM WALL SUPPORTED BY A DRY-LAID STONE FOUNDATION. IF NOT REPLACED, THE MAJORITY OF BRICK WORK WILL BE REPOINTED AT MINIMUM.

CLEMENTS/HESLTON RESIDENCE

PAGE TWO



EXAMPLE OF ROTTING 6x6 SILL PLATE ON SOUTH
END OF HOUSE. SILL WILL BE REPLACED WITH 6x6
P.T.

CLEMENTS/HESLTON RESIDENCE

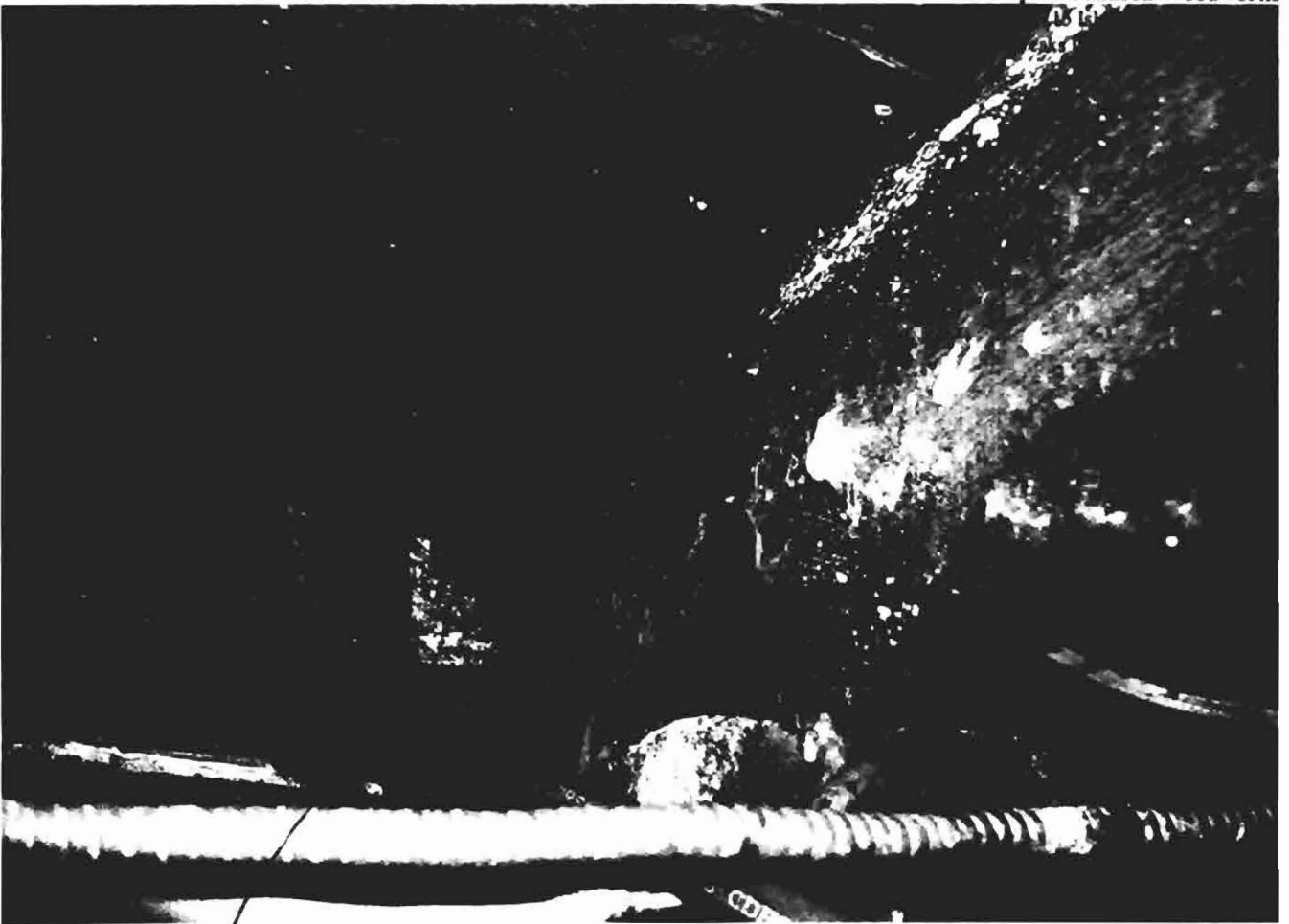
PAGE THREE



ON EAST SIDE OF EXISTING HOUSE, THERE IS CURRENTLY
A VOID IN THE FOUNDATION. THIS WILL BE REPLACED
WITH NEW BRICK WORK.

CLEMENTS/HESLTON RESIDENCE

PAGE FOUR



EXAMPLE OF EXISTING FIRST FLOOR JOISTS IN SOUTH END OF HOUSE. THERE IS A GAP BETWEEN JOIST AND SILL. SILL WILL BE PADDED OUT W/ P.T AND NEW HAMBERS INSTALLED TO SUPPORT EXISTING JOISTS.

CLEMENTS/HEBELTON RESIDENCE

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