

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that JOHN W GULLIVER

Located At 8 DIAMOND PASS

Job ID: 2012-11-5465-ALTR

CBL: 090- B-002-001

has permission to Interior Beam Work

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY

PENALTY FOR REMOVING THIS CARD

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the city of Portland Inspections Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months. If the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue.**

Footings/Setbacks prior to pouring concrete

Close In Elec/Plmb/Frame prior to insulate or gyp

Final Inspection

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OF CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 201250550	Date Applied For: 11/27/2012	CBL: 090 B002001
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Location of Construction: 8 DIAMOND PASS	Owner Name: GULLIVER JOHN W & JEAN K J	Owner Address: 23 THORNHURST RD	Phone: (207) 756-5905
Business Name:	Contractor Name: Kiely, John	Contractor Address: 591 Island Ave. Peaks Island	Phone: (207) 766-2026
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Same - Single family	Proposed Project Description: Interior Beam Work
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Dept: Zoning **Status:** Approved w/Conditions **Reviewer:** Ann Machado **Approval Date:** 11/30/2012

Note: **Ok to Issue:**

- 1) This permit is being issued with thje condition that all the work is taking place within the existing footprint.
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved w/Conditions **Reviewer:** Jon Rioux **Approval Date:** 12/14/2012

Note: **Ok to Issue:**

- 1) Hardwired photoelectric interconnected battery backup smoke alarms shall be installed in each bedroom, protecting the bedrooms, and on every level. A field inspection will verify your current smoke detector arraignment and the City's minimal code requirements.
- 2) A Carbon Monoxide (CO) alarms shall be installed in each area within or giving access to bedrooms. That detection must be powered by the electrical service (plug-in or hardwired) in the building and battery.
- 3) Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.

Dept: Fire **Status:** In Review **Reviewer:** **Approval Date:**

Note: **Ok to Issue:**

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: <i>(2012-11-5465)</i> 201250550	Issue Date:	CBL: 090 B002001
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Location of Construction: 8 DIAMOND PASS, <i>Peaks Island</i>	Owner Name: GULLIVER JOHN W & JEAN K J	Owner Address: 23 THORNHURST RD	Phone: 2077565905
Business Name:	Contractor Name: Kiely, John	Contractor Address: 591 Island Ave. Peaks Island	Phone: 2077662026
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <i>IR-2</i>

Past Use: Single Family	Proposed Use: Same - Single family	Permit Fee:	Cost of Work: \$9,000.00	CEO District:
Proposed Project Description: Interior Beam Work		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	INSPECTION: Use Group: <i>R3</i> Type: <i>S15</i> <i>IRC, 2009 (MUBEC)</i>	
		Signature: <i>Ceph.../...</i>	Signature: <i>AR</i>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: Service_User	Date Applied For: 11/27/2012	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>interior work w/ existing structure.</i></p> <p><input type="checkbox"/> Wetland <i>N/A</i></p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <i>11/30/12 ABM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>ABM</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



IR-2
Shoreland

2012 11 5465 68

General Building Permit Application

VI -

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>8 DIAMOND PASS, Peaks Island.</u>		
Total Square Footage of Proposed Structure/Area <u>NO CHANGE</u>	Square Footage of Lot	Number of Stories
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>90 B 2</u>	Applicant: (must be owner, lessee or buyer) Name <u>JEAN & JOHN GULLIVER</u> Address <u>23 THORNHURST RD.</u> City, State & Zip <u>FALMOUTH, ME. 04105</u>	Telephone: <u>207.756-5905</u>
Lessee/DBA RECEIVED NOV 27 2012 Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: <u>\$8,700</u> C of O Fee: \$ <u> </u> Historic Review: \$ <u> </u> Planning Amin.: \$ <u> </u> Total Fee: \$ <u> </u>
Current legal use (i.e. single family) <u>SF</u> Number of Residential Units _____ If vacant, what was the previous use? _____ Proposed Specific use: _____ Is property part of a subdivision? _____ If yes, please name _____ Project description: <u>INTERIOR BEAM WORK: OPENING EXISTING WALL, INSTALLING (2) GLULAMS (SEE ENGINEER SPECS).</u>		
Contractor's name: <u>JOHN KIELY</u> Email: <u>jkiely@maine.rr.com</u> Address: <u>591 ISLAND AVENUE</u> City, State & Zip: <u>PEAKS ISLAND, ME. 04108</u> Telephone: <u>207.746.2026</u>		Who should we contact when the permit is ready: <u>RACHEL CONY</u> Telephone: <u>207.746.5625</u> Mailing address: <u>26 STEPLING ST. PEAKS ISLAND, ME. 04108</u>

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Rachel Cony Date: 11.26.12

This is not a permit; you may not commence ANY work until the permit is issued



PORTLAND MAINE

Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Receipts Details:

Tender Information: Check , BusinessName: Rachel Conly, Check Number: 1471\$110.00

Tender Amount: 110.00

Receipt Header:

Cashier Id: gguertin

Receipt Date: 11/27/2012

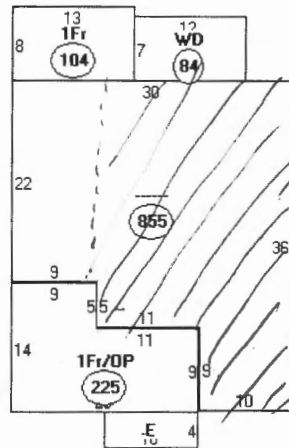
Receipt Number: 50551

Receipt Details:

Referance ID:	8865	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	110.00	Charge Amount:	110.00
Job ID: Job ID: 2012-11-5465-ALTR - Interior Beam Work		Urban Insight - 2012-50550	
Additional Comments: 8 Diamond Pass			

Thank You for your Payment!





area of work.

Descriptor/Area	
A: -----	855 sqft
B: 1Fr	104 sqft
C: WD	84 sqft
D: 1Fr/DP	225 sqft
E: WD	40 sqft

Andrew M Jackson, PE
21 Luther St., Peaks Island, ME 04108
Cell: 207-200-6106

November 5, 2012

Rev. November 8, 2012

Rachel Conly

c/o Rachel Conly Architectural Design

Re: Gulliver House, Peaks Island

RECEIVED

NOV 27 2012

Dept. of Building Inspections
City of Portland Maine

Dear Rachel:

This letter outlines the structural design and specifications for the project noted above.

Scope of work

The work includes removal and replacement of an existing floor beam with a longer beam to create a larger living space. This work includes: shoring the existing joists, removing the existing beam, selective demolition of the wall and floor to install new posts and headers, reinforcement of the existing foundation piers, and installation of new beams prior to architectural finish work. See attached diagrams and details describing new work. At this time we have not analyzed or designed reinforcement for any other aspects of the existing structure.

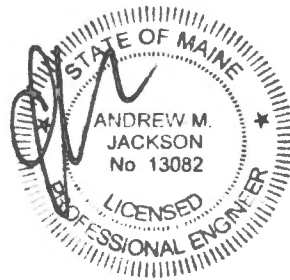
Notes

1. Design complies with the 2009 International Code Committee family of codes including by reference: ASCE 7-10; 13th edition; Nation Design Specification for Wood Construction, 2012 edition.
2. Structure has been designed to include loads in accordance with ASCE 7.
 - a. Dead load: Actual and presumed weights of existing construction.
 - b. Live load: first floor, 40 psf; second floor, 30 psf.
 - c. Ground snow load: $p_g = 50$ psf; Importance factor, $I_s = 1.0$; Exposure factor, $C_e = 0.9$; Thermal Factor, $C_t = 1.0$.
3. Bolts shall meet ASTM A325. All bolts shall be snug tight. All bolted connections shall use standard washers and hex nuts.
4. Wood framing indicated in the drawing by nominal sizes (2x4, 2x6, etc) shall be kiln dried spruce-pine-fir, #2 or better. Wood framing with widths larger than 5" shall be eastern hemlock, #1 or better (unless noted otherwise). Wood framing that is in contact with concrete or within 6" of finished grade shall be treated southern yellow pine.

Andrew M Jackson, PE
21 Luther St., Peaks Island, ME 04108
Cell: 207-200-6106

5. All nails shall be common type nails. All fasteners and metal hangers used in combination with pressure treated wood shall be treated specifically for use with treated materials.
6. Connections and fasteners noted in the details shall be considered typical at all similar connections unless noted otherwise.
7. Connectors noted by part number are by Simpson Strong-tie or approved equal.
8. Wood framing noted as GLULAM shall be engineered glue-laminated lumber by Boise Cascade or approved equal.
9. Contractor is responsible for shoring, temporary stability, and means & methods of construction.
10. Contractor to inspect existing conditions and notify design team of any discrepancies between the drawings and existing conditions.

Best Regards,
Andy Jackson



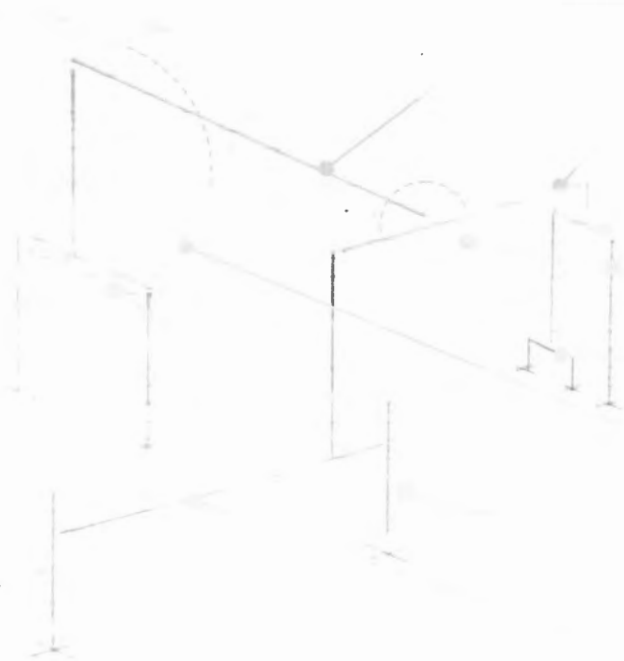
Andrew M Jackson, PE
21 Luther St., Peaks Island, ME 04108
Cell: 207-200-6106

Description of new work

2nd FLOOR

1ST FLOOR

BASEMENT



NEW BEAM: 7 x 9-1/4 GLULAM

NEW BEAM: 3-1/2 x 9-1/4 GLULAM

NEW HEADER: (3) 2x8

NEW POST: (3) 2x4 TYP

DETAIL A

EXISTING HEADER (SHIM NEW POSTS)

DETAIL B

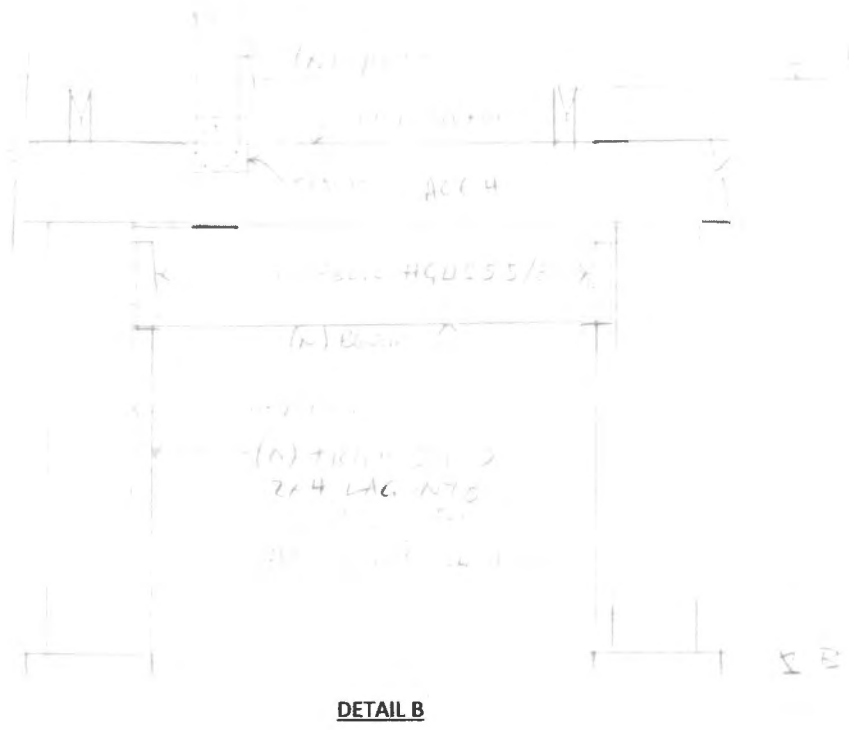
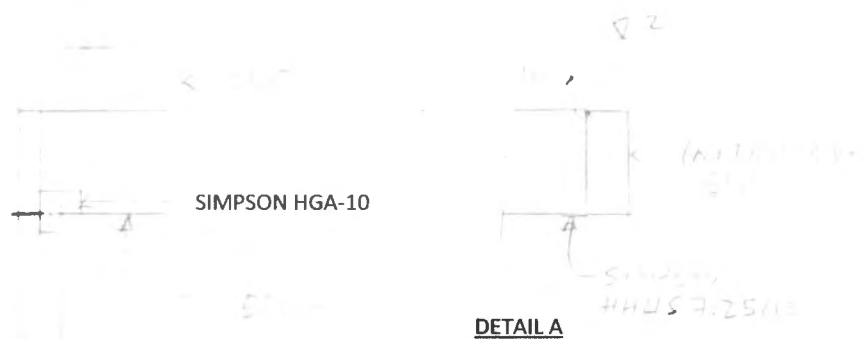
NEW BEAM

DETAIL C

NEW BEAM

ISOMETRIC LOOKING SOUTH

Andrew M Jackson, PE
21 Luther St., Peaks Island, ME 04108
Cell: 207-200-6106



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 21 Luther St., Peaks Island, ME 04108
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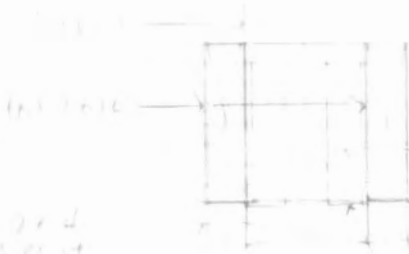


1/2" dia

1/2" dia
 12" dia
 12" dia

(4) #5

(A)



(4) #5
 1/2" dia

← ALT. WHERE THE POSITIVE MOMENT IS
 SEE ABOVE FOR DETAILS
 SIMPSON LUS210-2

4# 5 OR 4# 4
 UNDER (N) POST

DETAIL C