

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: 640 Seashore Ave, Peaks Isl.		Owner: Hurley, Mary & Robert		Phone:	Permit No. 961169	
Owner Address:		Leasee/Buyer's Name:		Phone:	Business Name:	
Contractor Name: McTigue Construction		Address: 97 Brackett Ave Peaks Isl, ME 04108		Phone: 766-2676		
Past Use: 1-1am		Proposed Use: Same w/addition		COST OF WORK: \$ 15,000.00	PERMIT FEE: \$ 95.00	
Proposed Project Description: Construct 2nd story addition not to exceed existing height		FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: <i>A3</i> Type: <i>5B</i> <i>BOCA 96</i>		
		Signature:		Signature: <i>Hoffman</i>		
Permit Taken By: Mary Creech		Date Applied For: 20 November 1996				<div style="border: 2px solid black; padding: 5px; text-align: center;"> PERMIT ISSUED Permit Issued: <div style="border: 1px solid black; padding: 5px; margin: 5px 0;"> NOV 26 1996 </div> CITY OF PORTLAND Zone: <i>2R1</i> CBL: <i>089-F-014</i> </div>

1. This permit application doesn't preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Debris to be hauled by P/U

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

SIGNATURE OF APPLICANT <i>Bob McTigue</i>	ADDRESS:	DATE: 20 November 1996	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

- Zoning Appeal**
- Variance
 - Miscellaneous
 - Conditional Use
 - Interpretation
 - Approved
 - Denied

- Historic Preservation**
- Not in District or Landmark
 - Does Not Require Review
 - Requires Review

- Action:**
- Approved
 - Approved with Conditions
 - Denied

Date: _____

CEO DISTRICT 6

COMMENTS

12-12-86

3-26-87

Framing is being done
Work is completed

Inspection Record

Type

Date

Foundation: _____

Framing: _____

Plumbing: _____

Final: _____

Other: _____

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		Signature:		Signature: <i>[Signature]</i>		Zone: <i>IR-1</i> CBL: 089-F-014	
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied		Signature:		Date:	
		Signature:		Date:		Zoning Approval: <i>OK - 3 11/25/96</i>	
Permit Taken By: Mary Gresik		Date Applied For: 20 November 1996		Special Zone or Reviews: <input checked="" type="checkbox"/> Shoreland <i>not dwelling is ok</i> <input type="checkbox"/> Wetland <i>75' from high water setback</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <i>Zone C</i> <input type="checkbox"/> Site Plan <i>major</i> <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/>		Zoning Appeal: <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	

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SIGNATURE OF APPLICANT *Bob McTigue* ADDRESS: ADDRESS: DATE: 20 November 1996 PHONE: PHONE:

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE PHONE:

White-Permit Desk Green-Assessor's Canary-D.P.W. Pink-Public File Ivory Card-Inspector

Historic Preservation
 Not in District or Landmark
 Does Not Require Review
 Requires Review

Action:
 Approved
 Approved with Conditions
 Denied

Date: 11/20/96

J. Andrews

CEO DISTRICT *[Signature]*

m. Leary

Robert Hurley
640 Seashore Ave.
89-F-14
21416 SE
IR-1

SCHEME
A

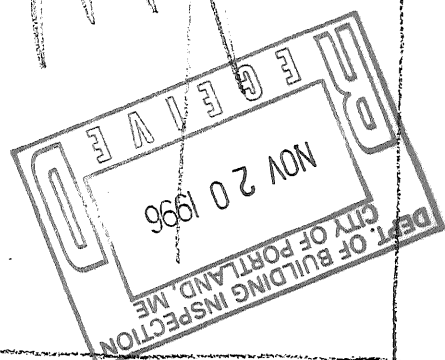
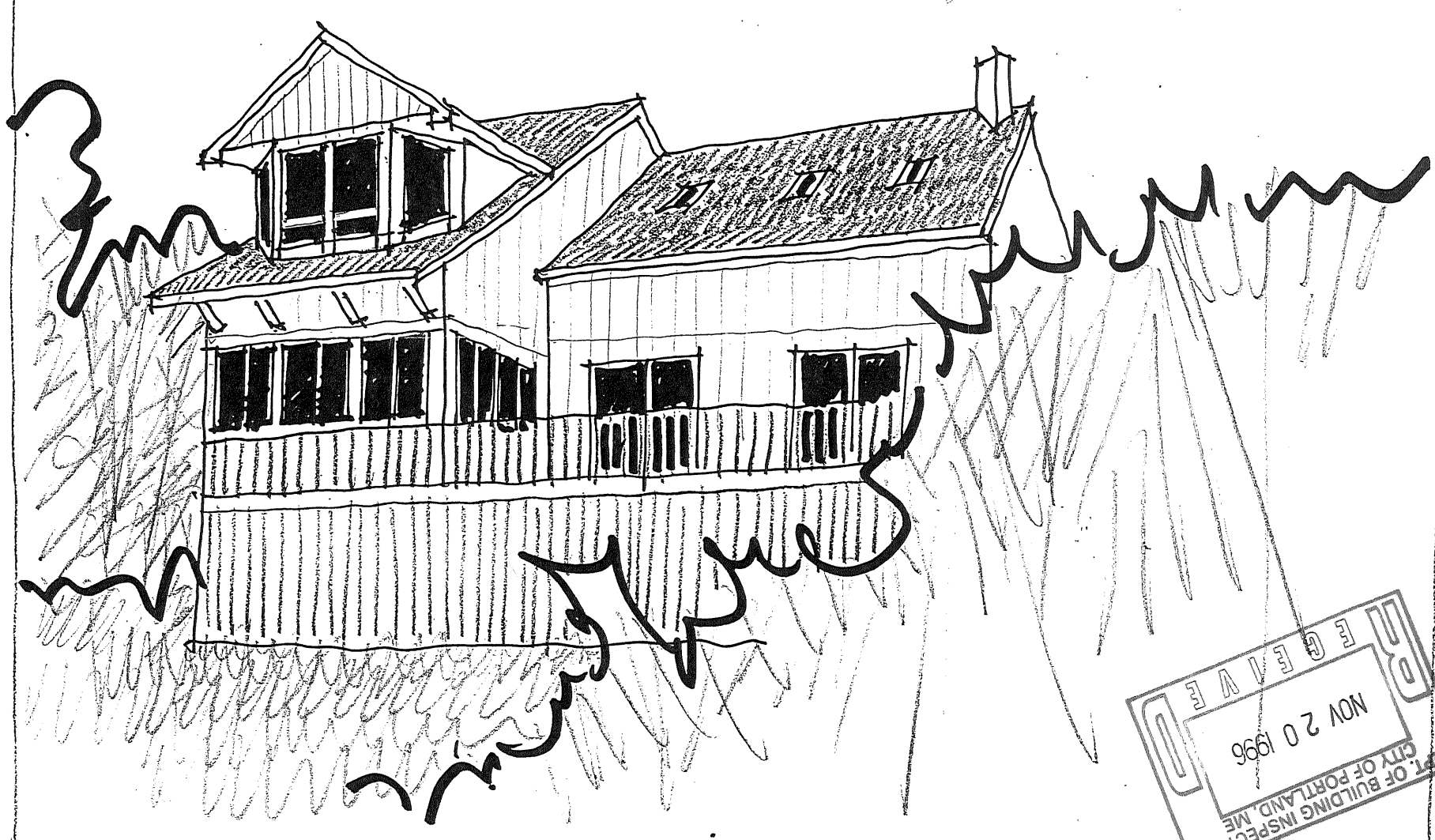
New



HURLEY ADDITION PEAKS 12 SEPT 96

WILL WINKELMAN ARCHITECT

SCHEME
A

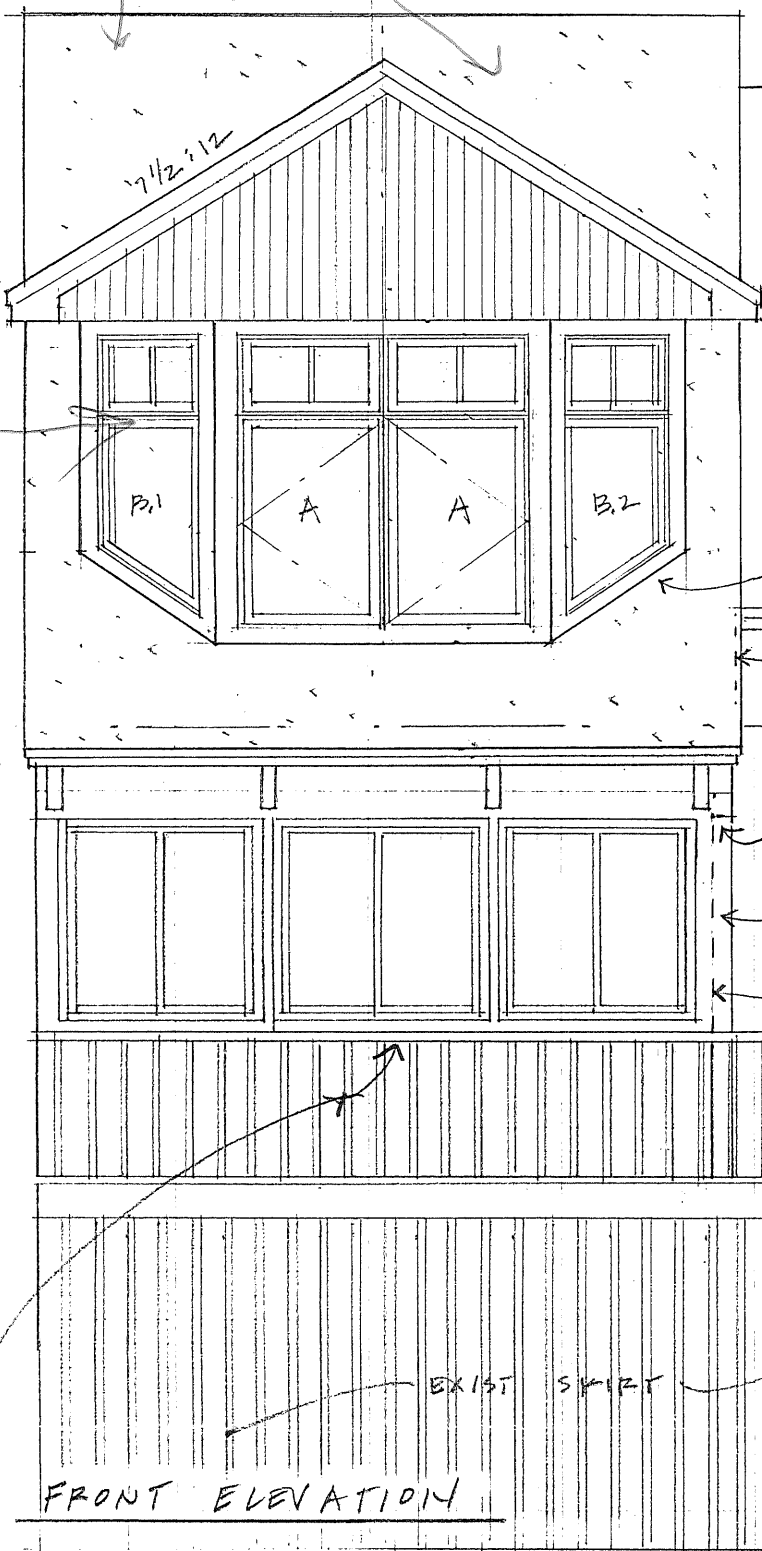


HURLEY ADDITION PEAKS 12 SEPT 96.

WILL WINKELMAN ARCHITECT

W Copy
METWORK

Existing Roof



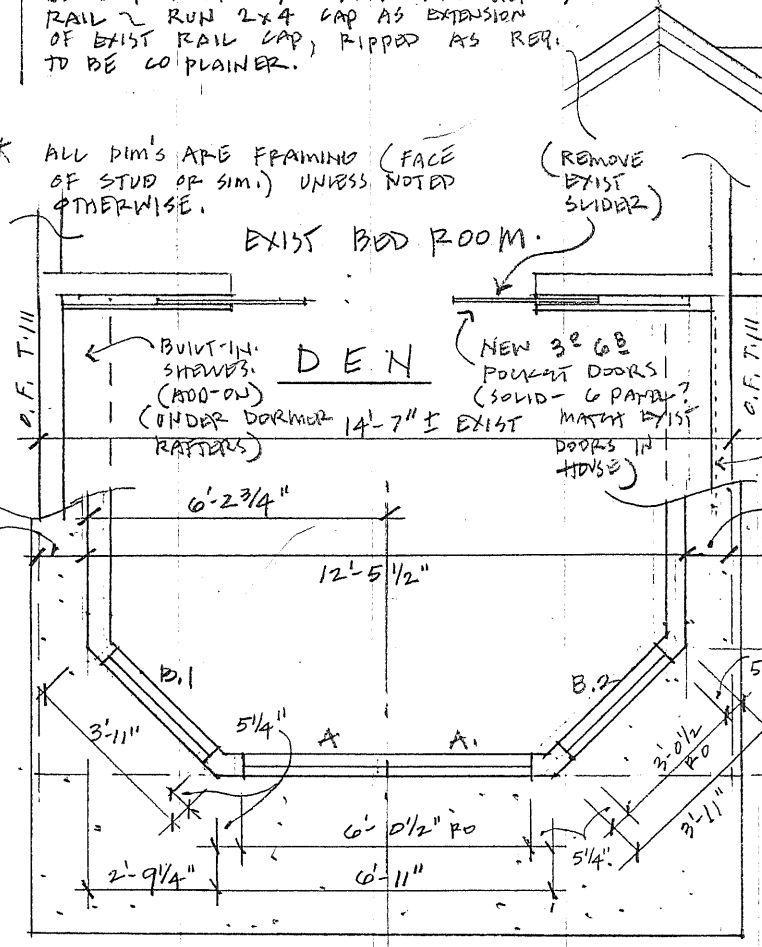
New Dormer

Existing

FRONT ELEVATION

ALONG FRONT/EXIST WALL BELOW SLIDING WINDOWS, CONTINUE 2x2 BALUSTERS, NAIL TO T-111, (RIP 1/2" OFF OF 2x2 TO BE CO PLAINER W/ EXIST BALUSTERS/ RAIL - RUN 2x4 GAP AS EXTENSION OF EXIST RAIL GAP, RIPPED AS REQ. TO BE CO PLAINER.

* ALL DIM'S ARE FRAMING (FACE OF STUD OR SIM.) UNLESS NOTED OTHERWISE.



PLAN

1/4" SCALE, TYP.

1 OF 3

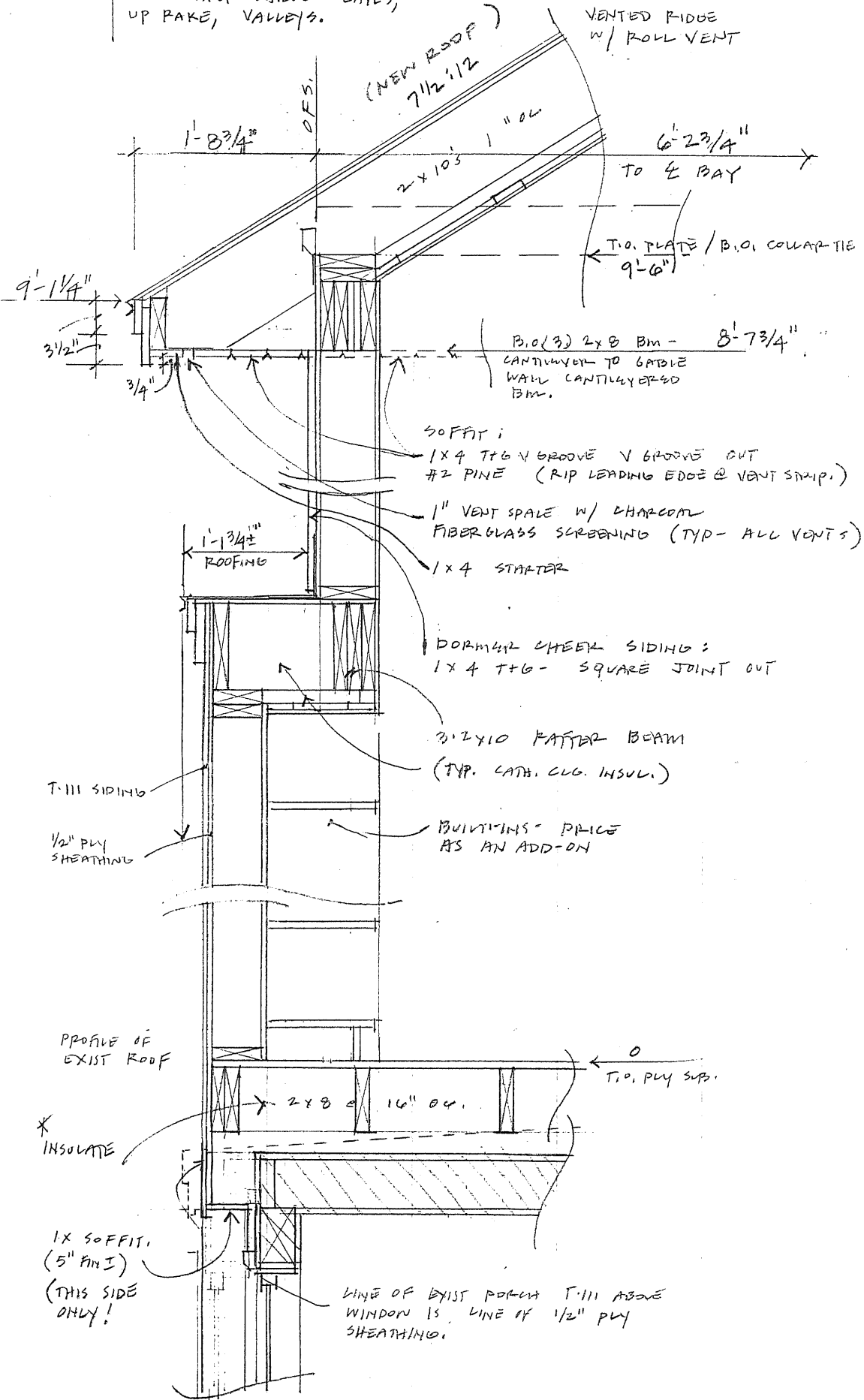
HURVEY DEN ADDITION - PEAKS 13.

9/27/90 - WILL WINKELMAN - ARCHITECT. 766 5669

SIDE ELEVATION



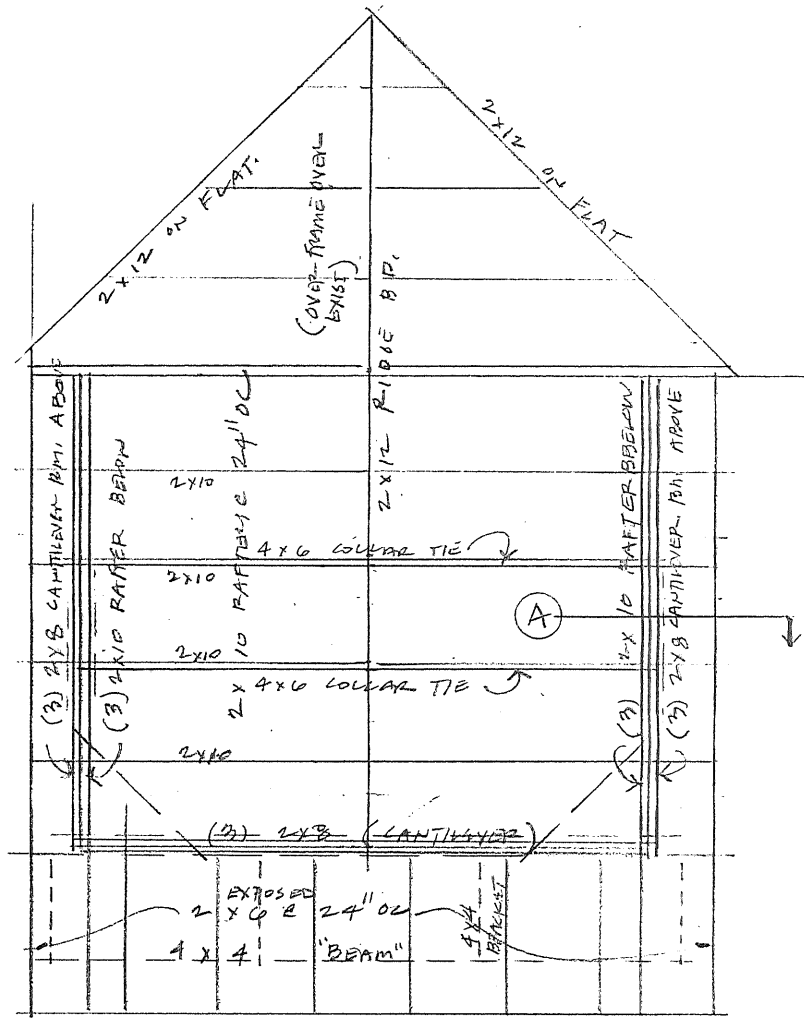
ROOF:
 RE ROOF ENTIRE PORTION OF EXIST
 ROOF AFFECTED BY LAY-ON NEW ROOF
 MATCH COLOR OF EXIST.
 HIGH WIND NAILING PATTERN.
 HEAVY WRIGHT, 3 TAB, ASPHALT
 ICE/WATER SHIELD: EAVES,
 UP PAKE, VALLEYS.



(A)

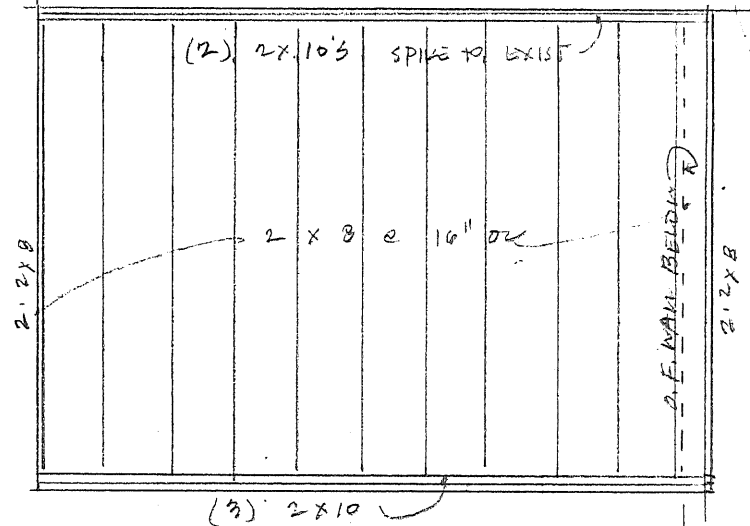
CROSS SECTION

3/4" = 1'-0"



ROOF FRAMING

(ALL 4x4 + 4x6 TO BE SPRUCE)
 (ALL 2x TO BE KD SPRUCE)



DEN FLOOR FRAMING

CANTILEVER
 3/2x10 BM 7" ±
 TO ALIGN NEW WALL
 W/ BEDROOM WALL

WINDOW SCHEDULE

KOLBE + KOLBE: (AVAIL. THRU HILLSIDE LUMBER)
 CLAD, LOW E I.G., w/ SCREENS (+HDW = WHITE, VERIFY
 COLOR W/ OWNER), TRUE DIVIDED LIGHT ('@
 TRANSOMS ONLY) 1/4" MUTTOMS.
 (\$ ALT: SIMULATED DIVIDED LIGHT, INNER + OUTER MUTTOM
 W/ SHADOW BAR, 1/4" W. MUTTOM)

A = 6'-0 1/2" W X 6'-3 1/4" H R.O.
 2 CASEMENTS W/ TRANSOMS: E240 W/ STD. MULL POST
 W/ E218 TRANSOM (W/ DIVIDED LIGHT)

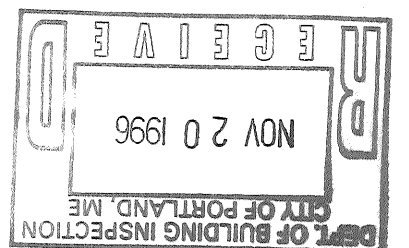
B.1 = 3'-0 1/2" W X SPECIAL H R.O. = E140 W/ E118 TRANSOM.
 1 CASEMENT W/ TRANSOM W/ CUSTOM SILL ANGLE W/ DIVIDED
 LIGHT.

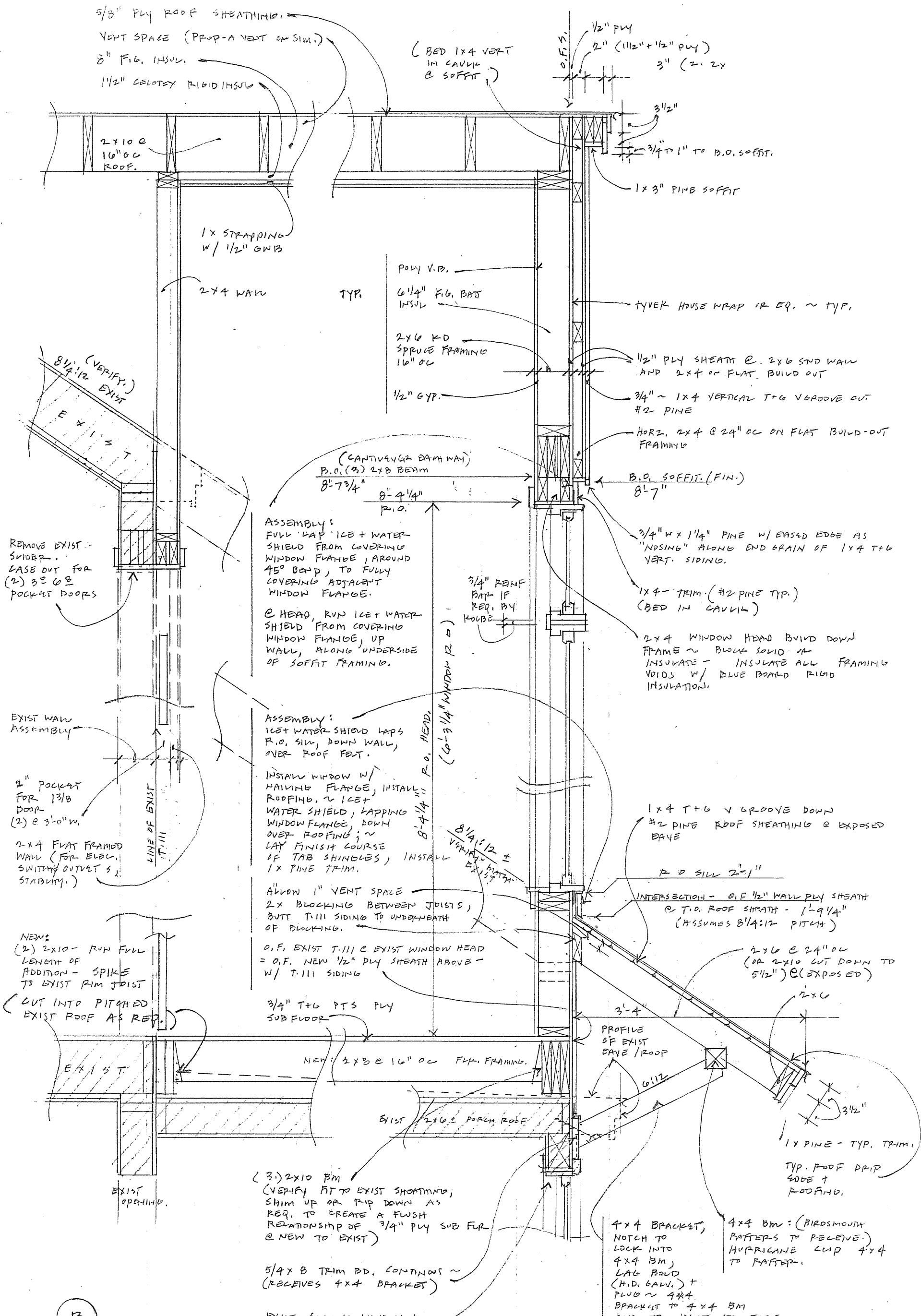
B.2 = MIRROR IMAGE OF B.1

2 93

HURVEY DEN ADDITION • PEAKS ISLAND

9/27/96 • WILL WINKELMAN • ARCHITECT • 700 5669





B

SECTION/DETAIL
3/4" SCALE

3 OF 3 HURLEY DEN ADDITION, PEAKS ISLAND
9/27/90 • WILL WINKELMAN, ARCHITECT • 706 5609

