

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached*

INSPECTION PERMIT

PERMIT ISSUED
Permit Number: Q60682006
JUN 14 2006
CITY OF PORTLAND

This is to certify that KARLSEN GUSTAVE & MARY ANN KARLSEN JTS/Le Ho

has permission to Renovations, add bay window extend deck, window replacement

AT 640 SEASHORE AVE

089 F014001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission procedure before this building or part thereof is closed or closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

[Handwritten Signature]
6/13/06
Director - Building & Inspection Services
cto. - Bui & Inspection S

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0680	Issue Date: 06/13/2006	CBL: 089 F014001
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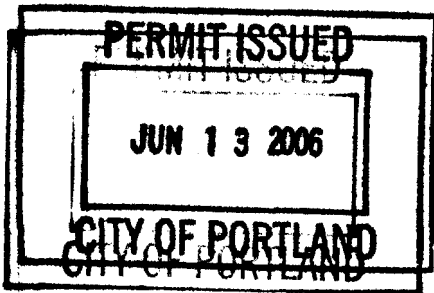
Location of Construction: 640 SEASHORE AVE	Owner Name: KARLSEN GUSTAV E & MARY	Owner Address: 640 SEASHORE AVE	Phone:
Business Name:	Contractor Name: Leddy Houser Associates	Contractor Address: 416 Preble Street Portland	Phone: 2077670903
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: IFI

Past Use: Single Family Home	Proposed Use: Single Family Home/ Renovations, add bay window, extend deck, windows replacement	Permit Fee: \$1,704.00	Cost of Work: \$186,716.00	2
Proposed Project Description: Renovations, add bay window, extend deck, windows replacement		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: <i>IRC 2003</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 05/05/2006	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..



Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>Subs with 300' but add. to 1045' from front prop</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 15-2000 line</i> <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minqr <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>5/19/06 ABV</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>ARM</i> Date:
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-0680	Date Applied For: 05/05/2006	CBL: 089 F014001
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Location of Construction: 640 SEASHORE AVE	Owner Name: KARLSEN GUSTAV E & MARY	Owner Address: 640 SEASHORE AVE	Phone:
Business Name:	Contractor Name: Leddy Houser Associates	Contractor Address: 4 16 Preble Street Portland	Phone (207) 767-0903
Lessee/Buyer's Name	Phone:	Permit Type:	

Proposed Use: Single Family Home/ Renovations, add bay window, extend deck, windows replacement	Proposed Project Description: Renovations, add bay window, extend deck, windows replacement
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 05/19/2006**Note:** Lot falls within the 250' of shoreland zoning Addition to house is 104.5' from front property line and the lot **Ok to Issue:**
is on the far side of Seashore Ave away from the shore.

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 06/13/2006**Note:** **Ok to Issue:**

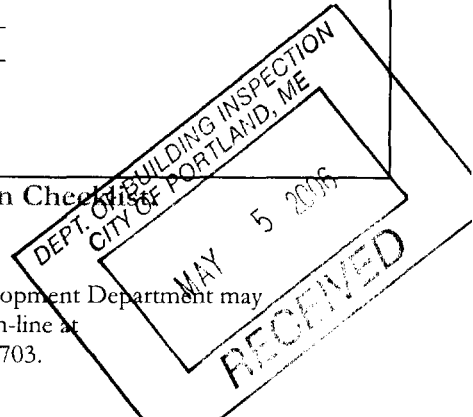
- 1) Ballusters must be spaced with less than a 4" opening between each. The cable must not deflect to provide an opening of 4".
- 2) Separate permits are required for any electrical, plumbing, or heating.
- 3) Your guardrail system installed around your deck must meet the loading requirements of section 1607.7.1 of the IBC 2003 Building Code.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>640 SEASHORE AVE., PEAKS ISLAND, PORTLAND, ME</u>		
Total Square Footage of Proposed Structure <u>2924 SQ. FT.</u>	Square Footage of Lot <u>21,416 SQ. FT.</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>49</u> Block# <u>F</u> Lot# <u>14</u>	Owner: <u>GUSTAV ANN KARLSEN</u> <u>640 SEASHORE AVE.</u> <u>PORTLAND, ME</u>	Telephone: <u>207/766-2188</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>ERIC SOKOL</u> <u>WHITEN TWINKELMAN ARCH.</u> <u>37 SILVER ST.</u> <u>PORTLAND, ME 04101</u> <u>207/774-0111 x114</u>	cost Of Work: \$ <u>186,716</u> Fee: \$ _____ C of O Fee: \$ <u>1704</u>
Current Specific use: <u>RESIDENCE</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>UNCHANGED</u>		
Project description: <u>ADDITION OF WINDOW BAY TO EXISTING STRUCTURE,</u> <u>ADDITION TO EXISTING DECK.</u> <u>NEW WINDOWS/SIDING ON NORTH EAST SIDES</u> <u>OF STRUCTURE.</u>		
Contractor's name, address & telephone: <u>LEDDY HOUSER ASSOC.</u> <u>429 PREBLE ST.</u> <u>207/767-0903</u> <u>SOUTH PORTLAND, ME 04106</u>		
Who should we contact when the permit is ready: <u>ERIC SOKOL</u>		
Mailing address: <u>SEE ABOVE</u>		Phone: <u>207/774-0111 x114</u>



Please submit all of the information outlined in the Commercial Application Check-off sheet. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

Signature of applicant: <u>[Signature]</u>	Date: <u>5/03 06</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

KARLSEN RESIDENCE EXE RIOR DOOR AND WINDOW SCHEDULE

WINDOWS AND EXTERIOR DOORS

MAIN / FVEI

UNIT	Type	Quantity	Manf. No.	Width	Unit R.O. Height	R.O. From Subfloor	Finish	Remarks
A	Picture (Direct Set)	1	CUSTOM	5'-10 1/2"	8'-4"	9'-1 1/2"	primed	
B	Casement/Awning Transom	2	2921	3'-1"	8'-4"	9'-1 1/2"	primed	Factory mullied casement/awning transom.
C	Casement	1	WC1441	1'-9 1/4"	3'-11 3/4"	6'-1 1/2"	primed	
D	Sliding French Door	1	CUSTOM	6'-4"	6'-11"	6'-1 1/2"	primed	
E	Fixed Awning (custom size)	1	CUSTOM	5'-0"	6'-4"	7'-3"	primed	3" clad casing. Verify sash size.
F	Awning (custom size)	2	CUSTOM	3'-8 1/2"	6'-4"	7'-3"	primed	Verify sash size.
G	Picture (Direct Set)	1	CUSTOM	5'-11 1/2"	6'-4"	7'-3"	primed	
H	Fixed Awning (custom size)	1	CUSTOM	5'-0"	6'-4"	7'-3"	primed	Verify sash size.
I	Outswing French Casement (custom height)	1	WF3679	3'-3 1/4"	7'-3"	7'-3"	primed	
J	Casement (custom height)	1	CUSTOM	6'-11 1/2"	3'-11"	6'-1 1/2"	primed	3" clad casing. Two units mullied.
Q	Double Hung	1	WH2924	3'-3/4"	4'-9 1/2"	6'-1 1/2"	primed	3" clad casing. New unit in existing R.O. VERIFY SIZE.
R	Double Hung/Awning Transom	1	WH3924/clus ton transom	7'-8"	7'-5"	9'-6 1/2"	primed	3" clad casing. Two units mullied/mullied to Transoms.
UPPER LEVEL								
UNIT	Type						Interior Finish	Remarks
AA	Picture (Direct Set)	1	CUSTOM	5'-10 1/2"	6'-1 1/2"	15'-7"	primed	Two units mullied (verify size and unit weight will be manageable)
BB	Casement/Awning Transom	1	A2917 Transom	3'-1 1/2"	6'-4"	8'-4 1/4"	primed	New unit in existing R.O. VERIFY SIZE. See elevations. Casement is trapezoidal/operable. Mullied to transom.
CC	Picture (sash in frame)	1	CUSTOM	6'-1 1/2"	6'-4"	8'-4 1/4"	primed	New unit in existing R.O. VERIFY SIZE.
DD	Casement/Awning Transom	1	A2917 Transom	3'-1 1/2"	6'-4"	8'-4 1/4"	primed	New unit in existing R.O. VERIFY SIZE. See elevations. Casement is trapezoidal/operable. Mullied to transom.
GG	Double-Hung	1	WH2924	6'-2 1/2"	4'-9 1/2"	6'-1 1/2"	primed	3" clad casing. Two units mullied. New unit in existing R.O. VERIFY SIZE.
NOTES:								
<ol style="list-style-type: none"> All Windows Lepage clad Clad sash to be DARK. Clad frame and trim to be WHITTISH. Insulated, Low E glass, 7/8" SDL. Provide half screens at all double-hung units (match cladding). Full screens at casements (white). Sliding screens at Sliders (match cladding). All hardware to be White All extension jambs to be provided and installed by G.C. 								

OUTLINE SPECIFICATION

Karlsen Residence: 640 Seashore Avenue, Peaks Island, Portland, ME

Whitten + Winkelman Architects: Phone 207-774-0111, Eric @x 114 or Will @x 102. Fax 207-774-1668

Builder: Leddy Houser Associates, 429 Preble Street, South Portland, ME. 2071767-0903.

Scope: Renovation and addition of window bay to existing two-story structure. Exterior envelope (North and East sides only) including exterior doors and windows, roofing, cladding and site work within 10' of structure. Interiors of affected areas only, including frame partitions, floor framing (with sub-flooring), interior trim, carpentry, flooring, wall and ceiling finishes, plumbing, mechanical and electrical.

NOT INCLUDED in this scope: Finish grading, landscaping (walls, walkways, etc.) landscape planting, driveway finish, appliances, window treatments, and furnishings.

Note: All subs should be familiar with the existing site conditions before quoting budget prices.

1. General Requirements:

- A) Required Shop Drawings: steel fabrications, custom windows, custom doors, custom moldings, architectural millwork.
- B) Similar or equivalent materials shall be submitted to architect and owner for review and approval prior to ordering or use in construction.

2. Site Work:

- A) Excavation (does not include blasting) for footings/foundation.
- B) For initial budget purposes, assume that backfilling of foundation walls is to be primarily with existing excavated fill. Sand and gravel brought to the site is to be provided as required (allow \$45/yard).
- C) Trenching (if required) shall be with sand and gravel, filled and **95%** compaction in maximum 12" lifts.
- D) Rough grading: N/A.
- E) Erosion control: silt fencing, hay bales & vegetative buffers. Refer to Maine Erosion Control and Sediment Control Handbook for construction: Best Management Practices, Section 14- Sediment Barriers. Also Zoning and Building Code Ordinance of the City of Portland, Maine.
- F) Loam and seed areas disturbed by building and site work as required.

3. Concrete:

- A) 2800 PSI @ 28 days: concrete footings, pads, foundation walls.
- B) Concrete foundation walls: reinforce w/bars as noted on drawings.
- C) Footings: reinforce w/ bars as noted on drawings.
- D) 10" x 5/8" dia. anchor bolts at 4'-0" o.c., or as otherwise shown on drawings.
- E) General Contractor to coordinate with plumber and electrician for proper location of bond-outs.

4. Masonry: N/A

5. Metals:

- A) Structural steel: Beams and columns shall be ASTM A36 strength, size to be shown on plan. Provide all necessary attachment plates and connecting hardware as required or as noted on structural drawings and in structural notes.

6. Wood:

- A) Rough Framing:
 - 1) Wood frame construction shall be in accordance with the 2003 International Residential Code and/or local code officer requirements.
 - 2) Structural framing shall be #2 grade spruce or equal strength wood, kiln dried in nominal dimensions shown.
 - 3) Pressure treated southern yellow pine shall be used in all conditions where wood is within 6" of the ground, in direct contact with concrete, for building sills and as shown on the drawings.
 - 4) Laminated veneer lumber (LVL) shall be Micro Lam by Trus Joist Mac Millan, Versa-Lam by Boise Cascade or approved equivalent in lengths and sizes as shown on drawings. At locations where more than one member is used side by side, 112" through-bolt at minimum intervals of 2'-0" o.c. (staggered).
 - 5) Manufactured joists shall be TJI by Trus Joist Mac Millan, BCI by Boise Cascade or approved equivalent. Lengths and sizes as shown on drawings.
 - 6) Sheathing:
 - a) Floors: 3/4" Huber Advantech structural panels.
 - b) Walls: 1/2" CDX plywood or Huber Advantech structural panels.
 - c) Roof: 3/4" CDX plywood or Huber Advantech structural panels.
 - d) Note: Any other products require submittals for review by architect.
- B) Fasteners: joist hangers, connectors, and tie-downs by Simpson or equivalent.
- C) Siding & Exterior carpentry:
 - 1) Exterior siding to be James Hardie "Hardiplank" Lap Siding, Smooth, primed. Below second floor: 9 1/4" plank with 8" exposure. Above second floor: 6 1/4" plank with 5" exposure. See elevations.
 - 2) Exterior siding at window bay and Master Bedroom dormer to be Fraser, pre-dipped, clear Eastern White Cedar shingles. Stainless steel fasteners. Refer to Section 9 Finishes for more information. Weave shingles at outside comers. Inside comers: 5/4x5/4 white cedar ground.
 - 3) Eave and rake trim and skirting at East foundation wall to be James Hardie "Harditrim XLD" planks. Sizes per drawings.
 - 4) Soffits to be Eastern White Pine 1x4 tongue and groove.
 - 5) Decks to be 1x6 STK cedar, with clear western red cedar rail cap.
 - 6) All exterior fasteners to be stainless steel.
- D) Wood flooring to be 1x3 conservation grade white birch. First floor only. Allow \$7/square foot.
- E) Interior Trim & Carpentry (at new windows and doors):
 - 1) Poplar (or suitable paint grade equivalent) casing and trim for door and windows: 5/4x5" head casing, 1x4 jambs, 5/4 sill 1x3 apron.
 - 2) Poplar (or suitable paint grade equivalent) 1x6 base w/ 5/8" scotia.
- F) Kitchen cabinets by owner. Leddy Houser to install.
- G) Balusters and Handrails at stair and balcony to be "Fusion Stair Parts". Prefinished hemlock with brushed nickel fittings.

7. Thermal & moisture protection:

- A) General: all doors, windows, siding, and trim to be installed mindful of proper flashings and splines. Housewrap functions as a secondary water barrier and is to be installed with seams properly lapped for proper drainage, and all tears taped. Felt splines are to be installed behind all trim/siding intersections and lapped below for proper drainage out through siding or other flashings. At sill lap felt spline over sill rough opening, install window, lap bottom of strip out into siding, typ. head cap flash.
- B) Damp proofing - 2 coats bituminous damp proofing on concrete foundation walls below grade.
- C) Exterior air infiltration barrier: 15lb. lapped black felt.
- D) Vapor barrier: 6 mil. clear poly vapor barrier, lapped and taped.
- E) Insulation values:
 - 1) Exterior frame walls: fiberglass batt insulation (R-19).
 - 2) Roof fiberglass batt insulation (R-38).
- F) Shingle Roof (refer to drawings for pitches.)
 - 1) All roofs jet-tab asphalt shingles. CertainTeed 25 year. Color TBD.
 - 2) Lapped 15lb felt underlayment.
 - 3) Ice and water shield self-seal membrane (36" w.) along all eaves, up valleys, crickets, and all roof pitches less than 4:12.
- G) Ventilation:
 - 1) Slot for screened eave vents.
 - 2) Prop-a-vent as required.
 - 3) Roll-a-vent at all ridges.
- H) All fasteners to be stainless steel.
- I) Sealants: 25 yr. Siliconized acrylic or better sealants for interior and exterior joints.

8. Doors and windows: (refer to door and window schedule)

- A) Exterior door hardware: Key all exterior doors alike. See door schedule for more info.
- B) Exterior doors: LePage, clad. See window and door schedule.
- C) LePage Windows: Clad, insulated glazing. Half screens at all double hung units. Full screens at casements & awnings. Sliding screens at sliding doors. Interior finish per window schedule.
- D) Interior Doors: N/A.
- E) Interior door hardware: N/A.

9. Finishes:

- A) Countertops island: granite (mid-price range) TBD. Island top may be alternate material.
- B) New walls and ceilings: 1/2" drywall. Patch and repair existing as required.
- C) Wood floor at first floor: see section 6.
- D) Carpet at second floor and stair by owner.
- E) Interior painting: by owner.
- F) Exterior painting: by owner
- G) Wood decking, porches: unfinished.

10. Specialties: N/A

11. Equipment: All appliances to be purchased and delivered by owner. Contractor to install electric appliances. Any gas appliances will require rough-in by Lionel Plante and will be billed cost plus as required.

12. Furnishing: N/A**13. Special Construction: N/A****14. Conveying Systems: N/A**

15. Mechanical:

- A) Plumbing (see floor plans for plumbing layout.)
 - 1) All plumbing shall meet the requirements of the Maine State Plumbing Code.
 - 2) Propane piping rough-in not included in scope of work. If required for appliances, installation will be billed cost plus.
 - 3) Rough-in for hood/vent not included in scope of work. If required, installation will be billed cost plus.
 - 4) When possible locate and pitch supply and drain lines to provide seasonal drainback.
 - 5) Hot water supply: unchanged.
 - 6) Contractor to coordinate rough framing and fixture alignment.
 - 7) All principle waste lines in PVC piping. Piping shall be greater than 2" diameter.
- B) Heating
 - 1) First Floor: provide approx. 20 feet slant fin heat in Living/Dining. Kick space heater in kitchen.
 - 2) Second Floor: provide approx. 26 feet slant fin heat in Bedroom/Office.
 - 3) All new heating to tie into existing boiler.

16. Electrical:

- A) Allowance of \$8000 for new electrical/lighting, pending lighting plan.
- B) Electrical service unchanged.

End of specifications.

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 089 F014001
 Location 640 SEASHORE AVE
 Land Use SINGLE FAMILY

Owner Address KARLSEN GUSTAV E & MARY ANN KARLSEN JTS
 640 SEASHORE AVE
 PEAKS ISLAND ME 04108

Book/Page 23265/287
 Legal 89-F-14
 SEASHORE AVE
 PEAKS ISLAND
 21416 SF

155 x 50

Current Assessed Valuation For Fiscal Year 2006

Land	Building	Total
\$235,720	\$131,900	\$367,620

B. x 11
 21 x 6 1/2
 8 x 14 1/2

Estimated Assessed Valuation For Fiscal Year 2007*

Land	Building	Total
\$378,300	\$127,300	\$505,600

* Value subject to change based upon review of property status as of 4/1/06. The tax rate will be determined by City Council in May 2006.

Property Information

Year Built 1986	Style Contemp	Story Height 1.5	Sq. Ft. 2206	Total Acres 0.492		
Bedrooms 4	Full Baths 2	Half Baths	Total Rooms 8	Attic None	Basement Pier/slab	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date 10/14/2005	Type LAND + BLDING	Price \$750,000	Book/Page 23265-287
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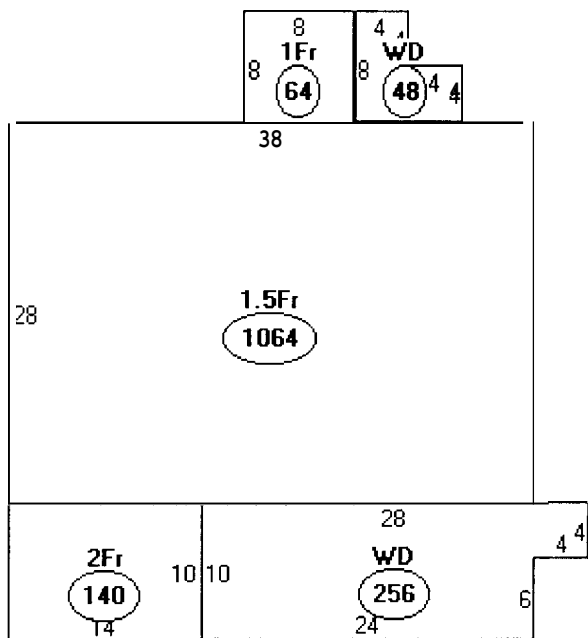
Picture and Sketch

Picture Sketch Tax Map

[Click here](#) to view Tax Roll Information.



235
10



Descriptor/Area

- A: 1.5Fr
1064 sqft
- E: 1Fr
64 sqft
- C: WD
48 sqft
- D: WD
256 sqft
- E: 2Fr
140 sqft

1268 w/ out decks

1572 total

ptfpt

Site plan says.

~~1504~~ 1588