

City of Portland, Maine – Building or Use Permit Application 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

Location of Construction: Cormor of Whaleback & Jewel, Peaks Island		Owner: ** Bernard & Joan Smith		Phone: H: 879-0082 W: 879-0085		Permit No: 131
Owner Address: 78 Ashley Lane, Portland, ME		Lessee/Buyer's Name:		BusinessName:		
Contractor Name:		Address:		Phone:		Permit Issued: FEB 27 2001
Past Use: Vacant		Proposed Use: New Single Family		COST OF WORK: \$ 154,720.00		
				PERMIT FEE: \$ 954.00		Zone: IR-1 CBL: 089-F-002-008 Zoning Approval: <i>ok with conditions</i>
				FIRE DEPT. <input type="checkbox"/> Approved <input type="checkbox"/> Denied		
Proposed Project Description: New Single Family		Signature:		INSPECTION: Use Group: A-3 Type: 5B BOCA 99 Signature: <i>Hoffner</i>		Special Zone or Reviews: <input type="checkbox"/> Shoreland <i>NA</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan maj <input type="checkbox"/> minor <input type="checkbox"/> mm <input type="checkbox"/> # 20010018
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		Signature: _____ Date: _____		
Permit Taken By: Gayle		Date Applied For: February 9, 2001 gg				Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved with Conditions <input type="checkbox"/> Denied Date: <i>[Signature]</i>

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal rules.
2. Building permits do not include plumbing, septic or electrical work.
3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Building Fee: \$954.00
 Site Plan Fee: \$300.00
 Total Fee: \$1,254.00

PERMIT ISSUED WITH REQUIREMENTS

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

February 9, 2001

SIGNATURE OF APPLICANT	ADDRESS:	DATE:	PHONE:
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE			PHONE:

PERMIT ISSUED WITH REQUIREMENTS
CEO DISTRICT

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

Minor/Minor Site Review for New Detached Single Family Dwelling, Additions/Alterations/Accessory Structures, Multi-Family, Commercial Interior Rehab (other than additions), Change of Use

In the interest of processing your application in the quickest possible manner, please complete the Information below for a Building or Use Permit.

NOTEIf you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.**

Location/Address of Construction: CORNER of WHALEBACK & Jewel Rd, PEAKS ISLAND

Total Square Footage of Proposed Structure <u>2872</u>	Square Footage of Lot <u>40,018 SF²</u>
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Tax Assessor's Chart, Block & Lot Number Chart# <u>89</u> Block# <u>F</u> Lot# <u>008</u>	Owner: <u>BERNARD & JOAN SMITH</u>	Telephone#: H <u>207-879-0082</u> W <u>207-879-0085</u>
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Lessee/Buyer's Name (If Applicable) <u>3872</u>	Owner's/Purchaser/Lessee Address: <u>78 ASHLEY Lane, PEAKS ISLAND, ME</u>	Cost Of Work: <u>154,720⁰⁰</u> Fee: \$ <u>954.00</u>
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Current use: VACANT LOT Proposed use: SINGLE FAMILY HOME

Project description:
3 Bedroom Home ON CITY WATER with Septic System

Contractor's Name, Address & Telephone <u>NOT YET PICKED CONTRACTOR</u>	Rec'd By: <u>Gay</u>
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Separate permits are required for Internal & External Plumbing, HVAC and Electrical installation.

- All construction must be conducted in compliance with the 1999 B.O.C.A. Building Code as amended by Section 6-Art II.
- All plumbing must be conducted in compliance with the State of Maine Plumbing Code.
- All Electrical Installation must comply with the 1999 National Electrical Code as amended by Section 6-Art III.
- HVAC(Heating, Ventilation and Air Conditioning) installation must comply with the 1993 BOCA Mechanical Code.

YOU MUST INCLUDE THE FOLLOWING WITH YOUR APPLICATION:

- A Copy of Your Deed or Purchase and Sale Agreement if purchased in the last 365 days
- A Plot Plan (Sample Attached)

Site 300.00
954.00
T = \$ 1,254.00

A "minor/minor" site plan review is required for New Single Family Homes Only (does not include additions, alterations or accessory structures) prior to permit issuance. The Site plan must be prepared and sealed by a registered land surveyor. FOUR COPIES ARE REQUIRED FOR NEW SINGLE FAMILY HOMES

THIS IS NOT A PERMIT/CONSTRUCTION CANNOT COMMENCE UNTIL THE PERMIT IS ISSUED

A complete plot plan (Site Plan) includes:

- The shape and dimension of the lot, all existing buildings (if any), the proposed structure and the distance from the actual property lines. Structures include decks porches, a bow windows cantilever sections and roof overhangs, as well as, sheds, pools, garages and any other accessory structures.
- Scale and North arrow Zoning District & Setbacks ✓ *contour scale required*
- First Floor sill elevation (based on mean sea level datum);
- Location and dimensions of parking areas and driveways;
- Location and size of both existing utilities in the street and the proposed utilities serving the building;
- Location of areas on the site that will be used to dispose of surface water.
- Existing and proposed grade contours *contour interval*

Building Plans are required for all construction, including interior rehab (Sample Attached)

A complete set of construction drawings showing all of the following elements of construction:

- Cross Sections w/Framing details (including porches, decks w/ railings, and accessory structures)
- Floor Plans & Elevations
- Window and door schedules
- Foundation plans with required drainage and damp proofing
- Electrical and plumbing layout. Mechanical drawings for any specialized equipment such as furnaces, chimneys, gas equipment, HVAC equipment (air handling) or other types of work that may require special review must be included.

Certification

I hereby certify that I am the Owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Bruce Smith</i>	Date: <i>2-07-01</i>
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Minor/Minor Site Review Fee: \$300.00/Building Permit Fee: \$30.00 for the 1st \$1000.cost plus \$6.00 per \$1,000.00 construction cost thereafter.

AUTOCAD OR ADOBE FORMAT REQUIRED FOR ALL COMMERICAL PROJECTS

BUILDING PERMIT REPORT

DATE: 10 February 2001 ADDRESS: Corner of Whaleback & Jewel Rd Peaks Island CBL 089-F-008
REASON FOR PERMIT: To Construct a Single Family dwelling/garage
BUILDING OWNER: The Smith's
PERMIT APPLICANT: CONTRACTOR OWNER
USE GROUP: R-3 CONSTRUCTION TYPE: 5-B CONSTRUCTION COST: \$154,726.00 PERMIT FEES: \$954.00

The City's Adopted Building Code (The BOCA National Building Code/1999 with City Amendments)
The City's Adopted Mechanical Code (The BOCA National Mechanical Code/1993)

CONDITION(S) OF APPROVAL

This permit is being issued with the understanding that the following conditions shall be met: *1, *2, *3, *4, *5, *6, *9, *11, *13, *14, *15, *18, *26, *27, *28, *29, *30, *31, *32, *33, *34, *35

- *1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- *2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection) "ALL LOT LINES SHALL BE CLEARLY MARKED BEFORE CALLING."
- *3. Foundation drain shall be placed around the perimeter of a foundation that consists of gravel or crushed stone containing not more than 10 percent material that passes through a No. 4 sieve. The drain shall extend a minimum of 12 inches beyond the outside edge of the footing. The thickness shall be such that the bottom of the drain is not higher than the bottom of the base under the floor, and that the top of the drain is not less than 6 inches above the top of the footing. The top of the drain shall be covered with an approved filter membrane material. Where a drain tile or perforated pipe is used, the invert of the pipe or tile shall not be higher than the floor elevation. The top of joints or top of perforations shall be protected with an approved filter membrane material. The pipe or tile shall be placed on not less than 2" of gravel or crushed stone, and shall be covered with not less than 6" of the same material. Section 1813.5.2
- *4. Foundations anchors shall be a minimum of 1/2" in diameter, 7" into the foundation wall, minimum of 12" from corners of foundation and a maximum 6' O.C. between bolts. Section 2305.17
- *5. Waterproofing and dampproofing shall be done in accordance with Section 1813.0 of the building code.
- *6. Precaution must be taken to protect concrete and masonry. Concrete Sections 1908.9-19.8.10/ Masonry Sections 2111.3-2111.4.
- 7. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
- *8. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of 1/2 inch gypsum board or the equivalent applied to the garage side. (Chapter 4, Section 407.0 of the BOCA/1999)
- *9. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993). Chapter 12 & NFPA 211
- 10. Sound transmission control in residential building shall be done in accordance with Chapter 12, Section 1214.0 of the City's Building Code.
- *11. Guardrails & Handrails: A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height all Use Groups 42". In occupancies in Use Group A, B, H-4, I-1, I-2, M, R, public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. Handrails shall be a minimum of 34" but not more than 38". Exception: Handrails that form part of a guard shall have a height not less than 36 inches (914 mm) and not more than 42 inches (1067 mm). Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2". (Sections 1021 & 1022.0). Handrails shall be on both sides of stairway. (Section 1014.7)
- 12. Headroom in habitable space is a minimum of 7'6". (Section 1204.0)
- *13. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 1/2" maximum rise. All other Use Group minimum 11" tread, 7" maximum rise. (Section 1014.0)
- *14. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8") 1014.4
- *15. Every sleeping room below the fourth story in buildings of Use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508)mm, and a minimum net clear opening of 5.7 sq. ft. (Section 1010.4)
- 16. Each apartment shall have access to two (2) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units. (Section 1010.1)
- 17. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closure's. (Over 3 stories in height requirements for fire rating is two (2) hours. (Section 710.0)
- 18. The boiler shall be protected by enclosing with (1) hour fire rated construction including fire doors and ceiling, or by providing automatic extinguishment. (Table 302.1.1)

2/9/01

**CITY OF PORTLAND, ME
BOCA 1999 Plan Review Record
One and Two Family Dwelling**

Valuation: \$154,720.00 Plan Review # _____

Fee: \$954.00 Date: 10-February-2001

Building Location: Corner of Whaleback & Jewel
Peaks Island CBL: 089-F-998

Building Description: New Single Family dwelling

Reviewed By: Sam Hoffse

Use or Occupancy: R-3 Type of Construction: 5-B

*NR: Not Required NA: Not Applicable SR: See Report X: OK per plan

Correction List		
NO:	Description	Code Section
1.	All site plan and building code requirements shall be completed before a certificate of occupancy can or will be issued.	111.0 118.0
2.	Before concrete for foundation is placed all lot lines shall be clearly marked so the code enforcement office can check setbacks	113.0
3.	Concrete shall be protected as per section 1908.9 - 1908.10	1908.9 - 1908.10
4.	Foundation anchors shall comply with section 2305.17	2305.17
5.	Waterproofing & damp proofing shall comply with section 1813.0	1813.0
6.	Private garages shall comply with section 407.0	407.0
7.	All chimneys and vents shall comply with NFPA 211 = BOCA mech. Ch. 12 / 1993	NFPA 211 BOCA/mech/93
8.	Guardrails and handrails shall comply with sections 1022.0 & 1021.0	1021.0 1022.0
9.	Stair construction shall comply with section 1014.0	1014.0
10.	Sleeping room rescue & egress windows shall comply with section 1010.4	1010.4

REV: PSH 4-7-00

Correction List		
NO:	Description	Code Section
11.	Smoke Smoke detectors shall comply with section 920.3.2	920.3.2
12.	Ventilation and access shall meet the requirements of Chapter 12 Sections 1210.0 & 1211.0	1210.0 1211.0
13.	Fastening of building elements shall comply with Table 2305.2	2305.2
14.	Ventilation of spaces shall comply with section BOCA Mech/93 Chapter 16 - BOCA 99 Chapter 12	Chapter mech/mech/93 BOCA 99 Chapter 12
15.	Boring, Cutting & Notching shall comply with sections 2305.3 Thru 2305.4.5.1	
16.	Bridging shall comply with section 2305.16	2305.16
17.	Glass & glazing shall comply with section 2406.0 (safety glazing)	2406.0
18.	Flashing shall comply with section 1406.3.10	1406.3.10
19.		

rev: PSH 6-28-98

Foundations (Chapter 18)

Wood Foundation (1808)

~~NA~~ Design
~~NA~~ Installation

Footings (1807.0)

~~X~~ Depth below (outside) grade 4' minimum;
but below frost line except for insulated footings.
~~NA~~ Insulated footing provided
~~X~~ Soil bearing value (table 1804.3)
~~X~~ Footing width
~~X~~ Concrete footing (1810.0) .3.1, 3.2

~~_____~~
~~_____~~
~~_____~~
~~_____~~
~~_____~~

Foundation Walls

~~X~~ Design (1812.1)
~~X~~ Minimum thickness Tables 1812.3.2.(1) & 1812.3.2 (2)
~~SR~~ Water proofing and damp proofing Section 1813
~~X~~ Sill plate (2305.17)
~~X~~ Anchorage bolting in concrete (2305.17)
~~X~~ Columns (1912)
~~SR~~ Crawl space (1210.2) Ventilation
~~SR~~ Crawl opening size (1210.2.1)
~~SR~~ Access to crawl and attic space (1211.0)

~~_____~~

Floors (Chapter 16-23)

~~X~~ Joists - Non sleeping area LL40PSF (Table - 1606)
~~X~~ Joists - Sleeping area LL30PSF (Table - 1606)
~~X~~ Grade
~~X~~ Spacing
~~X~~ Span
~~X~~ Girder 4" bearing 2305

Floors (contd.)

- ~~X~~ Bearing (1 1/2" minimum on wood or steel 3" on masonry) and lapped (3")
- ~~SA~~ Bridging (2305.16)
- ~~SA~~ Boring and notching (2305.5.1)
- ~~SA~~ Cutting and notching (2305.3)
- ~~SA~~ Fastening table (2305.2)
- ~~NA~~ Floor trusses (AFPANDS Chapter 35)
- ~~X~~ Draft stopping (721.7)
- ~~X~~ Framing of openings (2305.11) (2305.12)
- ~~X~~ Flooring - (2304.4) 1" solid - 1/2" particle board
- ~~A~~ Concrete floors (1905) 3 1/2" 6 mil polyethylene vapor retarder
- _____
- _____
- _____
- _____
- _____

Wall Construction (Chapter 2300)

- ~~A~~ Design (1609) wind loads
- ~~A~~ Load requirements
- ~~X~~ Grade
- ~~SA~~ Fastening schedule (Table 2305.2)
- ~~X~~ Wall framing (2305.4.1)
- ~~X~~ Double top plate (2305.4.2)
- ~~X~~ Bottom plates: (2305.4.3)
- ~~SA~~ Notching and boring: (2305.4.4) studs
- ~~X~~ Non load bearing walls (2305.5)
- ~~SA~~ Notching and boring (2305.5.1)
- ~~A~~ Wind bracing (2305.7)
- ~~A~~ Wall bracing required (2305.8.1)
- ~~X~~ Stud walls (2305.8.3)
- ~~X~~ Sheathing installation (2305.8.4)
- ~~X~~ Minimum thickness of wall sheathing (Table 2305.13)
- ~~NA~~ Metal construction
- ~~NA~~ Masonry construction (Chapter 21)
- ~~X~~ Exterior wall covering (Chapter 14)
- ~~X~~ Performance requirements (1403)
- ~~X~~ Materials (1404)
- ~~NA~~ Veneers (1405)
- ~~X~~ Interior finishes (Chapter 8)

Roof-Ceiling Construction (Chapter 23)

- ~~X~~ Roof rafters - Design (2305.15) spans
- ~~X~~ Roof decking and sheathing (2305.15.1) 5/8" boards and (2307.3) (Table 2307.3.1(2))
- ~~NA~~ Roof trusses (2313.3.1)

Roof Coverings (Chapter 15)

- ~~X~~ Approved materials (1404.1)
- ~~X~~ Performance requirement (1505)
- ~~X~~ Fire classification (1506)
- ~~X~~ Material and installation requirements (1507)
- ~~X~~ Roof structures (1510.0)
- ~~SR~~ Type of covering (1507)

**Chimneys and Fireplaces
 BOCA Mechanical/1993**

- ~~NA~~ Masonry (1206.0)
- ~~SR~~ Factory - built (1205.0)
- ~~NA~~ Masonry fireplaces (1404)
- ~~SR~~ Factory - built fireplace (1403)
- ~~SR~~ NFPA 211

**Mechanical
 1993 BOCA Mechanical Code
 see report**

State Plumbing Code
 Public water
 private sewer
 Page 5
 Has HHE-200

Load Design Criteria

Floor live load sleeping	<u>30 PSF</u>	<u>X</u>
Floor live load non sleeping	<u>40 PSF</u>	<u>X</u>
Roof live load	<u>42 PSF</u>	<u>X</u>
Roof snow load	<u>46 PSF</u>	<u>X</u>
Seismic Zone	<u>2</u>	<u>X</u>
Weathering area	<u>S</u>	<u>X</u>
Frost line depth	<u>4' MIN</u>	<u>X</u>

Glazing (Chapter 24)

- SA Labeling (2402.1)
- NA Louvered window or jalousies (2402.5)
- Human impact loads (2405.0)
- Specific hazardous locations (2405.2)
- Sloped glazing and skylights (2404)

Private Garages (Chapter 4)

- SA General (407)
- Beneath rooms (407.3)
- Attached to rooms (407.4)
- Door sills (407.5)
- Means of egress (407.8)
- Floor surface (407.9)

Egress (Chapter 10)

- ~~X~~ One exit from dwelling unit (1010.2)
- ~~SA~~ Sleeping room window (1010.4)
- ~~X~~ EXIT DOOR (1017.3) 32" W 80" H
- ~~X~~ Landings (1014.3.2) stairway
- ~~NA~~ Ramp slope (1016.0)
- ~~SA~~ Stairways (1014.3) 36" W
- ~~X~~ Treads (1014.6) 10" min.
- ~~X~~ Riser (1014.6) 7 3/4" max.
- ~~X~~ Solid riser (1014.6.1)
- ~~NA~~ Winders (1014.6.3)
- ~~NA~~ Spiral and Circular (1014.6.4)
- ~~SA~~ Handrails (1022.2.2.) Ht.
- ~~SA~~ Handrail grip size (1022.2.4) 1 1/4" to 2"
- ~~SA~~ Guards (1012.0) 36" min.
- _____
- _____
- _____

Smoke Detectors (920.3.2)

- ~~SA~~ Location and interconnection
- ~~SA~~ Power source

**Dwelling Unit Separation
Table 602**

NA

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20010018
I. D. Number

Bernard & Joan Smith
Applicant
78 Ashley Lane, Portland, ME
Applicant's Mailing Address

Consultant/Agent
207-879-0082
Applicant or Agent Daytime Telephone, Fax

02/09/2001
Application Date
Whaleback Rd -
Project Name/Description
45 - 45 Whaleback Rd, Peaks Island, Peaks, Island
Address of Proposed Site
089-F-022
Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

Planning Conditions of Approval

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is a single family dwelling only.
3. Separate permits shall be required for future decks, sheds, pools, and/or garage.

Fire Conditions of Approval

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
D.R.C. Copy**

20010018
I. D. Number

Bernard & Joan Smith
Applicant
78 Ashley Lane, Portland, ME
Applicant's Mailing Address

02/09/2001
Application Date
Whaleback Rd -
Project Name/Description

Consultant/Agent
207-879-0082
Applicant or Agent Daytime Telephone, Fax

45 - 45 Whaleback Rd, Peaks Island, Peaks, Island
Address of Proposed Site
089-F-022
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential
 Office Retail Manufacturing Warehouse/Distribution Parking Lot Other (specify) **New Single Family**

2,872 sf **40,018 sf**
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots _____ PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan **\$200.00** Subdivision _____ Engineer Review **\$100.00** Date: **02/09/2001**

DRC Approval Status:

Reviewer **Jay Reynolds**

- Approved Approved w/Conditions see attache Denied

Approval Date **02/21/2001** Approval Expiration **02/21/2002** Extension to _____ Additional Sheets Attached

Condition Compliance **Jay Reynolds** **02/21/2001**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate Of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

20010018
I. D. Number

Bernard & Joan Smith

Applicant

78 Ashley Lane, Portland, ME

Applicant's Mailing Address

Consultant/Agent

207-879-0082

Applicant or Agent Daytime Telephone, Fax

02/09/2001

Application Date

Whaleback Rd -

Project Name/Description

45 - 45 Whaleback Rd, Peaks Island, Peaks, Island

Address of Proposed Site

089-F-022

Assessor's Reference: Chart-Block-Lot

DRC Conditions of Approval

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.(see last item)

Your new street address is now #45 Whaleback Road

, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8300 ext.8632) must be notified five (5) working days

prior to date required for final site inspection. Please make allowances for completion of site plan requirements

determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must

be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of

Occupancy. Please schedule any property closing with these requirements in mind.

Show all utility connections: water, sanitary, sewer, storm drain, electric, telephone, cable.

A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822.

(Only excavators licensed by the City of Portland are eligible.)

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

A drainage plan shall be submitted to and approved by Development Review Coordinator showing first floor elevation (FFE), sill elevation (SE), finish street/curb elevation, lot grading, existing and proposed contours, drainage patterns and paths, drainage swales, grades at or near abutting property lines, erosion control devices and locations and outlets for drainage from the property.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

Applicant will be responsible for keeping Whaleback Rd. And Jewell Rd. Clean and free of all materials resulting from this construction.

Applicant may (and would be preferred by the City) substitute existing trees for the two proposed trees. If so, existing trees are to be defined prior to construction. Trees are then to be preserved and protected through construction.

Planning Conditions of Approval

see DRC approval conditions

Inspections Conditions of Approval

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. This is a single family dwelling only.
3. Separate permits shall be required for future decks, sheds, pools, and/or garage.

Fire Conditions of Approval

Applicant: Bernard & John Smith Date: 2/16/01
 Address: cor. of whaleback & Jewel, P. I C-B-L: 089-F-~~8~~⁸
 called lot #2

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New

Zone Location - IR-1

Interior of corner lot -

Proposed Use/Work - construct single family home with attached garage

Sewage Disposal - ^{Private} Septic System

Lot Street Frontage - 100' min - 200' + shown

close → Front Yard - 30' min req. - 30' shown

Rear Yard - 30' min req. - 80' + shown

Side Yard - 20' min req. } over 30' shown on both sides
 on side of = 20' min req.

Projections - rear decks, front porch

Width of Lot - 100' min - 200' + shown

ok Height - 35' MAX - 32' 3" to top of Edge ± 24' 1/2 way up the pitch of the roof

Lot Area - on city water per applicant 40,018 sq ft shown

Lot Coverage Impervious Surface - 20% MAX
 40,000 sq ft min req. = 8003.6 sq ft MAX

Area per Family - 40,000 sq ft

Off-street Parking - attached garage

Loading Bays - N/A

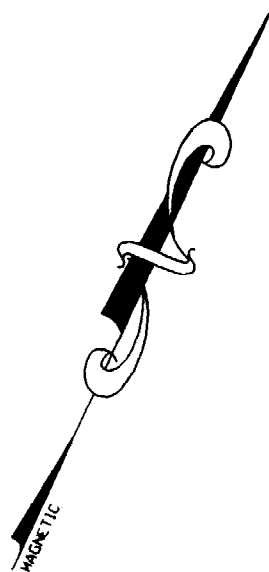
Site Plan - minor/minor
 # 20016019

Shoreland Zoning/Stream Protection - N/A

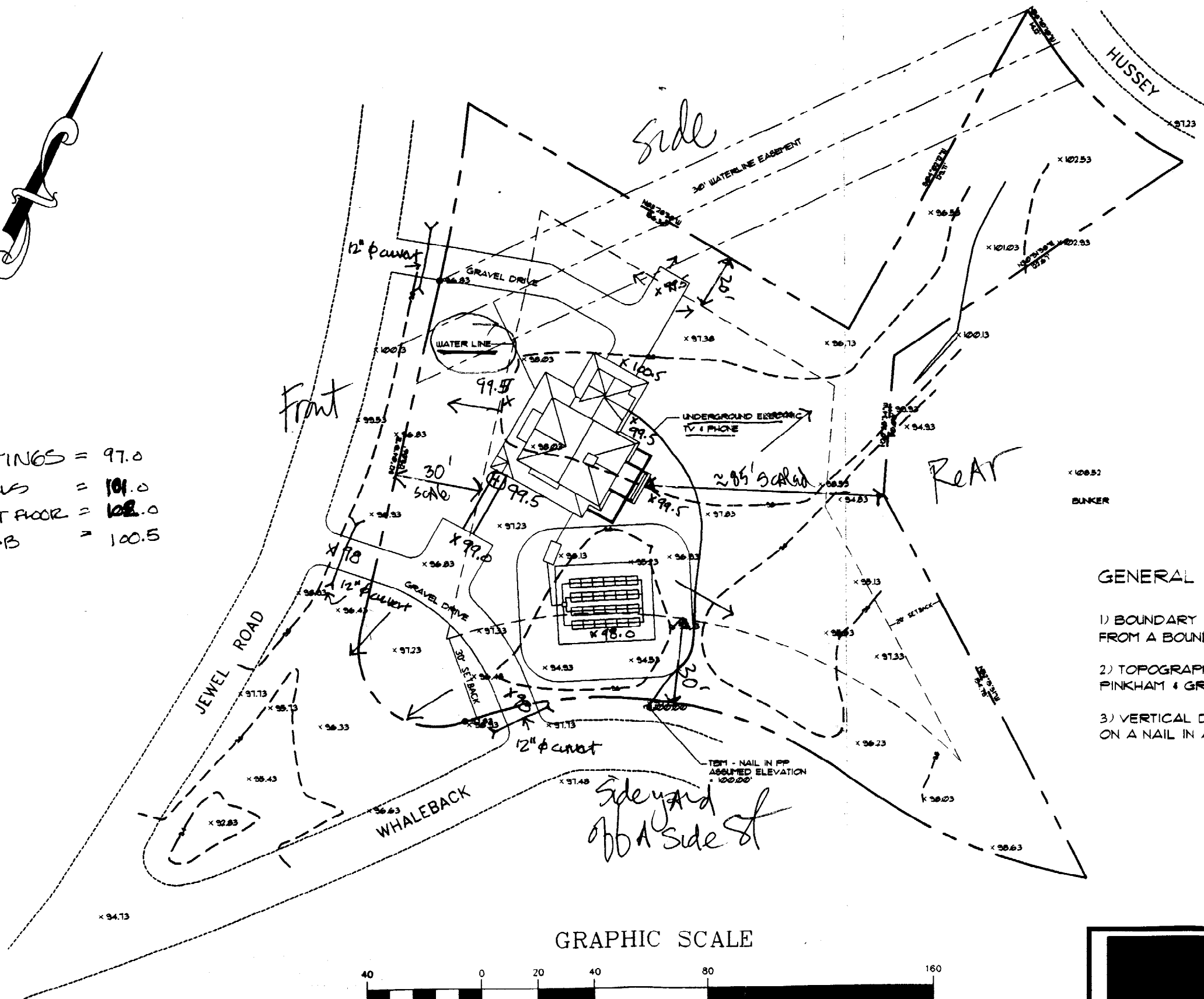
Flood Plains - Panel 15 - Zone C
 ok

24 x 36 = 864
 18 x 20 = 360
 8 x 24 = 192

ok 1416



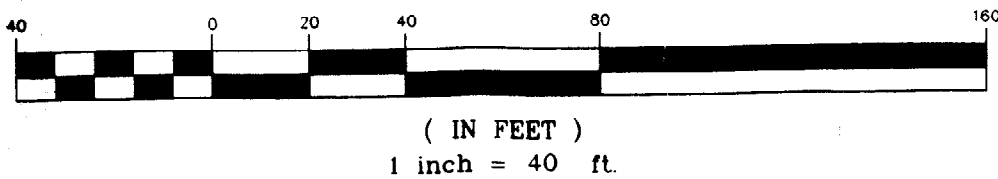
TOP OF FOOTINGS = 97.0
 TOP OF WALLS = 101.0
 FINISHED FIRST FLOOR = 102.0
 GARAGE SLAB = 100.5



GENERAL NOTES:

- BOUNDARY LINES AND DIMENSIONS AS SHOWN ON THIS PLAN ARE FROM A BOUNDARY SURVEY PERFORMED BY DANIEL DALFONSO, PLS.
- TOPOGRAPHIC SURVEY PERFORMED BY JOHN D. BELL, PLS OF PINKHAM & GREER CONSULTING ENGINEERS, INC.
- VERTICAL DATUM IS BASED ON AN ASSUMED ELEVATION OF 100.00 ON A NAIL IN A UTILITY POLE.

GRAPHIC SCALE



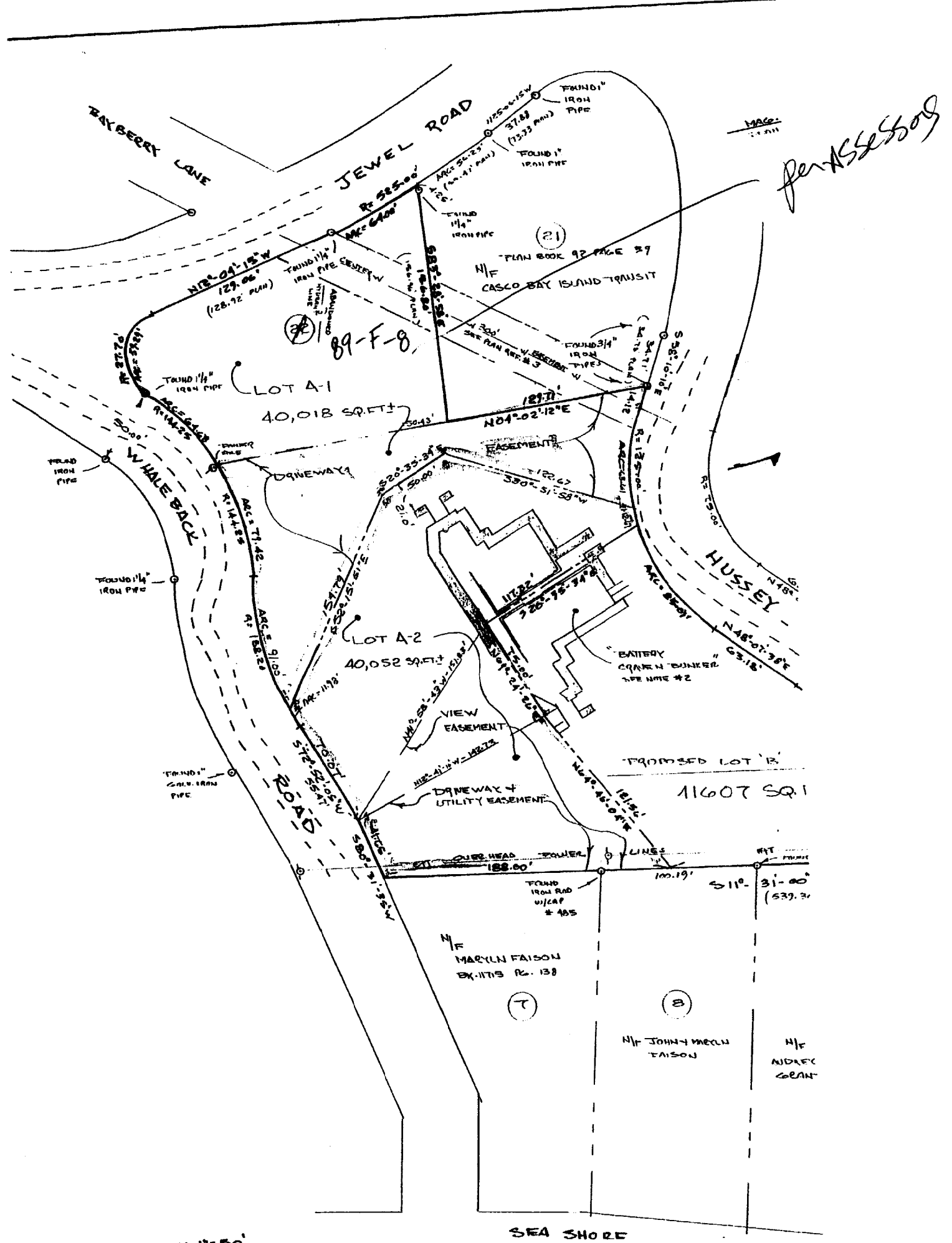
SITE PLAN

SMITH RESIDENCE ^{yes}
 PEAKS ISLAND, ME

SCALE: 1" = 40'
 DATE: 02/05/01
 DESG BY: JDB
 PROJECT: 00125

IR-1
 ZONE

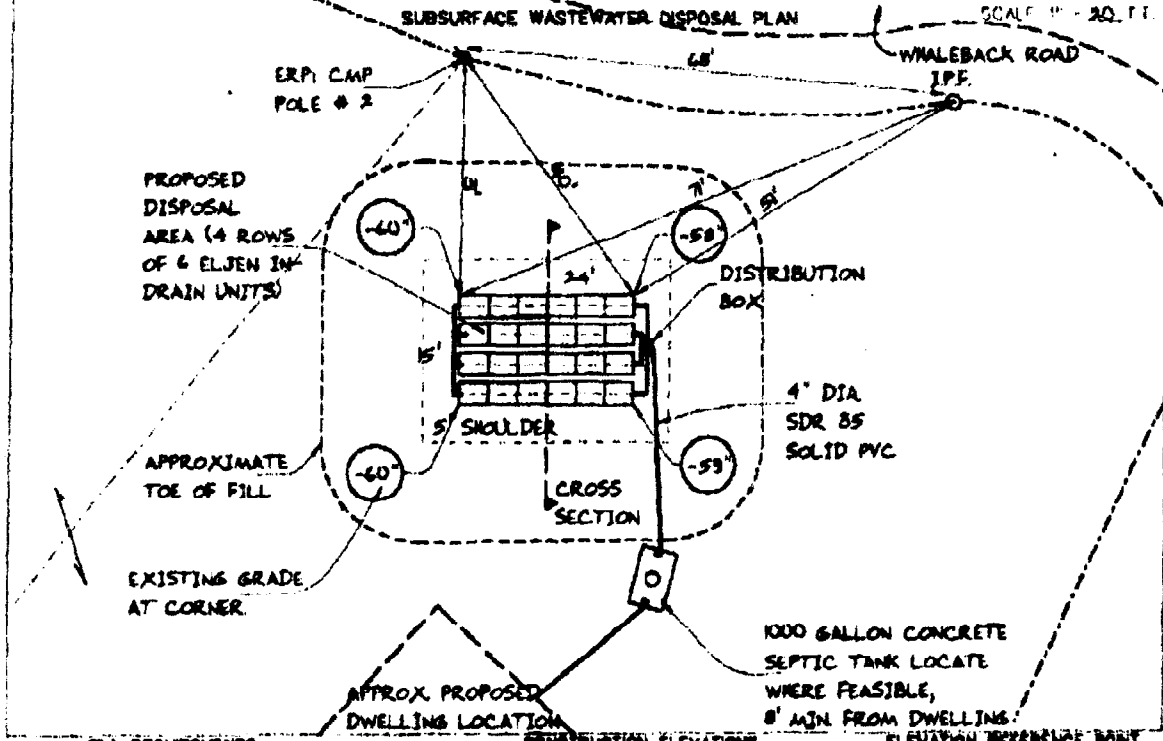
S1



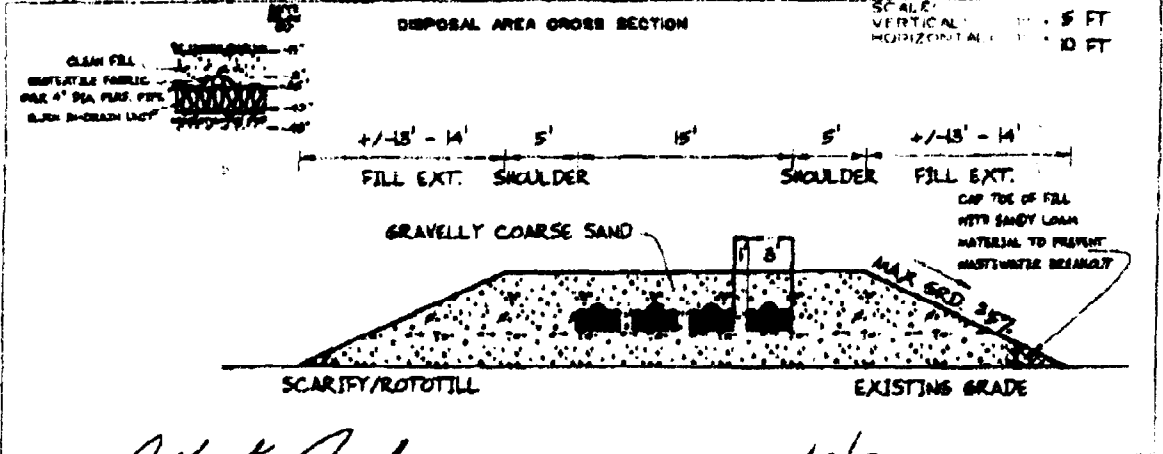
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering

Town/City/Plantation: **PORTLAND, PEAKS ISLAND**
Street/Road Subdivision: **WHALEBACK & JEWEL ROAD**
Owner's Name: **WEINSCHENK BUILDERS**



FILL REQUIREMENTS		CONSTRUCTION ELEVATIONS		ELEVATION REFERENCE POINT
Depth of F.F. Subgrade	+39" - 41"	Finished Grade Elevation	-58"	Location & Description, MAX. 60' AWAY
Depth of F.F. Subdrainage	+40" - 41"	Top of Distribution Pipe	-57"	Side of CAP POLE # 2
		Bottom of Disposal Area (4" DIA. IN- DRAIN UNITS)	-52"	Reference Elevation: 0.00'

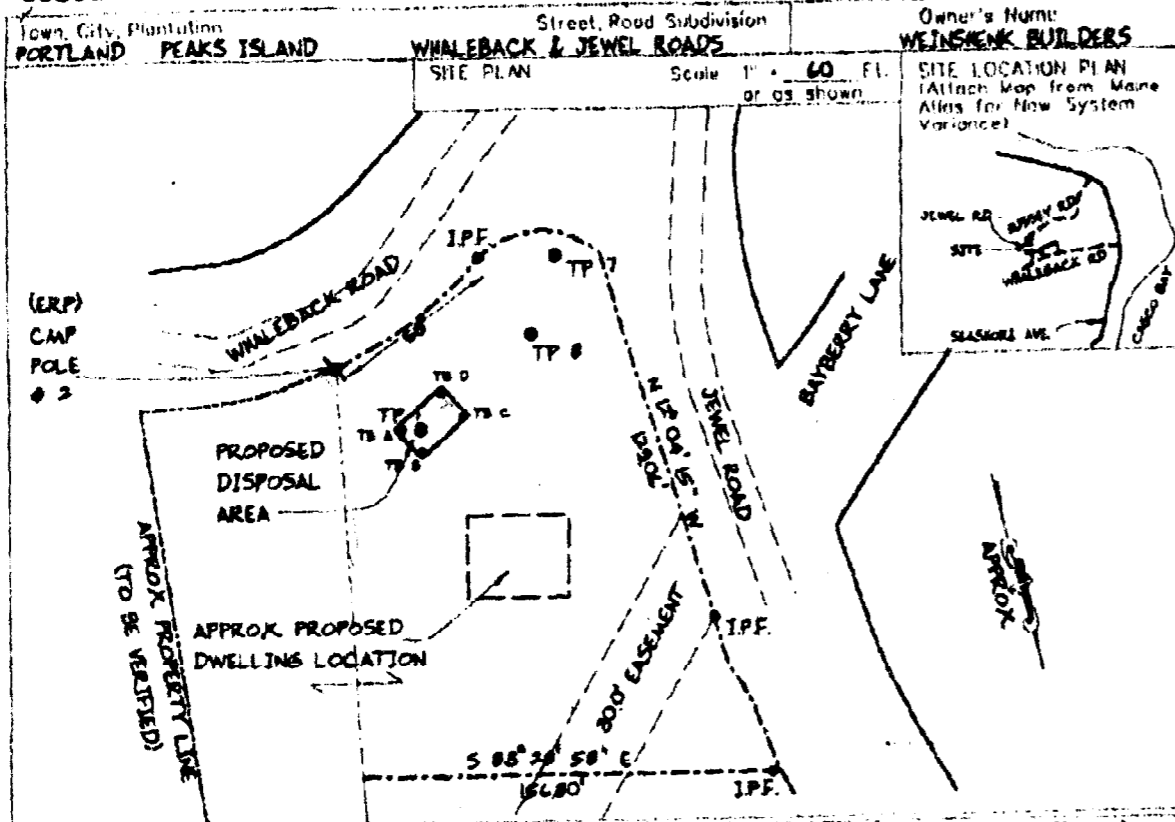


Albert Prex
Site Evaluator Signature
Date: 10/9/2000
Page 3 of 3
HRC 200 Rev. 7/97

ALBERT PREX ASSOCIATES - 100 COUNTY ROAD ROAD COMPANY, MAINE 04028 - (603) 830-8888

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP 1 Test Pit Boring
Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
CHANNERY		DARK BROWN	
SANDY LOAM	FRIABLE	YELLOW BROWN	FEW, FAINT
FRACTURED BEDROCK			

Soil Classification: 2 A/C (Fragile Sandstone)

Limiting Factor: 2.2

Ground Water: Restrictive Layer: Bedrock: Pit Depth:

Observation Hole TB A-D Test Pit Boring
Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
TB A = 20" TO REFUSAL			
TB B = 15" TO REFUSAL			
TB C = 14" TO REFUSAL			
TB D = 15" TO REFUSAL			

Soil Classification: 7

Limiting Factor: 7

Ground Water: Restrictive Layer: Bedrock: Pit Depth:

Albert Frick
Site Evaluator Signature
10/9/2000
date
Page 2 of 3
DHE 200 Rev 7/97

WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS, that **THE PEAKS ISLAND COMPANY, LLC**, a Maine Limited Liability Company of Peaks Island, Portland, Maine, ("Grantor") for consideration paid, **GRANTS TO BERNARD M. SMITH and JOAN M. SMITH** of Portland, Maine, whose mailing address is 78 Ashley Lane, Portland, ME 04103, ("Grantee") with **WARRANTY COVENANTS AS JOINT TENANTS**, the premises situated Peaks Island in the City of Portland, County of Cumberland and State of Maine, described on **Exhibit A**, attached hereto and made a part hereof.

Being a portion of the same premises conveyed to the Grantor herein by deed of Catherine E. Plante by deed dated March 10, 2000 as recorded in the Cumberland County Registry of Deeds in Book 15362, Page 165.

IN WITNESS WHEREOF, the said **THE PEAKS ISLAND COMPANY, LLC** has caused this instrument to be sealed with its seal and signed in its limited liability name by its manager thereunto duly authorized on November 16, 2000.

THE PEAKS ISLAND COMPANY, LLC

J. Beck
Witness

By: [Signature]
Frederic D. Weinschenk, Its Manager

State of Maine
County of Cumberland, ss

November 16, 2000

Then personally appeared the above-named Frederic D. Weinschenk, Manager of The Peaks Island Company, LLC and acknowledged the foregoing instrument to be his free act and deed in his said capacity and the free act and deed of said limited liability company.

Before me,
[Signature]
~~Notary Public~~ **ATTORNEY**
Print Name: R.E. DANIELSON

EXHIBIT A
(Peaks Island to Smith)

A certain lot or parcel of land, located on Peaks Island in the City of Portland, County of Cumberland and State of Maine, bounded and described as follows:

Beginning at an iron pipe on the southerly sideline of Hussey Road, marking the northeasterly corner of Lot #21 as shown on plan entitled "Ocean Side Project, Peaks Island, Maine, Northgate Subdivision, Section 2" prepared by H. I. & E. C. Jordan on September 22, 1972 and recorded in Cumberland County Registry of Deeds in Plan Book 92, Page 39;

Thence along the southerly sideline of Hussey Road by the following two (2) courses and distances: S 58° 10' 10" East 14.12 feet, and thence along a 125.00 foot radius curve deflecting to the left a distance of 63.61 feet;

Thence S 30° 51' 58" W 122.67 feet;

Thence S 20° 35' 34" E 50.00 feet;

Thence S 52° 15' 51" E 154.79 feet to the northerly sideline of Whaleback Road;

Thence along the northerly sideline of Whaleback Road by the following four (4) courses and distances:

Northwesterly along a 188.20 foot radius curve deflecting to the right 91.00 feet; thence along a 144.25 foot radius curve deflecting to the left 79.42 feet to the southeasterly corner of Lot #22 on said plan of "Northgate Subdivision Section 2"; thence continuing along said 144.25 foot radius curve deflecting to the left 64.68 feet; thence along a 27.70 foot radius curve deflecting to the right 59.29 feet to the easterly sideline of Jewel Road;

Thence along the easterly sideline of Jewel Road by the following two (2) courses and distances: N 12° 04' 15" W 129.06 feet; and thence along a 525.00 foot radius curve deflecting to the left 64.00 feet to the northwesterly corner of said Lot #22;

Thence S 83° 28' 58" E along the southerly line of Lot #21 on said plan of "Northgate Subdivision -- Section #2" a distance of 156.80 feet to its southeasterly corner;

Thence N 04° 02' 12" E along the easterly line of said Lot #21 a distance of 129.71 feet to the point of beginning.

Containing 40,018 square feet more or less.

Bearings are referenced to the 1972 magnetic meridian.

This conveyance is subject to existing water line easements previously given by Casco Bay Island Development Association to John B. and Marilyn Faison recorded in Cumberland County Registry of Deeds in Book 4401, Page 15; to Charles James Wright in Book 4401, Page 17; to Richard D. Grant in Book 4493, Page 332 and to John R. and Harriet Johnson in Book 4511, Page 96, also recorded in said Registry of Deeds.

Also being subject to a water line easement described in the deed of Lionel Plante to Portland Water District recorded in said Registry in Book 6941, Page 208; and shown on a plan recorded in said Registry of Deeds in Plan Book 122, Page 10.

The premises is conveyed subject to a perpetual right and exclusive easement for ingress and egress on foot and by motor vehicle and for the installation, maintenance, repair and replacement of driveways, roads, drainage ditches, sidewalks, culverts, and utility lines, wires, pipes, grates, conduits and mains, and fences, the construction, installation, maintenance and replacement of a septic system and any components relating thereto, subject to the right to alter, landscape, excavate and pave the surface of the earth for the foregoing purposes over, along, under and across the premises described below (the "Easement Area") and as further set forth in a deed from Frederic D. Weinschenk to Kamath Enterprises, LLC dated of even or recent date to be recorded in Cumberland County Registry of Deeds.

Beginning at an iron pipe on the southerly sideline of Hussey Road, marking the northeasterly corner of Lot #21 as shown on a plan entitled "Ocean Side Project, Peaks Island, Maine, Northgate Subdivision, Section 2" prepared by H.I. & E.C. Jordan on September 22, 1972 and recorded in Cumberland County Registry of Deeds in Plan Book 92, Page 39.

Thence along the southerly sideline of Hussey Road by the following two (2) courses and distances: South 58° 10' 10" East 14.12 feet, and thence along a 125.00 foot radius curve deflecting to the left a distance of 63.61 feet;

Thence South 30° 51' 58" West 122.67 feet;

Thence South 20° 35' 34" East 50.00 feet;

Thence South 52° 15' 51" East 154.79 feet to the northerly sideline of Whaleback Road.

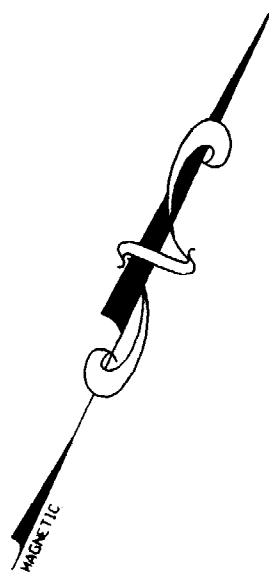
Thence along the northerly sideline of Whaleback Road by the following two (2) courses and distances: northwesterly along a 188.20 foot radius curve deflecting to the right 91.00 feet;

Thence along a 144.25 foot radius curve deflecting to the left 79.42 feet to the southeasterly corner of Lot #22 on said plan of "Northgate Subdivision - Section #2";

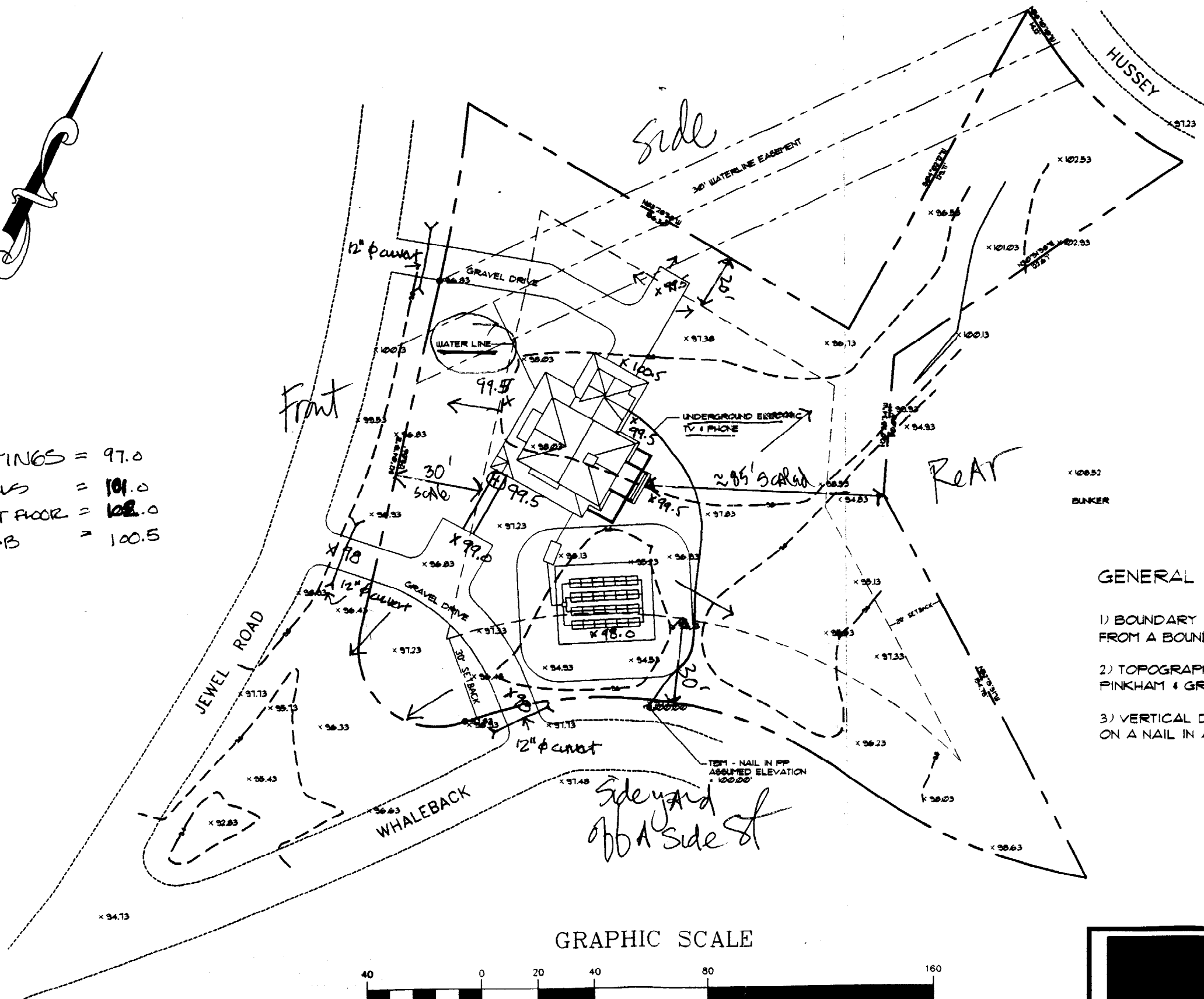
Thence North 04° 02' 12" East along the westerly line of said Lot #22 and the westerly line of said Lot #21 a distance of 280.14 feet to the point of beginning.

Any structures, buildings, fences, improvements, trees, shrubs, vegetation, plants, or utility improvements erected or constructed in connection with the rights and easements granted herein on, over, or across the Easement Area shall be limited to a height of four (4) feet above the current contour of the ground and any said building, structure or landscaping erected or constructed within the Easement Area shall be maintained at a height not to exceed four (4) feet.

Being a portion of the premises described in the deed of Catherine E. Plante to The Peaks Island Company, LLC dated March 10, 2000 and recorded in the Cumberland County Registry of Deeds in Book 15362, Page 165.



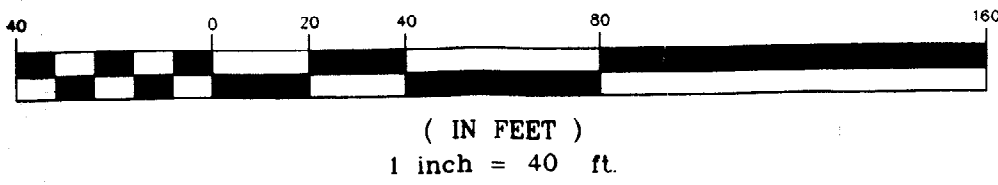
TOP OF FOOTINGS = 97.0
 TOP OF WALLS = 101.0
 FINISHED FIRST FLOOR = 102.0
 GARAGE SLAB = 100.5



GENERAL NOTES:

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- 2) TOPOGRAPHIC SURVEY PERFORMED BY JOHN D. BELL, PLS OF PINKHAM & GREER CONSULTING ENGINEERS, INC.
- 3) VERTICAL DATUM IS BASED ON AN ASSUMED ELEVATION OF 100.00 ON A NAIL IN A UTILITY POLE.

GRAPHIC SCALE



SITE PLAN

SMITH RESIDENCE ^{yes}
 PEAKS ISLAND, ME

SCALE: 1" = 40'
 DATE: 02/05/01
 DESG BY: JDB
 PROJECT: 00125

IR-1
 ZONE

S1



FRONT ELEVATION



RIGHT ELEVATION

The Cottage Design Company
 33 Island Avenue, Peaks Island, Maine 04106
 (602) 322-6149

SMITH COTTAGE

JOB TITLE: FRONT & RIGHT ELEVATIONS

DATE: 01/20/20

SHEET 4 OF 6

SCALE: 1/4" = 1'

REV. 1: 01/20/20
 REV. 2: 01/20/20

These plans have been prepared to meet professional standards and practice. However, any variations may require changes. Likewise, building code requirements vary with location and change from time to time. Before starting construction, the builder must review and be responsible for all details and dimensions, and ensure that these plans meet all current requirements in your area. It is also suggested that a local architect and/or engineer be retained to review and make any changes necessary to ensure that plans meet all requirements, and that you check with your local building department to see if a professional stamp is required on drawings filed for permit purposes. All applicable construction shall conform to the latest editions of either "Uniform Building Code" or the "BOCA Basic Building Code," or any other locally required code.

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Roof Loads = 42W / sq'
 Floor Loads = 40W / sq' all other
 = 30W / sq' for bedrooms
 All concrete = 3000 PSI

Codes govern over drawings
 Designer assumes no responsibility for
 Verify all mechanical requirements, before framing.
 Verify topographic and subsurface conditions, and adjust foundation plans accordingly.



LEFT ELEVATION



REAR ELEVATION

The Cottage Design Company

33 Island Avenue, Peaks Island, Maine 04126
(603) 322-6149

SMITH COTTAGE

JOB TITLE: **LEFT & REAR ELEVATIONS**

PLAN TITLE: **LEFT & REAR ELEVATIONS**

SHEET **5** OF **6** DATE: **01/20/21**
REV. 11 JAN 21 MISC.

SCALE: **1/4"=1'**

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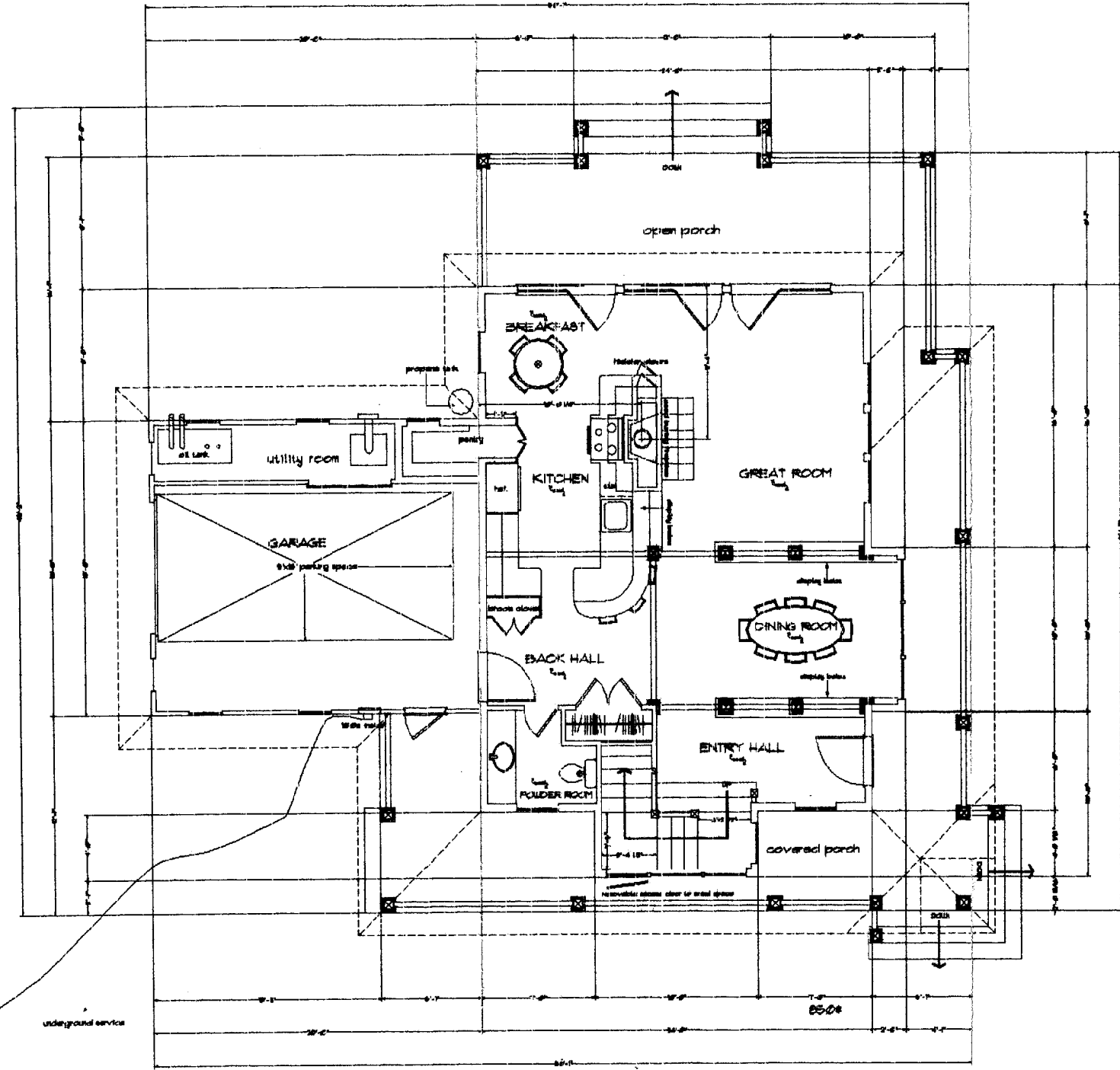
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= 30# / sq' for bedrooms
All concrete = 3000 PSI

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Dimensions govern over scale.
Verify all mechanical requirements, before framing.
Verify topographic and subsurface conditions, and adapt foundation plans accordingly.



The Cottage Design Company
 33 Island Avenue, Peaks Island, Maine 04108
 (603) 332-6148

SMITH COTTAGE

JOB TITLE: MAINE FLOOR PLAN

PLAN TITLE: SHEET 2 OF 6

SCALE: 1/4" = 1'

REV. 01/10/10
 REV. 11/28/10

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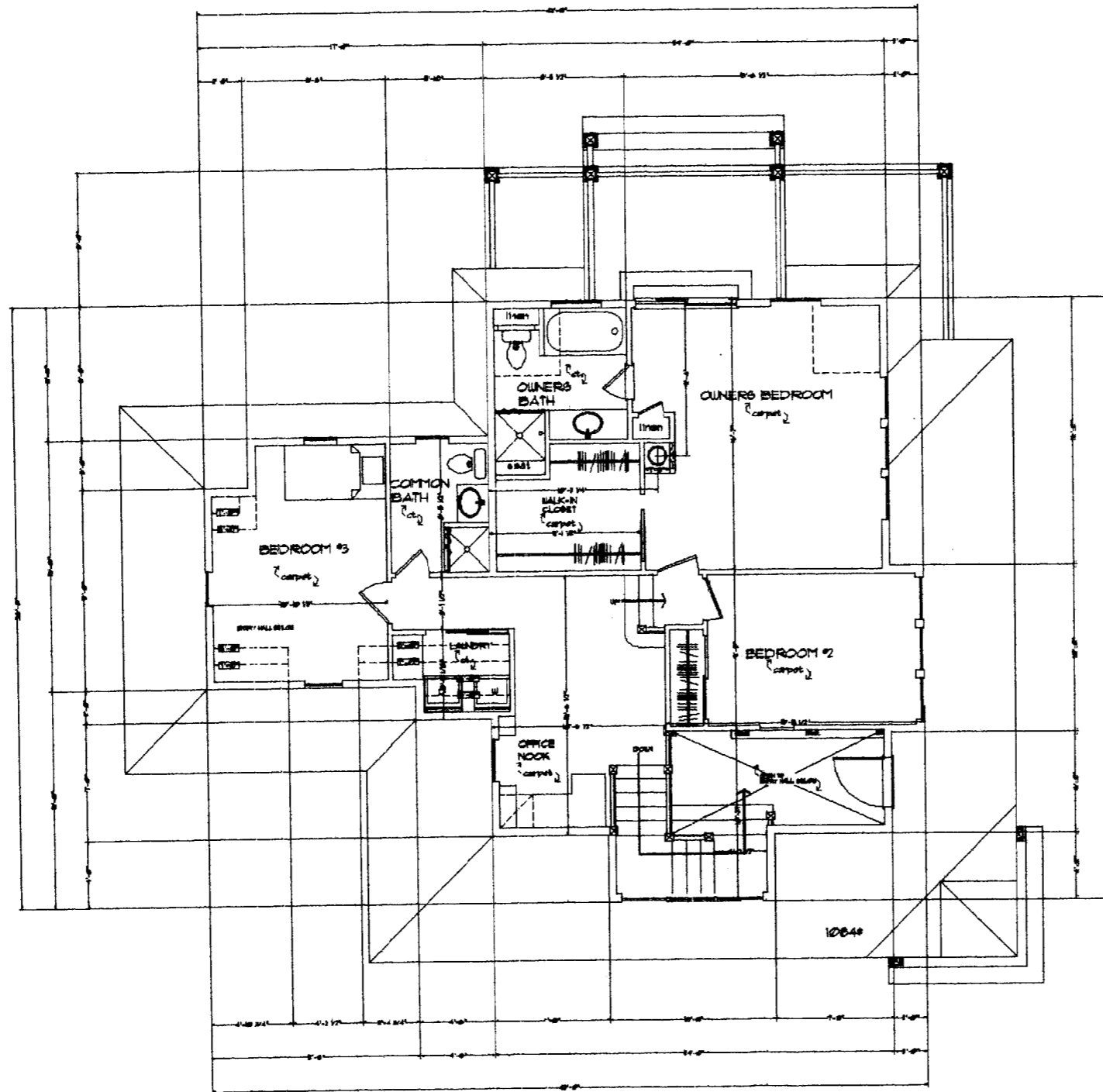
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 = 30# / sq' for bedrooms
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The Cottage Design Company
 33 Island Avenue, Peaks Island, Maine 04106
 (800) 322-6148

SMITH COTTAGE

JOB #114
UPPER FLOOR PLAN

PLAN TITLE
 SHEET 3 OF 6
 SCALE 1/4"=1'

DATE 01/21/01
 REV. 11/28/01 nls
 REV. 11/28/01 nls

These plans have been prepared to meet professional standards and regulations. However, any variations may require changes. Licensee, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check with local building department to see if a professional stamp is required on drawings filed for permit purposes. All applicable construction shall conform to the latest editions of either "Uniform Building Code" or the "BOCA Basic Building Code," or any other locally required code.

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 = 50# / sq' for bedrooms
 All concrete = 3000 PSI

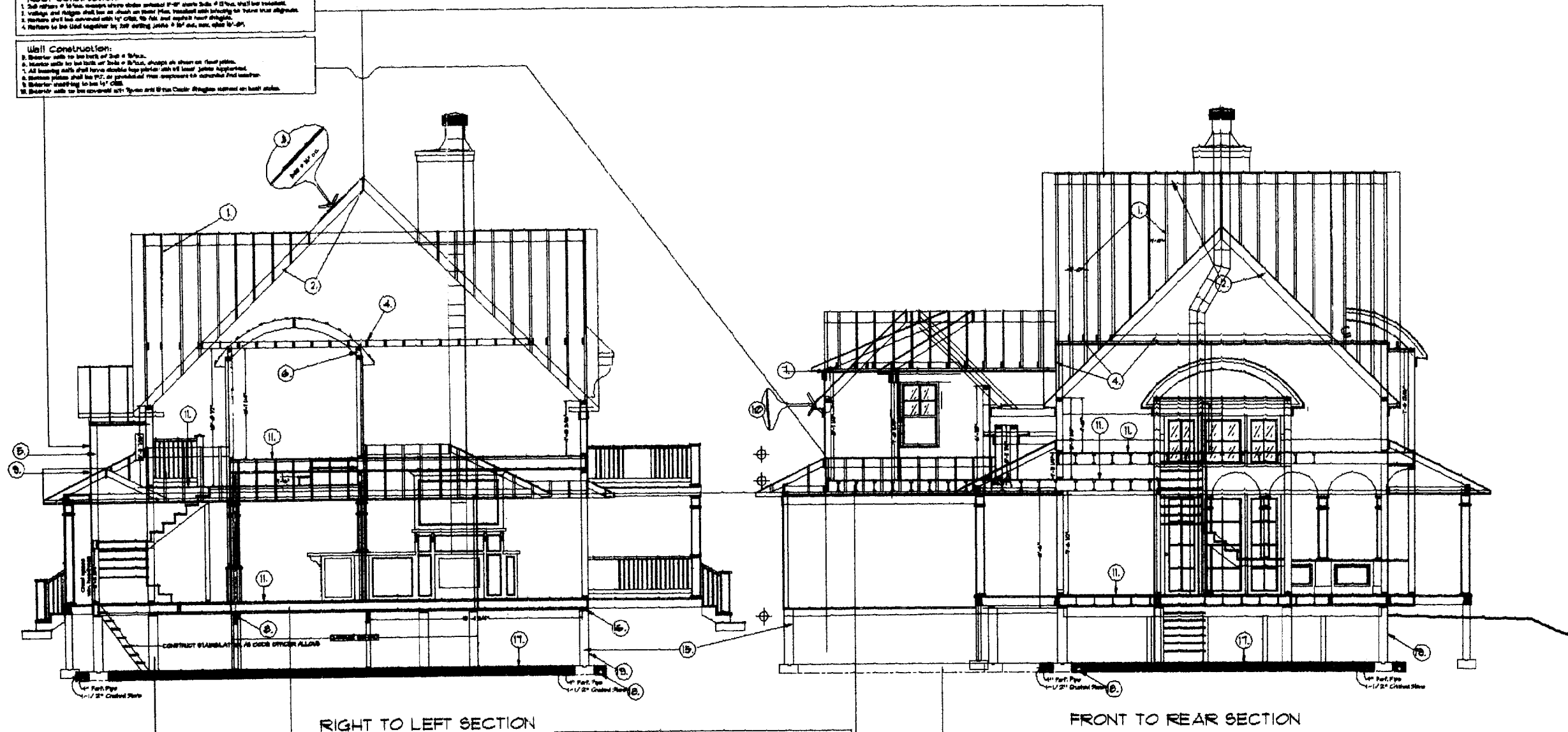
Codes govern over drawings
 Dimensions given over scales
 Verify all mechanical requirements, before framing
 Verify topographic and subsurface conditions, and adapt foundation plans accordingly.

Roof Construction:

1. Sub rafters 4" x 6" max. spacing where shown indicated 12" O.C. where 4" x 6" max. shall be installed.
2. Valleys and ridges shall be as shown on detail. Max. trusshead shall indicate to insure true alignment.
3. Rafters shall be covered with 1/2" OSB. No top and bottom board overlap.
4. Rafters to be tied together by 2x4 cutting joints 4" to 6" dia. max. spaced 12" O.C.

Wall Construction:

1. Exterior walls to be built of 2x4 @ 16" o.c.
2. Interior walls to be built of 2x4 @ 16" o.c. except as shown on floor plans.
3. All framing walls shall have double top plates with 4x4 corner joints supported.
4. Window plates shall be 2x4, as provided on floor plans to accommodate first window.
5. Exterior sheathing to be 1/2" OSB.
6. Exterior walls to be covered with Tyvek and 3/8" Ins. Chalk. Rigidins attached on both sides.



Floor Construction:

1. Joists shall be 2x10 spaced 16" o.c.
2. Check manufacturer name and quality for installation and covering of wood product.
3. Subfloor to be 1/2" gyp and finished as indicated on floor plans.
4. Porous subfloor from selected periods of exposure to air.

Foundation Construction:

1. Exterior walls to be constructed on footings poured on ledge or high spot or compacted subgrade below rock line.
2. 6" dia. to be set 4" above level from 2x4. Tied to concrete with metal straps.
3. Check gyp floor to be 2" finished stone at min. 4" thick and 1/4" top of footing.
4. Footing shall be drilled to depths with 4x4 pipe.
5. Concrete walls shall be completed before backfilling with clean material.

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 Floor Loads = 40 lb / sq ft all other
 = 30 lb / sq ft for bedrooms
 All concrete = 3000 PSI

The Cottage Design Company
 33 Island Avenue, Peaks Island, Maine 04108
 (603) 322-6149

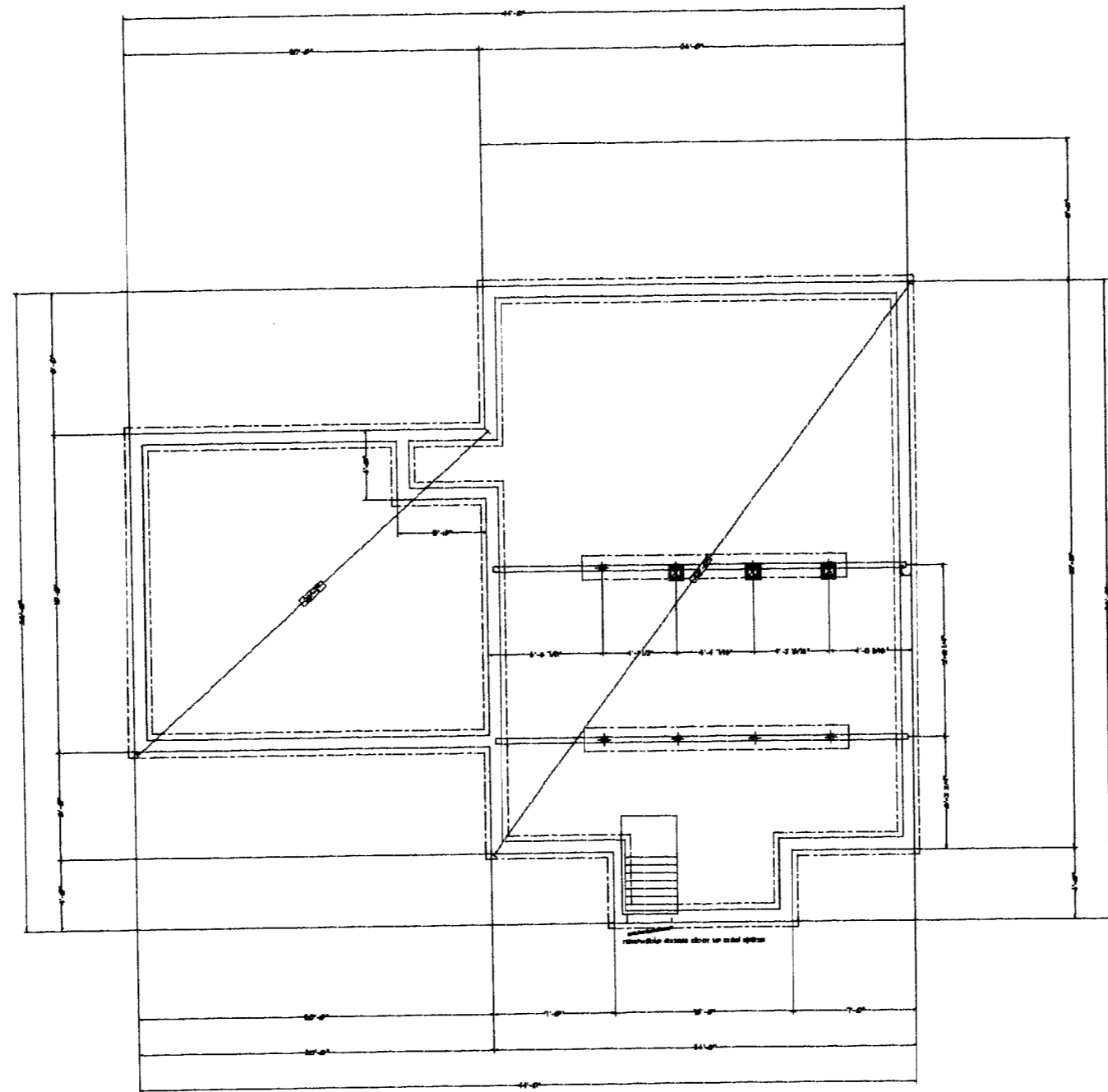
SMITH COTTAGE

JOB TITLE
 PLAN TITLE SECTION
 SHEET 2 OF 6
 SCALE 1/4" = 1'
 DATE 01/08
 REV. 11/08/08
 REV. 11/08/08

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Codes govern over drawings
 Permitting agency over code
 Verify all mechanical requirements, before framing.
 Verify topographic and subsurface conditions, and adapt foundation plans accordingly.



The Cottage Design Company
 33 Island Avenue, Peaks Island, Maine 04108
 (603) 322-6149

SMITH COTTAGE

JOB TITLE: **FOUNDATION PLAN**

PLAN TITLE: **FOUNDATION PLAN**

SHEET **1** OF **6**

SCALE: **1/4" = 1'**

DATE: **01/21/01**
 REV. 11 JAN 01 misc.
 REV. 11 JAN 01 misc.

These plans have been prepared to meet top professional standards and practices. However, any variations may require changes. In Maine, building code requirements vary with location and change from time to time. Before starting construction, your contractor should check and be responsible for all dimensions and other details, and should review the plans to ensure they meet current governmental requirements in your area.

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