

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2003-0050
Application I. D. Number
03/11/2003
Application Date
24 Jewel Rd. Peaks Island
Project Name/Description

Auger Paul J &
Applicant
35 Estate Dr # 3 , Manchester , ME 04351
Applicant's Mailing Address

24 - 24 Jewel Rd, Portland, Maine
Address of Proposed Site
089 F007001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: _____ **Agent Fax:** _____
Applicant or Agent Daytime Telephone, Fax
Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
1632 sq. Ft. _____ **29856 sq. Ft.** _____
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- Site Plan (major/minor) Subdivision # of lots PAD Review 14-403 Streets Review
- Flood Hazard Shoreland Historic Preservation DEP Local Certification
- Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date **03/11/2003**
Reviewer **Jay Reynolds**

DRC Approval Status:

- Approved **Approved w/Conditions** Denied
See Attached
- Approval Date **03/31/2003** Approval Expiration **03/31/2004** Extension to _____ Additional Sheets Attached
- Condition Compliance **Jay Reynolds** **03/31/2003**
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

	date	amount	expiration date
<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
<input type="checkbox"/> Inspection Fee Paid	_____	_____	_____
<input type="checkbox"/> Building Permit Issue	_____	_____	_____
<input type="checkbox"/> Performance Guarantee Reduced	_____	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	_____	signature	_____
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	_____
<input type="checkbox"/> Performance Guarantee Released	_____	signature	_____
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	signature	_____

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM

2003-0050
Application I. D. Number

03/11/2003
Application Date

24 Jewel Rd. Peaks Island
Project Name/Description

Auger Paul J &
Applicant

35 Estate Dr # 3 , Manchester , ME 04351
Applicant's Mailing Address

24 - 24 Jewel Rd, Portland, Maine
Address of Proposed Site

089 F007001
Assessor's Reference: Chart-Block-Lot

Consultant/Agent
Agent Ph: Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Approval Conditions of DRC

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now #24 JEWELL ROAD, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 01 EROSION CONTROL SHALL BE INSTALLED PRIOR TO SOIL DISTURBANCE

3-11-03

CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy

NE
LANDSCAPING
Prop - Existing? What are they based on?

2003-0050
Application I. D. Number
3/11/2003
Application Date
24 Jewel Rd. Peaks Island
Project Name/Description

Auger Paul J &
Applicant
35 Estate Dr # 3, Manchester, ME 04351
Applicant's Mailing Address

24 - 24 Jewel Rd, Portland, Maine
Address of Proposed Site
089 F007001
Assessor's Reference: Chart-Block-Lot

1632 sq. Ft.
Proposed Building square Feet or # of Units
29856 sq. Ft.
Acreage of Site
Zoning

- Check Review Required:
- Site Plan (major/minor)
 - Flood Hazard
 - Zoning Conditional Use (ZBA/PB)
 - Subdivision # of lots
 - Shoreland
 - Zoning Variance
 - PAD Review
 - Historic Preservation
 - 14-403 Streets Review
 - DEP Local Certification
 - Other

Fees Paid: Site Pla \$50.00 Subdivision _____ Engineer Review \$250.00 Date 3/11/2003

DRC Approval Status:
 Approved
 Approved w/Conditions See Attached
 Denied
Reviewer _____

Approval Date _____ Approval Expiration _____ Extension to _____
 Condition Compliance _____ signature _____ date _____
 Additional Sheets Attached

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

	date	amount	expiration date
<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
<input type="checkbox"/> Inspection Fee Paid	_____	_____	_____
<input type="checkbox"/> Building Permit Issue	_____	_____	_____
<input type="checkbox"/> Performance Guarantee Reduced	_____	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	expiration date
<input type="checkbox"/> Final Inspection	_____	signature	_____
<input type="checkbox"/> Certificate Of Occupancy	_____	_____	_____
<input type="checkbox"/> Performance Guarantee Released	_____	signature	_____
<input type="checkbox"/> Defect Guarantee Submitted	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	date	signature	_____

Talked to
Keith hulls 3-24
Requested
Revisions

Jay - FYI

Department of Planning & Development
Lee Urban, Director

Zoning Division
Marge Schmuckal
Zoning Administrator



CITY OF PORTLAND

March 21, 2003

Keith Hults
223 Island Avenue
Peaks Island, ME 04108

RE: 24 Jewel Road, Peaks Island - 089-F-007 - IR-1 Island Residential Zone

Dear Keith,

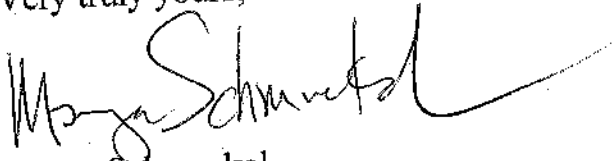
I am in receipt of your permit application for a new single family dwelling at 24 Jewel Road, Peaks Island. Your application does not have all the necessary documentation for which to do a full zoning review.

This property is located within an IR-1 residential zone that requires 40,000 square feet of land area on which to build (section # 14-145.5). The assessor's records show that this lot is only 23,012 square feet. This same section goes on to state that if you can meet the requirements of 14-433, you may be able to build on a smaller lot. Section 14-433 (copy attached) requires that you show me that this is a lot of record as of July 15, 1985 and has been "held under separate and distinct ownership from adjacent lots. You will need to show me ownership of this lot and all adjoining lots since July 15, 1985 so that I can determine that this lot will meet these requirements.

I will also need an accurate, stamped site plan (two copies) with all dimensional setbacks shown. You submitted an enlarged assessor's map with a building plopped down on it. Your site plan also needs to show predevelopment grades and post development grades. These grades are required both for the development review coordinator to review and for zoning purposes to determine that maximum height limits are being met.

Your permit will be on hold until this office receives this required information.

Very truly yours,

A handwritten signature in black ink, appearing to read "Marge Schmuckal". The signature is fluid and cursive, with a long horizontal stroke extending to the right.

Marge Schmuckal
Zoning Administrator

CC: Paul & Courtenay Auger, 35 Estate Dr. #3, Manchester, ME 04351
File

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering

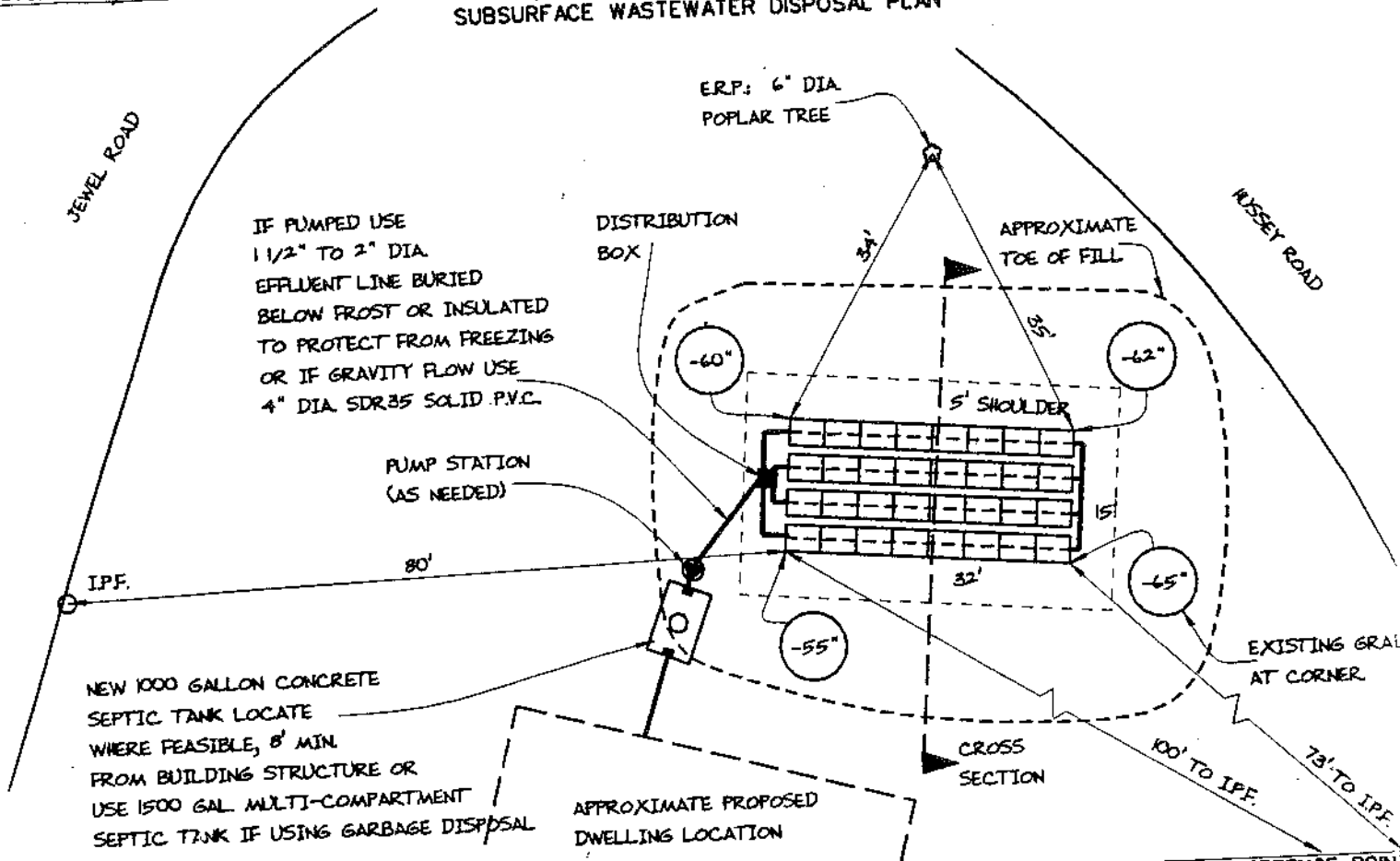
Town, City, Plantation
PORTLAND, PEAKS ISLAND

Street, Road, Subdivision
JEWEL ROAD/ HUSSEY ROAD, LOT 21

Owner's Name
PAUL AUGER

SCALE 1" = 20'

SUBSURFACE WASTEWATER DISPOSAL PLAN



FILL REQUIREMENTS

Depth of Fill (Upslope)
Depth of Fill (Downslope)

: 30" - 32"
: 25" - 35"

CONSTRUCTION ELEVATIONS

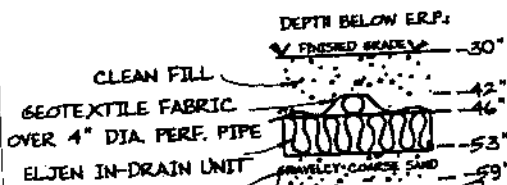
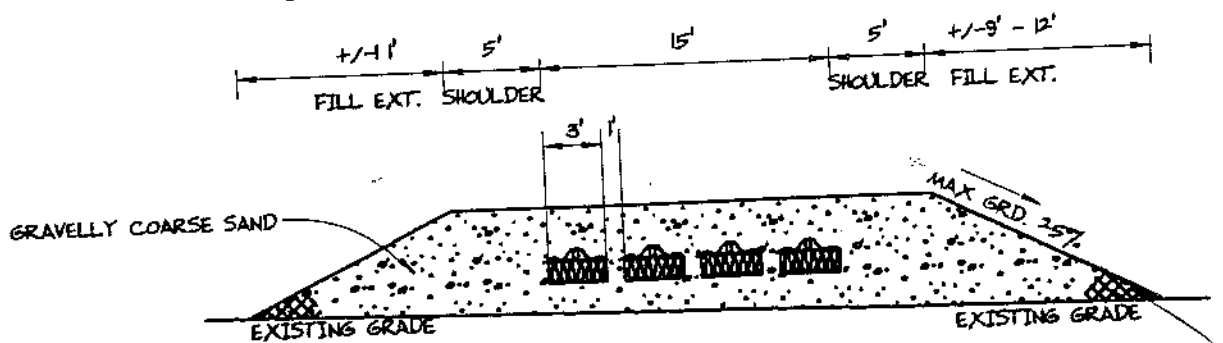
Finished Grade Elevation
Top of Distribution Pipe or Proprietary Device
Bottom of Disposal Area

SEE
DETAIL
BELOW

ELEVATION REFERENCE POINT
Location & Description 6" DIA. POPLAR TREE, NAIL 21" ABOVE BASE
Reference Elevation 00"

SCALE:
VERTICAL: 1" = 5 FT
HORIZONTAL: 1" = 10 FT

DISPOSAL AREA CROSS SECTION



CAP TOE OF FILL WITH SANDY LOAM MATERIAL TO PREVENT WASTEWATER BREAKOUT

Site Evaluator Signature

ALBERT FRICK ASSOCIATES - 85A COUNTY ROAD ROAD GORHAM, MAINE 04038 - (207) 839-5523

163
SE

4/26/2002
Date

TO: Inspections Department
FROM: Jay Reynolds, Development Review Coordinator *J.R.*
DATE: April 26, 2004
RE: C. of O. for #24 Jewell Rd., Peaks Island
(CBL 089-F-007) (ID 2003-0050)

After visiting the site, I have the following comments:

Site work incomplete:

1. Loam and Seed.

I anticipate this work can be completed by **June 1, 2004**.

At this time, **I recommend issuing a temporary Certificate of Occupancy.**

Please contact me if you have any questions or comments.

Cc: Sarah Hopkins, Development Review Services Manager
Mike Nugent, Inspection Services Manager

File: O:\plan\drc\jewell24a.doc