

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0127	Issue Date:	CBL: 089 E027001
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Location of Construction: 0 Hussey Rd, PEAKS ISLAND	Owner Name: Stek Robert J & Bonnie P Jts	Owner Address: 70 Old Town Rd # 371	Phone: 860-667-6389
Business Name: n/a	Contractor Name: n/a	Contractor Address: Portland	Phone:
Lessee/Buyer's Name n/a	Phone: n/a	Permit Type: Single Family	Zone: IR-1

Past Use: Vacant	Proposed Use: Single Family / Build two story 37' x 58'11 Classic Post & Beam with 27' x 8' deck, 12'6" x 24" garage and 10'6" x 24' future room. SITE PLAN #2002-0035	Permit Fee: \$1,087.00	Cost of Work: \$152,000.00	CEO District: 3
Proposed Project Description: Build New Single Family		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B w/CONDITIONS	
		Signature: <i>[Signature]</i>		Signature: <i>[Signature]</i>
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) 13-11/02		
		Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
		Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 02/11/2002	Zoning Approval		
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone PANEL 15 ZONE C <input type="checkbox"/> Subdivision previous <input checked="" type="checkbox"/> Site Plan # 2002-0035 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied
	Date: AS 2/2/02	Date: _____	Date: _____

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

RF **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

AA **Footing/Building Location Inspection:** Prior to pouring concrete

AA **Re-Bar Schedule Inspection:** Prior to pouring concrete

AA **Foundation Inspection:** Prior to placing ANY backfill

LN **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

LN **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

Date

Signature of Inspections Official

Date

CBL: 009 E-027 Building Permit #:

02-0127

3/12/02

Application ID Number: 2-0127

Department: Zoning

Status: Approved with Conditions

Author: Marge Schmuckal

Comments: 2/13/02 waiting for information concerning a wetlands determination map and more information concerning if any fill was being brought in and what the existing grades are so that I can determine the height appropriately. Jay Reynolds was going to be asking the applicant for this info.

Approved Date: 02/26/2002

Issue On Date: 02/11/2002

OK to Issue Permit

Name: Marge Schmuckal

Date: 02/26/2002

Page: 1

Conditions Section

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

The "future room" shown attached to the garage shall not have any kitchen facilities. A separate permit shall be required to determine future use of this area.

Create Date: 02/11/2002

By: gg

Update Date: 02/26/2002

By: mes

Application ID Number: 2-0127

Delete

Save

Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

[Empty text box for comments]

Approval Date

Given On Date: 02/27/2002

OK to Issue Permit

Name: Mike Nugent

Date: 03/11/2002

Date 2: [Empty]

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

Separate plans for the following are req to be submitted and reviewed prior to commencement of framing the structure:

- 1) Stairs to room above garage
- 2) Fire separation assembly/Garage
- 3) Handrails Guard rails generally throughout the building
- 4) Access to crawl space

Perimeter drain must be approved prior to installation of foundation system

Create Date: 02/11/2002 By gg

Update Date: 03/11/2002 By mjn

Application ID Number: 2002-0035

Delete

Save

Close

Department: DRC

Status: Approved with Conditions

Reviewer: Jay Reynolds

Comments:

[Empty text box for comments]

Approval Date: 03/04/2002

Expiration Date: 03/04/2003

Extension Date: [Empty text box]

OK to Issue Permit

Name: Jay Reynolds

Date: 03/04/2002

Date 2: [Empty text box]

Conditions Section:

Add New Condition From

Add New Condition

Delete Condition

A PRE-CONSTRUCTION MEETING SHALL BE HELD ON SITE TO EVALUATE/DELINEATE POSSIBLE ON AND OFF SITE WETLAND AREAS. APPLICANT WILL BE RESPONSIBLE FOR COORDINATING THE APPROPRIATE PARTIES TO ACHIEVE THIS.

NO CHANGES IN GRADE ARE PROPOSED. IF ANY CHANGES ARE PROPOSED IN THE FUTURE, AN AMENDED SITE PLAN WILL BE REQUIRED FOR REVIEW BY THE CITY, SHOWING ANY/ALL PROPOSED CONTOURS.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now #66 HUSSEY ROAD, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Create Date: 03/04/2002 By: jayjr

Update Date: 03/04/2002 By: jayjr

**Table 3
ALLOWABLE SECOND FLOOR BEAM SPANS (feet)**

Live Load = 30 psf (Sleeping Areas only)				
Eastern Spruce				
Beam Spacing (ft)	4x8 Grade #1	4x8 Grade #2	6x8 Grade #1	6x8 Grade #2
2.00	18.07	16.42	20.04	16.02
2.33	15.60	14.17	18.55	14.83
2.67	14.59	13.25	17.35	13.87
3.00	13.76	12.50	16.36	13.08
3.33	13.05	11.85	15.52	12.41
Douglas Fir				
Beam Spacing (ft)	4x8 Grade #1	4x8 Grade #2	6x8 Grade #1	6x8 Grade #2
2.00	19.50	19.13	21.79	19.76
2.33	18.52	17.44	20.70	18.29
2.67	17.71	16.31	19.80	17.11
3.00	16.85	15.38	19.04	16.13
3.33	15.98	14.58	18.36	15.30

**Table 4
MAXIMUM TRUSS SPACING (feet)**

Ground Snow Load = 50 psf								
FULL TRUSS (Type 1 - Supported by 6x6 Wall Posts)								
Building Width (ft)	Roof Slope (in./ft.)							
	3.5	4	5	6	7	8	10	12
20	12.85	14.15	15.00	15.00	15.00	15.00	15.00	15.00
24	10.56	11.71	12.68	12.22	15.00	15.00	15.00	15.00
28	8.97	9.99	10.58	10.25	12.28	13.47	15.00	15.00
32	7.46	8.27	8.81	8.82	9.53	10.44	12.02	13.69
FULL TRUSS (Type 2 - Supported by 6x8 Wall Posts)								
Building Width (ft)	Roof Slope (in./ft.)							
	3.5	4	5	6	7	8	10	12
30	7.57	8.45	8.79	12.02	13.89	15.00	15.00	15.00
34	6.63	7.42	7.63	10.62	12.28	14.94	15.00	15.00
38	5.90	6.62	6.73	9.50	11.00	13.39	15.00	15.00
42	5.31	5.97	6.03	8.60	9.96	11.42	13.55	15.00
HALF TRUSS (Type 1 - Supported by 6x6 Wall Posts)								
Building Width (ft)	Roof Slope (in./ft.)							
	3.5	4	5	6	7	8	10	12
20	15.00	15.00	15.00	15.00	15.00	15.00	15.00	15.00
24	13.75	15.00	14.75	14.20	15.00	15.00	15.00	15.00
28	11.02	12.74	12.31	11.91	14.53	15.00	15.00	15.00
32	9.04	10.05	10.51	10.26	11.09	12.04	13.70	15.00
HALF TRUSS (Type 2 - Supported by 6x8 Wall Posts)								
Building Width (ft)	Roof Slope (in./ft.)							
	3.5	4	5	6	7	8	10	12
30	10.61	10.28	9.83	15.00	15.00	15.00	15.00	15.00
34	9.11	8.86	8.52	15.00	15.00	15.00	15.00	15.00
38	7.00	7.79	7.53	13.47	14.16	15.00	15.00	15.00
42	7.11	6.95	6.74	11.23	11.77	13.01	15.00	15.00



Monday, March 11, 2002

To: Michael Nugent **Fax:** 207-874-8716

From: Gary R. Jordan Jr.

Re: STEK PROJECT 2nd Floor Joists / CW235 window

Mike,

I have sent you 2 pages:

Page #1 Chart we used to determine the 2nd floor live load. This chart is part of Northeastern Log Homes BOCA Research Report, which uses the same floor system as Classic Post & Beam. Northeastern Log Homes, Inc owns Classic Post & Beam.

Page #2 Information from the 2002 Andersen Product Guide
The CW235 in question does meet egress requirements. A straight-arm operator is required.

If you have any other questions, please feel free to contact me.

Sincerely,

Gary R. Jordan Jr.
Manager, Drafting / Engineering Department

Casement Windows

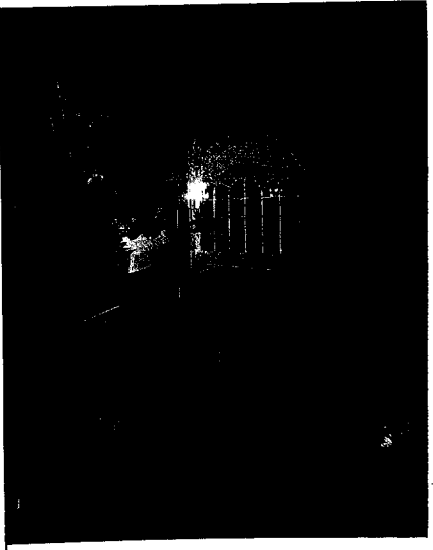
TOTAL P.03

Opening Specifications

Unit a (m ²)	Clear Opg. Straight Arm		Clear Opening in Full Open Position			Glass Sq. Ft. (m ²)	Crack Opening Vent Sash Only Lineal Ft. (mm)	Straight Arm Vent Sq. Ft. (m ²)	Split Arm Vent Sq. Ft. (m ²)	Top of Subfloor to Top of Inside Sill Stop Inches (mm)	Overall Unit Area Sq. Ft. (m ²)
	Sq. Ft. (m ²)	Sq. Ft. (m ²)	Straight Arm Width Inches (mm)	Split Arm Width Inches (mm)	Height Inches (mm)						
(260)	9.0 (836)	7.9 (734)	30 1/8" (765)	26 1/8" (667)	43 1/8" (1095)	9.5 (883)	13' 6 1/8" (4126)	9.0 (836)	8.4 (780)	36 11/16" (932)	12.0 (1.115)
(307)	10.0 (929)	8.8 (818)	30 1/8" (765)	26 1/8" (667)	47 13/16" (1218)	10.5 (975)	14' 4 1/8" (4371)	10.0 (929)	9.4 (873)	31 1/8" (810)	13.2 (1.226)
(390)	11.5 (1068)	-	30 1/8" (765)	-	55" (1397)	12.1 (1.124)	15' 6 13/16" (4729)	11.5 (1068)	-	24 13/16" (630)	14.9 (1.384)
(446)	12.6 (1.171)	-	30 1/8" (765)	-	59 15/16" (1522)	13.1 (1.217)	16' 4 1/8" (4960)	12.6 (1.171)	-	19 1/8" (506)	16.2 (1.505)
(530)	14.0 (1.301)	-	30 1/8" (765)	-	67" (1702)	14.7 (1.368)	17' 6 13/16" (5339)	14.0 (1.301)	-	12 13/16" (325)	17.9 (1.663)
(576)	-	1.6 (149)	-	7 3/16" (186)	31 1/16" (789)	5.4 (502)	16' 8 1/8" (5102)	-	4.7 (437)	48 3/8" (1238)	8.4 (780)
(660)	-	1.8 (167)	-	7 3/16" (186)	35 13/16" (913)	6.3 (585)	18' 4 1/8" (5598)	-	5.4 (502)	43 1/8" (1114)	9.6 (892)
(715)	-	2.2 (204)	-	7 3/16" (186)	43 1/8" (1095)	7.6 (706)	20' 9 1/8" (6178)	-	6.5 (604)	36 11/16" (932)	11.3 (1.050)
(790)	-	2.4 (223)	-	7 3/16" (186)	47 11/16" (1218)	8.4 (780)	22' 4 1/8" (6817)	-	7.3 (678)	31 1/8" (810)	12.4 (1.152)
(316)	-	2.8 (260)	-	7 3/16" (186)	55" (1397)	9.8 (922)	24' 8 1/8" (7534)	-	8.3 (771)	24 13/16" (630)	14.2 (1.319)
(372)	-	3.1 (288)	-	7 3/16" (186)	59 13/16" (1522)	10.5 (975)	26' 4 1/8" (8038)	-	9.1 (845)	19 1/8" (506)	15.4 (1.431)
(474)	-	3.4 (316)	-	7 3/16" (186)	67" (1702)	11.7 (1.087)	28' 8 1/8" (8753)	-	10.2 (948)	12 13/16" (325)	17.0 (1.579)
(539)	-	2.3 (214)	-	10 13/16" (275)	31 1/16" (789)	7.0 (650)	17' 10 1/8" (5458)	-	6.2 (576)	48 3/8" (1238)	10.2 (948)
(632)	-	2.7 (251)	-	10 13/16" (275)	35 13/16" (913)	8.0 (743)	19' 6 1/8" (5953)	-	7.2 (669)	43 1/8" (1114)	11.5 (1.068)
(697)	-	3.2 (297)	-	10 13/16" (275)	43 1/8" (1095)	9.7 (901)	21' 11 1/8" (6683)	-	8.6 (799)	36 11/16" (932)	13.6 (1.263)
(790)	-	3.6 (334)	-	10 13/16" (275)	47 13/16" (1218)	10.7 (994)	23' 6 1/8" (7172)	-	9.6 (892)	31 1/8" (810)	15.0 (1.394)
(856)	-	4.1 (381)	-	10 13/16" (275)	55" (1397)	12.3 (1.143)	25' 10 1/8" (7890)	-	11.0 (1.022)	24 13/16" (630)	16.9 (1.570)
(948)	-	4.5 (418)	-	10 13/16" (275)	59 13/16" (1522)	13.4 (1.246)	27' 6 1/8" (8392)	-	12.0 (1.115)	19 7/8" (506)	18.4 (1.709)
(372)	-	5.0 (465)	-	10 13/16" (275)	67" (1702)	15.0 (1.394)	29' 10 1/8" (9109)	-	13.4 (1.245)	12 13/16" (325)	20.3 (1.886)
(437)	4.0 (372)	3.1 (288)	18 5/16" (465)	14 1/16" (367)	31 1/16" (789)	8.5 (790)	19' 1 1/8" (5826)	7.9 (734)	7.8 (725)	48 3/8" (1238)	12.0 (1.115)
(557)	4.6 (427)	3.6 (334)	18 5/16" (465)	14 1/16" (367)	35 15/16" (913)	9.9 (920)	20' 8 1/8" (6321)	8.2 (765)	9.0 (836)	43 1/8" (1114)	13.6 (1.263)
(632)	5.5 (511)	4.3 (399)	18 5/16" (465)	14 1/16" (367)	43 1/8" (1095)	11.8 (1.098)	23' 1 1/8" (7052)	11.0 (1.022)	10.8 (1.003)	36 11/16" (932)	16.0 (1.486)
(743)	6.1 (567)	4.8 (446)	18 5/16" (465)	14 1/16" (367)	47 13/16" (1218)	13.1 (1.217)	24' 8 1/8" (7541)	12.2 (1.139)	12.0 (1.115)	31 7/8" (810)	17.6 (1.635)
(818)	7.0 (650)	5.5 (511)	18 5/16" (465)	14 1/16" (367)	55" (1397)	15.1 (1.403)	27' 1 1/8" (8258)	14.0 (1.301)	13.8 (1.282)	24 13/16" (630)	20.0 (1.838)
(929)	7.6 (706)	6.0 (557)	18 5/16" (465)	14 1/16" (367)	59 13/16" (1522)	16.4 (1.524)	28' 8 1/8" (8780)	15.3 (1.432)	15.0 (1.394)	19 1/8" (506)	21.6 (2.007)
(1.013)	8.5 (790)	6.7 (622)	18 5/16" (465)	14 1/16" (367)	67" (1702)	18.4 (1.709)	31' 1 1/8" (9477)	17.1 (1.599)	16.8 (1.561)	12 13/16" (325)	24.0 (2.230)
(1.115)	4.9 (455)	4.0 (372)	22 3/16" (573)	18 13/16" (475)	31 1/16" (789)	10.4 (966)	20' 6 1/8" (6258)	9.8 (910)	9.6 (892)	48 3/8" (1238)	14.1 (1.310)
(446)	5.7 (530)	5.1 (474)	22 3/16" (573)	20" (508)	36 1/16" (924)	12.0 (1.115)	22' 1 1/8" (6753)	11.4 (1.059)	11.1 (1.031)	43 1/8" (1114)	16.0 (1.486)
(520)	6.8 (632)	6.0 (557)	22 3/16" (573)	20" (508)	43 1/8" (1095)	14.4 (1.338)	24' 6 1/8" (7483)	13.5 (1.254)	13.1 (1.217)	36 11/16" (932)	18.8 (1.747)
(660)	7.5 (697)	6.7 (622)	22 3/16" (573)	20" (508)	47 13/16" (1218)	16.0 (1.486)	26' 1 1/8" (7972)	15.0 (1.394)	14.6 (1.358)	31 1/8" (810)	20.8 (1.932)
(743)	8.6 (799)	7.6 (706)	22 3/16" (573)	20" (508)	55" (1397)	18.3 (1.700)	28' 6 1/8" (8690)	17.3 (1.607)	16.7 (1.551)	24 13/16" (630)	23.5 (2.183)
(883)	9.4 (873)	8.3 (771)	22 3/16" (573)	20" (508)	59 13/16" (1522)	20.0 (1.858)	30' 1 1/8" (9192)	18.8 (1.747)	18.2 (1.691)	19 1/8" (506)	25.6 (2.378)
(966)	10.5 (976)	9.3 (864)	22 3/16" (573)	20" (508)	67" (1702)	22.3 (2.072)	32' 6 1/8" (9909)	21.0 (1.951)	20.4 (1.895)	12 13/16" (325)	28.2 (2.620)
(1.096)	4.0 (372)	3.1 (288)	18 5/16" (465)	14 1/16" (367)	31 1/16" (789)	12.8 (1.189)	19' 1 1/8" (5826)	7.9 (734)	7.8 (725)	48 3/8" (1238)	17.9 (1.663)
(1.189)	4.6 (427)	3.6 (334)	18 5/16" (465)	14 1/16" (367)	35 13/16" (913)	14.8 (1.375)	20' 8 1/8" (6321)	9.2 (858)	9.0 (836)	43 1/8" (1114)	20.4 (1.895)
(1.319)	5.5 (511)	4.3 (399)	18 5/16" (465)	14 1/16" (367)	43 1/8" (1095)	17.7 (1.644)	23' 1 1/8" (7052)	11.0 (1.022)	10.8 (1.003)	36 11/16" (932)	24.0 (2.230)
(836)	6.1 (567)	4.8 (446)	18 5/16" (465)	14 1/16" (367)	47 13/16" (1218)	19.7 (1.830)	24' 8 1/8" (7541)	12.2 (1.134)	12.0 (1.115)	31 1/8" (810)	26.4 (2.453)
(918)	7.0 (650)	5.5 (511)	18 5/16" (465)	14 1/16" (367)	55" (1397)	22.6 (2.100)	27' 1 1/8" (8258)	14.8 (1.391)	14.6 (1.358)	24 13/16" (630)	28.8 (2.678)

CW235

MAR-11-2002 10:10



FIRST FLOOR SYSTEM

- * Pressure-treated sill; LVL girders; 2" x 10" spruce rim joists, floor joists and headers; metal bridging and joist hangers.
- * 3/4" tongue & groove plywood subfloor.
- * Basement stair materials, including: 2" x 12" stringers and treads; 1" pine risers.

PORCH AND DECK MATERIALS

- * Pressure-treated nailer, sill, floor joists.
- * Pressure-treated 5/4" x 6" decking #1 grade.
- * 6" x 6" pine porch posts.
- * Spruce rafters, ties, nailers and headers.
- * 1/2" CDX plywood roof sheathing.
- * 1" pine v-match, tongue & groove ceiling boards.
- * Metal bridging and joist hangers as required.

PRE-CUT TIMBER FRAME SYSTEM

- * Pre-cut and numbered pine frame, including: 6" x 6" and 6" x 8" posts, girts, headers and principal rafters; 4" x 6" corner braces.
- * Pre-cut and numbered spruce ceiling joists, posts, beams, roof purlins and blocking or rafters and ties; structural ridge beams; timber truss.
- * Lag screws and carriage bolts, spiral spikes and ring shank nails to secure timber frame system.

STRUCTURAL INSULATED PANEL SYSTEM

- * Murus stress-skin wall panels are fabricated with 3-1/2" of urethane foam, injected between (2) layers of 7/16" OSB (oriented strand board). Each panel is equipped with a built-in wire chase and a tongue & groove edge with a patented cam-lock installation system. Classic pre-cuts each panel for all window and door openings, plus all eaves and gable cuts, and then numbers them for easy installation.
- * Urethane foam and aluminum tape for all panel joints; 8" ring shank nails, 8" o.c.
- * Typar house wrap.

DOUBLE ROOF SYSTEM

- * 1" v-match, tongue & groove, pine roof boards.
- * 4" urethane rigid roof insulation.
- * Urethane foam and aluminum tape for insulation.

- * 2" x 3" spruce roof strapping-16" o.c.
- * 1/2" CDX plywood roof sheathing.
- * 8" galvanized drip edge for eaves and rakes; 15# felt paper; shingle over ridge vent; 4" dia. screen soffit vents-16" o.c.; continuous strip vent where required.
- * Roof shingles are Owens Corning, Architectural, 30 year, fiberglass. Color#: Brownwood.

EXTERIOR FINISH MATERIALS

- * 1/2"x 6" Western red cedar, clear vertical grain, bevel siding @ 4-1/2" exposure.
- * 5/4" x 4" Western red cedar corner boards, door and window, eaves and gable trim.
- * 5/4" x 8" Western red cedar door toe kick, eaves, gable and overhead door jamb trim.
- * Stainless steel siding and trim nails.
- * Decorative entrance trim as required.

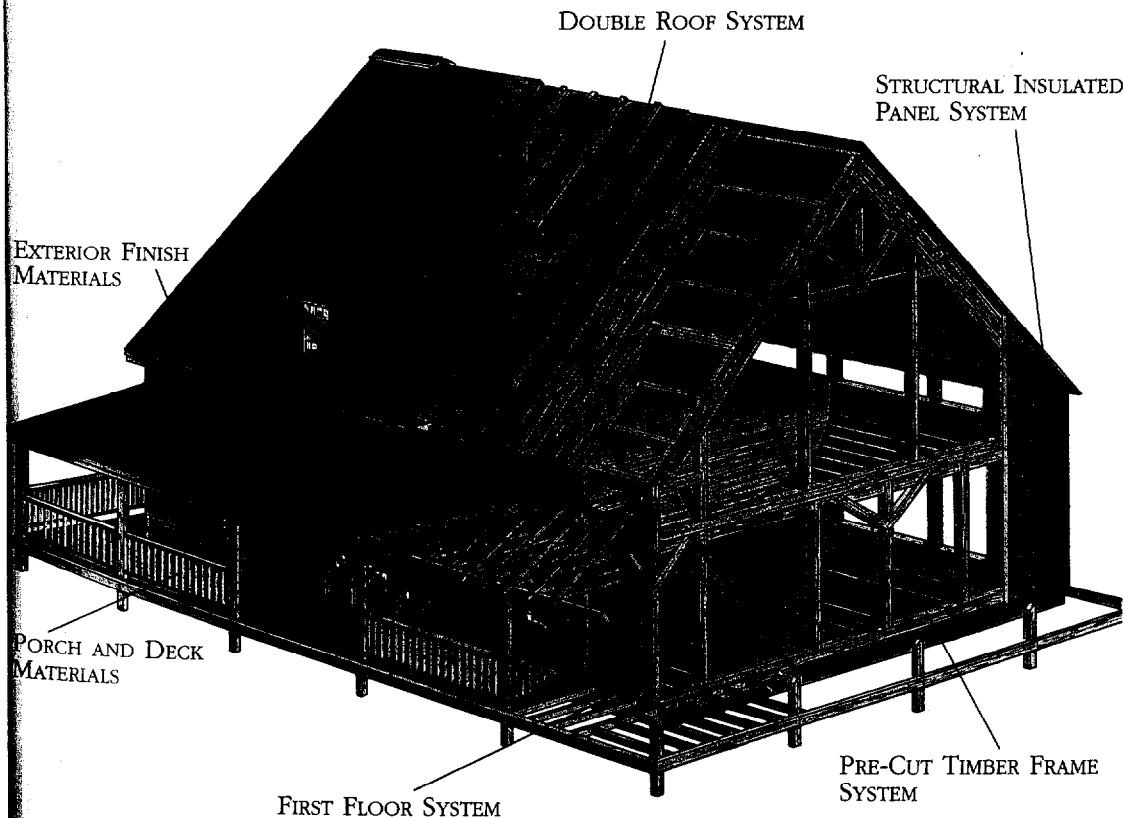
INTERIOR PARTITIONS, STAIRS AND FLOORING

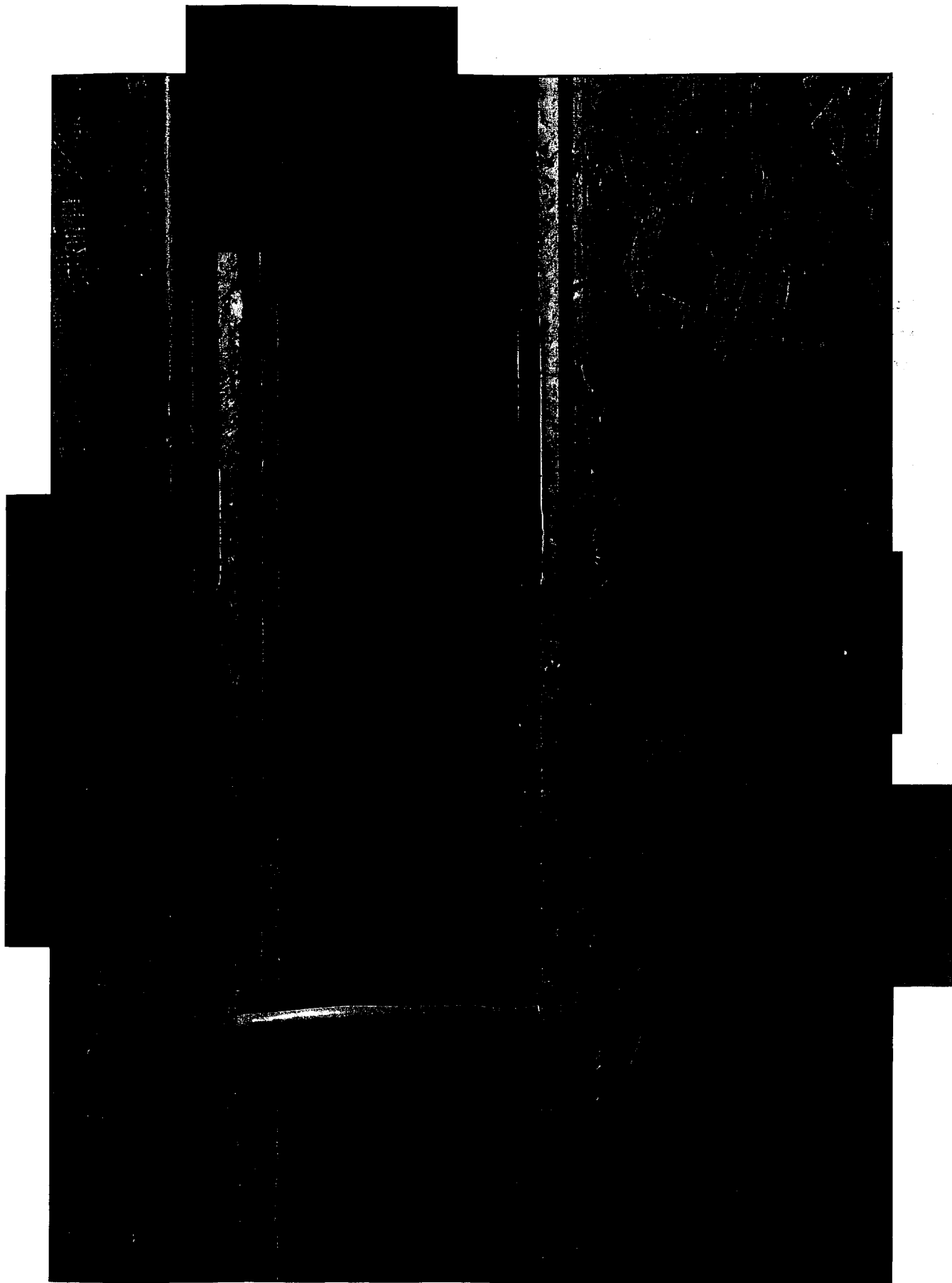
- * Spruce studs, plates, shoes and beam blocking for all interior partitions.
- * Second floor stair materials, including: 2" x 12" stringers; 5/4" bullnose, southern yellow pine treads; 1" pine risers.
- * 2" x 6" v-match, tongue & groove, second-floor decking.
- * 1" v-match, tongue & groove, pine ceiling boards where required.

WINDOWS AND DOORS

- * Interior doors are Morgan®, pre-hung, six-panel pine, complete with Schlage® locksets. Closet door hardware includes: sliding, bi-fold, pocket and/or pre-hung hinged.
- * Exterior doors are ThermaTru™, FiberClassic, insulated, pre-hung, fiberglass, complete with Schlage® lockset. Gliding patio and hinged patio doors are Andersen® Frenchwood, complete with removable wood grilles, screen and lockset. Extension jambs are included when required.
- * All windows are Andersen® Perma-Shield High-Performance, argon-filled insulated glass, complete with removable wood grilles and screens. All Andersen® Tilt-Wash windows are supplied with sash locks. All casement and awning windows are supplied with extension jambs and hand cranks where applicable.

BEAM





2002 0038

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Hussy Rd Peaks Is</u>		
Total Square Footage of Proposed Structure S	Square Footage of Lot <u>52,290</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>89</u> Block# <u>E</u> Lot# <u>27</u>	Owner: <u>Bonnie + Bob STEK</u>	Telephone: <u>860 667-6389</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Keith Hults</u> <u>223 IS Ave</u> <u>Peaks Is ME 04108</u>	Cost Of Work: \$ <u>[REDACTED]</u> Fee: \$ <u>[REDACTED]</u>
Current use: <u>Vacant</u>		
If the location is currently vacant, what was prior use: <u>Farm</u>		
Approximately how long has it been vacant: <u>Forever</u>		
Proposed use: <u>single family dwelling</u>		
Project description: <u>House, cape type w/ breezeway & Garage</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Keith Hults</u>		
Mailing address: <u>223 IS Ave</u> <u>Peaks Is. ME 04108</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>766-5780</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>Feb 11, 2002</u>
--	---------------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

FEB 11 2002

WARRANTY DEED
Joint Tenancy
Maine Statutory Short Form 046704

Know all Men by these Presents,

2410553898

That John S. Crowley and David R. Johnston

of Portland, County of _____, State of ME
being unmarried, for consideration paid, grant to Robert J. Stek and Bonnie P. Stek

of Tolland, County of _____, State of CT
whose mailing address is 744 Schenipsit Lake Road Tolland, CT 06084

with warranty covenants as joint tenants the land in Peaks Island, County of Cumberland
State of Maine, described as follows:

A certain lot or parcel of land situated on Peaks Island, City of Portland, County of Cumberland and State of Maine lying on the northerly sideline of Hussey Road and Bounded and described as follows:
Beginning at a point on the northerly sideline of Hussey Road, said point being located at the intersection of the southwestern corner of Lot 20 as shown on a Plan of Oceanside Project, Peak's Island North Gate Subdivision, Section 2, prepared by N.I & E.C. Jordan, Surveyors dated September 12, 1972 and recorded in the Cumberland County Registry of Deeds in Plan Book 92 Page 19 within described lot; thence North 00-18-41 West a distance of two hundred fifty-three and seventy-nine hundredths (253.79) feet along the westerly boundary of said Lot 20 to a point at the southwestern boundary of Lot 19 as shown on the aforescribed Plan of Oceanside Project; thence North 49-04-45 West a distance of sixty-five and seventy-nine hundredths (65.79') feet along the southwestern boundary of said Lot 19 to an iron pipe found being 1' in diameter, painted white 3" above grade and firm in the ground; thence South 86-27-04 West a distance of three hundred forty and eighty-nine hundredths (340.89') along the boundary of property now or formerly of the City of Portland to other lands of the Grantee and a #5 rebar set in a yellow cap, PLS #2246; thence South 01-32-56 East a distance of two hundred forty-six and forty-six hundredths (246.46') feet above remaining lands of the Grantee to the northerly sideline of said Hussey Road and a #5 rebar set with a yellow cap, PLS #2246; thence South 86-26-16 East a distance of thirty-seven and eighty-seven hundredths (37.87') feet along the northerly sideline of said Hussey Road to a point; thence North 88-29-26 East a distance of three hundred ninety-three and forty hundredths (393.40') feet along the northerly sideline of said Hussey Road to a point of curvature, thence continuing Easterly a distance of one hundred fifty-three and seventy-three hundredths (153.73') feet along the northerly sideline of said Hussey Road with a curve having a radius of two hundred ninety-two and forty-six hundredths (292.46') feet and a delta angle of 30-05-31 to the point of beginning.
Above described lot or parcel contains ninety-eight thousand two hundred ninety (98,290) square feet.
Bearings are magnetic to the year 1998.

Meaning and intending to convey a portion of the property conveyed to John S. Crowley and David R. Johnson, by Warranty Deed of Casco Bay Island Development, Dated August 4, 1981, and recorded at Book 4852, Page(s) 306, Cumberland County Registry of Deeds.

MAINE REAL ESTATE TAX PAID

Granite Title Services

And

husband/wife of said grantor, joins as grantor, and releases all rights by descent and all other rights.

Witness our hand and seal this 14th day of the month of July, 19 98

Signed, Sealed and Delivered in presence of

Witness signatures: John S. Crowley, David R. Johnston

State of Maine, County of Cumberland ss July 14 19 98

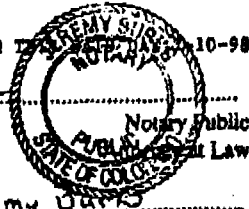
Then personally appeared the above named John S. Crowley and David R. Johnston

and acknowledged the foregoing instrument to be their free act and deed.

Before me,

JOHN S. CROWLEY HAS APPEARED BEFORE ME, JEREMY BURKS, ON THIS 14th DAY OF JULY 1998. David R. Johnston

Jeremy Burks signature



My Commission Expires:

My Commission Expires 04/1/02

SEAL

State of ME County of Cumberland Printed Name Jeremy Burks

Signed before me on this 14 day

of July 1998 by David R. Johnston

Notary Public Jeremy Burks My Commission Expires 3-23-2002

RECEIVED DEPARTMENT OF DEEDS

1998 JUL 16 PM 2:48

STATE OF MAINE CUMBERLAND, SS

CUMBERLAND COUNTY John B O'Brien

On this the 14th day of July, 1998, personally appeared John S. Crowley and acknowledged that he executed the above for the purposes contained therein as his free act and deed.

Before Me,

F. J. Scilas signature

F. J. Scilas Attorney at Law

ASHMORE REALTY
ISLAND SPECIALISTS
 65 Commercial St. Portland, ME 04101
 (207) 772-6992
 FAX (207) 776-0830

ADDENDUM TO CONTRACT FOR SALE OF REAL ESTATE

SELLER(S): Crowley

PURCHASER(S): Robert J. and Bonnie P. Stek

PROPERTY: Most easterly half of lot 89-E-1 as shown on assessor's office map of the city of Portland, Hussey Rd, PEAKS ISLAND, ME

DATE OF THIS ADDENDUM: March 18, 1998

CLASS A SURVEY AND LEGAL DESCRIPTION CONTINGENCY:

a) This contract is subject to Sellers at their own expense provide to Purchasers for their review and approval of a class A survey and a legal description for the subject property, within 21 days from the effective date of this contract. If Sellers are not able to satisfy this clause within the time allowed, Purchasers at their option shall declare this contract null and void and the Purchaser's earnest money deposit shall be returned promptly.

<u>3-20-98</u> DATE	<u>[Signature]</u> PURCHASER	<u>4/2/98</u> DATE	<u>[Signature]</u> SELLER
<u>8-15-98</u> DATE	<u>[Signature]</u> PURCHASER	<u>4/2/98</u> DATE	<u>[Signature]</u> SELLER

CONTRACT FOR SALE OF REAL ESTATE

ASHMORE REALTY, PORTLAND, Maine Date of Offer: March 19, 1998

RECEIVED OF Robert J. & Jennie P. Steb of Tolland, Ct herein called the Purchaser, the sum of \$1,000.00 (one thousand) U.S. DOLLARS in the form of Personal Check as earnest money and in part payment on account of the purchase price of the following described real estate, situated in the County of Cumberland and State of Maine, to wit: The Crowley / Johnston property, so called, being A Parcel of Land situated on a parcel of land having approximately 100,610 sq ft. and located at Highway 101, Lot 2, 21, 22, 23, Maine. Being all the real property owned by the Seller at this address and being more fully described at said county's registry of deeds in Book TD Page TD. The parties agree that all fixtures, including, but not limited to, existing storm windows, screens, shades, blinds, shutters, curtain rods, electrical fixtures, and the following items of personal property are included with the sale: None

TOTAL purchase price being (58,000.00) Fifty Eight Thousand Dollars to be with U.S. certified funds at time of closing.

PAYMENT TO BE MADE AS FOLLOWS: the above earnest money deposit paid herewith, and the remainder to be paid by cash or certified check at time of Transfer of Title (Sec # 2) below. Any other provision of this Agreement notwithstanding, Buyer shall, unless an exception applies, be entitled to withhold at the Closing all amounts required to be withheld under 38 M.R.S.A. § 5250-A or any other applicable federal or state law, and any such withheld amounts shall be credited against the purchase price as if paid to Seller at closing. Said earnest money deposit is received and held by the broker, subject to the following conditions.

1. DEPOSIT/ACCEPTANCE: Tolland as escrow agent shall hold said earnest money or deposit and act as escrow agent until closing; or at Broker's option, to so designate a suitable escrow agent for handling of said funds; that until April 16, 1998, 5PM shall be given for obtaining the Sellers acceptance, and, in the event of non-acceptance, this deposit shall be promptly returned to the Purchaser.

2. TITLE: That a deed, showing good and merchantable title in accordance with standards adopted by the Maine Bar Association, shall be delivered to the Purchaser or his nominee, and it is agreed that this transaction shall be closed and the Purchaser shall pay the balance due and execute all papers necessary for the completion of the purchase within Sixty (60) days from the Effective Date of this contract as set forth below.

Purchasers' Initials: RJS JPS Date: 4 14 98. Sellers' Initials: J& DJ Date: 4 20 98

2. TITLE, CONTINUED: If Seller shall be unable to convey, or deliver possession in accordance with the provisions of this Agreement, or make the premises conform with the provisions hereunto, then the Seller shall have a reasonable time period to remedy the defect, the provisions hereunto, then the Seller shall have a reasonable time period to remedy the defect, not to exceed thirty (30) days, unless otherwise agreed to in writing by both parties at the time the defect is discovered. The Seller hereby agrees to use diligent efforts to cure any such title defect during such period or make the premises conform, whichever applies. If, at the closing date, or at the expiration of the extension period, if extended, the Seller shall have failed to remove title defects, deliver possession, or make the premises conform, whichever applies, all as herein provided, then the deposits made hereunto shall be refunded, and the obligations of the parties to one another shall cease, and this Agreement shall be void and without recourse to the parties, unless the Purchaser elects in writing before the time for performance as the same may have been extended, to accept the premises or the title in its then condition at the price herein provided.

3. DEED: The property shall be conveyed by a Warranty deed, and shall be free and clear of all encumbrances. Seller represents that the use of the real estate complies with current zoning ordinances or is a grandfathered use.

4. POSSESSION: Seller shall deliver to Purchaser possession of said premises at transfer of title. Occupancy will be given at transfer of title and subject property shall be free of any and all leaseholds, tenants or occupants unless otherwise agreed to in writing and made part of this contract.

5. RISK OF LOSS: The risk of loss or damage to said premises by fire or otherwise, until the closing, is assumed by the Seller. The above described property to be delivered in substantially the same condition as of the date of this contract unless otherwise stated.

6. PRORATIONS: The following items shall be pro-rated as of transfer of title: Real estate taxes for the fiscal year in the city/town of Portland. *Heating Fuel No. ; *Cooking Fuel No. ; Electricity No. ; Water No. ; Sewer No. ; Rents No. ; Association fees n/a ; Other NA. *Fuel price to be determined by contacting N/A the day before closing and the parties agree to be bound by their current price of that day.

7. FINANCING: This contract is subject to an approved See Addendum mortgage loan of See Addendum of the purchase price at prevailing rates and terms. a) The Purchaser is under a good-faith obligation to actively seek and accept financing on the above described terms and shall make application for said mortgage within 7 (Seven) days of the Effective Date of this Contract. The Purchaser acknowledges that a breach of this good-faith obligation will be a breach of this Contract.

Purchasers' initials: AKA MS Date 4.14.88 Sellers' initials: Jac D Date 4.20.88

7. FINANCING, CONTINUED: b) This contract is subject to a written statement from the lender within 21 (Twenty One) days of the Effective Date, that the Purchaser has made application and based upon the information given and subject to verification, is qualified for the loan requested. A final lender approval shall be obtained in writing from lender and received by Seller within 45 (Forty Five) days of the Effective Date of this Contract. If either of these loan approvals is not obtained within said time periods, the Seller, at this option, may declare this Contract null and void and upon escrow agent's receipt of a fully executed release, said escrow agent shall return earnest money promptly to the Purchaser.

8. CLOSING COSTS: The Purchaser will be responsible for the following: In accordance with traditional real estate practices Purchaser agrees to assume closing costs, including but not limited to Purchaser's attorney fees for title search, recording fees, proration of real estate taxes, Maine real estate transfer tax, costs for preparation of closing documents and fees for Purchaser's attorney's administration of and the actual closing. That unless otherwise stated herein, Seller(s) will be responsible for the following closing costs: Preparation of the deed transferring ownership of subject property from Seller(s) to Purchaser(s); real estate commissions, discharge and recording of any existing mortgages or liens, and Maine transfer tax.

9. DEFAULT: That in case of the failure of the Purchaser to make any of the payments, or to perform any of the covenants on his part made or entered into, this contract shall be terminated and the Purchaser shall forfeit said earnest money or deposit(s) and the same shall be retained by the Seller as liquidated damages, and this shall be the Seller's sole and exclusive remedy at law and in equity for any default by the Purchaser under this contract.

10. MEDIATION: Any dispute or claim by the parties involved, including the broker(s) arising out of or relating to this contract or the property addressed in this contract shall be submitted to mediation in accordance with the Maine Residential Mediation Rules of the American Arbitration Assn. The parties agree to binding arbitration as defined by the American Arbitration Assn. This clause shall survive the closing.

11. DISCLOSURES: The Purchaser acknowledges receipt of written disclosures concerning items listed below: Yes X No . If no, this contract is contingent upon receipt of receiving a copy of the Sellers Disclosures.

	Yes	No
a) Water Supply	<u>X</u>	<u> </u>
b) Insulation	<u>X</u>	<u> </u>
c) Waste Disposal System	<u>X</u>	<u> </u>
d) Lead Based Paint	<u>X</u>	<u> </u>
e) Hazardous materials	<u>X</u>	<u> </u>
f) Radon	<u>X</u>	<u> </u>
g) Underground Storage Tanks	<u>X</u>	<u> </u>

Purchasers' Initials: REJA PPS Date 4.14 20 Sellers' Initials: JK BJ Date 4.20 20

12. INSPECTIONS: It is recommended that the purchaser have the inspections listed below. The Purchaser is encouraged to seek information from professionals regarding any specific issues of concern. This contract is subject to the following inspections and/or tests with results meeting with the Purchaser's personal satisfaction:

TYPE OF INSPECTION AND/OR TESTS**	Yes	No	Results reported to Purchaser within _____ days
a. General Building and Land*		X	within _____ days
b. Waste system/sewer		X	within _____ days
c. Soils analysis & waste system design for a 4 bedroom house.	X		within <u>See Addendum</u> days
d. Urea Formaldehyde		X	within _____ days
e. Radon Air quality		X	within _____ days
f. Asbestos		X	within _____ days
g. Other			within _____ days

All inspections will be done by qualified inspectors chosen by the Purchaser. The cost of inspections will be paid for by the Purchaser. The results of each inspection will be reported to the Seller in writing within the number of days from the Effective Date specified above. If the result of any inspection is unsatisfactory to the Purchaser, he may, at his option, by notifying the Seller in writing within the specified number of days, declare the contract null and void and any earnest money deposit shall be returned to the Purchaser. In the event that the Purchaser does not notify the Seller that an inspection is unsatisfactory within the time period set forth above, this contingency shall be deemed to have been waived by the Purchaser with respect to that inspection. It is understood that in the absence of the inspection(s) listed above, the Purchaser is relying completely upon his own opinion as to the condition of the property.

*General building and Land inspections to include but not be limited to items listed in Paragraph 11.

**The above timeframes are subject to the Seller having all systems (plumbing, heating, electrical) turned on and functional for said inspection(s).

13. WATER TEST: If the water supply to the premises is private, Seller, at his expense, will supply a recent satisfactory new Water Supply test conforming to the requirements of the State Bureau of health and/or lending institution within N/A days of the Effective Date of this contract.

14. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following agency relationships:

Ralph Ashmore of Ashmore Realty Purchasers Agent
 Agent Agency Acting As

Kirk Goodhue of Poet Island Realty Seller's Agent

14. AGENCY DISCLOSURE CONTINUED: When the transaction involves Disclosed Dual Agency, the parties acknowledge the limited fiduciary duties of the agent(s) and

Purchasers' Initials: RJA MS Date 4.14.08 Sellers' Initials: JK DJ Date 4.2.08

Agency, the parties acknowledge that the agent(s) has/have no fiduciary duty to any party in the transaction and furthermore all parties hereby consent to this arrangement. In addition, the parties acknowledge prior receipt and signing of State of Maine Agency Disclosure Form #1, Disclosed Dual Agency Consent Agreement and/or Transactional Agency Agreement.

15. PRIOR STATEMENTS: All representations, statements and agreements heretofore made between the parties are merged into this agreement, which alone fully and completely expresses their respective obligations, and this agreement is entered into by each party after opportunity for investigation, neither party relying on any statements or representations made by the other or on his behalf not embodied in this agreement.

16. SATISFACTION OF CONDITIONS HEREIN: Purchaser(s) and Seller(s) agree to make diligent effort to satisfy all conditions herein within the time specified, as applicable to the respective parties. Purchaser and Seller(s) further agree that the burden of responsibility for satisfaction of said conditions rests solely on the Purchaser and Seller(s) as applicable, and not on the real estate broker or its agents, and in no case whatsoever will the Broker(s) be held liable to either party for the performance of any term or covenants of this agreement or for damages for the nonperformance thereof.

17. HEIRS/ASSIGNS: All covenants and agreements herein contained shall extend to and be obligatory upon heirs, personal representatives, successors and assigns of the respective parties.

18. CLOSING PREPARATION: The Seller hereby agrees to remove all personal property from subject property, with the exception of the items listed herein above. All personal property removed to include, but not be limited to, all materials, objects, things in, under, on or around subject building(s) and land. Purchaser shall have a final walk-through inspection of subject property the day before or day of closing. Premises to be found free of all said personal property and in broom clean condition with lawn(s) mowed and yard(s) cleaned-up at time of final walk-through.

19. ADDENDA ATTACHED: *yes*

20. EXHIBITS ATTACHED: *Brochure & Disclosure*

21. COUNTERPARTS: This agreement, and any present or future addenda or attachments, may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

22. CONFIDENTIALITY: Buyer and Seller understand that the terms of this contract are confidential but authorize Broker(s) to disclose information to the parties' attorneys, lenders, appraisers, inspectors and others necessary for the purpose of closing this

Purchasers' initials: *RJL BS* Date *4.14.02* Sellers' initials: *JC BJ* Date *4/21/02*

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transaction. Parties authorize Broker(s) to receive closing statements. Parties hereby grant permission to disclose the timeframes/timetables of this contract to prospective Purchasers for purposes of drafting back up contract(s).

23. PERMISSION: The parties agree to allow broker(s) to disclose to perspective purchaser's the existence of a primary contract however, said disclosure does not mean or intend to allow for disclosure of agreed upon sales price, terms or any other related confidential information. The parties hereby acknowledge that back-up offers will be negotiated and subordinate contracts will be accepted per terms as defined herein this agreement.

24. EFFECTIVE DATE: The Effective Date set forth below shall be the date that Broker, Ashmore Realty receives fully executed Contract for Sale of Real Estate, either FAX transmission or original ink signatures. All timeframes contained within this instrument are based on consecutive calendar days from the effective date of this Contract, unless otherwise stated herein. Instrument may also include Attachments, Exhibit(s), and/or Addendum/Addenda. Purchaser(s) and Seller(s) each authorize Ashmore Realty to insert date of receipt and to be bound thereby.

A copy of this contract is to be received by all parties and by signature. Receipt of a copy is hereby acknowledged. When properly completed this is a binding contract. If not fully understood, consult an attorney.

Purchaser having inspected the above described property and its appurtenances, hereby offers and agrees to purchase the above described property at the price and upon the terms and conditions set forth.

4-14-98 [Signature] 4-14-98 [Signature]
Date Purchaser Date Purchaser

147-38-6468 Soc. Sec. # 108-36-3611

Seller hereby accepts the offer of Purchaser and agrees to deliver the deed to the Property at the price and upon terms and conditions above stated.

4/26 [Signature] 4/26 [Signature]
Date Seller Date Seller

Soc. Sec. # 086-465954 Soc. Sec. #
Effective Date of Contract: 4/26/98

dsc

all doc

SENT BY: CIGNA EBD

4-21-98 ; 8:02AM ; EASTERN REGION ADMIN

18 1

RCV BY: CIGNA EBD

4-18-98 ; 11:59PM ;

-EASTERN REGION ADMIN# 7

ASHMORE REALTY

65 Commercial St., Portland, ME 04101

(207) 772-6992

FAX (207) 775-0000

ADDENDUM TO CONTRACT FOR SALE OF REAL ESTATE

SELLER(S): Johnston/Crowley

PROPERTY: Hussey Rd. Peaks Island, Me.

PURCHASER(S): Robert and Bonnie Stek

DATE OF THIS ADDENDUM: April 13, 1998

EFFECTIVE DATE OF CONTRACT:

- a) The time for performance of paragraph 12c. of the contract for sale of real estate shall read 21 days from the date of receipt and approval by Purchasers of a Class A Survey for the property of reference *as referenced in Addendum dated March 19, 1998.* *4/14/98*
- b) Paragraph 7. Financing shall read : This contract is subject to the approval of the following loans. \$20,000.00 from refinancing of purchaser's primary residence; \$25,000.00 equity loan on the Purchaser's primary residence.
- c) This contract is subject to an appraised value of the subject property of \$58,000.00 or more.

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4-14-98 *Robert Stek*
 DATE PURCHASER

4/14/98
 DATE

Bonnie P. Stek
 PURCHASER

4/20/98 *Johnston/Crowley*
 DATE SELLER

4/20/98
 DATE

Johnston/Crowley
 SELLER

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Insp Copy**

2002-0035

Application I. D. Number

2/11/02

Application Date

Bonnie & Robert Stek

Project Name/Description

Hults, Keith & Harriet

Applicant

55 Central Ave, Peaks Island, ME 04108

Applicant's Mailing Address

Keith Hults

Consultant/Agent

Agent Ph: 800-872-2326

Agent Fax: 363-2411

Applicant or Agent Daytime Telephone, Fax

Hussey Rd, Portland, Maine

Address of Proposed Site

089 E027001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

58'11" x 45'

52290

R3

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **2/11/02**

Insp Approval Status:

Reviewer _____

- Approved Approved w/Conditions
See Attached Denied

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2002-0035
Application I. D. Number
02/11/2002
Application Date
Bonnie & Robert Stek
Project Name/Description

Hults, Keith & Harriet
Applicant
55 Central Ave, Peaks Island, ME 04108
Applicant's Mailing Address
Keith Hults
Consultant/Agent
Agent Ph: 800-872-2326 Agent Fax: 363-2411
Applicant or Agent Daytime Telephone, Fax

Hussey Rd, Portland, Maine
Address of Proposed Site
089 E027001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

58'11" x 45' 52290 R3
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | | <input type="checkbox"/> Other _____ |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 02/11/2002

DRC Approval Status:

Approved _____ Denied

Approval Expiration 03/04/2003 Extension to _____ Additional Sheets Attached

Condition Compliance Jay Reynolds 03/04/2002
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0035

Application I. D. Number

02/11/2002

Application Date

Bonnie & Robert Stek

Project Name/Description

Hults, Keith & Harriet

Applicant

55 Central Ave, Peaks Island, ME 04108

Applicant's Mailing Address

Keith Hults

Consultant/Agent

Agent Ph: 800-872-2326

Agent Fax: 363-2411

Applicant or Agent Daytime Telephone, Fax

Hussey Rd, Portland, Maine

Address of Proposed Site

089 E027001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 A PRE-CONSTRUCTION MEETING SHALL BE HELD ON SITE TO EVALUATE/DELINEATE POSSIBLE ON AND OFF SITE WETLAND AREAS. APPLICANT WILL BE RESPONSIBLE FOR COORDINATING THE APPROPRIATE PARTIES TO ACHIEVE THIS.
- 2 NO CHANGES IN GRADE ARE PROPOSED. IF ANY CHANGES ARE PROPOSED IN THE FUTURE, AN AMENDED SITE PLAN WILL BE REQUIRED FOR REVIEW BY THE CITY, SHOWING ANY/ALL PROPOSED CONTOURS.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now #66 HUSSEY ROAD, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 9 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Applicant: Stek, Robert; Bonnie Date: 2/13/02

Address: Hussey Rd., Peaks Island C-B-L: 089-E-027

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New # 02-0127

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - construct New Single Family home with attached garage; front Deck breezeway

Sevage Disposal - Private

Lot Street Frontage - 100' ^{min} - 227' shown

Front Yard - 30' req - 63' scaled

Rear Yard - 30' req - 112' scaled

Side Yard - 20' req - 36' scaled

Projections - front Deck

Width of Lot - 100' - 150' + shown

I need before grading - Height - 35' MAX - 29' ~~scaled~~ given to Ridge heights are based on presently existing grades

Lot Area - 40,000 ^{sq} ft - 52,290 ^{sq} ft has water in Hussey Rd

Lot Coverage Impervious Surface - 20% = 10,458 ^{sq} ft

Area per Family - 40,000 ^{sq} ft

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor # 2002-0035

Shoreland Zoning/ Stream Protection - N/A

Flood Plains - Panel 15 - Zone C

27 x 37 =	999
deck 27 x 27 =	202.5
breezeway 16 x 9 =	168.4
24 x 24 =	576
<hr/>	
	1845.9

OK

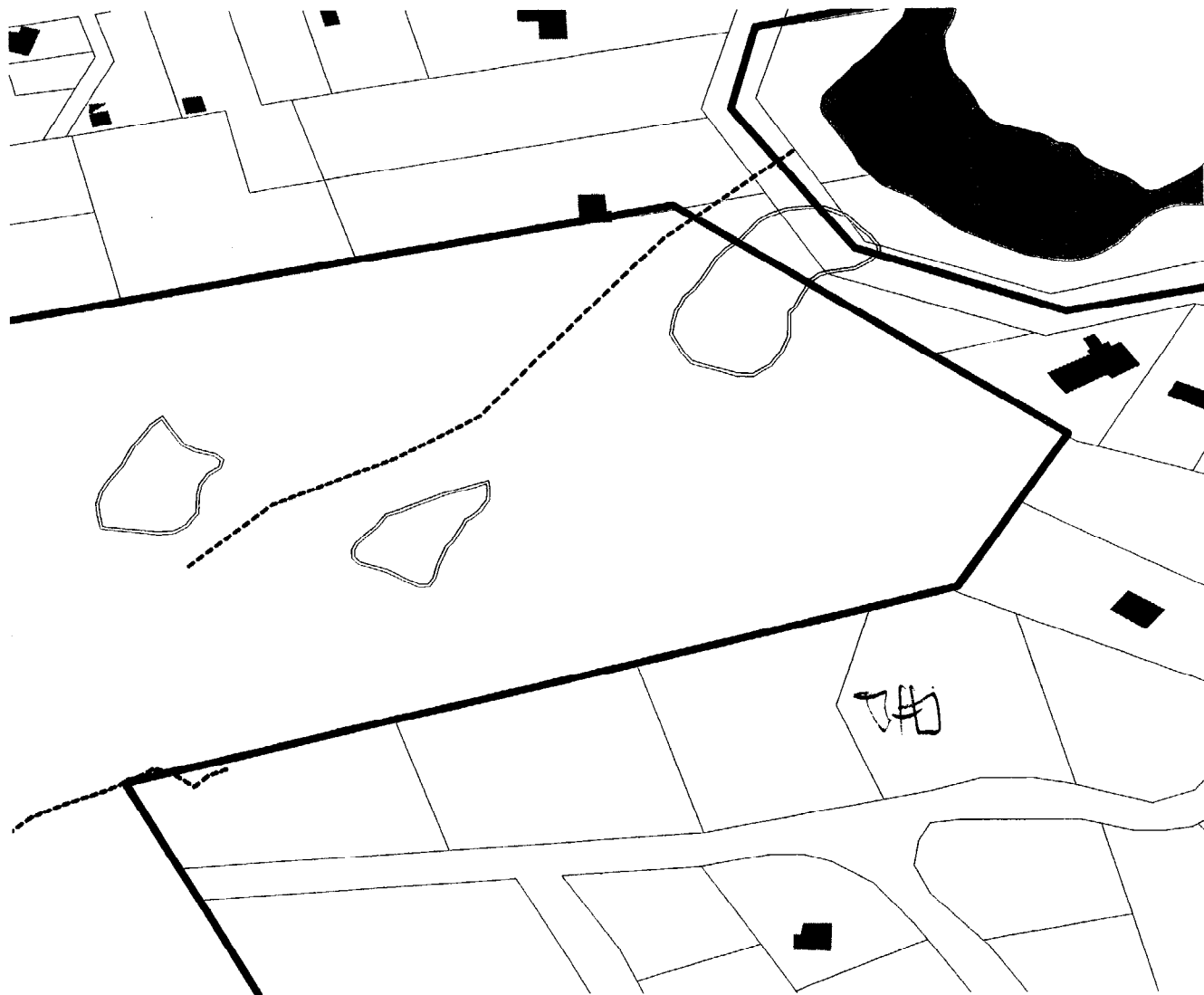
Note on labeled "Future Room" Attached to garage - No Kitchen facilities requires a separate permit to determine future use

From: Marge Schmuckal
To: Jay Reynolds
Subject: You Hussey, You Rd - Peaks Is

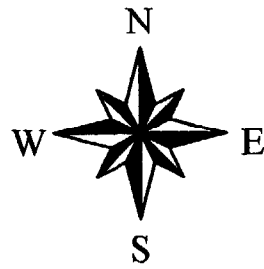
Jay,
since you will be asking these folks for wetland determination, can you also request existing grades around the house and garage compared to new grades. I need to figure out the structure height by the EXISTING grades. I believe that they will be alright since they are showing 27 ft. to the ridge, but if they are doing some significant filling, that may be in jeopardy. I should know in advance.
Thanks,
Marge

CC: William Needleman

Hussey Road Area Peaks Island



- Wetlands_polygons3.shp
- Wetlands.shp
- Trails.shp
- Ponds.shp
- Oceanside_con.shp
- Intertidal.shp
- Build_polygons.shp
- Zoning_bound.shp
- Cleaned_finalie_region.shp



Gulf of Maine


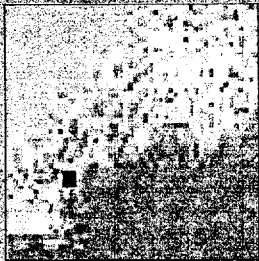
e-Atlas

Map Tools: Instructions

Draw Map

Peaks Island Mapping Project: Internet Demo

To be Presented by James Essex on Wednesday, June 20th, Peaks Island Meeting hosted by Peaks Island's Land Preserve (PILP) and Neighborhood Assoc



Map Legend Location Map

Source Data Information

Peaks Island

Geographic Information Systems (GIS) is a technical resource useful for education and effective as a spatial decision support tool for small communities. The Peaks Island Mapping Project has been designed to help community members in the comprehensive planning process by generating spatial data layers that can be used within GIS. Island Institute Fellow James Essex has been working with community members, Peaks Island Land Preserve (PILP), and Peaks Island Neighborhood Association (PINA).

Important information about this online mapping application

- Although using the resources of the Gulf of Maine e-Atlas website, this application is available or linked from the e-Atlas site. This application is available to those who have the full, correct URL. Please feel free to contact us for more about the [Gulf of Maine e-Atlas](#).
- Parcel level data is available to view in this application and may be queried to identify a parcel id number and area measurement HOWEVER no ownership information has been included.
- Accuracy of this Data is Neither Explicitly nor Implicitly Implied. **Should NOT be Used or Consulted to Determine the Legal Status of Any Boundary.**
- GIS data currently resides at the Island Institute and WILL NOT be distributed unless directed by the sponsoring organizations (PILP/PINA).
- This Internet mapping demo uses the ArcIMS (ESRI) Internet Mapping Software (IMS).

The project was made possible with contributions of time, resources

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-5672 FAX (207) 287-4172

PROPERTY LOCATION	
Town or Plantation	PORTLAND (PEAKS ISLAND)
Street	HUSSEY ROAD
Subdivision Lot *	
PROPERTY OWNER'S NAME	
Last: N/F CROWLEY	First: JOHN
Applicant's Name	ROBERT STEK
Mailing Address of Owner	744 SCHEMPSIT LAKE ROAD TOLLAND, CN. 06084
Daytime Tel. *	

Caution: Permit Required

The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached here by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Owner Statement

I state that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit

Signature of Owner/Applicant

Date

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application

Local Plumbing Inspector Signature

Date Approved

PERMIT INFORMATION

TYPE OF APPLICATION:

- First Time System
- Replacement System
Type Replaced _____
Year Installed _____
- Expanded System
 - a. one time exempted
 - b. non exempted
- Experimental System
- Seasonal Conversion

THIS APPLICATION REQUIRES:

- No Rule Variance
- First Time System Variance
 - a. Local Plumbing Inspector approval
 - b. State & Local Plumbing Inspector approval
- Replacement System Variance
 - a. Local Plumbing Inspector approval
 - b. State & Local Plumbing Inspector approval
- Minimum Lot Size Variance
- Seasonal Conversion Approval

DISPOSAL SYSTEM COMPONENT(S)

- Non-Engineered System
- Primitive System (graywater & alt toilet)
- Alternative Toilet _____
- Non-Engineered Treatment Tank
- Holding Tank _____ Gallons
- Non-Engineered Disposal Area (only)
- Separated Laundry System
- Engineered System (>2000 gpd)
- Engineered Treatment Tank (only)
- Engineered Disposal Area (only)
- Pretreatment

SIZE OF PROPERTY

98, 290 S.F. ±

DISPOSAL SYSTEM TO SERVE:

- Single Family Dwelling Unit
- Multiple Family Dwelling: Number of Units _____
- Other _____

TYPE OF WATER SUPPLY

PUBLIC WATER

SHORELAND ZONING

Yes No

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK

- Concrete
 - a. Regular
 - b. Low Profile (IF NECESSARY)
- Plastic
- Other _____

SIZE 1000 Gallons

DISPOSAL AREA TYPE / SIZE

- Bed _____ Sq. Ft.
- Proprietary Device / OSD Sq. Ft.
 - Cluster Linear
 - Regular H-20
- Trench
- Other _____

21 PLASTIC CHAMBERS

GARBAGE DISPOSAL UNIT

- No
- Yes
 - Multi-compartment tank
 - Tank in series
 - Increase in tank capacity
 - Filter on tank outlet

CRITERIA USED FOR DESIGN FLOW (Show Calculations)

SINGLE FAMILY DWELLING (3 BED ROOM)

DESIGN FLOW: 270 (Gallons/Day)

PROFILE & DESIGN CLASS

PROFILE	DESIGN
2	A/C

DEPTH TO MOST LIMITING FACTOR 15-26"

DISPOSAL AREA SIZING

- Small - 2.00
- Medium - 2.60
- Medium-Large - 3.30
- Large - 4.10
- Extra-Large - 5.20

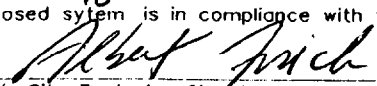
PUMPING

- Not required
- May be required
- Required

DOSE _____ Gallons

SITE EVALUATOR'S STATEMENT

On 5/26/98 (date) I completed a site evaluation on this property and state that the data reported is accurate and that the proposed system is in compliance with the Subsurface Wastewater Disposal Rules.


 Site Evaluator Signature

 163
 SE *

 7/29/98
 Date

ALBERT FRICK ASSOC., INC.
 Site Evaluator Name Printed

 839-5563
 Telephone

This has permitted!

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-5672 FAX (207) 287-4172

Town, City, Plantation

PORTLAND (PEAKS ISLAND)

Street, Road Subdivision

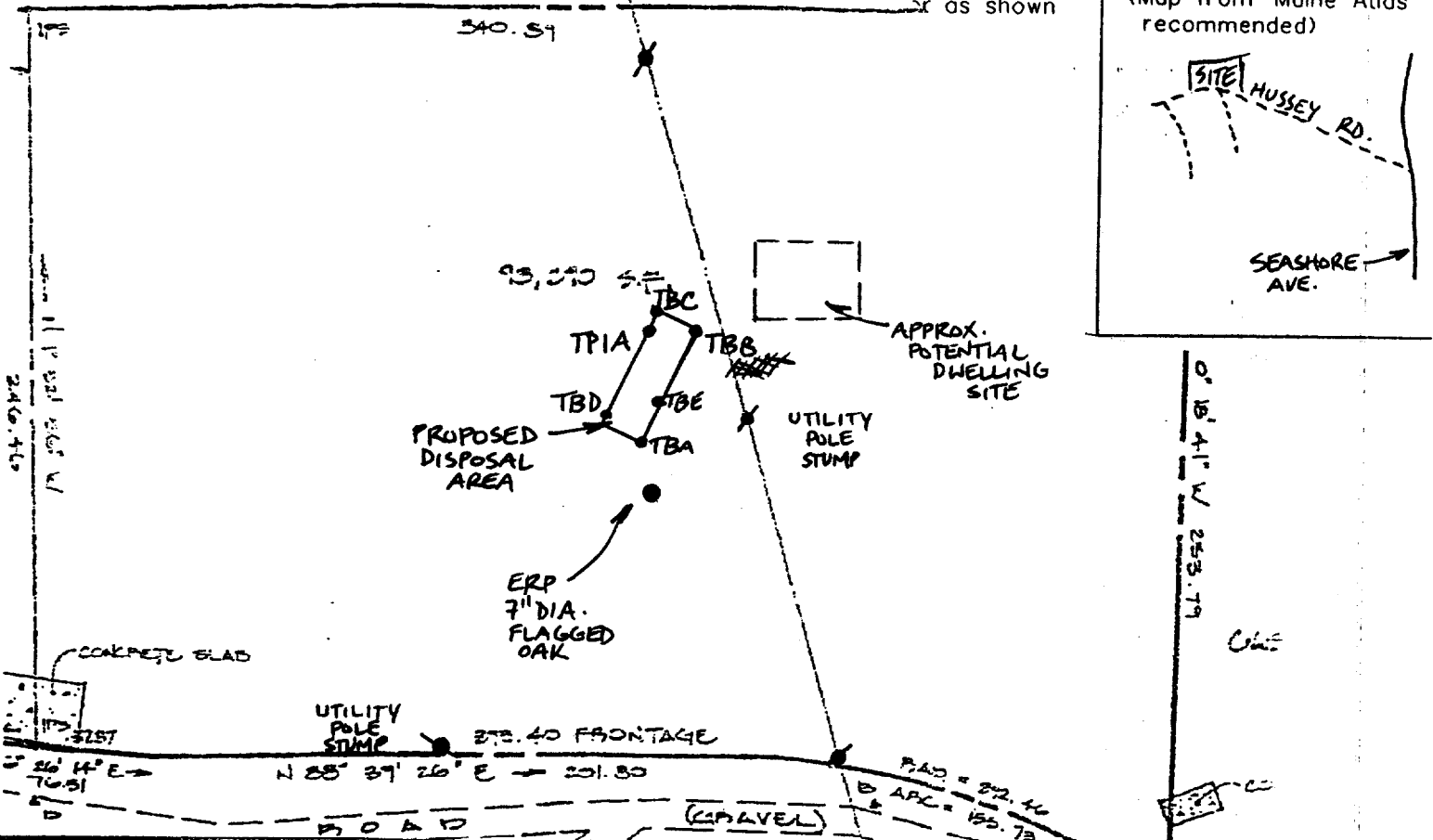
HUSSEY ROAD

Owner's Name
N/F CROWLEY (ROBERT STEK)

SITE PLAN

Scale 1" = 60 ± Ft.
as shown

SITE LOCATION PLAN
(Map from Maine Atlas recommended)



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TPIA Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

Observation Hole TBA-E Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

Texture	Consistency	Color	Mottling
CHANNERY SANDY LOAM	FRIABLE	DARK BROWN YELLOWISH BROWN	FEW FAINT
BEDROCK			

Texture	Consistency	Color	Mottling
TBA = 26" TO BEDROCK TBB = 17" TO BEDROCK TBC = 15" TO BEDROCK TBD = 20" TO BEDROCK TBE = 20" TO BEDROCK			

Soil Classification: 2 A/C
Profile: Condition:
Slope: %
Limiting Factor: 26"
 Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Soil Classification:
Profile: Condition:
Slope: %
Limiting Factor: 15"
 Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Albert Jorick
Site Evaluator Signature

163
SE

7/24/98
Date

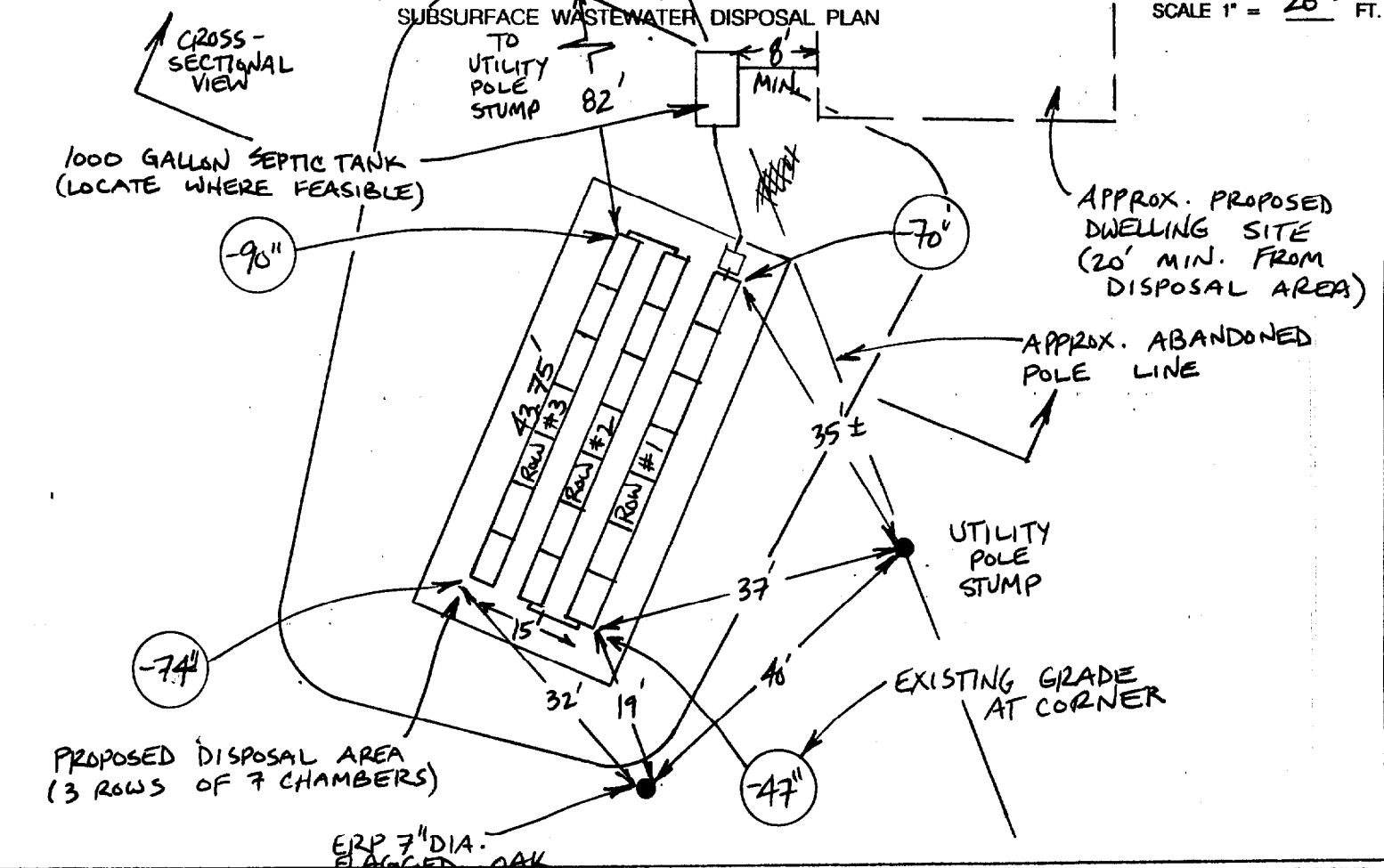
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-3872 FAX (207) 287-4172

Town, City, Plantation: **PORTLAND (PEAKS ISLAND)**
Street, Road, Subdivision: **HUSSEY ROAD**
Owner's Name: **N/F CROWLEY (ROBERT STEK)**

SUBSURFACE WASTEWATER DISPOSAL PLAN

SCALE 1" = 20' FT.



FILL REQUIREMENTS

Depth of Fill (Upslope) **27" - 50"**
Depth of Fill (Downslope) **38" - 54"**

CONSTRUCTION ELEVATIONS

Finished Grade Elevation
Top of Distribution Pipe or Proprietary Device
Bottom of Disposal Area

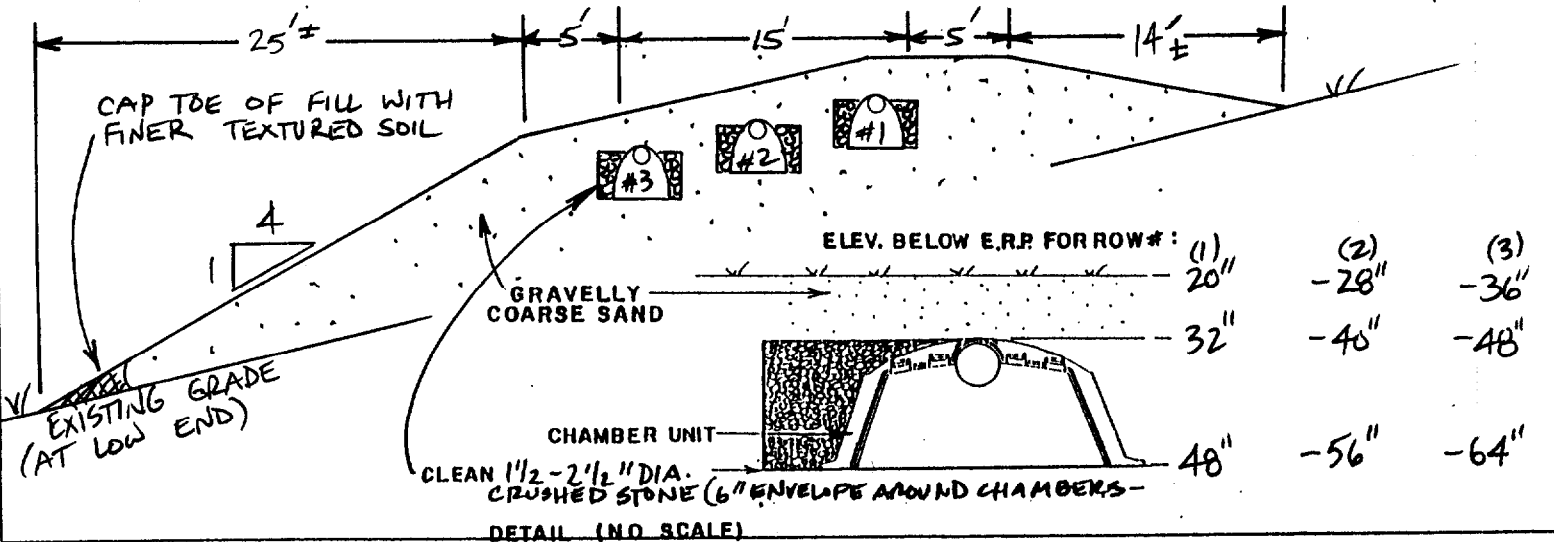
ELEVATION REFERENCE POINT

SEE
DETAIL
BELOW

Location & Description **NAIL 42" ABOVE BASE OF 7" DIA. FLAGGED OAK**
Reference Elevation **00"**

DISPOSAL AREA CROSS SECTION

SCALE:
VERTICAL: 1" = 5'
HORIZONTAL: 1" = 10'



Albert French
Site Evaluator Signature

163
SE

7/29/98
Date



Albert Frick Associates, Inc.

Soil Scientists & Site Evaluators

95A County Road Gorham, Maine 04038

(207) 839-5563

PORTLAND (PEAKS ISLAND) HUSSEY ROAD ROBERT STEK
TOWN LOCATION APPLICANT'S NAME

1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Department of Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system installer should contact Albert Frick Associates, Inc. 839-5563, if there are any questions concerning materials, procedures or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.

2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and minimum lot size laws) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations.

Prior to the commencement of construction/installation, the local plumbing inspector shall inform the owner/applicant and Albert Frick Associates, Inc. of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.

3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as, utility lines, drains, septic systems, water lines, etc.) are based solely upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information.

4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank or a septic tank filter should be connected in series to the proposed septic tank.

5) The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine (such as from water treatment) and controlled or hazardous substances shall not be disposed of in this system.

ATTACHMENT TO SUBSURFACE WASTEWATER DISPOSAL APPLICATION

PORTLAND (PEAKS ISLAND) HUSSEY ROAD ROBERT STEK
TOWN LOCATION APPLICANT'S NAME

- 6) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than once every three years.
- 7) The actual water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed. If the system is supplied by public water or a private service with a water meter, the water consumption per period should be divided by the number of days to calculate the average daily water consumption (water usage (cu.ft.) \times 7.48 cu.ft.(gallons per cu.ft.) \div # of days in period).
- 8) The general minimum setbacks between a well and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.
- 9) When a gravity system is proposed: **BEFORE CONSTRUCTION/INSTALLATION BEGINS**, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum slope requirements. In gravity systems, the invert of the septic tank(s) outlet(s) shall be at least 4 inches above the invert of the distribution box outlet at the disposal area. When an effluent pump is required, provisions shall be made to make certain that surface ground water does not enter the septic tank or pump station. An alarm device warning of a pump failure shall be installed. Also, when pumping is required to a chamber system, install a "T" connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.
- 10) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact thoroughly before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chance of leakage). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off the chambers. Divert the surface water away from the disposal area by ditching or shallow swales.
- 11) Unless noted otherwise, fill shall be gravelly coarse sand which contains no more than 5% fines (silt and clay).
- 12) Do not install systems on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.
- 13) Seed all filled and disturbed surfaces with perennial grass seed, then mulch with hay or equivalent material to prevent erosion.



Albert Frick Associates, Inc.
Soil Scientists & Site Evaluators
95A County Road Corham, Maine 04036
(207) 830-5563

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0127 Issue Date: MAR 12 2002 CBL: 089 E027001

Location of Construction: 0 Hussey Rd, Peaks Island	Owner Name: Stek Robert J & Bonnie P Jts	Owner Address: 70 Old Town # 17	Phone: 667-6389
Business Name: n/a	Contractor Name: n/a	Contractor Address: Portland	Phone:
Lessee/Buyer's Name: n/a	Phone: n/a	Permit Type: Single Family	Zone: IR-1

Past Use: Vacant	Proposed Use: Single Family / Build two story 37' x 58'11 Classic Post & Beam with 27' x 8' deck, 12'6" x 24" garage and 10'6" x 24' future room. SITE PLAN #2002-0035	Permit Fee: \$1,087.00	Cost of Work: \$152,000.00	CEO District: 3
Proposed Project Description: Build New Single Family		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R-3 Type: 5B <i>w/conditions</i> Signature: <i>AWJ</i> Date: 13-11-02	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: gg	Date Applied For: 02/11/2002	Zoning Approval	
------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland N/A <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone PANEL 15 Zone C <input type="checkbox"/> Subdivision previous <input checked="" type="checkbox"/> Site Plan # 2002-0035 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>OK with conditions</i> Date: 2/24/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
---	---	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

3/14/02 ON Site w/ Keith Heltz, Jay Reynolds. Went over all issues
and Requirements. NO WETLANDS PRESENT JR/KC

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

RF **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

AA **Footing/Building Location Inspection:** Prior to pouring concrete

AA **Re-Bar Schedule Inspection:** Prior to pouring concrete

AA **Foundation Inspection:** Prior to placing ANY backfill

LN **Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

LN **Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

Signature of applicant/designee

AA

Date

3/12/02

Signature of Inspections Official

Date

CBL: 009 E-027 Building Permit #: 020107

Application ID Number: 2-0127

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 2/13/02 waiting for information concerning a wetlands determination map and more information concerning if any fill was being brought in and what the existing grades are so that I can determine the height appropriately. Jay Reynolds was going to be asking the applicant for this info.

Approval Date: 02/26/2002

Given On Date: 02/11/2002

OK to Issue Permit By: Marge Schmuckal Date: 02/26/2002

Conditions Section:

This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

Separate permits shall be required for future decks, sheds, pools, and/or garages.

The "future room" shown attached to the garage shall not have any kitchen facilities. A separate permit shall be required to determine future use of this area.

Create Date: 02/11/2002 By: gg

Update Date: 02/26/2002 By: mes

Application ID Number: 2-0127

Delete

Save

Close

Department: Building

Status: Approved with Conditions

Reviewer: Mike Nugent

Comments:

Approval Date

Given On Date: 02/27/2002

OK to Issue Permit Name: Mike Nugent Date: 03/11/2002 Date 2:

Conditions Section: Add New Condition From Add New Condition Delete Condition

Separate plans for the following are req to be submitted and reviewed prior to commencement of framing the structure:
1) Stairs to room above garage
2) Fire separation assembly/Garage
3) Handrails Guard rails generally throughout the building
4) Access to crawl space

Perimeter drain must be approved prior to installation of foundation system

Create Date: 02/11/2002 By: gg

Update Date: 03/11/2002 By: mjn

Application ID Number: 2002-0035

Delete Save Close

Department: DRC

Status: Approved with Conditions

Reviewer: Jay Reynolds

Comments:

[Empty text box for comments]

Approval Date: 03/04/2002

Expiration Date: 03/04/2003

Extension Date: [Empty]

OK to Issue Permit Name: Jay Reynolds Date: 03/04/2002 Date 2: [Empty]

Conditions Section: Add New Condition From Add New Condition Delete Condition

A PRE-CONSTRUCTION MEETING SHALL BE HELD ON SITE TO EVALUATE/DELINEATE POSSIBLE ON AND OFF SITE WETLAND AREAS. APPLICANT WILL BE RESPONSIBLE FOR COORDINATING THE APPROPRIATE PARTIES TO ACHIEVE THIS.

NO CHANGES IN GRADE ARE PROPOSED. IF ANY CHANGES ARE PROPOSED IN THE FUTURE, AN AMENDED SITE PLAN WILL BE REQUIRED FOR REVIEW BY THE CITY, SHOWING ANY/ALL PROPOSED CONTOURS.

Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.

Your new street address is now #66 HUSSEY ROAD, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.

The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.

As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.

The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.

The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Create Date: 03/04/2002 By: jayjr

Update Date: 03/04/2002 By: jayjr

**Table 3
ALLOWABLE SECOND FLOOR BEAM SPANS (feet)**

Live Load = 30 psf (Sleeping Areas only)				
Eastern Spruce				
Beam Spacing (ft)	4x8 Grade #1	4x8 Grade #2	6x8 Grade #1	6x8 Grade #2
2.00	18.07	16.42	20.04	16.02
2.33	15.60	14.17	18.55	14.83
2.67	14.59	13.25	17.35	13.87
3.00	13.75	12.50	16.36	13.08
3.33	13.05	11.85	15.52	12.41
Douglas Fir				
Beam Spacing (ft)	4x8 Grade #1	4x8 Grade #2	6x8 Grade #1	6x8 Grade #2
2.00	19.50	19.13	21.79	19.78
2.33	18.52	17.44	20.70	18.29
2.67	17.71	16.31	19.80	17.11
3.00	16.85	15.38	19.04	16.13
3.33	15.98	14.59	18.36	15.30

**Table 4
MAXIMUM TRUSS SPACING (feet)**

Ground Snow Load = 50 psf								
FULL TRUSS (Type 1 - Supported by 6x6 Wall Posts)								
Building Width (ft)	Roof Slope (in./ft.)							
	3.5	4	5	6	7	8	10	12
20	12.85	14.15	15.00	15.00	15.00	15.00	15.00	15.00
24	10.56	11.71	12.68	12.22	15.00	15.00	15.00	15.00
28	8.97	9.99	10.58	10.25	12.28	13.47	15.00	15.00
32	7.46	8.27	8.81	8.82	9.53	10.44	12.02	13.69
FULL TRUSS (Type 2 - Supported by 6x8 Wall Posts)								
Building Width (ft)	Roof Slope (in./ft.)							
	3.5	4	5	6	7	8	10	12
30	7.57	8.45	8.79	12.02	13.89	15.00	15.00	15.00
34	6.63	7.42	7.63	10.62	12.28	14.94	15.00	15.00
38	5.90	6.62	6.73	9.50	11.00	13.39	15.00	15.00
42	5.31	5.97	6.03	8.60	9.96	11.42	13.55	15.00
HALF TRUSS (Type 1 - Supported by 6x6 Wall Posts)								
Building Width (ft)	Roof Slope (in./ft.)							
	3.5	4	5	6	7	8	10	12
20	15.00	15.00	15.00	15.00	15.00	15.00	15.00	15.00
24	13.75	15.00	14.75	14.20	15.00	15.00	15.00	15.00
28	11.02	12.74	12.31	11.91	14.53	15.00	15.00	15.00
32	9.04	10.05	10.51	10.26	11.09	12.04	13.70	15.00
HALF TRUSS (Type 2 - Supported by 6x8 Wall Posts)								
Building Width (ft)	Roof Slope (in./ft.)							
	3.5	4	5	6	7	8	10	12
30	10.61	10.28	9.83	15.00	15.00	15.00	15.00	15.00
34	9.11	8.86	8.52	15.00	15.00	15.00	15.00	15.00
38	7.00	7.79	7.53	13.47	14.16	15.00	15.00	15.00
42	7.11	6.95	6.74	11.23	11.77	13.01	15.00	15.00



Monday, March 11, 2002

To: Michael Nugent Fax: 207-874-8716

From: Gary R. Jordan Jr.

Re: STEK PROJECT 2nd Floor Joists / CW235 window

Mike,

I have sent you 2 pages:

Page #1 Chart we used to determine the 2nd floor live load. This chart is part of Northeastern Log Homes BOCA Research Report, which uses the same floor system as Classic Post & Beam. Northeastern Log Homes, Inc owns Classic Post & Beam.

Page #2 Information from the 2002 Andersen Product Guide
The CW235 in question does meet egress requirements. A straight-arm operator is required.

If you have any other questions, please feel free to contact me.

Sincerely,

Gary R. Jordan Jr.
Manager, Drafting / Engineering Department

Casement Windows

Opening Specifications

12078843000 P.03-03

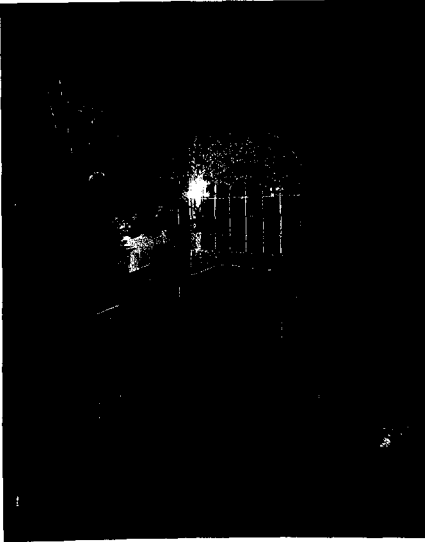
TOTAL P.03

NORTHEASTERN LOG HOMES

MAR-11-2002 10:16

C-1235

Unit (m ²)	Clear Opg. Straight Arm Sq. Ft. (m ²)	Clear Opg. Split Arm Sq. Ft. (m ²)	Clear Opening in Full Open Position			Glass Sq. Ft. (m ²)	Crack Opening Vent Sash Only Linear Ft. (mm)	Straight Arm Vent Sq. Ft. (m ²)	Split Arm Vent Sq. Ft. (m ²)	Top of Subfloor to Top of Inside Sill Stop Inches (mm)	Overall Unit Area Sq. Ft. (m ²)
			Straight Arm Width	Split Arm Width	Height						
			Inches (mm)	Inches (mm)	Inches (mm)						
(260)	9.0 (838)	7.9 (734)	30 1/8" (765)	26 1/2" (667)	43 1/8" (1095)	9.5 (883)	13' 6 1/16" (4126)	9.0 (836)	8.4 (780)	36 11/16" (932)	12.0 (1.115)
(307)	10.0 (929)	8.8 (818)	30 1/8" (765)	26 1/2" (667)	47 15/16" (1218)	10.5 (975)	14' 4 1/16" (4371)	10.0 (929)	9.4 (873)	31 1/8" (810)	13.2 (1.226)
(390)	11.5 (1068)	-	30 1/8" (765)	-	55" (1397)	12.1 (1.124)	15' 6 13/16" (4729)	11.5 (1.068)	-	24 13/16" (630)	14.9 (1.384)
(446)	12.6 (1.171)	-	30 1/8" (765)	-	59 15/16" (1522)	13.1 (1.217)	16' 4 7/16" (4960)	12.6 (1.171)	-	19 1/8" (506)	16.2 (1.505)
(530)	14.0 (1.301)	-	30 1/8" (765)	-	67" (1702)	14.7 (1.368)	17' 6 13/16" (5339)	14.0 (1.301)	-	12 13/16" (325)	17.9 (1.663)
(576)	-	1.6 (149)	-	7 3/16" (186)	31 1/16" (789)	5.4 (502)	16' 8 7/8" (5102)	-	4.7 (437)	48 3/8" (1238)	8.4 (780)
(660)	-	1.8 (167)	-	7 1/16" (186)	35 15/16" (913)	6.3 (585)	18' 4 1/8" (5598)	-	5.4 (502)	43 1/8" (1114)	9.6 (892)
(715)	-	2.2 (204)	-	7 1/16" (186)	43 1/8" (1095)	7.6 (706)	20' 9 1/2" (6378)	-	6.5 (604)	36 11/16" (932)	11.3 (1.050)
(790)	-	2.4 (223)	-	7 3/16" (186)	47 1/16" (1218)	8.4 (780)	22' 4 1/8" (6817)	-	7.3 (678)	31 1/8" (810)	12.4 (1.152)
(316)	-	2.8 (260)	-	7 3/16" (186)	55" (1397)	9.8 (922)	24' 8 7/8" (7534)	-	8.3 (771)	24 13/16" (630)	14.2 (1.319)
(372)	-	3.1 (288)	-	7 1/16" (186)	59 15/16" (1522)	10.5 (975)	26' 4 3/8" (8038)	-	9.1 (845)	19 1/8" (505)	15.4 (1.431)
(474)	-	3.4 (316)	-	7 3/16" (186)	67" (1702)	11.7 (1.087)	28' 8 3/8" (8753)	-	10.2 (948)	12 13/16" (325)	17.0 (1.579)
(539)	-	2.3 (214)	-	10 13/16" (275)	31 1/16" (789)	7.0 (650)	17' 10 1/8" (5458)	-	6.2 (576)	48 3/8" (1238)	10.2 (948)
(632)	-	2.7 (251)	-	10 13/16" (275)	35 15/16" (913)	8.0 (743)	19' 6 3/8" (5953)	-	7.2 (669)	43 1/8" (1114)	11.5 (1.068)
(697)	-	3.2 (297)	-	10 13/16" (275)	43 1/8" (1095)	9.7 (901)	21' 11 1/8" (6683)	-	8.6 (799)	36 11/16" (932)	13.6 (1.263)
(790)	-	3.6 (334)	-	10 13/16" (275)	47 15/16" (1218)	10.7 (994)	23' 6 3/8" (7172)	-	9.6 (892)	31 1/8" (810)	15.0 (1.394)
(856)	-	4.1 (381)	-	10 13/16" (275)	55" (1397)	12.3 (1.143)	25' 10 3/8" (7890)	-	11.0 (1.022)	24 13/16" (630)	16.9 (1.570)
(948)	-	4.5 (418)	-	10 13/16" (275)	59 15/16" (1522)	13.4 (1.246)	27' 6 3/8" (8392)	-	12.0 (1.115)	19 7/8" (506)	18.4 (1.709)
(372)	-	5.0 (465)	-	10 13/16" (275)	67" (1702)	15.0 (1.394)	29' 10 3/8" (9209)	-	13.4 (1.245)	12 13/16" (325)	20.3 (1.886)
(437)	4.0 (372)	3.1 (288)	18 5/16" (465)	14 3/16" (367)	31 1/16" (789)	8.5 (790)	19' 1 3/8" (5826)	7.9 (734)	7.8 (725)	48 3/8" (1238)	12.0 (1.115)
(557)	4.6 (427)	3.6 (334)	18 5/16" (465)	14 3/16" (367)	35 15/16" (913)	9.9 (920)	20' 8 7/8" (6321)	8.2 (888)	9.0 (836)	43 1/8" (1114)	13.6 (1.263)
(632)	5.5 (511)	4.3 (399)	18 5/16" (465)	14 3/16" (367)	43 1/8" (1095)	11.8 (1.098)	23' 1 3/8" (7052)	11.0 (1.022)	10.8 (1.003)	36 11/16" (932)	16.0 (1.486)
(743)	6.1 (567)	4.8 (446)	18 5/16" (465)	14 3/16" (367)	47 15/16" (1218)	13.1 (1.217)	24' 8 7/8" (7541)	12.2 (1.139)	12.0 (1.115)	31 7/8" (810)	17.6 (1.635)
(818)	7.0 (650)	5.5 (511)	18 5/16" (465)	14 3/16" (367)	55" (1397)	15.1 (1.403)	27' 1 3/8" (8258)	14.0 (1.301)	13.8 (1.282)	24 13/16" (630)	20.0 (1.858)
(929)	7.8 (709)	6.0 (557)	18 5/16" (465)	14 3/16" (367)	59 15/16" (1522)	16.4 (1.524)	28' 8 7/8" (8760)	15.3 (1.421)	15.0 (1.394)	19 1/8" (505)	21.6 (2.007)
(1.013)	8.5 (790)	6.7 (622)	18 5/16" (465)	14 3/16" (367)	67" (1702)	18.4 (1.709)	31' 1 3/8" (9477)	17.1 (1.589)	16.8 (1.561)	12 13/16" (325)	24.0 (2.230)
(1.115)	4.9 (455)	4.0 (372)	22 3/16" (573)	18 13/16" (479)	31 1/16" (789)	10.4 (968)	20' 6 3/8" (6258)	9.8 (910)	9.6 (892)	48 3/8" (1238)	14.1 (1.310)
(446)	5.7 (530)	5.1 (474)	22 3/16" (573)	20" (508)	36 1/8" (924)	12.0 (1.115)	22' 1 3/8" (6753)	11.4 (1.059)	11.1 (1.031)	43 1/8" (1114)	16.0 (1.486)
(520)	6.8 (632)	6.0 (557)	22 3/16" (573)	20" (508)	43 1/8" (1095)	14.4 (1.338)	24' 6 3/8" (7483)	13.5 (1.254)	13.1 (1.217)	36 11/16" (932)	18.8 (1.747)
(660)	7.5 (697)	6.7 (622)	22 3/16" (573)	20" (508)	47 15/16" (1218)	16.0 (1.486)	26' 1 3/8" (7972)	15.0 (1.394)	14.6 (1.356)	31 1/8" (810)	20.8 (1.932)
(743)	8.6 (799)	7.6 (706)	22 3/16" (573)	20" (508)	55" (1397)	18.3 (1.700)	28' 6 3/8" (8690)	17.3 (1.607)	16.7 (1.551)	24 13/16" (630)	23.5 (2.183)
(883)	9.4 (873)	8.3 (771)	22 3/16" (573)	20" (508)	59 15/16" (1522)	20.0 (1.858)	30' 1 3/8" (9192)	18.8 (1.747)	18.2 (1.691)	19 7/8" (505)	25.6 (2.378)
(966)	10.5 (976)	9.3 (864)	22 3/16" (573)	20" (508)	67" (1702)	22.3 (2.072)	32' 6 3/8" (9909)	21.0 (1.951)	20.4 (1.895)	12 13/16" (325)	28.2 (2.620)
(1.096)	4.0 (372)	3.1 (288)	18 5/16" (465)	14 3/16" (367)	31 1/16" (789)	12.8 (1.189)	19' 1 3/8" (5826)	7.9 (734)	7.8 (725)	48 3/8" (1238)	17.9 (1.663)
(1.189)	4.6 (427)	3.6 (334)	18 5/16" (465)	14 3/16" (367)	35 15/16" (913)	14.8 (1.375)	20' 8 7/8" (6321)	9.2 (889)	9.0 (836)	43 1/8" (1114)	20.4 (1.895)
(1.319)	5.5 (511)	4.3 (399)	18 5/16" (465)	14 3/16" (367)	43 1/8" (1095)	17.7 (1.644)	23' 1 3/8" (7052)	11.0 (1.022)	10.8 (1.003)	36 11/16" (932)	24.0 (2.230)
(836)	6.1 (567)	4.8 (446)	18 5/16" (465)	14 3/16" (367)	47 15/16" (1218)	19.7 (1.830)	24' 8 7/8" (7541)	12.2 (1.134)	12.0 (1.115)	31 7/8" (810)	26.4 (2.453)
(948)	7.0 (650)	5.5 (511)	18 5/16" (465)	14 3/16" (367)	55" (1397)	22.6 (2.100)	27' 1 3/8" (8258)	14.8 (1.381)	13.8 (1.282)	24 13/16" (630)	28.2 (2.620)



FIRST FLOOR SYSTEM

- * Pressure-treated sill; LVL girders; 2" x 10" spruce rim joists, floor joists and headers; metal bridging and joist hangers.
- * 3/4" tongue & groove plywood subfloor.
- * Basement stair materials, including: 2" x 12" stringers and treads; 1" pine risers.

PORCH AND DECK MATERIALS

- * Pressure-treated nailer, sill, floor joists.
- * Pressure-treated 5/4" x 6" decking #1 grade.
- * 6" x 6" pine porch posts.
- * Spruce rafters, ties, nailers and headers.
- * 1/2" CDX plywood roof sheathing.
- * 1" pine v-match, tongue & groove ceiling boards.
- * Metal bridging and joist hangers as required.

PRE-CUT TIMBER FRAME SYSTEM

- * Pre-cut and numbered pine frame, including: 6" x 6" and 6" x 8" posts, girts, headers and principal rafters; 4" x 6" corner braces.
- * Pre-cut and numbered spruce ceiling joists, posts, beams, roof purlins and blocking or rafters and ties; structural ridge beams; timber truss.
- * Lag screws and carriage bolts, spiral spikes and ring shank nails to secure timber frame system.

STRUCTURAL INSULATED PANEL SYSTEM

- * Murus stress-skin wall panels are fabricated with 3-1/2" of urethane foam, injected between (2) layers of 7/16" OSB (oriented strand board). Each panel is equipped with a built-in wire chase and a tongue & groove edge with a patented cam-lock installation system. Classic pre-cuts each panel for all window and door openings, plus all eaves and gable cuts, and then numbers them for easy installation.
- * Urethane foam and aluminum tape for all panel joints; 8" ring shank nails, 8" o.c.
- * Typar house wrap.

DOUBLE ROOF SYSTEM

- * 1" v-match, tongue & groove, pine roof boards.
- * 4" urethane rigid roof insulation.
- * Urethane foam and aluminum tape for insulation.

- * 2" x 3" spruce roof strapping-16" o.c.
- * 1/2" CDX plywood roof sheathing.
- * 8" galvanized drip edge for eaves and rakes; 15# felt paper; shingle over ridge vent; 4" dia. screen soffit vents-16" o.c.; continuous strip vent where required.
- * Roof shingles are Owens Corning, Architectural, 30 year, fiberglass. Color#: Brownwood.

EXTERIOR FINISH MATERIALS

- * 1/2" x 6" Western red cedar, clear vertical grain, bevel siding @ 4-1/2" exposure.
- * 5/4" x 4" Western red cedar corner boards, door and window, eaves and gable trim.
- * 5/4" x 8" Western red cedar door toe kick, eaves, gable and overhead door jamb trim.
- * Stainless steel siding and trim nails.
- * Decorative entrance trim as required.

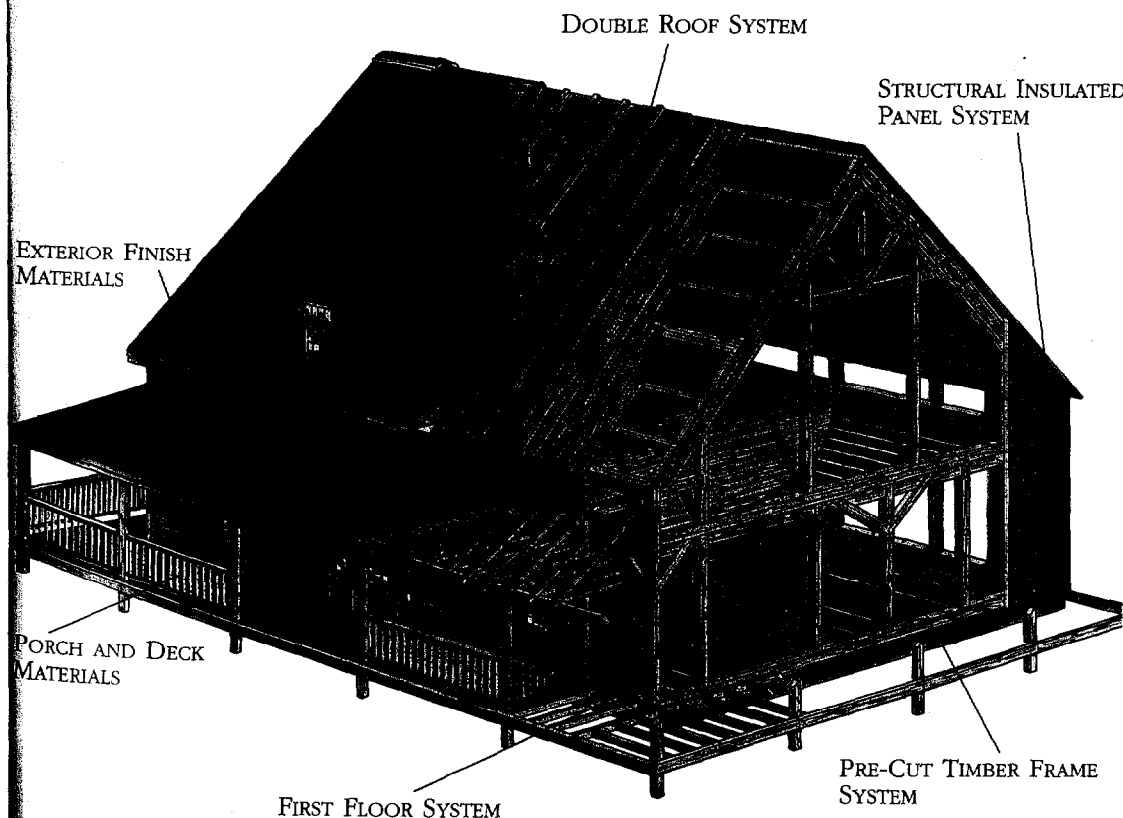
INTERIOR PARTITIONS, STAIRS AND FLOORING

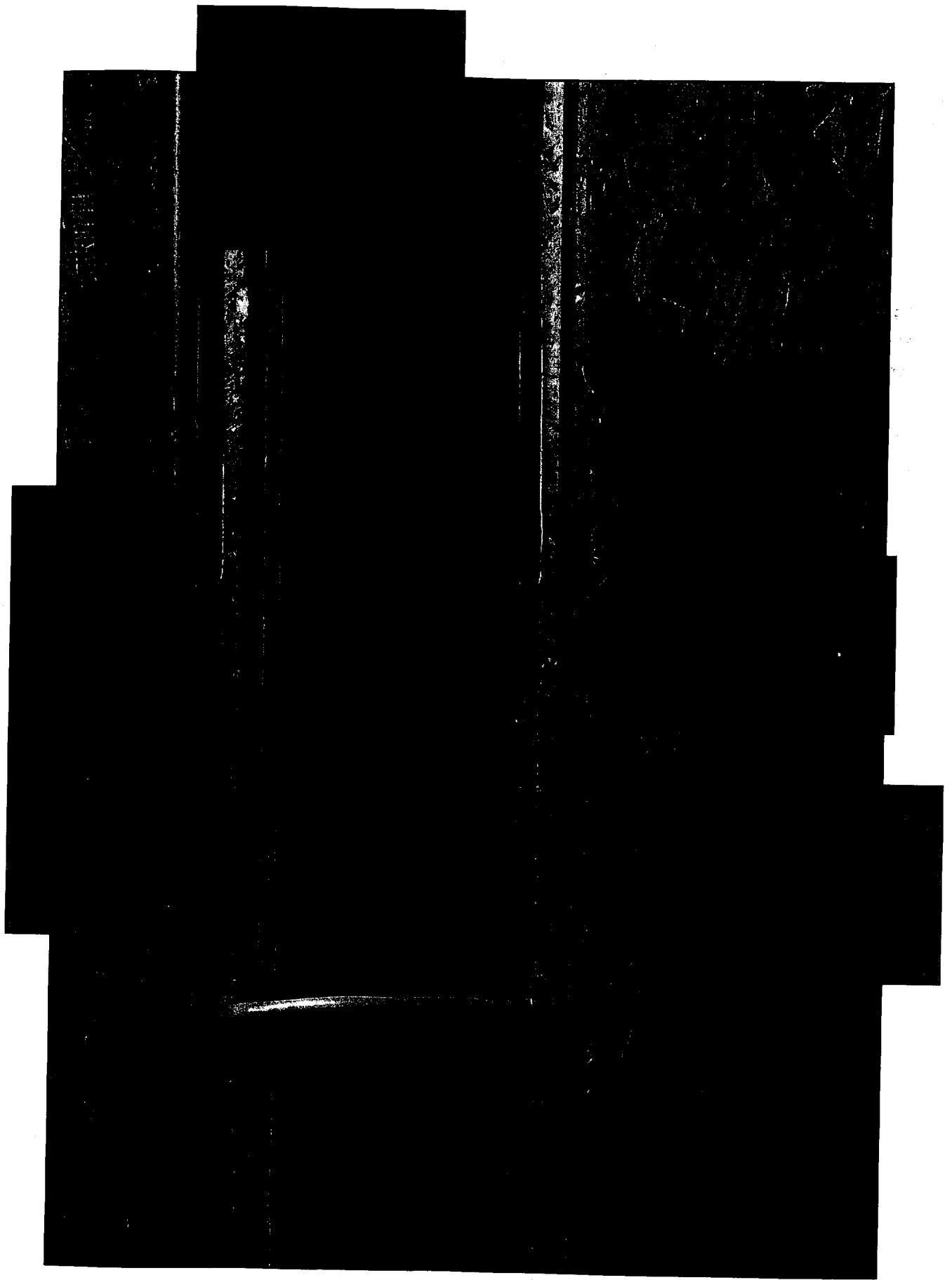
- * Spruce studs, plates, shoes and beam blocking for all interior partitions.
- * Second floor stair materials, including: 2" x 12" stringers; 5/4" bullnose, southern yellow pine treads; 1" pine risers.
- * 2" x 6" v-match, tongue & groove, second-floor decking.
- * 1" v-match, tongue & groove, pine ceiling boards where required.

WINDOWS AND DOORS

- * Interior doors are Morgan®, pre-hung, six-panel pine, complete with Schlage® locksets. Closet door hardware includes: sliding, bi-fold, pocket and/or pre-hung hinged.
- * Exterior doors are ThermoTru™, FiberClassic, insulated, pre-hung, fiberglass, complete with Schlage® lockset. Gliding patio and hinged patio doors are Andersen® Frenchwood, complete with removable wood grilles, screen and lockset. Extension jambs are included when required.
- * All windows are Andersen® Perma-Shield High-Performance, argon-filled insulated glass, complete with removable wood grilles and screens. All Andersen® Tilt-Wash windows are supplied with sash locks. All casement and awning windows are supplied with extension jambs and hand cranks where applicable.

BEAM





2002 0035

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>Hussy Rd Peaks Is</u>		
Total Square Footage of Proposed Structure <u>5</u>	Square Footage of Lot <u>52,290</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>89</u> Block# <u>E</u> Lot# <u>27</u>	Owner: <u>Bonnie + Bob STEK</u>	Telephone: <u>860 667-6389</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Keith Hults 223 Is Ave Peaks Is ME 04108</u>	Cost Of Work: \$ <u>[REDACTED]</u> Fee: \$ <u>[REDACTED]</u>
Current use: <u>Vacant</u>	<u>[REDACTED]</u>	
If the location is currently vacant, what was prior use: <u>Farm</u>	<u>[REDACTED]</u>	
Approximately how long has it been vacant: <u>Forever</u>	<u>[REDACTED]</u>	
Proposed use: <u>single family dwelling</u>		
Project description: <u>House, cape type w/beer way & Garage</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>Keith Hults</u>		
Mailing address: <u>223 Is Ave Peaks Is. ME 04108</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>766-5780</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>Feb 11, 2002</u>
--	---------------------------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

WARRANTY DEED
Joint Tenancy
Maine Statutory Short Form 046704

Know all Men by these Presents,

241053189

That John S. Crowley and David R. Johnston

of Portland, County of _____, State of ME
being unmarried, for consideration paid, grant to Robert J. Stek and Bonnie P. Stek

of Tolland, County of _____, State of CT
whose mailing address is 744 Schenipsit Lake Road Tolland, CT 06084

with warranty covenants as joint tenants the land in Peaks Island, County of Cumberland
State of Maine, described as follows:

A certain lot or parcel of land situated on Peaks Island, City of Portland, County of Cumberland and State of Maine lying on the northerly sideline of Hussey Road and Bounded and described as follows:
Beginning at a point on the northerly sideline of Hussey Road, said point being located at the intersection of the southwestern corner of Lot 20 as shown on a Plan of Oceanside Project, Peak's Island North Gate Subdivision, Section 2, prepared by M.I & E.C. Jordan, Surveyors dated September 12, 1972 and recorded in the Cumberland County Registry of Deeds in Plan Book 92 Page 39 within described lot; thence North 00-18-41 West a distance of two hundred fifty-three and seventy-nine hundredths (253.79) feet along the westerly boundary of said Lot 20 to a point at the southwestern boundary of Lot 19 as shown on the aforescribed Plan of Oceanside Project; thence North 49-04-45 West a distance of sixty-five and seventy-nine hundredths (65.79') feet along the southwestern boundary of said Lot 19 to an iron pipe found being 1" in diameter, painted white 3" above grade and firm in the ground; thence South 86-27-04 West a distance of three hundred forty and eighty-nine hundredths (340.89') along the boundary of property now or formerly of the City of Portland to other lands of the Grantee and a #5 rebar set in a yellow cap, PLS #2246; thence South 01-32-56 East a distance of two hundred forty-six and forty-six hundredths (246.46') feet above remaining lands of the Grantees to the northerly sideline of said Hussey Road and a #5 rebar set with a yellow cap, PLS #2246; thence South 86-26-14 East a distance of thirty-seven and eighty-seven hundredths (37.87') feet along the northerly sideline of said Hussey Road to a point; thence North 88-29-28 East a distance of three hundred ninety-three and forty hundredths (393.40') feet along the northerly sideline of said Hussey Road to a point of curvature, thence continuing Easterly a distance of one hundred fifty-three and seventy-three hundredths (153.73') feet along the northerly sideline of said Hussey Road with a curve having a radius of two hundred ninety-two and forty-six hundredths (292.46') feet and a delta angle of 10-05-11 to the point of beginning.
Above described lot or parcel contains ninety-eight thousand two hundred ninety (98,290) square feet.

Bearings are magnetic to the year 1998.

Meaning and intending to convey a portion of the property conveyed to John S. Crowley and David R. Johnson, by Warranty Deed of Casco Bay Island Development, Dated August 4, 1981, and recorded at Book 4852, Page(s) 306, Cumberland County Registry of Deeds.

MAINE REAL ESTATE TAX PAD

Granite Title Services

And

husband/wife of said grantor, joins as grantor, and releases all rights by descent and all other rights.

Witness our hand and seal this 14th day of the month of July, 19 98

Signed, Sealed and Delivered in presence of

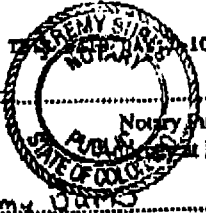
John S. Crowley
David R. Johnston

State of Maine, County of Cumberland ss July 14 19 98
Then personally appeared the above named John S. Crowley and David R. Johnston

and acknowledged the foregoing instrument to be their free act and deed.

Before me,

JOHN R. DAVIS HAS APPEARED BEFORE ME, JEREMY BURKS, ON July 10-98. David R. Johnston



My Commission Expires:

04/21/02

SEAL

State of CO, County of Boulder Printed Name Jeremy Burks

Signed before me on this 11 day of July 1998 by David R. Johnston

Notary Public [Signature] My Commission Expires 3-23-2002

RECEIVED REGISTERED DEPARTMENT OF DEEDS

1998 JUL 16 PM 2:48

STATE OF MAINE CUMBERLAND, SS

CUMBERLAND COUNTY John B. O'Brien

On this the 14th day of July, 1998, personally appeared John S. Crowley and acknowledged that he executed the above for the purposes contained therein as his free act and deed.

Before Me,

[Signature] P. J. Stiles Attorney at Law

ASHMORE REALTY

ISLAND SPECIALISTS

65 Commercial St. Portland, ME 04101

(207) 772-6992

FAX (207) 776-0830

ADDENDUM TO CONTRACT FOR SALE OF REAL ESTATE

SELLER(S): Crowley

PURCHASER(S): Robert J. and Bonnie P. Stek

PROPERTY: Most easterly half of lot 89-E-1 as shown on assessor's office map of the city of Portland, Hussey Rd, PEAKS ISLAND, ME

DATE OF THIS ADDENDUM: March 16, 1998

.....

CLASS A SURVEY AND LEGAL DESCRIPTION CONTINGENCY:

a) This contract is subject to Sellers at their own expense provide to Purchasers for their review and approval of a class A survey and a legal description for the subject property, within 21 days from the effective date of this contract. If Sellers are not able to satisfy this clause within the time allowed, Purchasers at their option shall declare this contract null and void and the Purchaser's earnest money deposit shall be returned promptly.

<u>3-20-98</u> DATE	<u>[Signature]</u> PURCHASER	<u>4/2/98</u> DATE	<u>[Signature]</u> SELLER
<u>8-11-98</u> DATE	<u>[Signature]</u> PURCHASER	<u>4/2/98</u> DATE	<u>[Signature]</u> SELLER

CONTRACT FOR SALE OF REAL ESTATE

ASHMORE REALTY, PORTLAND, Maine Date of Offer: March 19, 1998

RECEIVED OF Robert J. & Bonnie P. Steb of Tolland, Ct herein called the Purchaser, the sum of \$1,000.00 (one thousand) U.S. DOLLARS in the form of Personal Check as earnest money and in part payment on account of the purchase price of the following described real estate, situated in the County of Cumberland and State of Maine, to wit: The Crasley / Johnston property, so called, being A Parcel of Land situated on a parcel of land having approximately 100,610 sq ft. and located at Highway 101, Box 21, East Maine. Being all the real property owned by the Seller at this address and being more fully described at said county's registry of deeds in Book TD, Page TD. The parties agree that all fixtures, including, but not limited to, existing storm windows, screens, shades, blinds, shutters, curtain rods, electrical fixtures, and the following items of personal property are included with the sale: None

TOTAL purchase price being (58,000.00) fifty eight thousand dollars to be with U.S. certified funds at time of closing.

PAYMENT TO BE MADE AS FOLLOWS: the above earnest money deposit paid herewith, and the remainder to be paid by cash or certified check at time of Transfer of Title (Sec # 2) below. Any other provision of this Agreement notwithstanding, Buyer shall, unless an exception applies, be entitled to withhold at the Closing all amounts required to be withheld under 38 M.R.S.A. § 8250-A or any other applicable federal or state law, and any such withheld amounts shall be credited against the purchase price as if paid to Seller at closing. Said earnest money deposit is received and held by the broker, subject to the following conditions.

1. DEPOSIT/ACCEPTANCE: Portland as escrow agent shall hold said earnest money or deposit and act as escrow agent until closing; or at Broker's option, to so designate a suitable escrow agent for handling of said funds; that until April 16, 1998, 5PM shall be given for obtaining the Sellers acceptance, and, in the event of non-acceptance, this deposit shall be promptly returned to the Purchaser.

2. TITLE: That a deed, showing good and merchantable title in accordance with standards adopted by the Maine Bar Association, shall be delivered to the Purchaser or his nominee, and it is agreed that this transaction shall be closed and the Purchaser shall pay the balance due and execute all papers necessary for the completion of the purchase within Sixty (62) days from the Effective Date of this contract as set forth below.

Purchaser's Initials: RJS PPS Date 4 14 98, Seller's Initials: Jsc Dj Date 4 20 98

2. TITLE, CONTINUED: If Seller shall be unable to convey, or deliver possession in accordance with the provisions of this Agreement, or make the premises conform with the provisions hereunto, then the Seller shall have a reasonable time period to remedy the defect, the provisions hereunto, then the Seller shall have a reasonable time period to remedy the defect, not to exceed thirty (30) days, unless otherwise agreed to in writing by both parties at the time the defect is discovered. The Seller hereby agrees to use diligent efforts to cure any such title defect during such period or make the premises conform, whichever applies. If, at the closing date, or at the expiration of the extension period, if extended, the Seller shall have failed to remove title defects, deliver possession, or make the premises conform, whichever applies, all as herein provided, then the deposits made hereunto shall be refunded, and the obligations of the parties to one another shall cease, and this Agreement shall be void and without recourse to the parties, unless the Purchaser elects in writing before the time for performance as the same may have been extended, to accept the premises or the title in its then condition at the price herein provided.

3. DEED: The property shall be conveyed by a Warranty deed, and shall be free and clear of all encumbrances. Seller represents that the use of the real estate complies with current zoning ordinances or is a grandfathered use.

4. POSSESSION: Seller shall deliver to Purchaser possession of said premises at transfer of title. Occupancy will be given at transfer of title and subject property shall be free of any and all leaseholds, tenants or occupants unless otherwise agreed to in writing and made part of this contract.

5. RISK OF LOSS: The risk of loss or damage to said premises by fire or otherwise, until the closing, is assumed by the Seller. The above described property to be delivered in substantially the same condition as of the date of this contract unless otherwise stated.

6. PRORATIONS: The following items shall be pro-rated as of transfer of title: Real estate taxes for the fiscal year in the city/town of Rockland. *Heating Fuel No.; *Cooking Fuel No.; Electricity No.; Water No.; Sewer No.; Rents No.; Association fees n/a; Other NA. *Fuel prices to be determined by contacting N/A the day before closing and the parties agree to be bound by their current price of that day.

7. FINANCING: This contract is subject to an approved See Addendum mortgage loan of See Addendum of the purchase price at prevailing rates and terms. a) The Purchaser is under a good-faith obligation to actively seek and accept financing on the above described terms and shall make application for said mortgage within 7 (Seven) days of the Effective Date of this Contract. The Purchaser acknowledges that a breach of this good-faith obligation will be a breach of this Contract.

Purchasers' initials: RLH JPS Date 4-14-88 Sellers' initials: Jrc DS Date 4-26-88

7. FINANCING, CONTINUED: b) This contract is subject to a written statement from the lender within 21 (Twenty One) days of the Effective Date, that the Purchaser has made application and based upon the information given and subject to verification, is qualified for the loan requested. A final lender approval shall be obtained in writing from lender and received by Seller within 45 (Forty Five) days of the Effective Date of this Contract. If either of these loan approvals is not obtained within said time periods, the Seller, at this option, may declare this Contract null and void and upon escrow agent's receipt of a fully executed release, said escrow agent shall return earnest money promptly to the Purchaser.

8. CLOSING COSTS: The Purchaser will be responsible for the following: In accordance with traditional real estate practices Purchaser agrees to assume closing costs, including but not limited to Purchaser's attorney fees for title search, recording fees, proration of real estate taxes, Maine real estate transfer tax, costs for preparation of closing documents and fees for Purchaser's attorney's administration of and the actual closing. That unless otherwise stated herein, Seller(s) will be responsible for the following closing costs: Preparation of the deed transferring ownership of subject property from Seller(s) to Purchaser(s); real estate commissions, discharge and recording of any existing mortgages or liens, and Maine transfer tax.

9. DEFAULT: That in case of the failure of the Purchaser to make any of the payments, or to perform any of the covenants on his part made or entered into, this contract shall be terminated and the Purchaser shall forfeit said earnest money or deposit(s) and the same shall be retained by the Seller as liquidated damages, and this shall be the Seller's sole and exclusive remedy at law and in equity for any default by the Purchaser under this contract.

10. MEDIATION: Any dispute or claim by the parties involved, including the broker(s) arising out of or relating to this contract or the property addressed in this contract shall be submitted to mediation in accordance with the Maine Residential Mediation Rules of the American Arbitration Assn. The parties agree to binding arbitration as defined by the American Arbitration Assn. This clause shall survive the closing.

11. DISCLOSURES: The Purchaser acknowledges receipt of written disclosures concerning items listed below: Yes X No . If no, this contract is contingent upon receipt of receiving a copy of the Sellers Disclosure.

	Yes	No
a) Water Supply	<u>X</u>	<u> </u>
b) Insulation	<u>X</u>	<u> </u>
c) Waste Disposal System	<u>X</u>	<u> </u>
d) Lead Based Paint	<u>X</u>	<u> </u>
e) Hazardous materials	<u>X</u>	<u> </u>
f) Radon	<u>X</u>	<u> </u>
g) Underground Storage Tanks	<u>X</u>	<u> </u>

Purchasers' Initials: REJA TBS Date 4.14 2022 Sellers' Initials: JC DJ Date 4.20 2022

12. INSPECTIONS: It is recommended that the purchaser have the inspections listed below. The Purchaser is encouraged to seek information from professionals regarding any specific issues of concern. This contract is subject to the following inspections and/or tests with results meeting with the Purchaser's personal satisfaction:

TYPE OF INSPECTION AND/OR TESTS**	Yes	No	Results reported to Purchaser
a. General Building and Land*		X	within _____ days
b. Waste system/sewer		X	
c. Soils analysis & waste system design for a 4 bedroom house.	X		within 30 ^{See Addendum} days
d. Urea Formaldehyde		X	within _____ days
e. Radon Air quality		X	within _____ days
f. Asbestos		X	within _____ days
g. Other			within _____ days

All inspections will be done by qualified inspectors chosen by the Purchaser. The cost of inspections will be paid for by the Purchaser. The results of each inspection will be reported to the Seller in writing within the number of days from the Effective Date specified above. If the result of any inspection is unsatisfactory to the Purchaser, he may, at his option, by notifying the Seller in writing within the specified number of days, declare the contract null and void and any earnest money deposit shall be returned to the Purchaser. In the event that the Purchaser does not notify the Seller that an inspection is unsatisfactory within the time period set forth above, this contingency shall be deemed to have been waived by the Purchaser with respect to that inspection. It is understood that in the absence of the inspection(s) listed above, the Purchaser is relying completely upon his own opinion as to the condition of the property.

*General building and Land inspections to include but not be limited to items listed in Paragraph 11.

**The above timeframes are subject to the Seller having all systems (plumbing, heating, electrical) turned on and functional for said inspection(s).

13. WATER TEST: If the water supply to the premises is private, Seller, at his expense, will supply a recent satisfactory new Water Supply test conforming to the requirements of the State Bureau of health and/or lending institution within N/A days of the Effective Date of this contract.

14. AGENCY DISCLOSURE: Buyer and Seller acknowledge they have been advised of the following agency relationships:

Ralph Ashmore of Ashmore Realty Purchasers Agent
Agent Agency Acting As

Kirk Goodhue of Poet Island Realty Seller's Agent

14. AGENCY DISCLOSURE CONTINUED: When the transaction involves Disclosed Dual Agency, the parties acknowledge the limited fiduciary duties of the agent(s) and

Purchasers' Initials: RJA MS Date 4.14.08 Sellers' Initials: JC DJ Date 4.2.08

Agency, the parties acknowledge that the agent(s) has/have no fiduciary duty to any party in the transaction and furthermore all parties hereby consent to this arrangement. In addition, the parties acknowledge prior receipt and signing of State of Maine Agency Disclosure Form #1, Disclosed Dual Agency Consent Agreement and/or Transactional Agency Agreement.

15. PRIOR STATEMENTS: All representations, statements and agreements heretofore made between the parties are merged into this agreement, which alone fully and completely expresses their respective obligations, and this agreement is entered into by each party after opportunity for investigation, neither party relying on any statements or representations made by the other or on his behalf not embodied in this agreement.

16. SATISFACTION OF CONDITIONS HEREIN: Purchaser(s) and Seller(s) agree to make diligent effort to satisfy all conditions herein within the time specified, as applicable to the respective parties. Purchaser and Seller(s) further agree that the burden of responsibility for satisfaction of said conditions rests solely on the Purchaser and Seller(s) as applicable, and not on the real estate broker or its agents, and in no case whatsoever will the Broker(s) be held liable to either party for the performance of any term or covenants of this agreement or for damages for the nonperformance thereof.

17. HEIRS/ASSIGNS: All covenants and agreements herein contained shall extend to and be obligatory upon heirs, personal representatives, successors and assigns of the respective parties.

18. CLOSING PREPARATION: The Seller hereby agrees to remove all personal property from subject property, with the exception of the items listed herein above. All personal property removed to include, but not be limited to, all materials, objects, things in, under, on or around subject building(s) and land. Purchaser shall have a final walk-through inspection of subject property the day before or day of closing. Premises to be found free of all said personal property and in broom clean condition with lawn(s) mowed and yard(s) cleaned-up at time of final walk-through.

19. ADDENDA ATTACHED: *yes*

20. EXHIBITS ATTACHED: *Brochure of Disclosure*

21. COUNTERPARTS: This agreement, and any present or future addenda or attachments, may be signed on any number of identical counterparts, such as a faxed copy, with the same binding effect as if the signatures were on one instrument. Original or faxed signatures are binding.

22. CONFIDENTIALITY: Buyer and Seller understand that the terms of this contract are confidential but authorize Broker(s) to disclose information to the parties' attorneys, lenders, appraisers, inspectors and others necessary for the purpose of closing this

Purchasers' initials: *RJL GRS* Date *4.14.08* Sellers' initials: *JSC BJ* Date *4/21/08*

transaction. Parties authorize Broker(s) to receive closing statements. Parties hereby grant permission to disclose the timeframes/timetables of this contract to prospective Purchasers for purposes of drafting back up contract(s).

23. PERMISSION: The parties agree to allow broker(s) to disclose to perspective purchaser's the existence of a primary contract however, said disclosure does not mean or intend to allow for disclosure of agreed upon sales price, terms or any other related confidential information. The parties hereby acknowledge that back-up offers will be negotiated and subordinate contracts will be accepted per terms as defined herein this agreement.

24. EFFECTIVE DATE: The Effective Date set forth below shall be the date that Broker, Ashmore Realty receives fully executed Contract for Sale of Real Estate, either FAX transmission or original ink signatures. All timeframes contained within this instrument are based on consecutive calendar days from the effective date of this Contract, unless otherwise stated herein. Instrument may also include Attachments, Exhibit(s), and/or Addendum/Addenda. Purchaser(s) and Seller(s) each authorize Ashmore Realty to insert date of receipt and to be bound thereby.

A copy of this contract is to be received by all parties and by signature. Receipt of a copy is hereby acknowledged. When properly completed this is a binding contract. If not fully understood, consult an attorney.

Purchaser having inspected the above described property and its appurtenances, hereby offers and agrees to purchase the above described property at the price and upon the terms and conditions set forth.

4-14-98 [Signature] 4-14-98 [Signature]
Date Purchaser Date Purchaser

147-38-6468
Soc. Sec. #

Soc. Sec. # 108-36-3611

Seller hereby accepts the offer of Purchaser and agrees to deliver the deed to the Property at the price and upon terms and conditions above stated.

4/26 [Signature] 4/26 [Signature]
Date Seller Date Seller

Soc. Sec. # 086-465954

Soc. Sec. #

Effective Date of Contract: 4/26/98

(dsc)

DLA 105

SENT BY: CIGNA EBD

4-21-98 8:02AM EASTERN REGION ADMIN

1

RCV BY: CIGNA EBD

4-19-98 1:15PM

EASTERN REGION ADMIN

ASHMORE REALTY

65 Commercial St., Portland, ME 04101

(207) 772-6992

FAX (207) 776-6000

ADDENDUM TO CONTRACT FOR SALE OF REAL ESTATE

SELLER(S): Johnston/Crowley

PROPERTY: Hussey Rd. Peaks Island, Me.

PURCHASER(S): Robert and Bonnie Stek

DATE OF THIS ADDENDUM: April 13, 1998

EFFECTIVE DATE OF CONTRACT:

- a) The time for performance of paragraph 12c. of the contract for sale of real estate shall read 21 days from the date of receipt and approval by Purchasers of a Class A Survey for the property of reference *as referenced in Addendum dated March 19, 1998. (SD) 4/14/98*
- b) Paragraph 7. Financing shall read : This contract is subject to the approval of the following loans. \$20,000.00 from refinancing of purchaser's primary residence; \$25,000.00 equity loan on the Purchaser's primary residence.
- c) This contract is subject to an appraised value of the subject property of \$58,000.00 or more.

892

4-14-98 Robert Stek
 DATE PURCHASER

4/20/98 Johnston/Crowley
 DATE SELLER

4/14/98 Bonnie P. Stek
 DATE PURCHASER

4/20/98 Johnston/Crowley
 DATE SELLER

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM**

Insp Copy

2002-0035

Application I. D. Number

2/11/02

Application Date

Bonnie & Robert Stek

Project Name/Description

Hults, Keith & Harriet

Applicant

55 Central Ave, Peaks Island, ME 04108

Applicant's Mailing Address

Keith Hults

Consultant/Agent

Agent Ph: 800-872-2326

Agent Fax: 363-2411

Applicant or Agent Daytime Telephone, Fax

Hussey Rd, Portland, Maine

Address of Proposed Site

089 E027001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

58'11" x 45'

52290

R3

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan **\$50.00** Subdivision _____ Engineer Review **\$250.00** Date **2/11/02**

Insp Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions**
See Attached **Denied**

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached

Condition Compliance _____ signature _____ date _____

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------------------|--|-----------------------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Inspection Fee Paid | _____ date _____ | _____ amount _____ | |
| <input type="checkbox"/> Building Permit Issue | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ date _____ | _____ remaining balance _____ | _____ signature _____ |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ date _____ | <input type="checkbox"/> Conditions (See Attached) | _____ expiration date _____ |
| <input type="checkbox"/> Final Inspection | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ date _____ | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ date _____ | _____ signature _____ | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ submitted date _____ | _____ amount _____ | _____ expiration date _____ |
| <input type="checkbox"/> Defect Guarantee Released | _____ date _____ | _____ signature _____ | |

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
DRC Copy**

2002-0035
Application I. D. Number

02/11/2002
Application Date

Bonnie & Robert Stek
Project Name/Description

Hults, Keith & Harriet
Applicant
55 Central Ave, Peaks Island, ME 04108
Applicant's Mailing Address
Keith Hults
Consultant/Agent
Agent Ph: 800-872-2326 Agent Fax: 363-2411
Applicant or Agent Daytime Telephone, Fax

Hussey Rd, Portland, Maine
Address of Proposed Site
089 E027001
Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

58'11" x 45' 52290 R3
Proposed Building square Feet or # of Units Acreage of Site Zoning

Check Review Required:

- | | | | |
|---|--|--|--|
| <input checked="" type="checkbox"/> Site Plan (major/minor) | <input type="checkbox"/> Subdivision # of lots _____ | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other _____ | |

Fees Paid: Site Plan \$50.00 Subdivision _____ Engineer Review \$250.00 Date 02/11/2002

DRC Approval Status:

- Approved Denied

Approval Expiration 03/04/2003 Extension to _____
 Additional Sheets Attached
 Condition Compliance Jay Reynolds 03/04/2002
signature date

Performance Guarantee Required* Not Required

* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
ADDENDUM**

2002-0035

Application I. D. Number

02/11/2002

Application Date

Bonnie & Robert Stek

Project Name/Description

Hults, Keith & Harriet

Applicant

55 Central Ave, Peaks Island, ME 04108

Applicant's Mailing Address

Keith Hults

Consultant/Agent

Agent Ph: 800-872-2326

Agent Fax: 363-2411

Applicant or Agent Daytime Telephone, Fax

Hussey Rd, Portland, Maine

Address of Proposed Site

089 E027001

Assessor's Reference: Chart-Block-Lot

Approval Conditions of DRC

- 1 A PRE-CONSTRUCTION MEETING SHALL BE HELD ON SITE TO EVALUATE/DELINEATE POSSIBLE ON AND OFF SITE WETLAND AREAS. APPLICANT WILL BE RESPONSIBLE FOR COORDINATING THE APPROPRIATE PARTIES TO ACHIEVE THIS.
- 2 NO CHANGES IN GRADE ARE PROPOSED. IF ANY CHANGES ARE PROPOSED IN THE FUTURE, AN AMENDED SITE PLAN WILL BE REQUIRED FOR REVIEW BY THE CITY, SHOWING ANY/ALL PROPOSED CONTOURS.
- 3 Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 4 Your new street address is now #66 HUSSEY ROAD, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 5 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 6 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 7 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 8 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 9 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Applicant: Stek, Robert; Bonnie Date: 2/13/02
 Address: Hussey Rd., Peaks Island C-B-L: 089-E-027

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New # 02-0127

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - construct New Single family home with attached garage; front Deck breezeway

Sevage Disposal - Private

Lot Street Frontage - 100' min - 227' shown

Front Yard - 30' req - 63' scaled

Rear Yard - 30' req - 112' scaled

Side Yard - 20' req - 36' scaled

Projections - front Deck

Width of Lot - 100' - 150' + shown

I need before grading - height 35' MAX - 27' ~~shown~~ given to Ridge heights are based on present existing grades

Lot Area - 40,000 sq ft min - 52,290 sq ft
 has water in Hussey Rd

Lot Coverage Impervious Surface - 20% = 10,458 sq ft

Area per Family - 40,000 sq ft

Off-street Parking - 2 req - 2 shown

Loading Bays - N/A

Site Plan - minor/minor # 2002-0035

Shoreland Zoning/Stream Protection - N/A

Flood Plains - Panel 15 - Zone C

27 x 37 =	999
deck 8 x 27 =	202.5
breezeway 7.6 x 9 =	68.4
24 x 24 =	576
<hr/>	
	1845.9

OK

Note on labeled "Future Room" Attached to garage - No Kitchen facilities requires a separate permit to determine future use

From: Marge Schmuckal
To: Jay Reynolds
Subject: You Hussey, You Rd - Peaks Is

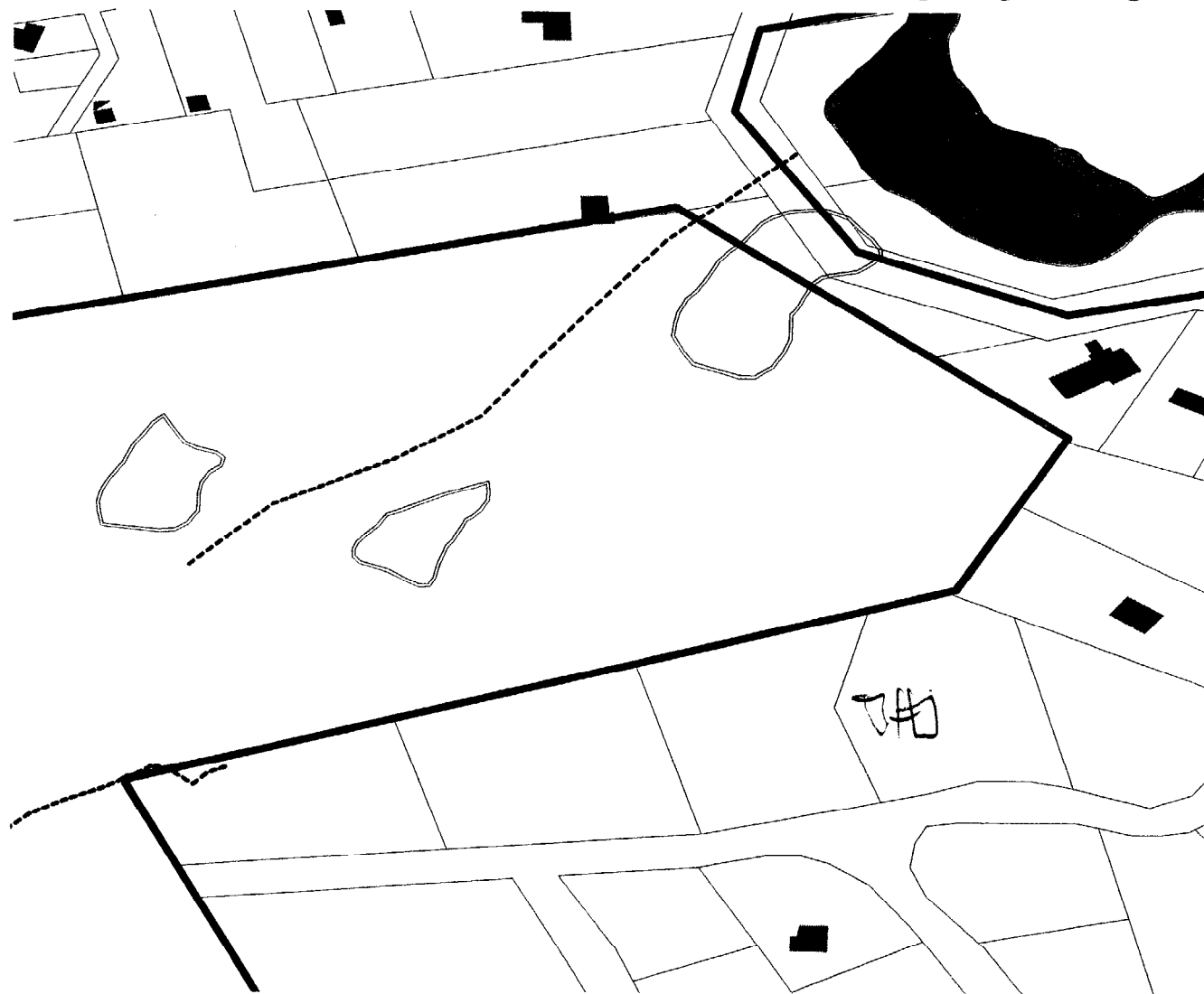
Jay,

since you will be asking these folks for wetland determination, can you also request existing grades around the house and garage compared to new grades. I need to figure out the structure height by the EXISTING grades. I believe that they will be alright since they are showing 27 ft. to the ridge, but if they are doing some significant filling, that may be in jeopardy. I should know in advance.

Thanks,
Marge

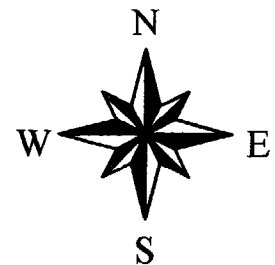
CC: William Needleman

Hussey Road Area Peaks Island









- Wetlands_polygons3.shp
- Wetlands.shp
- Trails.shp
- Ponds.shp
- Oceanside_con.shp
- Intertidal.shp
- Build_polygons.shp
- Zoning_bound.shp
- Cleaned_finalie_region.shp

500 0 500 1000 Feet




Gulf of Maine e-Atlas

Map Tools: Instructions      

Peaks Island Mapping Project: Internet Demo

To be Presented by James Essex on Wednesday, June 20th, Peaks Island Meeting hosted by Peaks Island's Land Preserve (PILP) and Neighborhood Assoc



Map Legend Location Map

Source Data Information

Peaks Island

Geographic Information Systems (GIS) is a technical resource useful for education and effective as a spatial decision support tool for small communities. The Peaks Island Mapping Project has been designed to involve community members in the comprehensive planning process by generating spatial data layers that can be used within GIS. Island Institute Fellow James Essex has been working with community members, Peaks Island Land Preserve (PILP), and Peaks Island Neighborhood Association (PINA).

Important information about this online mapping application

- Although using the resources of the Gulf of Maine e-Atlas website, this application is hosted on the Island Institute (server, software) this online mapping application is available or linked from the e-Atlas site. This application is not available to those who have the full, correct URL. Please feel free to contact us for more information about the [Gulf of Maine e-Atlas](#).
- Parcel level data is available to view in this application and may be queried to identify a parcel id number and area measurement. HOWEVER no ownership information has been included.
- Accuracy of this Data is Neither Explicitly nor Implicitly Implied. **Should NOT be Used or Consulted to Determine the Legal Status of Any Boundary.**
- GIS data currently resides at the Island Institute and WILL NOT be distributed unless directed by the sponsoring organizations (PILP, PINA).
- This Internet mapping demo uses the ArcIMS (ESRI) Internet Mapping Software (IMS).

The project was made possible with contributions of time, resources

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-5872 FAX (207) 287-4172

PROPERTY LOCATION

Town or Plantation: PORTLAND (PEAKS ISLAND)

Street Subdivision Lot: HUSSEY ROAD

PROPERTY OWNER'S NAME

Last: N/F CROWLEY First: JOAN

Applicant's Name: ROBERT STEK

Mailing Address of Owner: 744 SCHEMPSIT LAKE ROAD TOLLAND, CN. 06084

Daytime Tel. *

Caution: Permit Required

The Subsurface Wastewater Disposal System shall not be installed until a Permit is attached here by the Local Plumbing Inspector. The Permit shall authorize the owner or installer to install the disposal system in accordance with this application and the Maine Subsurface Wastewater Disposal Rules.

Owner Statement

I state that the information submitted is correct to the best of my knowledge and understand that any falsification is reason for the Department and/or Local Plumbing Inspector to deny a permit

Signature of Owner/Applicant _____ Date _____

Caution: Inspection Required

I have inspected the installation authorized above and found it to be in compliance with the Subsurface Wastewater Disposal Rules Application

Municipal Tax Map * _____ Lot * _____

Local Plumbing Inspector Signature _____ Date Approved _____

PERMIT INFORMATION

TYPE OF APPLICATION:

- First Time System
- Replacement System
Type Replaced _____
Year Installed _____
- Expanded System
 - a. one time exempted
 - b. non exempted
- Experimental System
- Seasonal Conversion

THIS APPLICATION REQUIRES:

- No Rule Variance
- First Time System Variance
 - a. Local Plumbing Inspector approval
 - b. State & Local Plumbing Inspector approval
- Replacement System Variance
 - a. Local Plumbing Inspector approval
 - b. State & Local Plumbing Inspector approval
- Minimum Lot Size Variance
- Seasonal Conversion Approval

DISPOSAL SYSTEM COMPONENT(S)

- Non-Engineered System
- Primitive System (graywater & alt toilet)
- Alternative Toilet _____
- Non-Engineered Treatment Tank
- Holding Tank _____ Gallons
- Non-Engineered Disposal Area (only)
- Separated Laundry System
- Engineered System (+2000 gpd)
- Engineered Treatment Tank (only)
- Engineered Disposal Area (only)
- Pretreatment

SIZE OF PROPERTY

98, 290 S.F. ±

DISPOSAL SYSTEM TO SERVE:

- Single Family Dwelling Unit
- Multiple Family Dwelling: Number of Units _____
- Other _____

SHORELAND ZONING

Yes No

TYPE OF WATER SUPPLY

PUBLIC WATER

DESIGN DETAILS (SYSTEM LAYOUT SHOWN ON PAGE 3)

TREATMENT TANK

- Concrete
 - a. Regular
 - b. Low Profile (IF NECESSARY)
- Plastic
- Other _____

SIZE 1000 Gallons

DISPOSAL AREA TYPE / SIZE

- Bed _____ Sq. Ft.
- Proprietary Device 1050 Sq. Ft.
 - Cluster Linear
 - Regular H-20
- Trench
- Other _____

21 PLASTIC CHAMBERS

GARBAGE DISPOSAL UNIT

- No
- Yes
 - Multi-compartment tank
 - Tank in series
 - Increase in tank capacity
 - Filter on tank outlet

CRITERIA USED FOR DESIGN FLOW (Show Calculations)

SINGLE FAMILY DWELLING (3 BED ROOM)

DESIGN FLOW: 270
(Gallons/Day)

PROFILE & DESIGN CLASS

PROFILE	DESIGN
<u>2</u>	<u>A/C</u>

DEPTH TO MOST LIMITING FACTOR 15-26"

DISPOSAL AREA SIZING

- Small - 2.00
- Medium - 2.60
- Medium-Large - 3.30
- Large - 4.10
- Extra-Large - 5.20

PUMPING

- Not required
- May be required
- Required

DOSE _____ Gallons

SITE EVALUATOR'S STATEMENT

On 5/26/98 (date) I completed a site evaluation on this property and state that the data reported is accurate and that the proposed system is in compliance with the Subsurface Wastewater Disposal Rules.

Albert Frick

Site Evaluator Signature

163

SE *

7/29/98

Date

ALBERT FRICK ASSOC., INC.

Site Evaluator Name Printed

839-5563

Telephone

This HAS permitted!

SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-3672 FAX (207) 287-4172

Town, City, Plantation

PORTLAND (PEAKS ISLAND)

Street, Road Subdivision

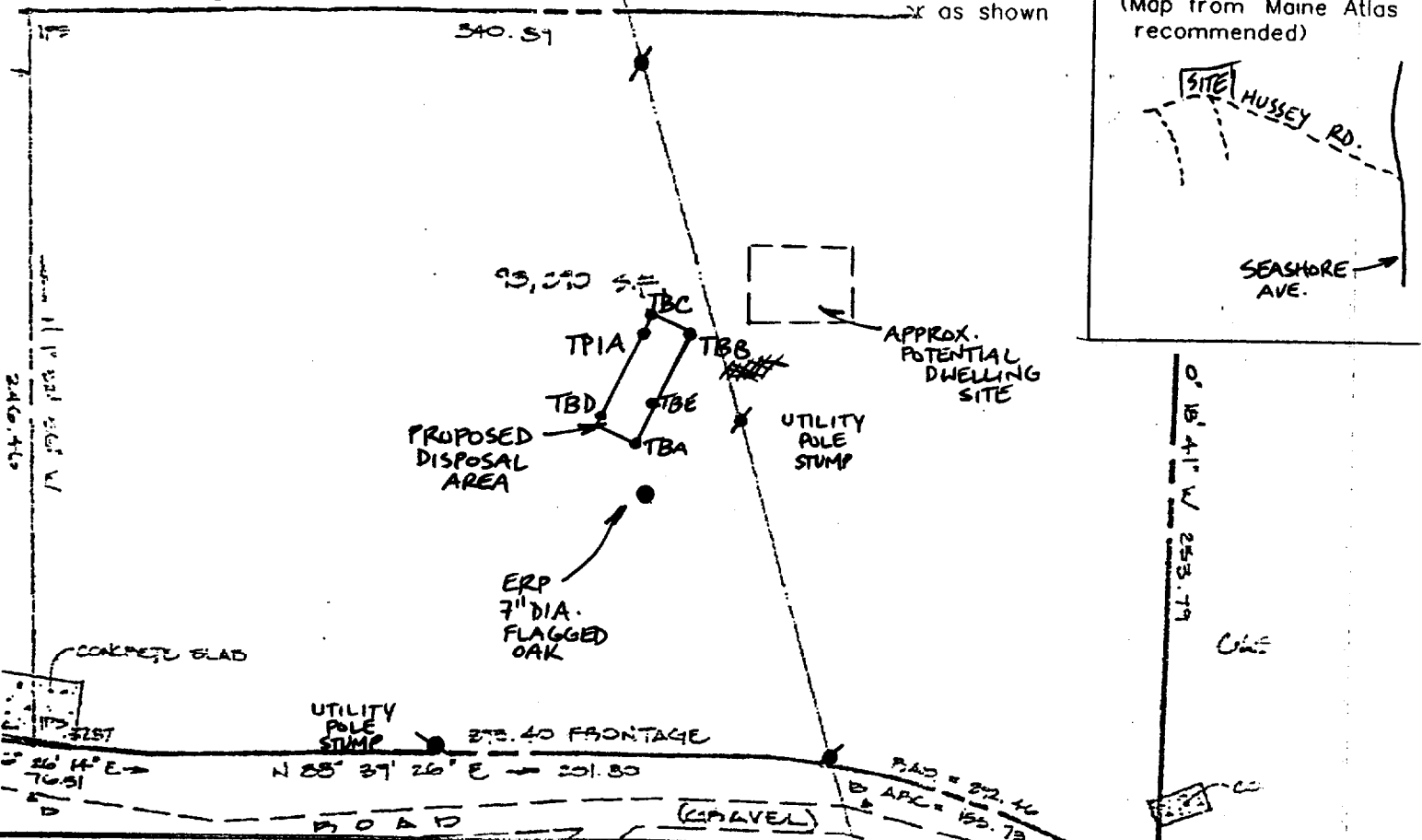
HUSSEY ROAD

Owner's Name
N/F CROWLEY (ROBERT STEK)

SITE PLAN

Scale 1" = 60 ± Ft.
as shown

SITE LOCATION PLAN
(Map from Maine Atlas recommended)



SOIL DESCRIPTION AND CLASSIFICATION (Location of Observation Holes Shown Above)

Observation Hole TP1A Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

Observation Hole TBA-E Test Pit Boring
" Depth of Organic Horizon Above Mineral Soil

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0	CHANNERY SANDY LOAM	FRIABLE	DARK BROWN	
10			YELLOWISH BROWN	
20				FEW FAINT
20	BEDROCK			
30				
40				
50				

DEPTH BELOW MINERAL SOIL SURFACE (inches)	Texture	Consistency	Color	Mottling
0				
10				
20				
20	TBA = 21" TO BEDROCK			
20	TBB = 17" TO BEDROCK			
20	TBC = 15" TO BEDROCK			
20	TBD = 20" TO BEDROCK			
20	TBE = 20" TO BEDROCK			
30				
40				
50				

Soil Classification: 2 A/C
 Profile: 2 Condition: A/C
 Slope: _____ %
 Limiting Factor: 26"
 Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Soil Classification: _____
 Profile: _____ Condition: _____
 Slope: _____ %
 Limiting Factor: 15"
 Ground Water
 Restrictive Layer
 Bedrock
 Pit Depth

Albert French
Site Evaluator Signature

163
SE

7/24/98
Date

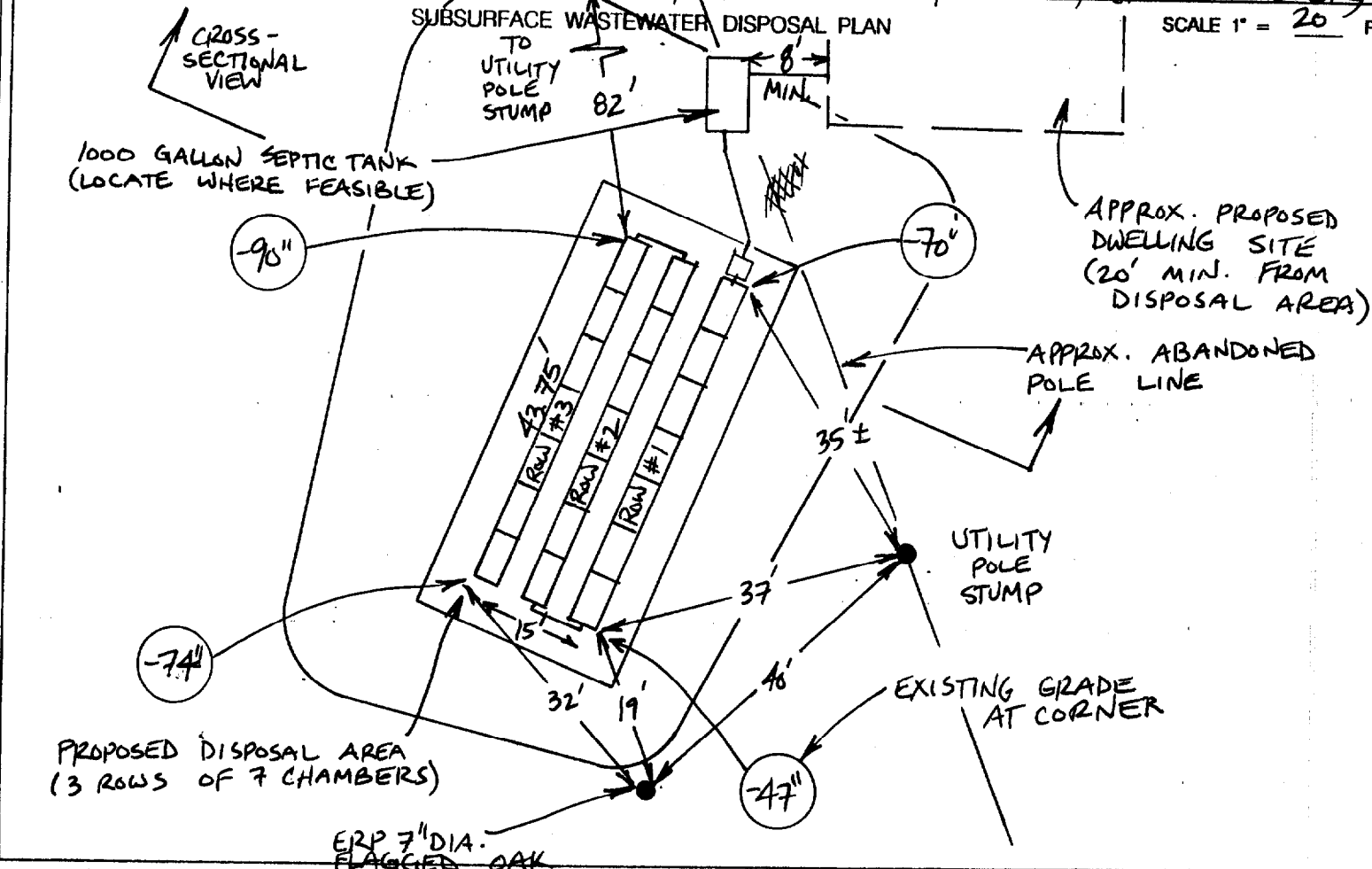
SUBSURFACE WASTEWATER DISPOSAL SYSTEM APPLICATION

Department of Human Services
Division of Health Engineering
(207) 287-5672 FAX (207) 287-4172

Town, City, Plantation: **PORTLAND (PEAKS ISLAND)**
Street, Road, Subdivision: **HUSSEY ROAD**
Owner's Name: **N/F CROWLEY (ROBERT STEK)**

SUBSURFACE WASTEWATER DISPOSAL PLAN

SCALE 1" = 20' FT.



FILL REQUIREMENTS

Depth of Fill (Upslope) **27" - 50"**
Depth of Fill (Downslope) **38" - 54"**

CONSTRUCTION ELEVATIONS

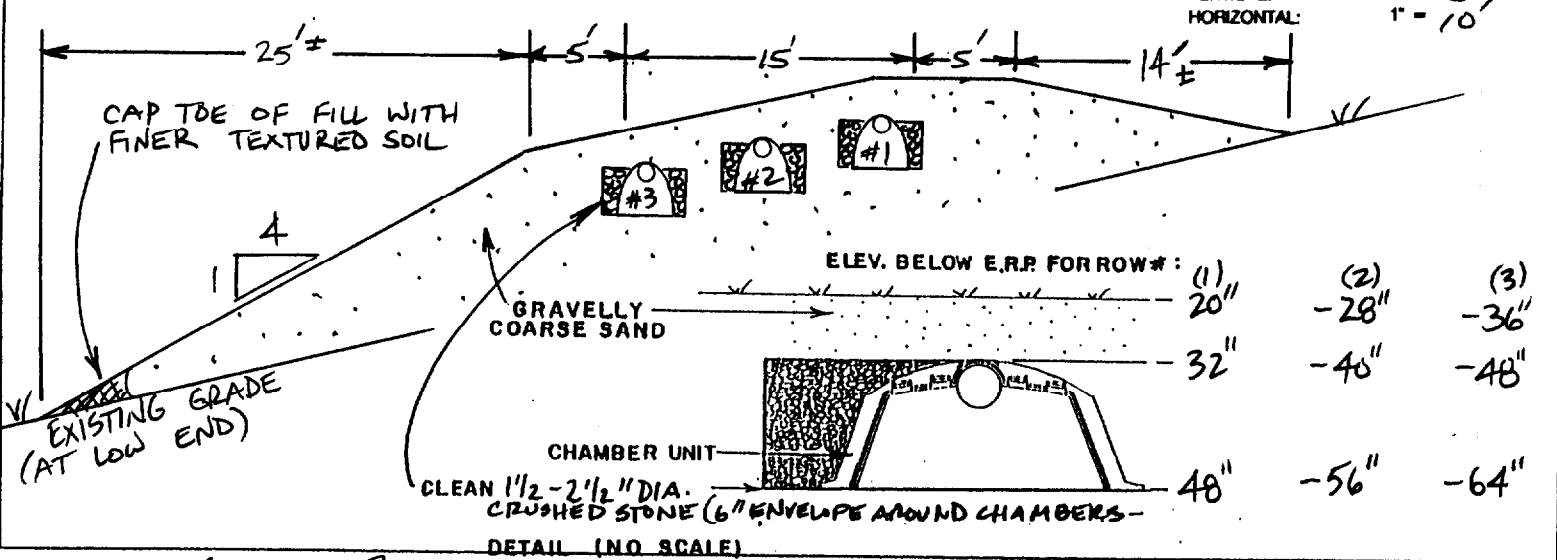
Finished Grade Elevation
Top of Distribution Pipe or Proprietary Device
Bottom of Disposal Area

ELEVATION REFERENCE POINT

SEE DETAIL BELOW
Location & Description **NAIL 42" ABOVE BASE OF 7" DIA. FLAGGED OAK**
Reference Elevation **00"**

DISPOSAL AREA CROSS SECTION

SCALE:
VERTICAL: 1" = 5'
HORIZONTAL: 1" = 10'



Albert Frick
Site Evaluator Signature

163
SE

7/29/98
Date



Albert Frick Associates, Inc.

Soil Scientists & Site Evaluators

95A County Road Gorham, Maine 04038

(207) 839-5563

PORTLAND (PEAKS ISLAND) HUSSEY ROAD ROBERT STEK
TOWN LOCATION APPLICANT'S NAME

1) The Plumbing and Subsurface Wastewater Disposal Rules adopted by the State of Maine, Department of Human Services pursuant to 22 M.R.S.A. § 42 (the "Rules") are incorporated herein by reference and made a part of this application and shall be consulted by the owner/applicant, the system installer and/or building contractor for further construction details and material specifications. The system installer should contact Albert Frick Associates, Inc. 839-5563, if there are any questions concerning materials, procedures or designs. The system installer and/or building contractor installing the system shall be solely responsible for compliance with the Rules and with all state and municipal laws and ordinances pertaining to the permitting, inspection and construction of subsurface wastewater disposal systems.

2) This application is intended to represent facts pertinent to the Rules only. It shall be the responsibility of the owner/applicant, system installer and/or building contractor to determine compliance with and to obtain permits under all applicable local, state and/or federal laws and regulations (including, without limitation, Natural Resources Protection Act, wetland regulations, zoning ordinances, subdivision regulations, Site Location of Development Act and minimum lot size laws) before installing this system or considering the property on which the system is to be installed a "buildable" lot. It is recommended that a wetland scientist be consulted regarding wetland regulations.

Prior to the commencement of construction/installation, the local plumbing inspector shall inform the owner/applicant and Albert Frick Associates, Inc. of any local ordinances which are more restrictive than the Rules in order that the design may be amended. All designs are subject to review by local, state and/or federal authorities. Albert Frick Associates, Inc.'s liability shall be limited to revisions required by regulatory agencies pursuant to laws or regulations in effect at the time of preparation of this application.

3) All information shown on this application relating to property lines, well locations, subsurface structures and underground facilities (such as, utility lines, drains, septic systems, water lines, etc.) are based solely upon information provided by the owner/applicant and has been relied upon by Albert Frick Associates, Inc. in preparing this application. The owner/applicant shall review this application prior to the start of construction and confirm this information.

4) Installation of a garbage (grinder) disposal is not recommended. If one is installed, an additional 1000 gallon septic tank or a septic tank filter should be connected in series to the proposed septic tank.

5) The system user shall avoid introducing kitchen grease or fats into this system. Chemicals such as septic tank cleaners and/or chlorine (such as from water treatment) and controlled or hazardous substances shall not be disposed of in this system.

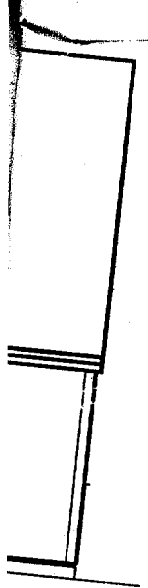
ATTACHMENT TO SUBSURFACE WASTEWATER DISPOSAL APPLICATION

PORTLAND (PEAKS ISLAND) HUSSEY ROAD ROBERT STEK
TOWN LOCATION APPLICANT'S NAME

- 6) The septic tank should be pumped within two years of installation and subsequently as recommended by the pump service, but in no event should the septic tank be pumped less often than once every three years.
- 7) The actual water flow or number of bedrooms shall not exceed the design criteria indicated on this application without a re-evaluation of the system as proposed. If the system is supplied by public water or a private service with a water meter, the water consumption per period should be divided by the number of days to calculate the average daily water consumption (water usage (cu.ft.) x 7.48 cu.ft.(gallons per cu.ft.) + # of days in period).
- 8) The general minimum setbacks between a well and septic system serving a single family residence is 100-300 feet, unless the local municipality has a more stringent requirement. A well installed by an abutter within the minimum setback distances prior to the issuance of a permit for the proposed disposal system may void this design.
- 9) When a gravity system is proposed: **BEFORE CONSTRUCTION/INSTALLATION BEGINS**, the system installer or building contractor shall review the elevations of all points given in this application and the elevation of the existing and/or proposed building drain and septic tank inverts for compatibility to minimum slope requirements. In gravity systems, the invert of the septic tank(s) outlet(s) shall be at least 4 inches above the invert of the distribution box outlet at the disposal area. When an effluent pump is required, provisions shall be made to make certain that surface ground water does not enter the septic tank or pump station. An alarm device warning of a pump failure shall be installed. Also, when pumping is required to a chamber system, install a "T" connection in the distribution box and place 3 inches of stone or a splash plate in the first chamber. Insulate gravity pipes, pump lines and the distribution box as necessary to prevent freezing.
- 10) On all systems, remove the vegetation, organic duff and old fill material from under the disposal area and any fill extension. On sites where the proposed system is to be installed in natural soil, scarify the bottom and sides of the excavated disposal area with a rake. Do not use wheeled equipment on the scarified soil surface. For systems installed in fill, scarify the native soil by roto-tilling to a depth of at least 8 inches over the entire disposal and fill extension area to prevent glazing and to promote fill bonding. Place fill in loose layers no deeper than 8 inches and compact thoroughly before placing more fill (this ensures that voids and loose pockets are eliminated to minimize the chance of leakage). Do not use wheeled equipment on the scarified soil area until after 12 inches of fill is in place. Keep equipment off the chambers. Divert the surface water away from the disposal area by ditching or shallow swales.
- 11) Unless noted otherwise, fill shall be gravelly coarse sand which contains no more than 5% fines (silt and clay).
- 12) Do not install systems on loamy, silty, or clayey soils during wet periods since soil smearing/glazing may seal off the soil interface.
- 13) Seed all filled and disturbed surfaces with perennial grass seed, then mulch with hay or equivalent material to prevent erosion.



Albert Frick Associates, Inc.
Soil Scientists & Site Evaluators
95A County Road Gorham, Maine 04038
(207) 839-5563



NEED SPECIFIC
PLANS FOR
THIS HOUSE.

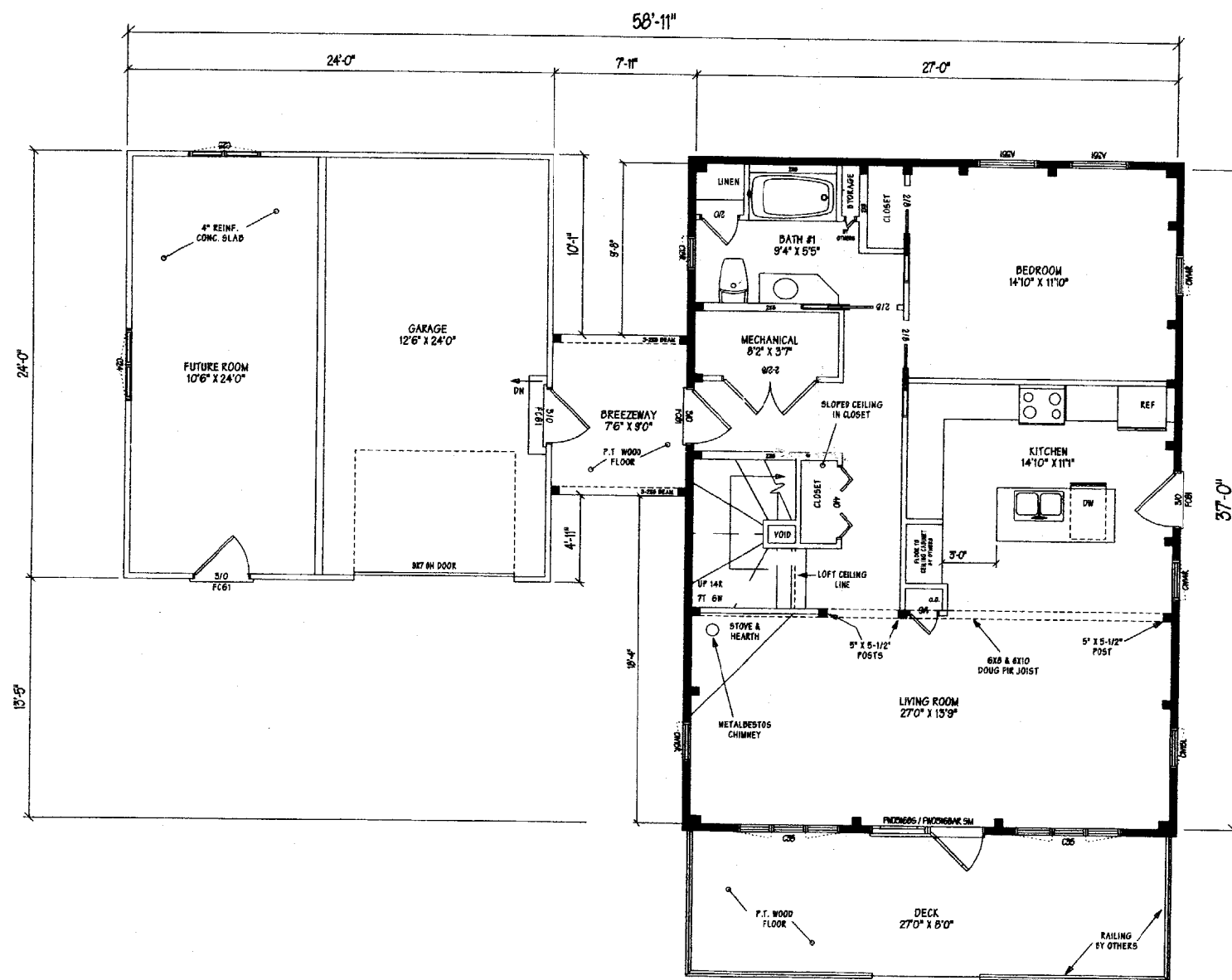
- 1) IS THIS DAYLIGHT CRAWLSPACE BASEMENT?
- 2) STAIR WINDER DETAILS
- 3) COMPLETE SPAN + STRUCTURAL DETAILS & FRAMING =
- 4) EGRESS WINDOWS?
- 5) MASONRY CHIMNEY?
- 6) BETTER
- 7) HEATING SYSTEM.
- 8) GUARD RAILS
- 9) FOOTING DIMENSIONS
- 10) HEADERS + GIRDERS
- 11) HANGERS
- 12) ROOF COVERING
- 13) ROOF FRAMING
- 14) BOCA 99

NOTICE: BUILDING DESIGNED TO MEET THE FOLLOWING LOAD CONDITIONS:
 1st FLOOR 40 PSF LIVE LOAD
 2nd FLOOR 30 PSF LIVE LOAD
 ROOF SYSTEM 50 PSF SNOW LOAD
 WIND LOAD 100 MPH EXPOSURE 'B'

IMPORTANT NOTE
 THE BUILDER MUST REVIEW THE SIGNED ORDER FORM AND ANY ADJUSTMENTS INFORMATION TO DETERMINE THE LIST OF MATERIALS BEING PURCHASED FROM CLASSIC POST & BEAM. ANY OTHER MATERIALS REQUIRED TO ERECT THE BUILDING BUT NOT LISTED ON THE SIGNED ORDER FORM ARE TO BE SUPPLIED BY THE BUILDER OR CUSTOMER.

ACCESS TO GARAGE LOFT TO BE DETERMINED ON THE JOB.

ADDITIONAL FLOOR SUPPORT REQUIRED IF COMBINED STOVE AND HEARTH WEIGHT EXCEEDS 40# / SQ. FT. CONSULT YOUR CLASSIC POST & BEAM SALES REPRESENTATIVE.



FIRST FLOOR PLAN

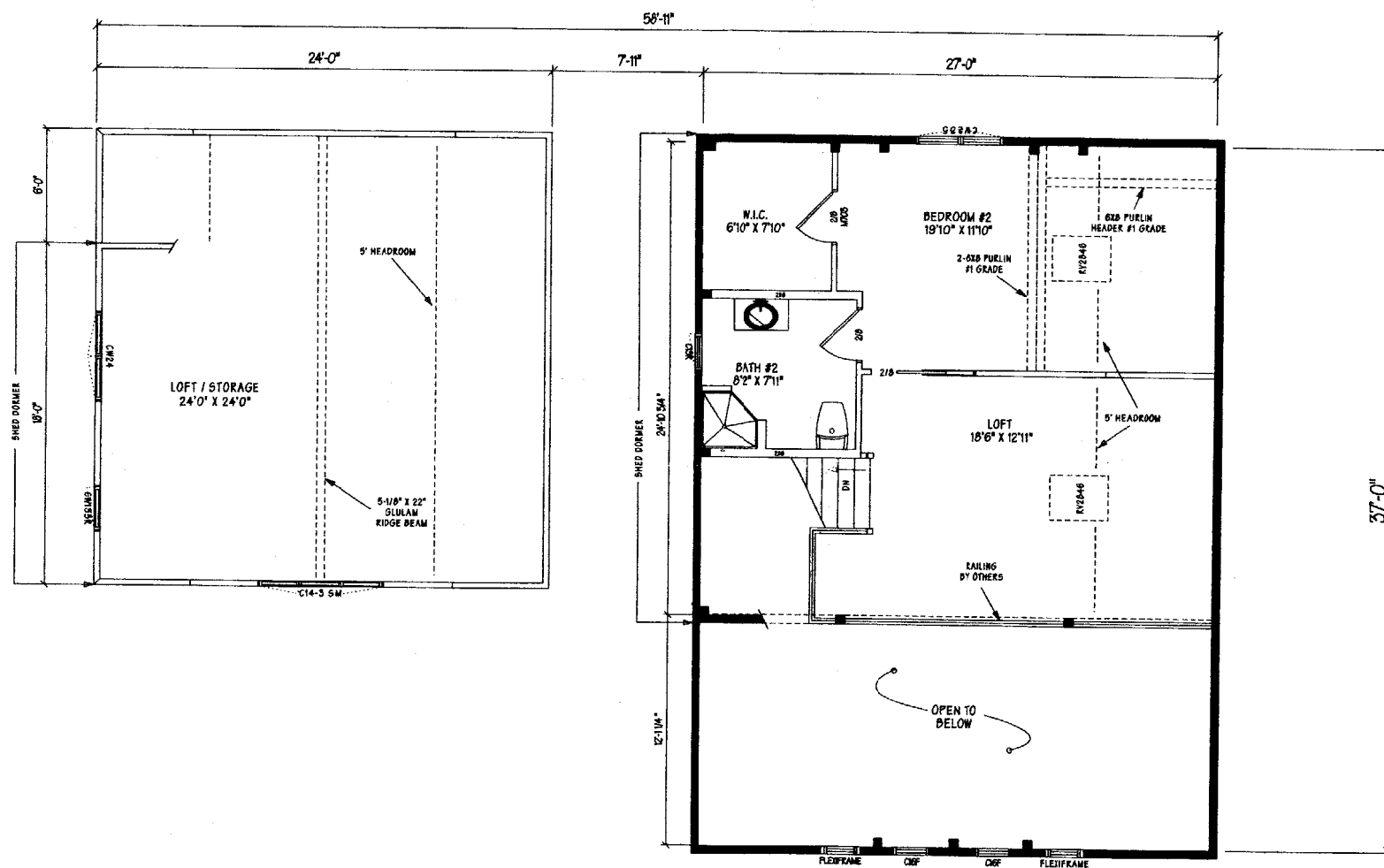


©2002 by N.H. Inc.

D-02

NO.	DESCRIPTION / CHANGE ORDER	DATE	BY	CHKD.
R1	MISC.	12/6/01	NR	
R2	MISC./ MATERIALS	12/31/01	RR	
C1	MISC./ MATERIALS	01/04/02	RR	
C2	MISC.	01/14/02	RR	

BRANDS	ANDERSEN	MODEL	MOD. BRENTWOOD
CASEMENT TERRAZONE			
DESIGNED TO MEET THE 1996			
I.C.C. NATIONAL BUILDING CODE			
PROJECT NAME	BONNIE & ROBERT STEK		
DATE	11/15/01	PLAN NO.	F-1905
SCALE	1/4" = 1'-0"	SHEET NO.	1



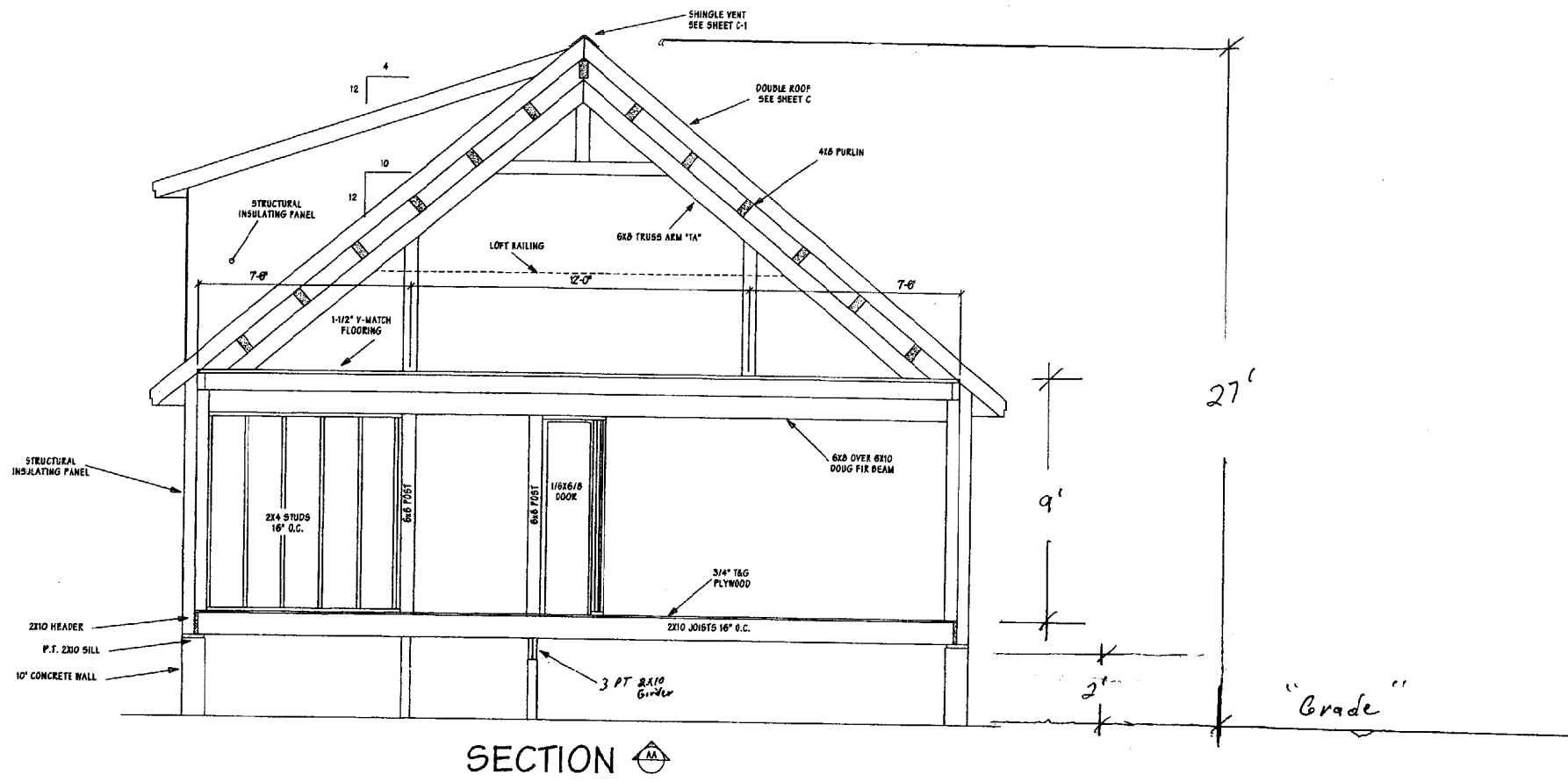
SECOND FLOOR PLAN



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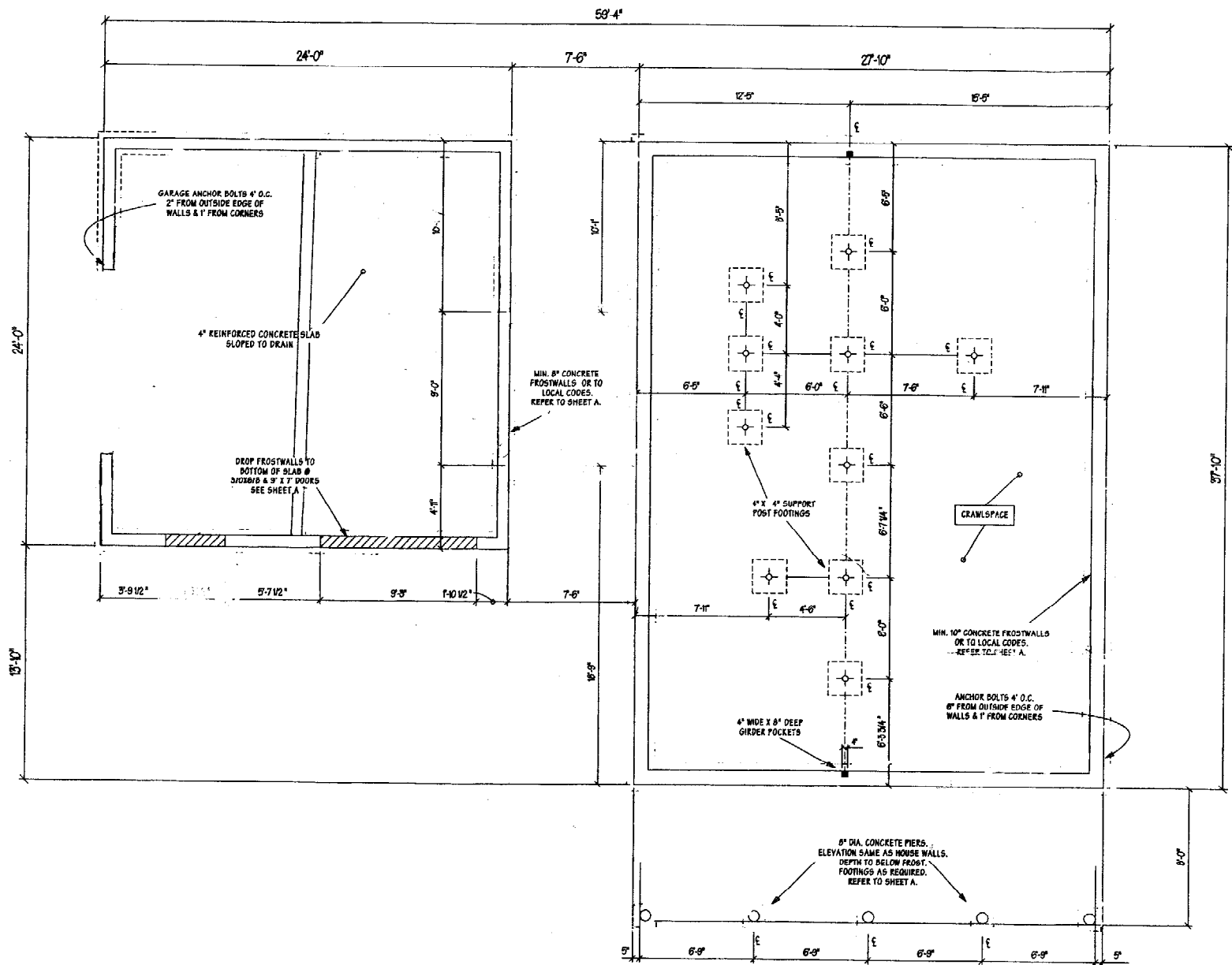
D-02

REVISION/CHANGE ORDER		DATE	BY	CHK
PROJECT NAME		BONNIE & ROBERT STEK		
DATE	11/9/01	PLANK	F-1905	SHEET NO.
SCALE	1/4" = 1'-0"			2



NO.		REVISION/CHANGE ORDER	DATE	BY	CHK.
WINDOWS		MODEL			
PROJECT NAME					
BONNIE & ROBERT STEK					
DATE	1/14/02	PLAN NO.	F-1905		SHEET NO.
SCALE	3/8" = 1'-0"				7

VENT & CRAWLSPACE ACCESS LOCATIONS TO BE DETERMINED BY FOUNDATION CONTRACTOR.



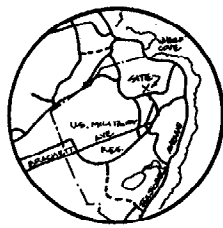
FOUNDATION PLAN



2002 by NLH Inc.

D-02

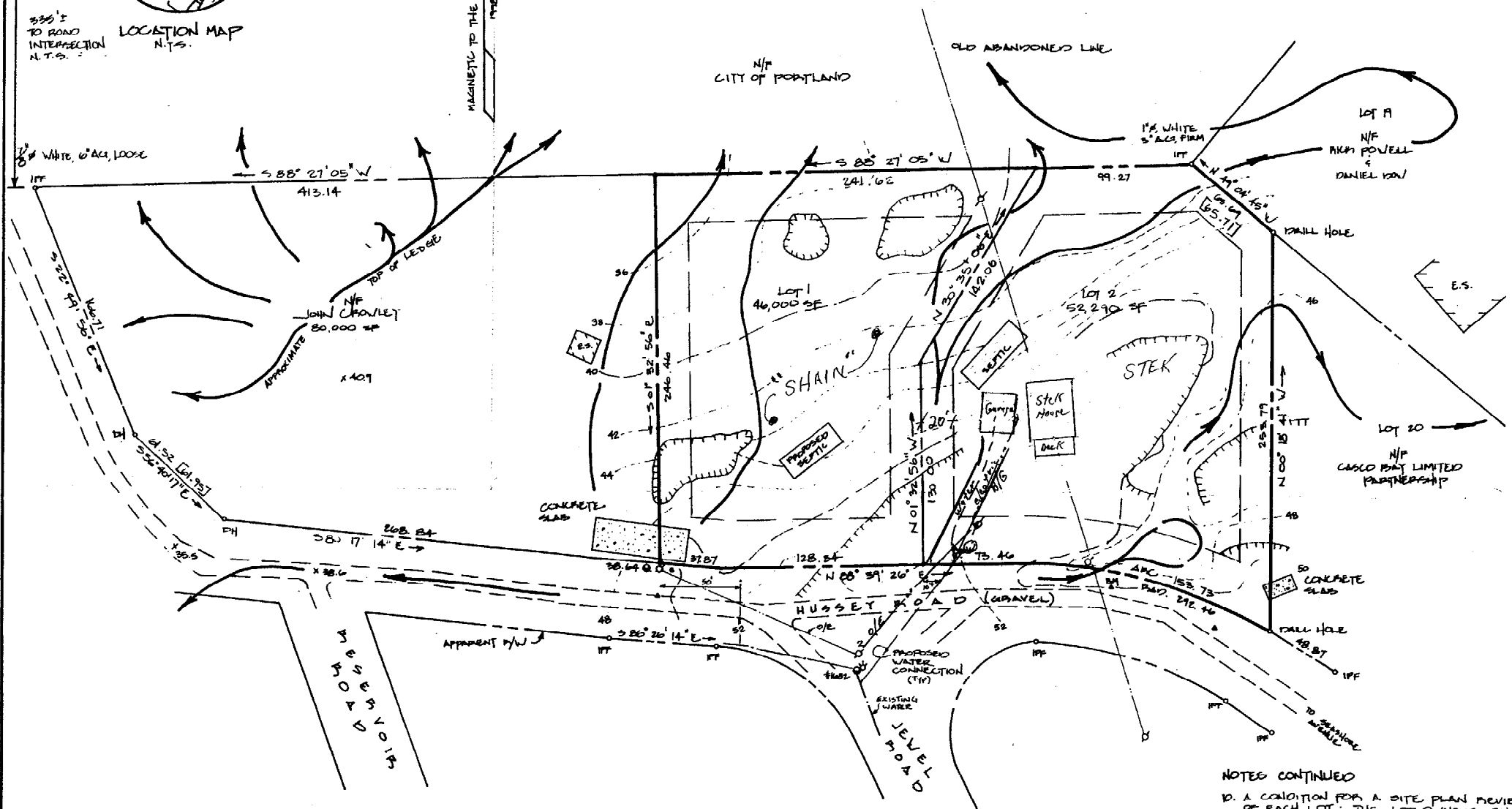
REV.		REVISION/CHANGE ORDER	DATE	BY	CHK
PROJECT NAME		BONNIE & ROBERT STEK			
DATE	1/14/02	PLAN NO.	F-1905	SHEET NO.	3
SCALE		1/4" = 1'-0"			



LOCATION MAP
N.T.S.

330'±
TO ROAD
INTERSECTION
N.T.S.

MAGNETIC TO THE YEAR
1998



NOTES

1. SOURCE DEED(S): BOOK 2981 PAGE 123
BOOK 4852 PAGE 206
BOOK 13990 PAGE 184
2. OWNERS OF RECORD:
ROBERT AND BONNIE STEW
744 SHENIPSIT LAKE ROAD
TOLLAND, CT 06084
3. AREA OF SURVEYED PARCEL: 178,270 SF
4. BEARINGS ARE MAGNETIC TO THE YEAR 1998.
5. ALL BOOK AND PAGE REFERENCES ARE AT
CUMBERLAND COUNTY REGISTRY OF DEEDS, PORTLAND, ME.
6. THE SUBDIVISION IS SERVICED BY PUBLIC WATER.
7. PROPERTY IS LOCATED IN ZONE 1B-1
MINIMUM LOT SIZE: 40,000 SF
MINIMUM STREET FRONTAGE: 100'
SETBACKS: FRONT 30'
REAR 30'
SIDE 20'
8. BENCHMARK IS TOP OF SPIRE.
APPROXIMATE ELEVATION = 50'
9. THE CONVEYANCE REQUIRES THE LOT TO BE SERVED BY PUBLIC
WATER. OWNER OF LOT WILL UTILIZE PUBLIC WATER AT THE OWNER'S
EXPENSE.

REFERENCES

1. CITY OF PORTLAND, PEARS ISLAND
TAX MAP 89, BLOCK E, PORTION OF LOT 1.
2. 'OCEAN SIDE PROJECT' PEARS ISLAND, MAINE
NORTH GATE SUBDIVISION, SECTION 2. PREPARED BY
H.I. & E.C. JORDAN, SURVEYORS. DATED SEPTEMBER 2, 1974.
RECORDED AT CCAD IN PLAN BOOK 92 PAGE 89.
3. DE. SURVEY, TAX MAP 89, BLOCK E, LOT 1, HUSSEY ROAD,
PEARS ISLAND, PORTLAND, MAINE. PREPARED BY THOMAS
LAND SURVEYORS. DATED MAY 1998 AND REVISED
JUNE 26, 1998. RECORDED AT CCAD IN PLAN BOOK 111 PAGE 84
4. PEARS ISLAND, LOCATION OF HYDRANTS & DEEP MAINS,
2' AND LARGER. PREPARED BY PORTLAND WATER
DISTRICT, PORTLAND, MAINE. DATED OCT. 21, 1963.

LEGEND

- FOUND MARKER
- 65 PEGS SET W/ YELLOW CAP, PLS # 2240
- TRAVELER POINT
- EXISTING STRUCTURES
- N/W RIGHT OF WAY
- N/F NOW OR FORMERLY
- O/E OVERHEAD ELECTRIC
- I/P IRON PIPE FOUND
- ∅ UTILITY POLE
- ∅ DIAMETER
- CCAD CUMBERLAND COUNTY REGISTRY OF DEEDS
- [65.11] RECORDED DISTANCE
- AG ABOVE GRADE
- BE BELOW GRADE
- B.M. BENCH MARK
- ∇ FIVE HIND POINT
- WATER VALVE
- B.M. BENCH MARK
- ∇ TRIMLINE
- ∞ FEET
- ~ NATURAL FLOW LINES
- x 55.5 SPOT ELEVATIONS
- N.T.S. NOT TO SCALE

NOTES CONTINUED

10. A CONDITION FOR A SITE PLAN REVIEW
OF EACH LOT; THE LOT OWNERS SHALL
SHOW LIMITS OF SEDIMENTATION CONTROL
AND UTILIZE BEST PRACTICES WITH
REGARDS TO SEDIMENTATION AND EROSION
CONTROL.
11. A CONDITION FOR A SITE PLAN REVIEW OF
EACH LOT; THE LOT OWNERS SHALL SHOW
WETLAND DELINEATION, ON AND ADJACENT TO
THEIR LOT.
12. FLOW LINES SHOWN ARE FROM FIELD
OBSERVATIONS.

CERTIFICATION

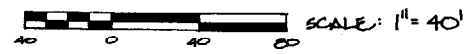
"THE SURVEY CONFORMS TO THE BOARD OF LICENSURE
FOR PROFESSIONAL LAND SURVEYORS, WITH EXCEPTIONS;
NO WRITTEN REPORT."

STANDARD BOUNDARY SURVEY
CATEGORY I CONDITION II

APPROVED BY THE CITY OF PORTLAND
PLANNING BOARD

_____ CHAMPAGNE

DATE _____

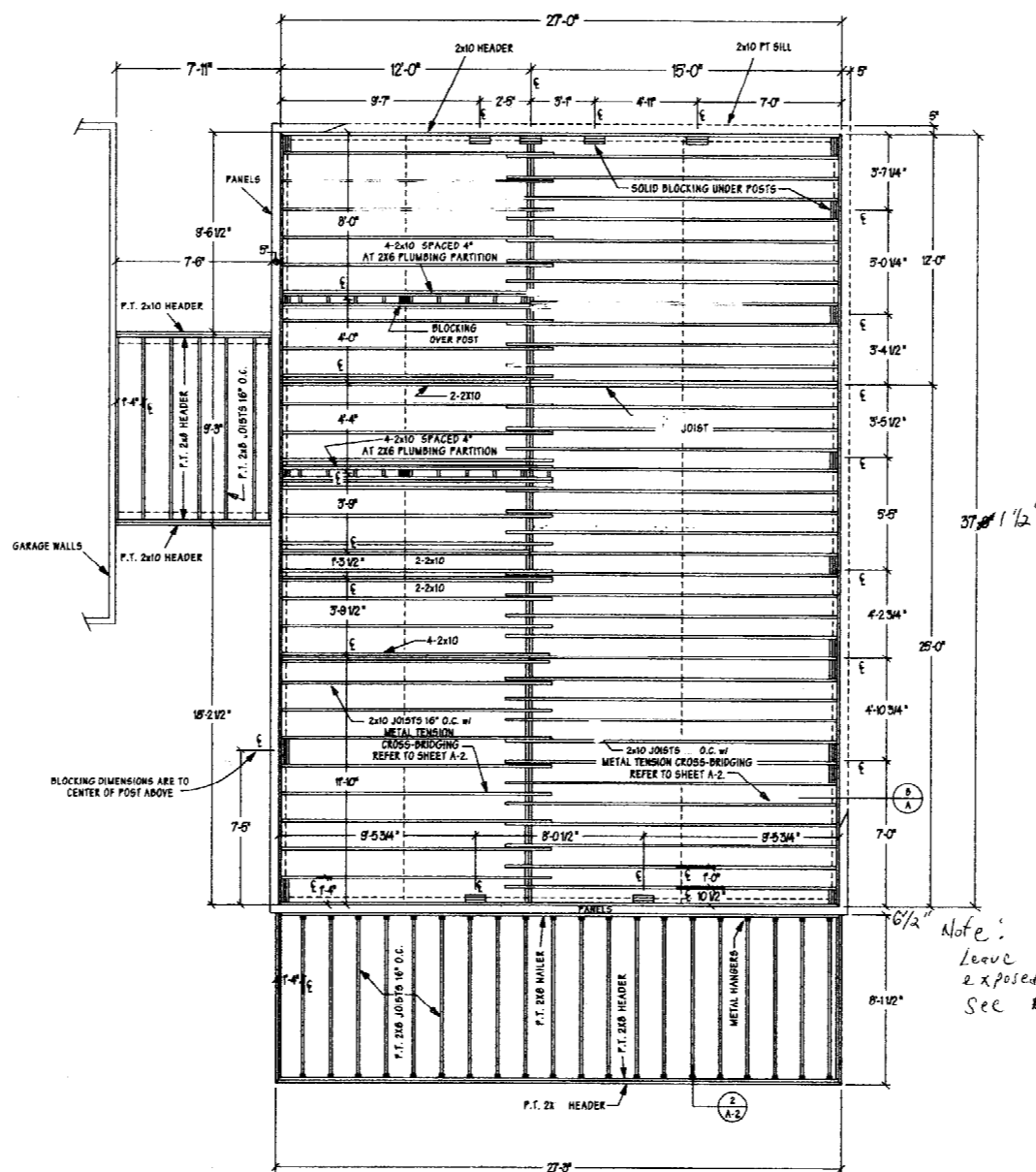


SCALE: 1" = 40'

PROJECT: STEW SUBDIVISION HUSSEY ROAD PEARS ISLAND PORTLAND, MAINE		
PREPARED FOR: ROBERT STEW 744 SHENIPSIT LAKE ROAD TOLLAND, CT 06084		
PREPARED BY: TKM LAND SURVEYORS, INC. 20 SOLE LN WESTBROOK, MAINE 04091 TEL: 603-865-1000		<p>May 13, 99</p>
DESIGNED: TD	JOB NUMBER: 78048	
DRAWN: JL	DATE: JAN. 1999	TIMOTHY DEPILO, PLS 2348
CHECKED: TD	SCALE: 1" = 40'	NOT VALID UNLESS ENDORSED

START JOIST LAYOUT 16" AND 10 1/2" O.C. AS SHOWN.
REFER TO SHEETS A & A-2.

INSTALL TOP STRAPS OF METAL TENSION CROSS BRIDGING BEFORE SUBFLOOR IS INSTALLED.



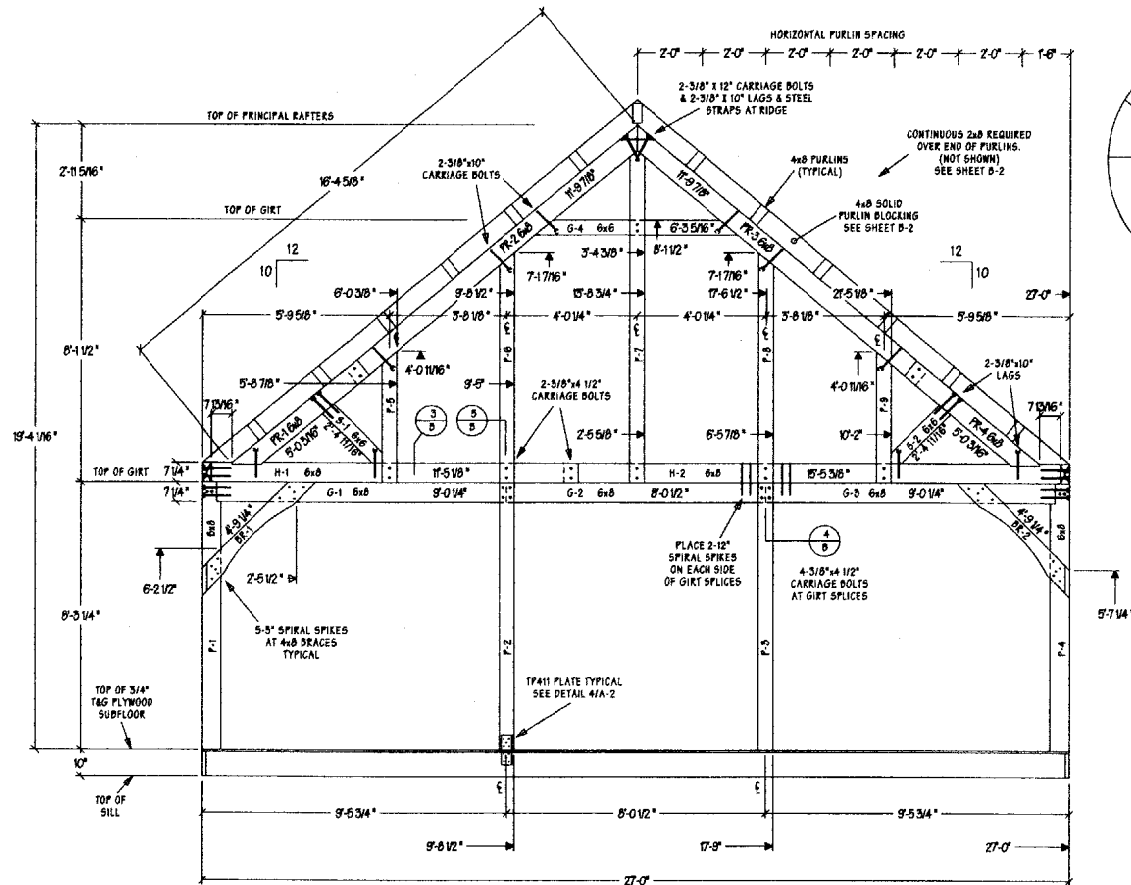
FLOOR FRAMING PLAN / suggested schedule
Not supplied by Classic post



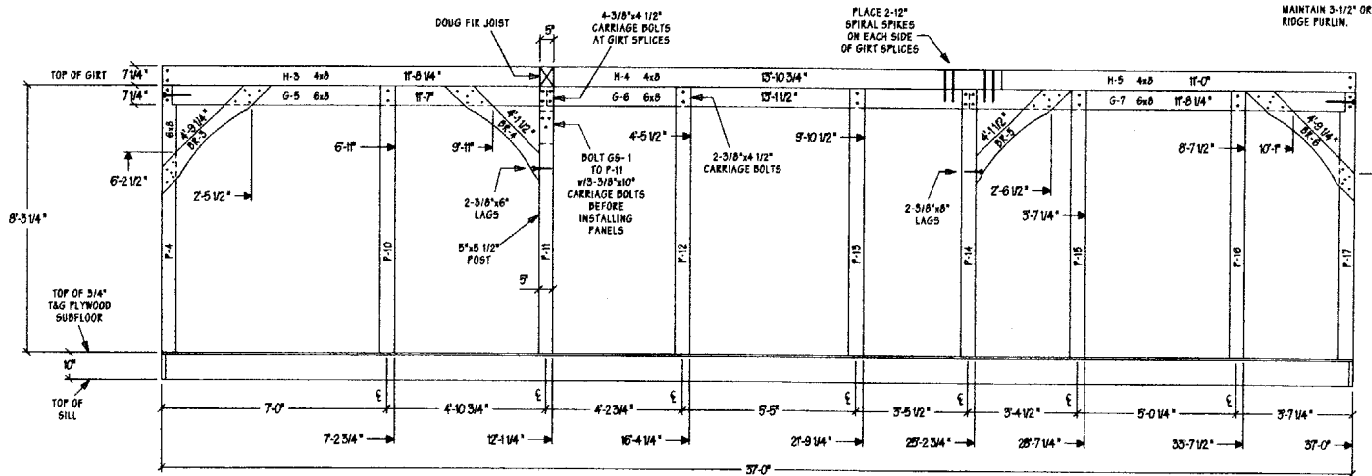
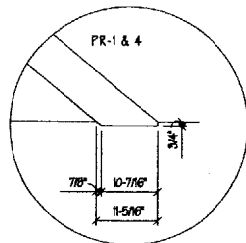
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D-02

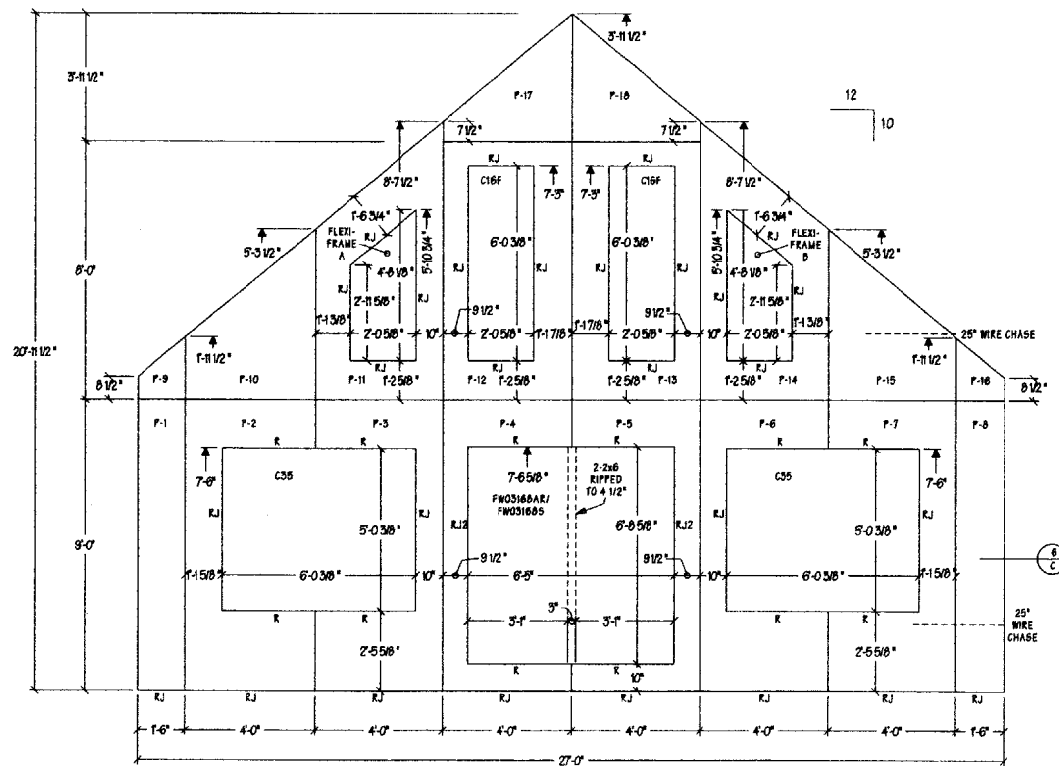
NO.	REVISION/CHANGE ORDER	DATE	BY	CHKD.
REVISIONS		MODEL		
DRW.	NL	CODES		
CRD.	ER			
PROJECT NAME				
BONNIE & ROBERT STEK				
DATE	01/18/02	PLAN NO.	F-1905	SHT. NO.
SCALE	1/4"=1'-0"			4



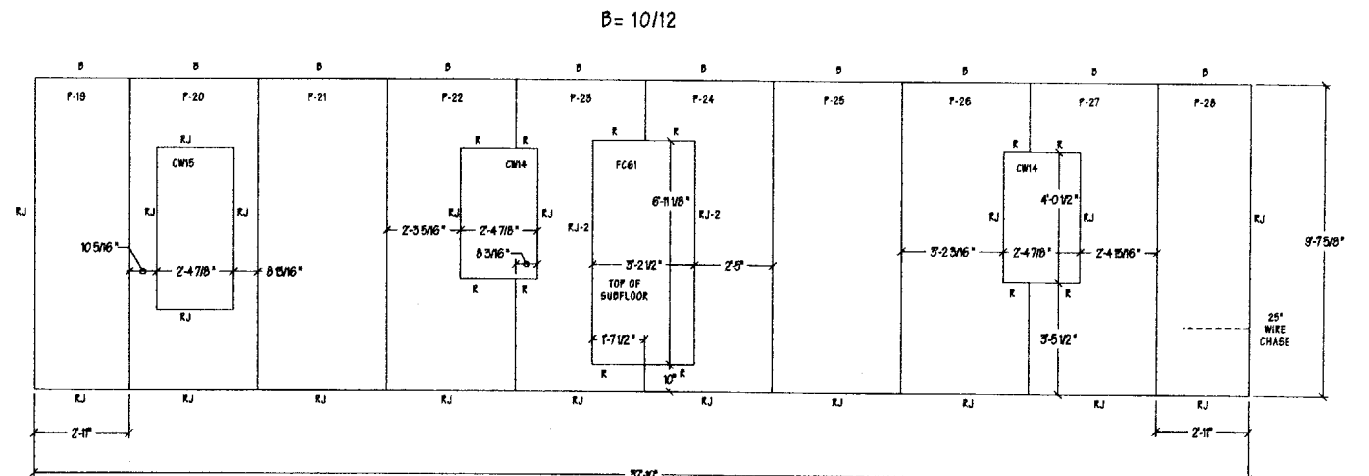
POST ELEVATION "A"



POST ELEVATION "B"



PANEL ELEVATION "A"



PANEL ELEVATION "B"

INSTALL TOP PANELS FIRST
IF ROOF BOARDS ARE ALREADY INSTALLED.

SEE SHEET "B" FOR BOLTING SPECIFICATIONS.

SEE SHEET "C" FOR EAVE DETAILS.

SEE SHEET "C" FOR RAKE DETAILS.

SEE SHEET "C" FOR PANEL CORNER DETAILS.

WHERE A WINDOW IS MORE THAN ONE PANEL WIDE,
INSTALL A CONTINUOUS 2x4 TOP AND BOTTOM JAMB
ON THE JOBS.

SOME 2x4'S IN PANELS ARE SECURED AT THE FACTORY.
SOME ARE NOT SECURED FOR ELECTRICAL ACCESS. BE SURE
ALL 2x4'S ARE SECURED BEFORE WINDOWS AND DOORS ARE
INSTALLED.

SEE SHEET "D" FOR TYING DETAILS.

4x8 PURLIN BLOCKS ARE PRECUT BY CLASSIC. SEE
PURLIN LAYOUT & SHEET B-2.

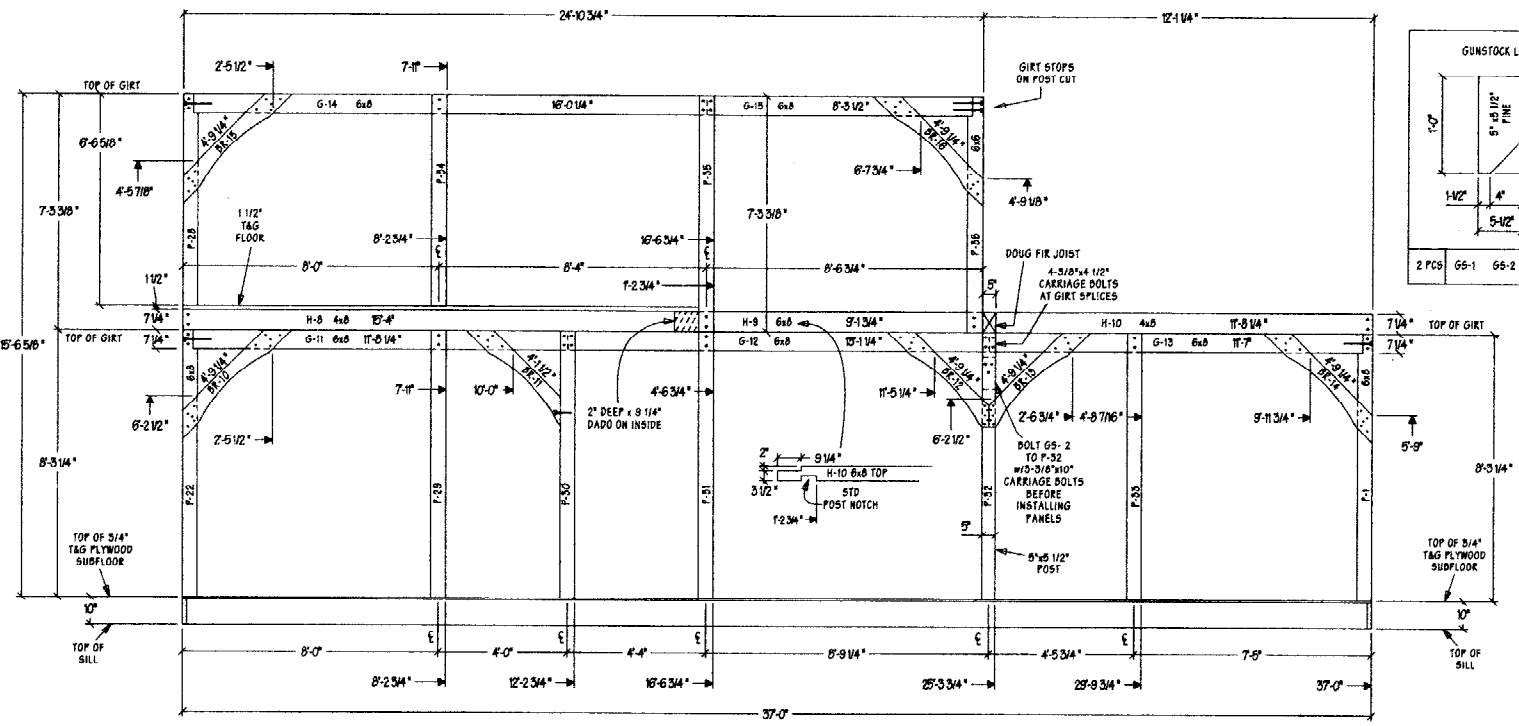
MAINTAIN 3-1/2" OR 5-1/2" SPACE BETWEEN BLOCKS FOR
RIDGE PURLIN.



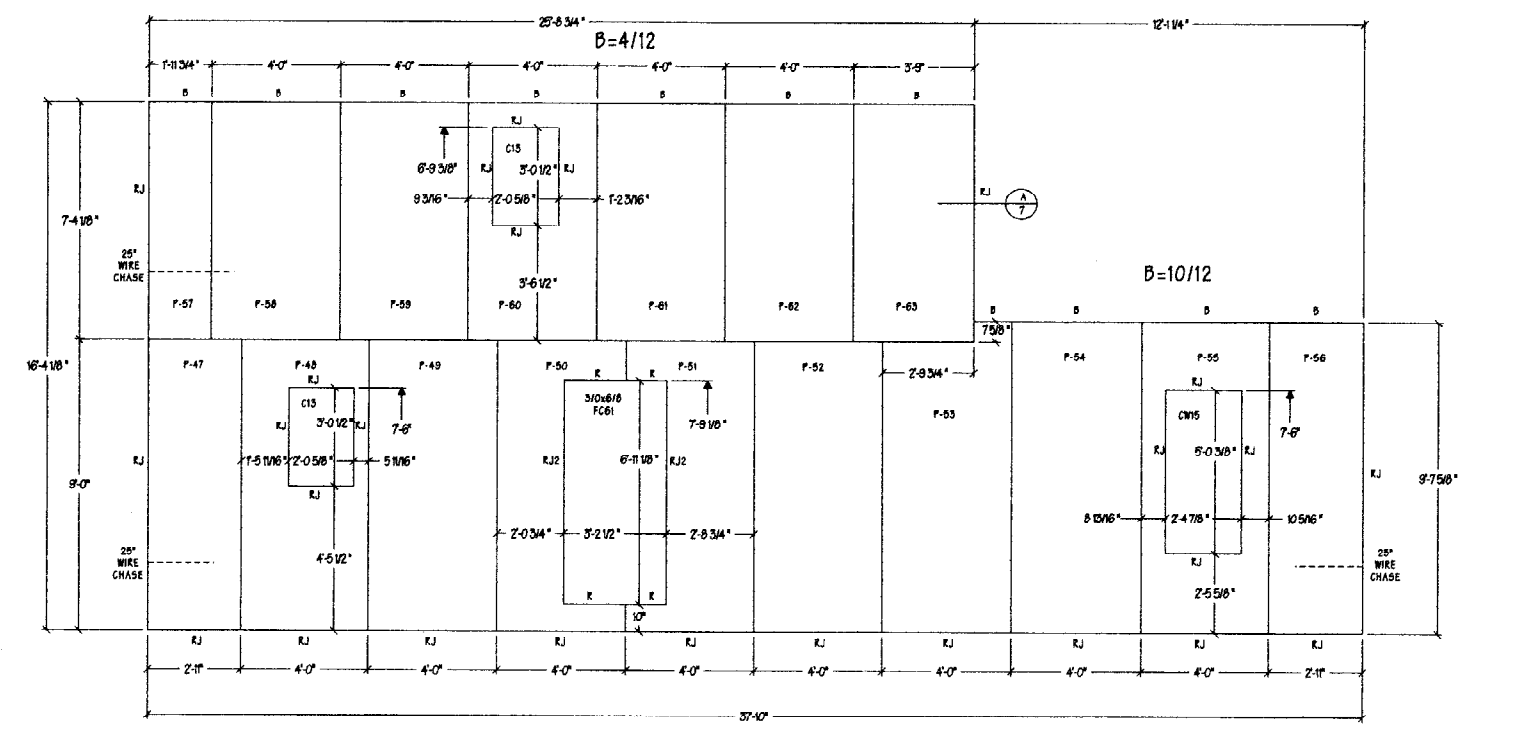
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D-02

REVISION	DATE	BY	CHK.
PROJECT NAME	BONNIE & ROBERT STEK		
DATE	2-6-02	PLAN NO.	F-1905
SCALE	3/8"=1'-0"	SHEET NO.	5

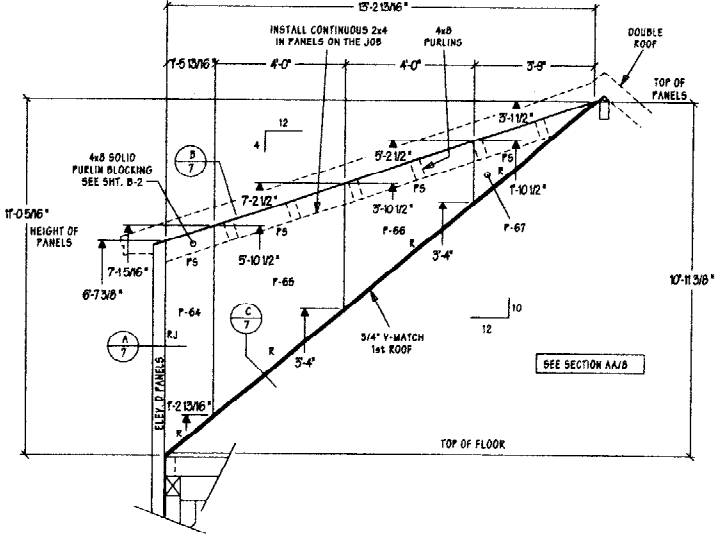


POST ELEVATION "D"



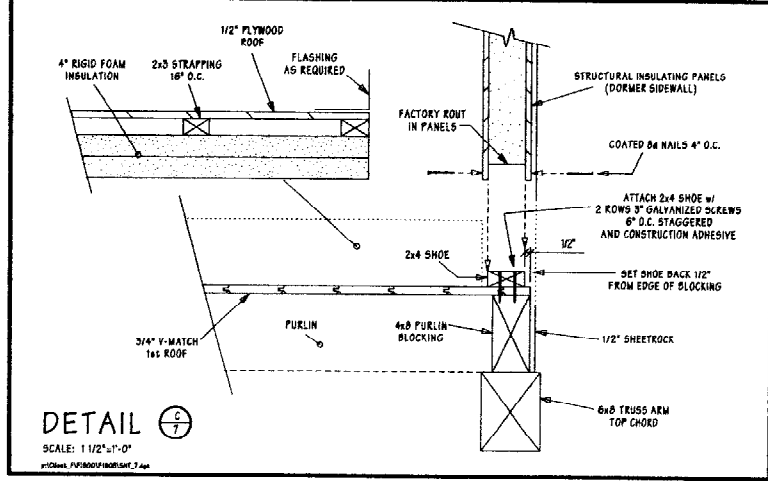
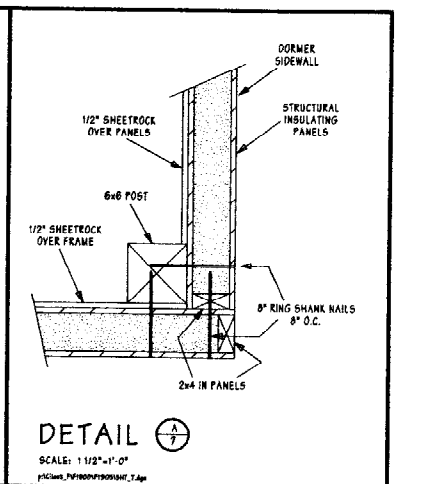
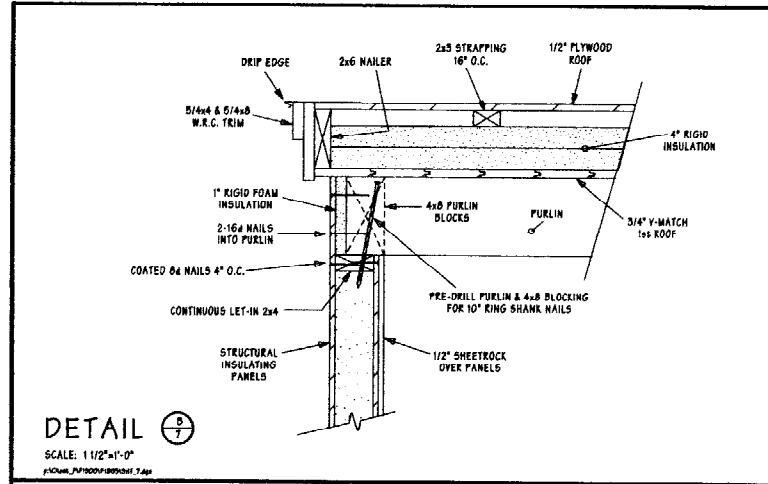
PANEL ELEVATION "D"

2 PCS	65-1	65-2
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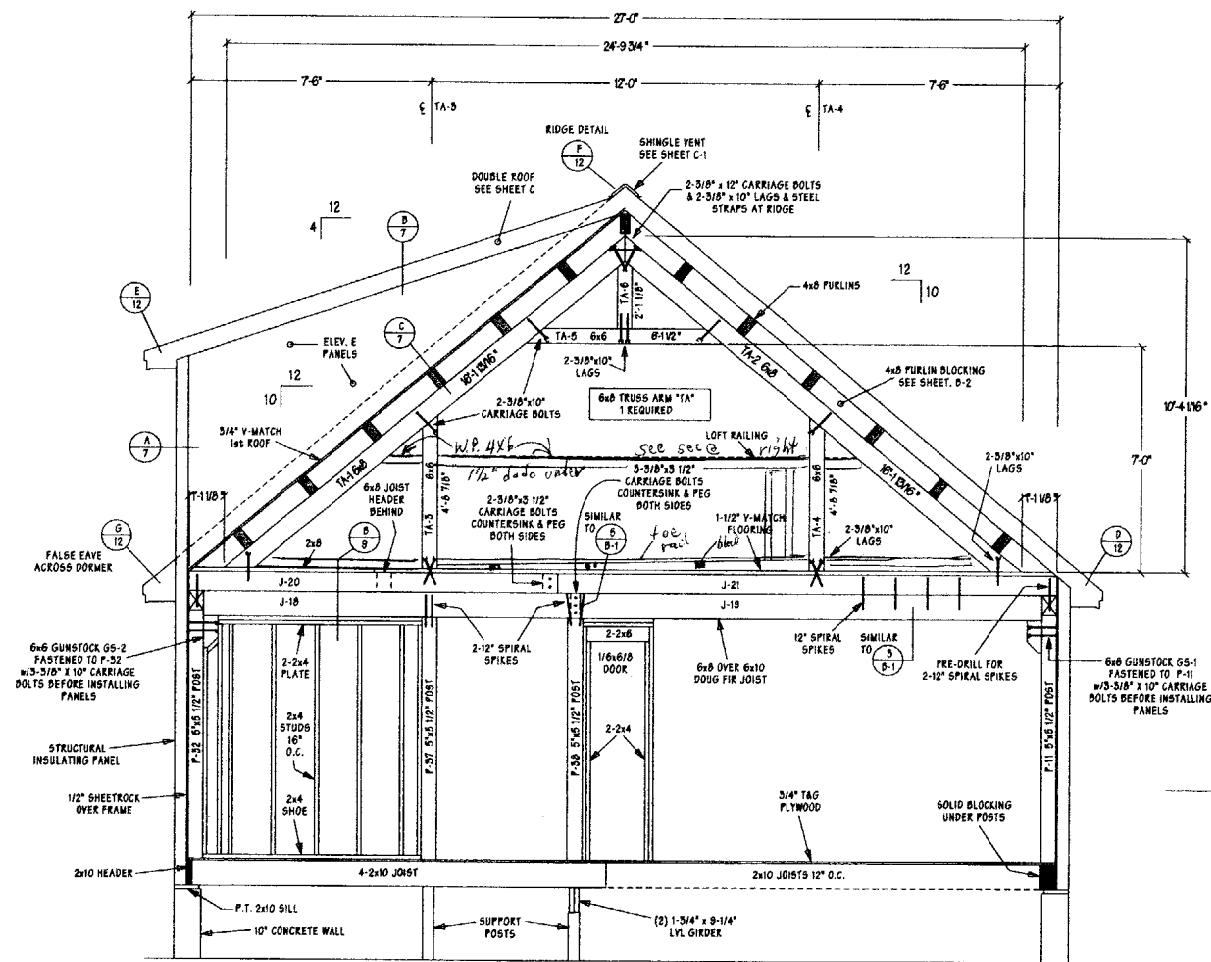


PANEL ELEVATION "E"

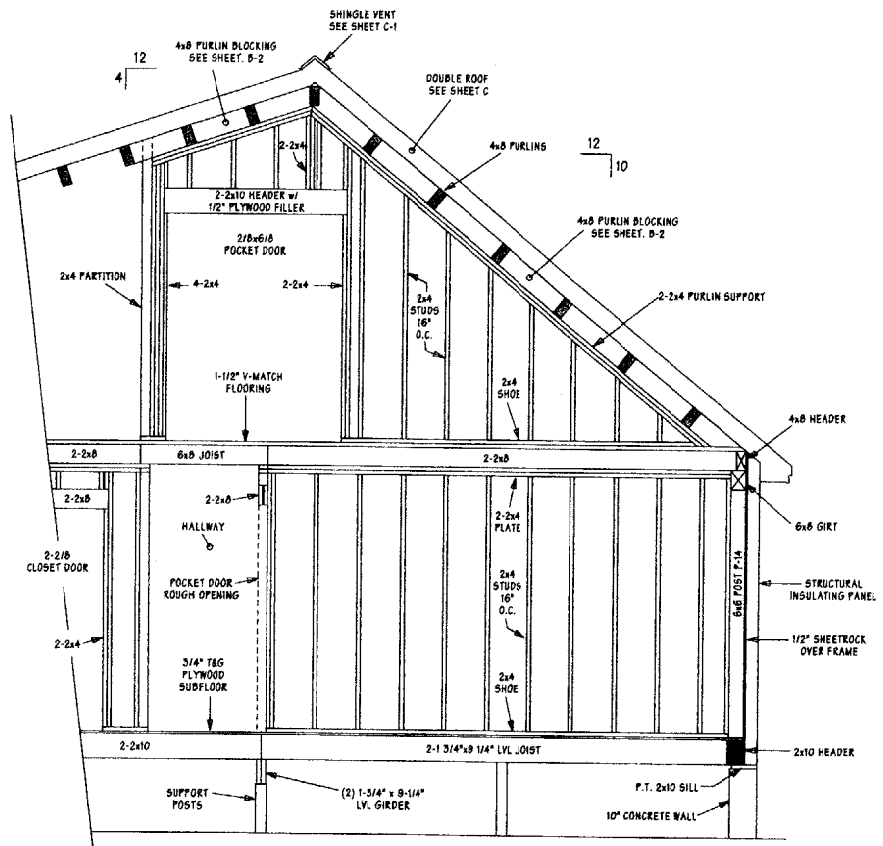
SEE SHEET "B" FOR BOLTING SPECIFICATIONS.
 SEE SHEET "C" FOR EAVE DETAILS.
 SEE SHEET "C" FOR RAKE DETAILS.
 SEE SHEET "C" FOR PANEL CORNER DETAILS.
 WHERE A WINDOW IS MORE THAN ONE PANEL WIDE,
 INSTALL A CONTINUOUS 2x4 TOP AND BOTTOM JAMB
 ON THE JOB.
 SOME 2x4'S IN PANELS ARE SECURED AT THE FACTORY.
 SOME ARE NOT SECURED FOR ELECTRICAL ACCESS. BE SURE
 ALL 2x4'S ARE SECURED BEFORE WINDOWS AND DOORS ARE
 INSTALLED.
 SEE SHEET "D" FOR TYPAR DETAILS.
 4x8 PURLIN BLOCKS ARE PRECUT BY CLASSIC SEE
 PURLIN LAYOUT & SHEET B-2.
 MAINTAIN 3-1/2" OR 5-1/2" SPACE BETWEEN BLOCKS FOR
 RIDGE PURLIN.



REV.	REVISION	DATE	BY	CHKD.
WINDOW		MODEL		
PROJECT NAME				
BONNIE & ROBERT STEK				
DATE	2-6-02	PLANNING	SHEET NO.	
SCALE	5/8"=1'-0"	F-1905	7	

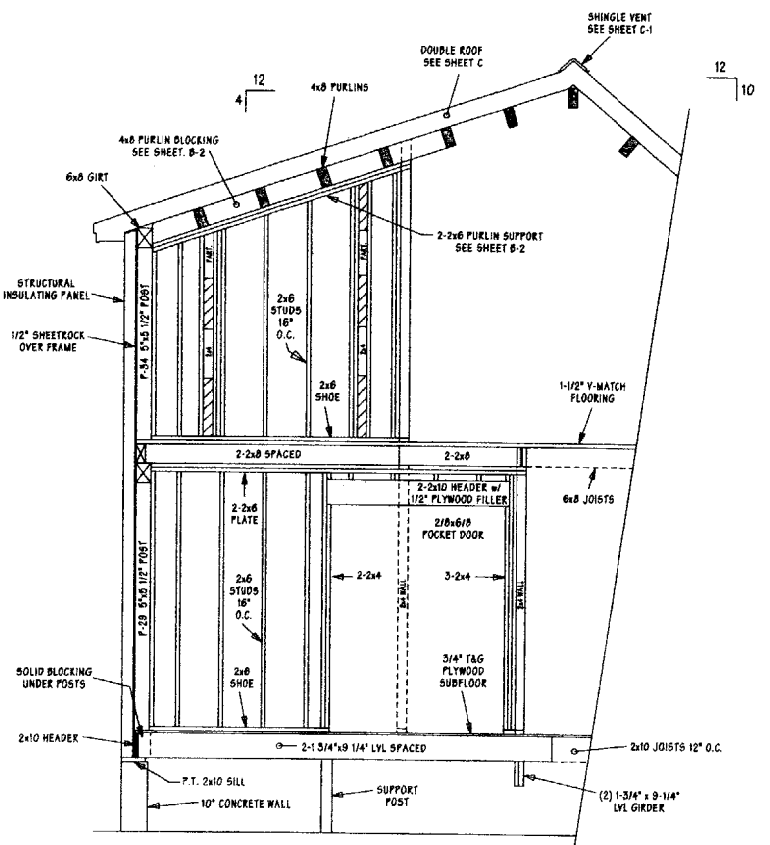
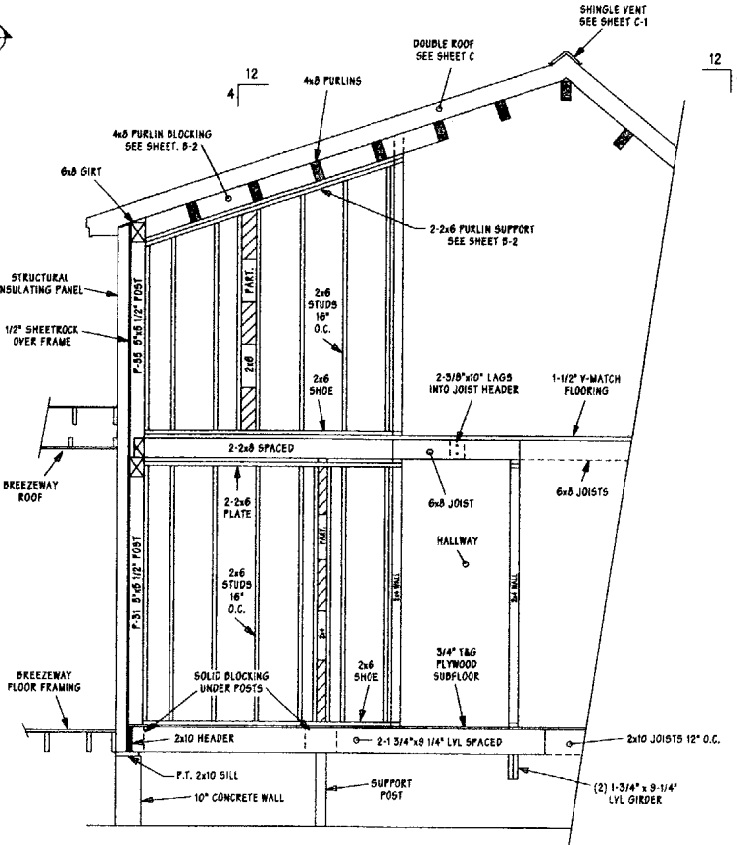


4x6 Rail Cap
w.p.
1/2" x 1 1/2" dado for
1/2" x 4" Sillits + 1/2" x 1 1/2"
cedar balusters
#8 3" screw
2x5 Pine toe rail
support w/ solid block
every 4'



SECTION AA-B

SECTION BB-C



SECTION CC-B

SECTION DD-B



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REV.	REVISION/CHANGE ORDER	DATE	BY	CHK.
PROJECT NAME: BONNIE & ROBERT STEK				
DATE: 2-7-02	PLAN NO: F-1905	SHEET NO: 8		
SCALE: 3/8" = 1'-0"				

SEE SHEET D-2 FOR PURLIN ATTACHMENT DETAILS

INSTALL PRE-CUT 4x8 PURLIN BLOCKS AS SHOWN TO SPACE PURLINS CORRECTLY

PURLIN BLOCKS AT RIDGE WILL NEED TO BE CUT TO LENGTH ON THE JOB.

MAINTAIN 3-1/2" OR 5-1/2" SPACE BETWEEN PURLIN BLOCKS FOR RIDGE PURLIN.

E.O. FOR RYZABEK SKYLIGHT IS 2'-4 1/2" WIDE X 3'-10 1/2" LONG

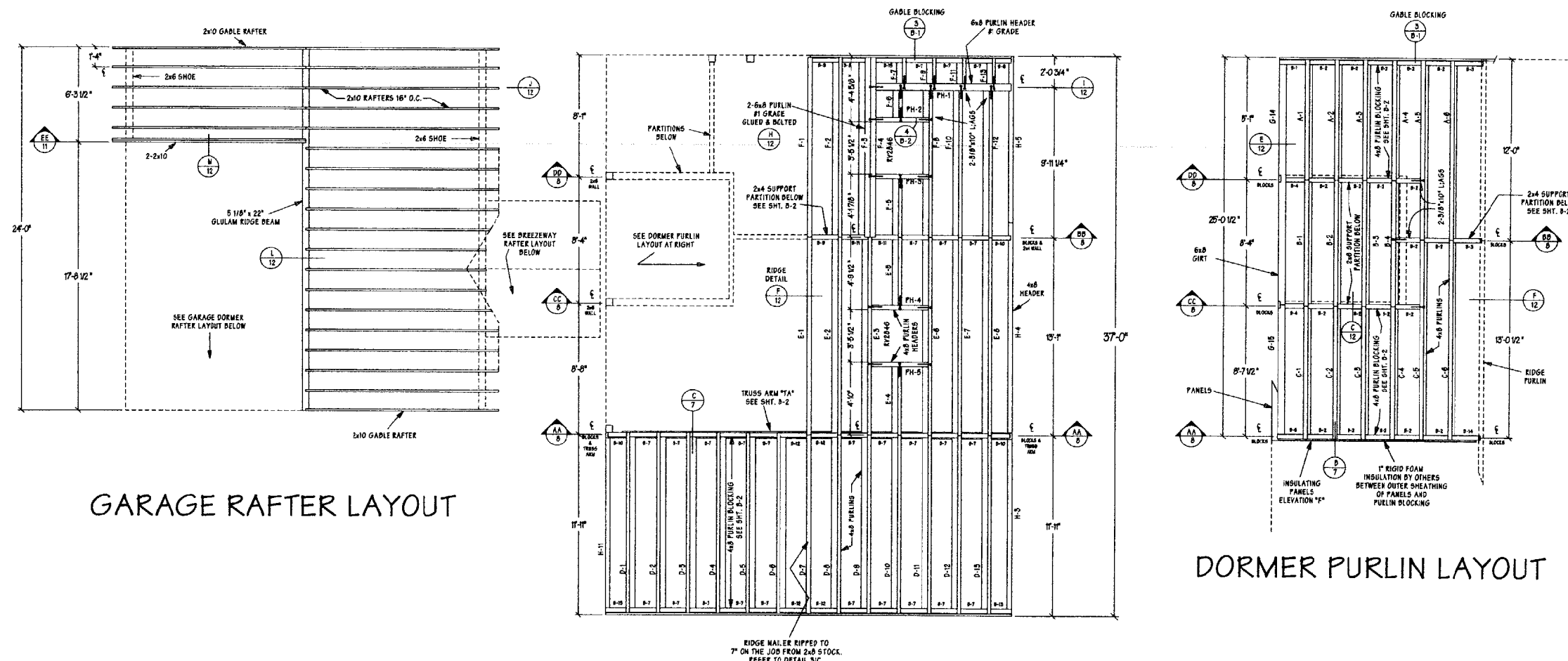
USE CAUTION NOT TO CUT 3/4" V-MATCH OPENING LARGER THAN SKYLIGHT ROUGH OPENING.

SEE SHEET C-2 FOR VENTING DETAILS AROUND SKYLIGHTS & CHIMNEYS

START RAFTER LAYOUT 18" O.C. AS SHOWN.

DOUBLE FELT PAPER REQUIRED ON 3-1/2 PITCHED ROOFS. REFER TO MANUFACTURERS RECOMMENDATIONS FOR SHINGLE APPLICATION

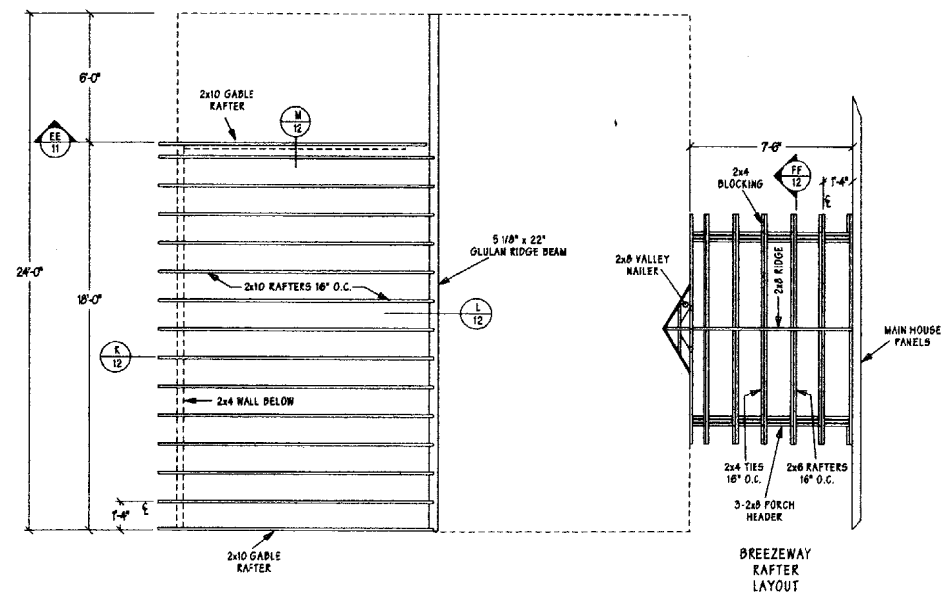
CONTINUOUS VAPOR BARRIER REQUIRED ON HEATED SIDE OF ALL INSULATED AREAS.



GARAGE RAFTER LAYOUT

ROOF FRAMING PLAN

DORMER PURLIN LAYOUT



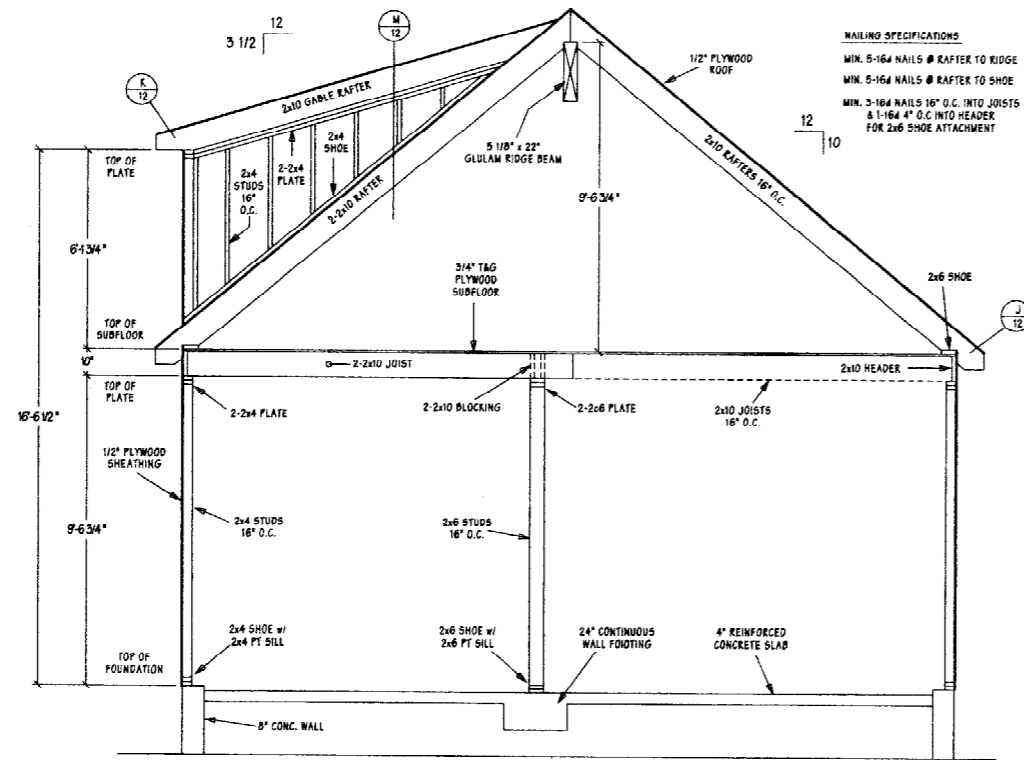
GARAGE DORMER RAFTER LAYOUT



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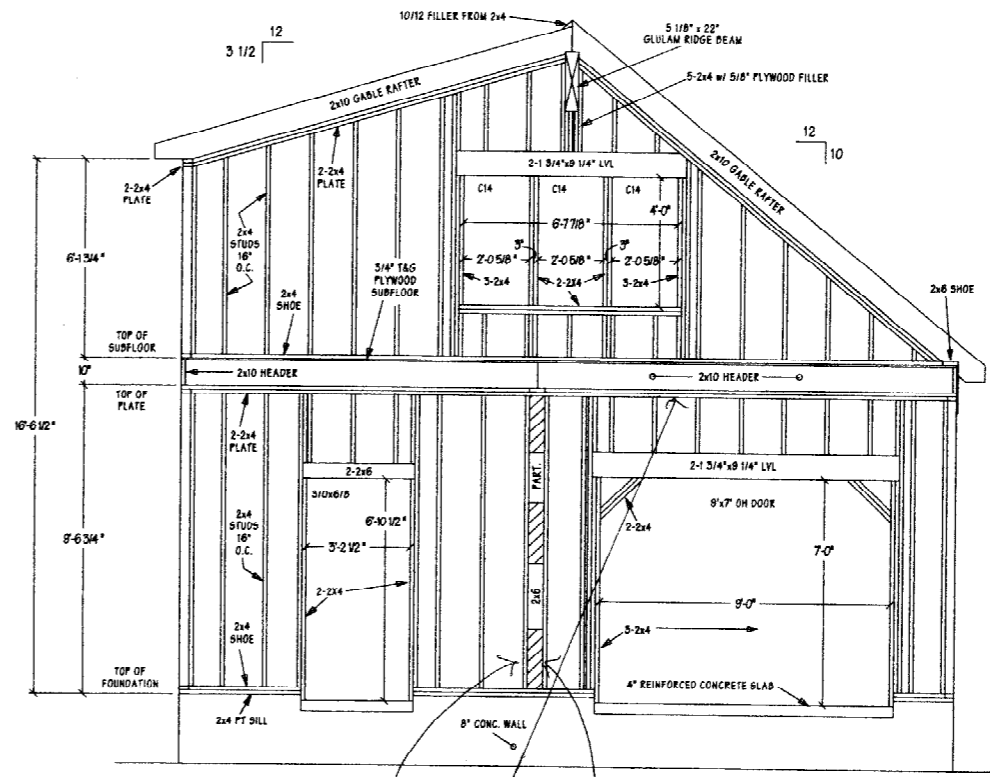
D-02

REV		DESCRIPTION	DATE	BY	CHECK
REVISIONS					
DATE		PROJECT NAME		SHEET NO.	
01/30/02		BONNIE & ROBERT STEK		10	
SCALE		PLAN NO.		SHEET NO.	
1/4"=1'-0"		F-1905		10	



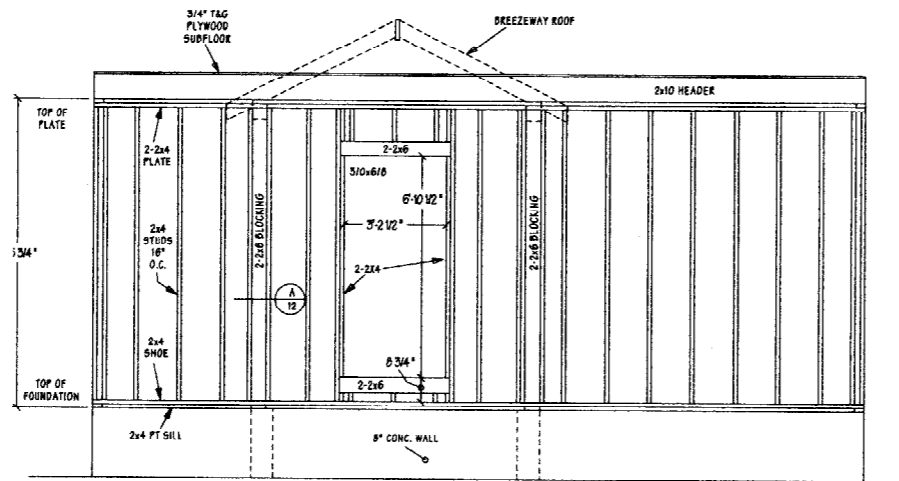
SECTION EE

MAILING SPECIFICATIONS
 MIN. 5-16d NAILS @ RAFTER TO RIDGE
 MIN. 5-16d NAILS @ RAFTER TO SHOE
 MIN. 3-16d NAILS 16" O.C. INTO JOISTS
 & 1-16d 4" O.C. INTO HEADER
 FOR 2x6 SHOE ATTACHMENT

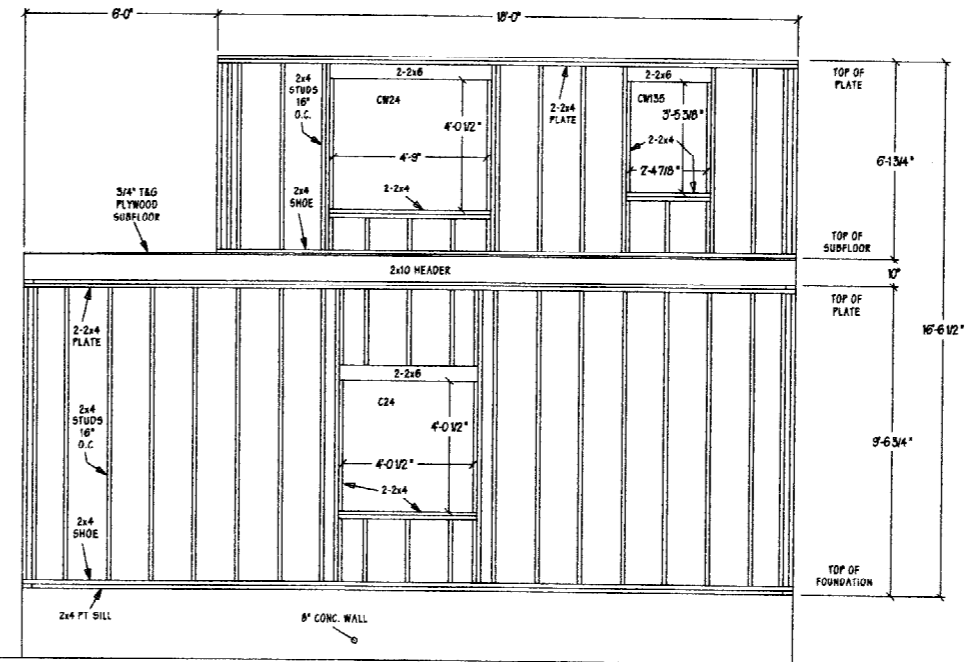


ELEVATION F

Notes:
 Ceiling & walls
 to be covered w/ 5/8\"/>



ELEVATION G



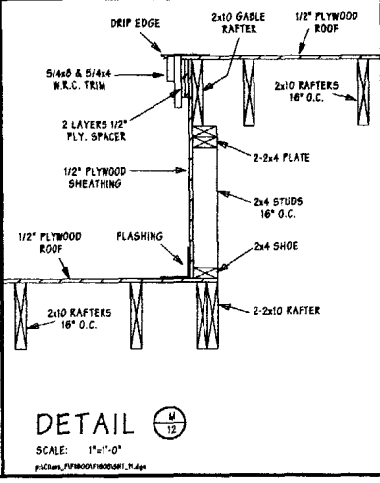
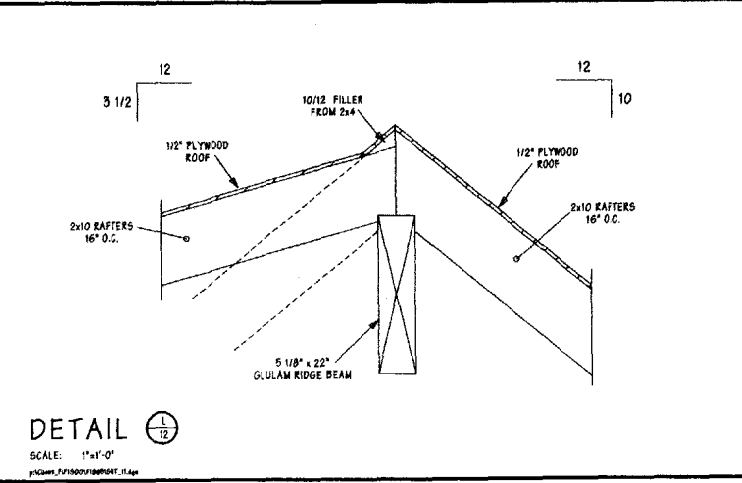
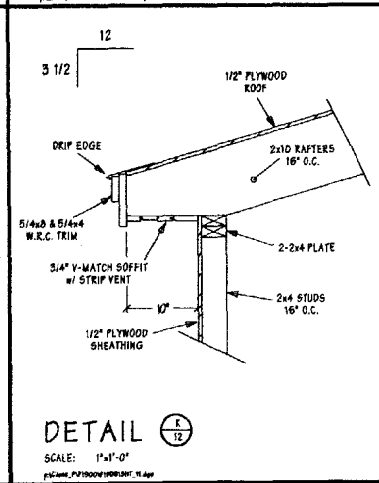
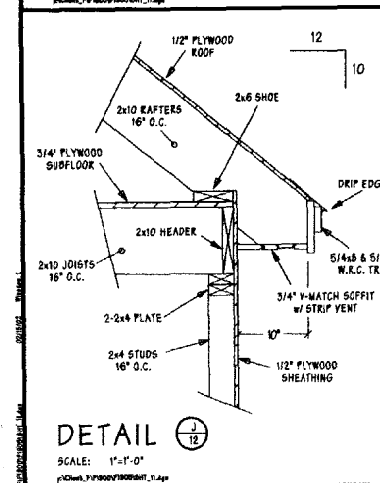
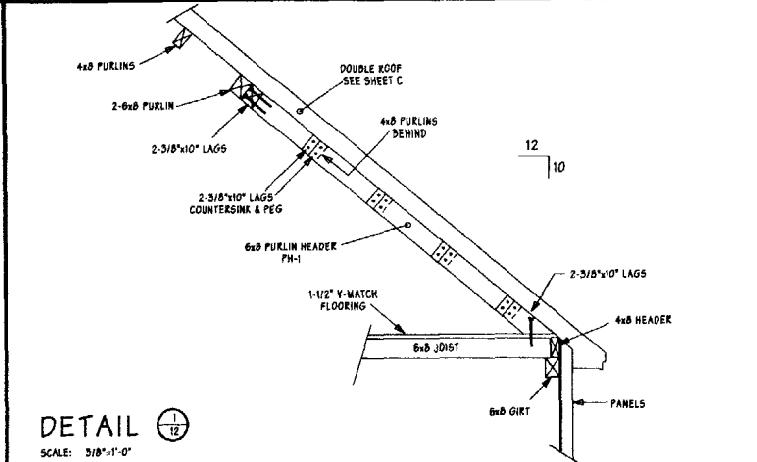
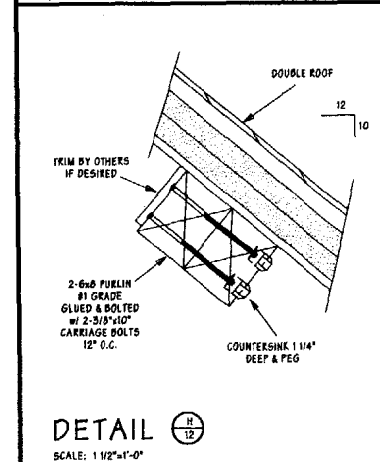
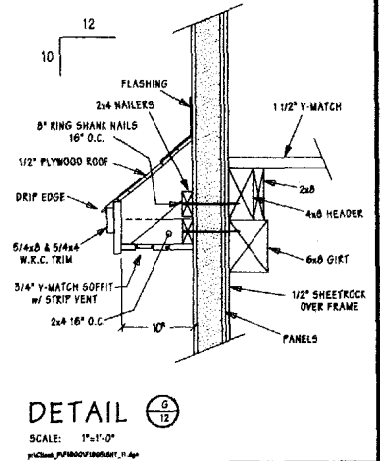
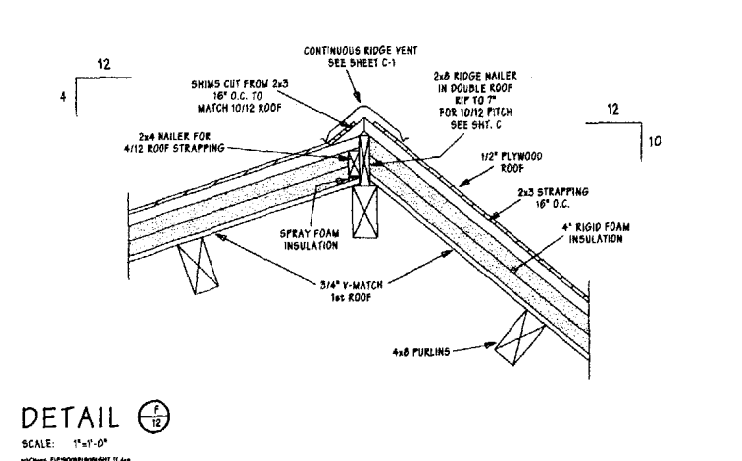
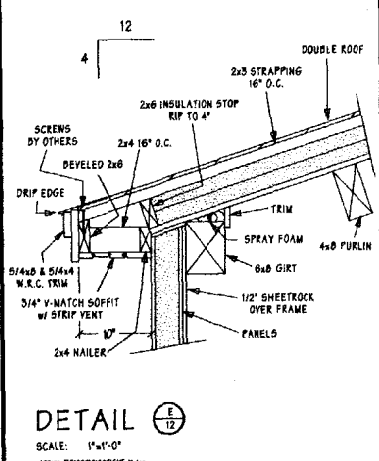
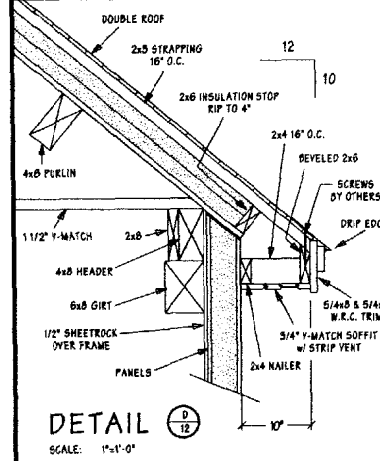
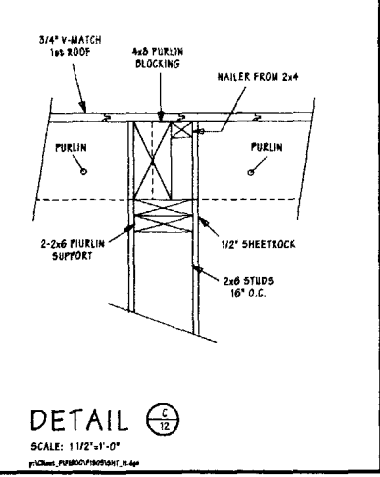
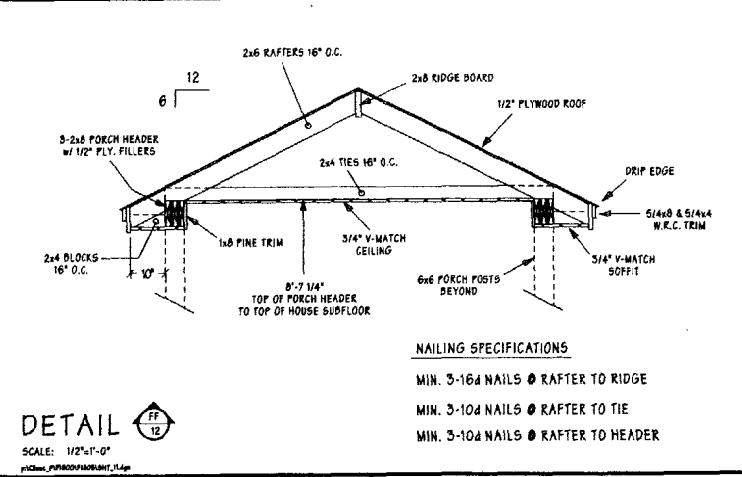
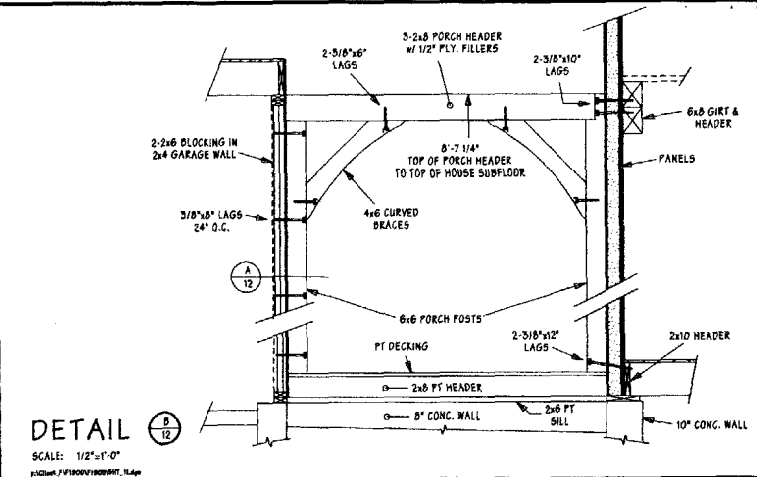
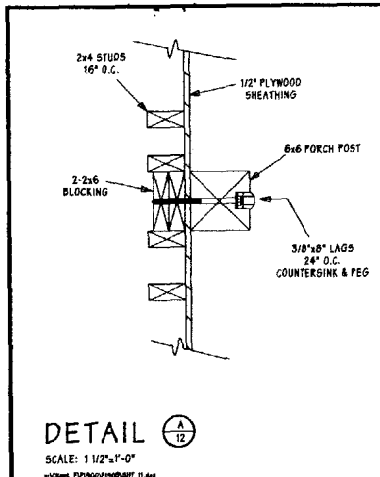
ELEVATION H



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D-02

NO.	REVISION CHANGE ORDER	DATE	BY	CHECK
WINDOWS		MODEL		
PROJECT NAME				
BONNIE & ROBERT STEK				
DATE	2-8-02	PLANNING	SHEET NO.	
SCALE	3/8" = 1'-0"	F-1905	11	



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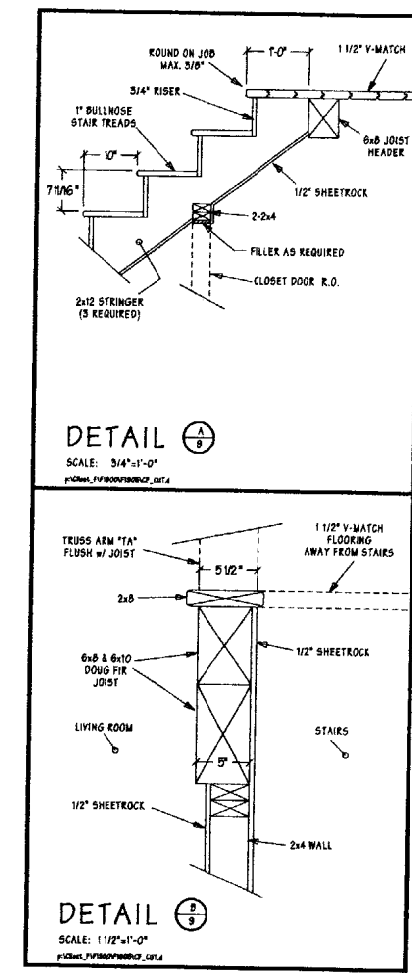
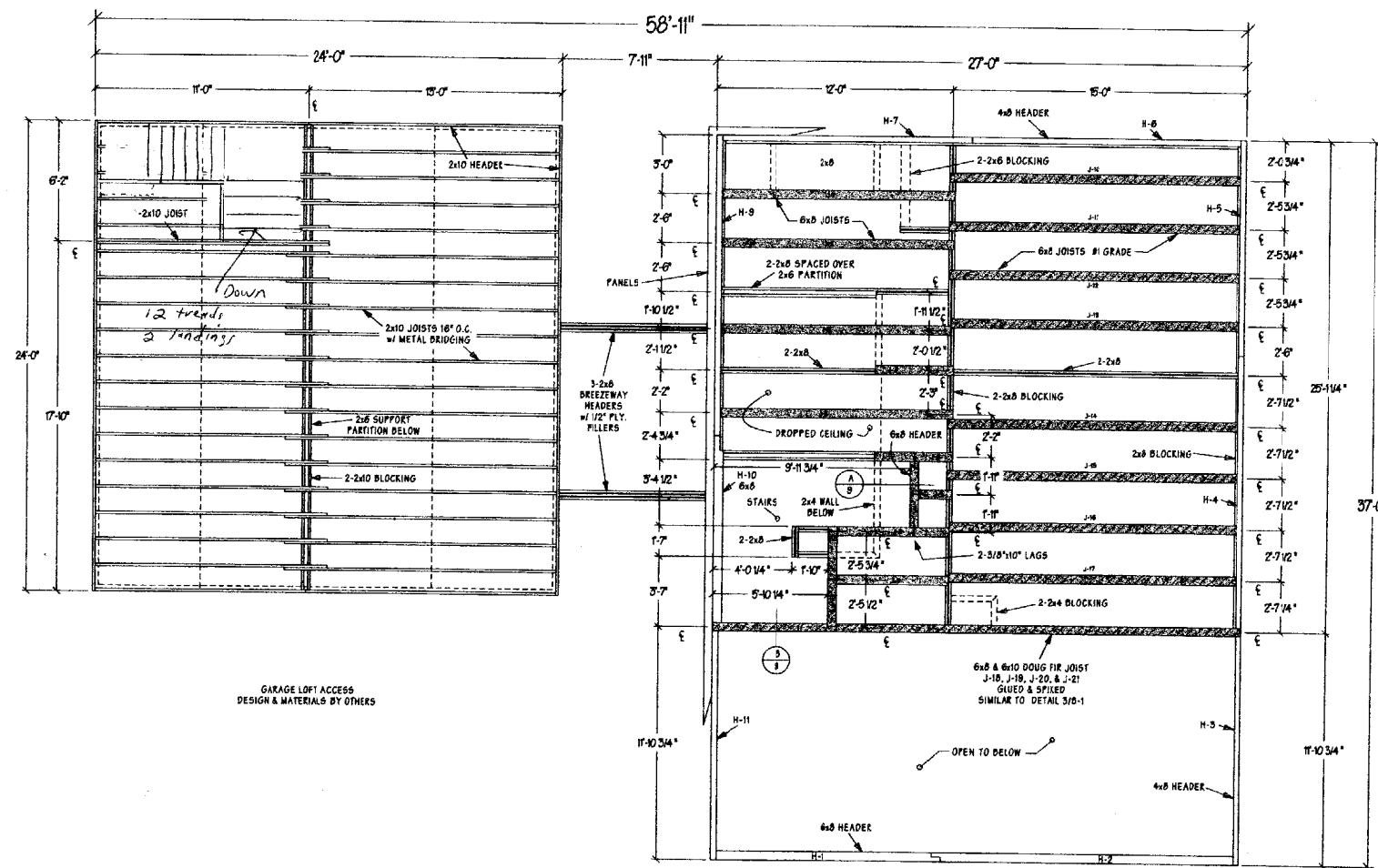
D-02

REV.	REVISION/CHANGE DRAWN	DATE	BY	CHKD.

PROJECT NAME: **BONNIE & ROBERT STEK**

DATE: 2-15-02 PLAN NO.: F-1905 SHEET NO.: 12

SEE SHEET D-1 FOR CEILING FRAMING DETAILS
SEE SHEET S-1 FOR GENERAL STAIR DETAILS



CEILING FRAMING PLAN



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D-02

NO.	REVISION	DATE	BY	CHKD.
DRAWING		MODEL		
DATE	BY	DATE	BY	DATE
01/21/02				
PROJECT NAME BONNIE & ROBERT STEK				
DATE	PLAN NO.	SHEET NO.		
01/21/02	F-1905	9		
SCALE: 1/4"=1'-0"				