

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

PERMIT ISSUED
DEC 09 2004
CITY OF PORTLAND

Permit Number: 041729

BUILDING DEPARTMENT

PERMIT

This is to certify that Thompson Otis C & /Thompson & Johnson Woodworkers
has permission to Amendment for new single family; permit 04044 relocation of bathroom, pitch of roof, window size and railing
AT 225 Brackett Ave 088 M006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work in permit in progress before this building or part thereof is closed or enclosed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jeannie Bourke 12/8/04
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

Location of Construction: 225 Brackett Ave		Owner Name: Thompson Otis C &		Owner Address: Seashore Ave		Phone: 2077665219	
Business Name: n/a		Contractor Name: Thompson & Johnson Woodworkers		Contractor Address: 115 Island Ave Peaks Island		Phone: 2077665219	
Lessee/Buyer's Name: n/a		Phone: n/a		Permit Type: Amendment to Single Family		Zone: IR-1/1 SH	
Past Use: Vacant		Proposed Use: Amendment for new single family; permit # 040448. location of bathroom, pitch of roof, window size and railing detail.		Permit Fee: \$30.00		Cost of Work: \$0.00	
				CEO District: 2			
				FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type: SB IRC-2003 Signature: JMB 12/8/04	
Proposed Project Description: Amendment for new single family; permit # 040448. location of bathroom, pitch of roof, window size and railing detail.				PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____			
Permit Taken By: gg		Date Applied For: 11/19/2004		Zoning Approval			

1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. 2. Building permits do not include plumbing, septic or electrical work. 3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>within 80' to edge of wetlands</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan <i>Panel 15 Zone C</i> <input type="checkbox"/> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>JMB 12/8/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>JMB</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE		PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1729		Date Applied For: 11/19/2004	CBL: 088 M006001
Location of Construction: 225 Brackett Ave	Owner Name: Thompson Otis C &	Owner Address: Seashore Ave	Phone:
Business Name: n/a	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: (207) 766-5219
Applicant/Owner/Buyer's Name: n/a	Phone: n/a	Permit Type: Amendment to Single Family	
Proposed Use: Amendment for new single family; permit # 040448. location of bathroom, pitch of roof, window size and railing detail.		Proposed Project Description: Amendment for new single family; permit # 040448. location of bathroom, pitch of roof, window size and railing detail.	

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

November 18, 2004

Planning and Urban Development
City of Portland
389 Congress Street
Room 315 Inspections
Portland, Maine 04101

RE: 225 Brackett Avenue, Peaks Island
(ID # 2004-0080, CBL #088M006)

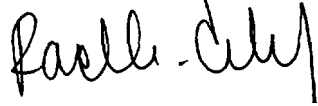
To Whom It May Concern:

Please find enclosed design revisions to a permit for a new single-family house to be located at 225 Brackett Avenue on Peaks Island. It was the client's request that we reduce the scope of the project to accommodate their budget. I have highlighted in red those areas **of** the design which have been affected by the reduced scope. The primary changes include:

1. Swapping the location of the entry and bathroom.
2. Lowering the pitch **of** the shed **roof** and thus reducing the quantities **of** windows.
3. Different window style and size at same locations.
4. Different railing detail

Please let me know if you need more information, or have any questions.

Sincerely,



Rachel Conly
Architectural Designer

NOV 19 2004
CITY OF PORTLAND

(ADDENDUM)

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or other charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>225 BRACKETT AVE PEAKS ISLAND</u>		
Total Square Footage of Proposed Structure	Square Footage of Lot <u>31,230 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>88</u> Block# <u>M</u> Lot# <u>10</u>	Owner: <u>OTIS AND MA VOURNEEN THOMPSON</u>	Telephone: <u>766-5919</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>Thompson Johnsons Woodworks 115 ISLAND AVE PEAKS ISLAND, ME 04108</u>	Cost Of Work: \$ <u>100,000</u> Fee: \$ <u>30.00</u>
Current use: <u>VACANT LAND</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>NEW SFR</u> <u>See Cover letter</u>		
Project description: <u>submitted to # 040448</u>		
Contractor's name, address & telephone: _____		
Who should we contact when the permit is ready: <u>RACHEL CONLEY</u>		
Mailing address: <u>THOMPSON JOHNSON WOODWORKS 115 ISLAND AVE PEAKS ISLAND, ME 04108</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-766-5919</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT. WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of the jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: Rachel Conley Date: 9-9-04

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

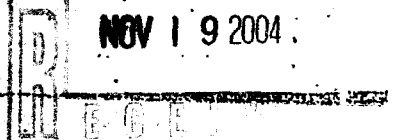


TABLE R502.5(1)
GIRDER SPANS^a AND HEADER SPANS^a FOR EXTERIOR BEARING WALLS
 (Maximum spans for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir^b and required number of jack studs)

GIRDERS AND HEADERS SUPPORTING	SIZE	GROUND SNOW LOAD (psf) ^e											
		30						50					
		Building width ^c (feet)											
		20		28		36		20		28		36	
Span	NJ ^d	Span	NJ ^d	Span	NJ ^d	Span	NJ ^d	Span	NJ ^d	Span	NJ ^d	Span	NJ ^d
Roof and ceiling	2-2x4	3-6	1	3-2	1	2-10	1	3-2	1	2-9	1	2-6	1
	2-2x6	5-5	1	4-8	1	4-2	1	4-8	1	4-1	1	3-8	2
	2-2x8	6-10	1	5-11	2	5-4	2	5-11	2	5-2	2	4-7	2
	2-2x10	8-5	2	7-3	2	6-6	2	7-3	2	6-3	2	5-7	2
	2-2x12	9-9	2	8-5	2	7-6	2	8-5	2	7-3	2	6-6	2
	3-2x8	8-4	1	7-5	1	6-8	1	7-5	1	6-5	2	5-9	2
	3-2x10	10-6	1	9-1	2	8-2	2	9-1	2	7-10	2	7-0	2
	3-2x12	12-2	2	10-7	2	9-5	2	10-7	2	9-2	2	8-2	2
	4-2x8	9-2	1	8-4	1	7-8	1	8-4	1	7-5	1	6-8	1
	4-2x10	11-8	1	10-6	1	9-5	2	10-6	1	9-1	2	8-2	2
	4-2x12	14-1	1	12-2	2	10-11	2	12-2	2	10-7	2	9-5	2
	Roof, ceiling and one center-bearing floor	2-2x4	3-1	1	2-9	1	2-5	1	2-9	1	2-5	1	2-2
2-2x6		4-6	1	4-0	1	3-7	2	4-1	1	3-7	2	3-3	2
2-2x8		5-9	2	5-0	2	4-6	2	5-2	2	4-6	2	4-1	2
2-2x10		7-0	2	6-2	2	5-6	2	6-4	2	5-6	2	5-0	2
2-2x12		8-1	2	7-1	2	6-5	2	7-4	2	6-5	2	5-9	3
3-2x8		7-2	1	6-3	2	5-8	2	6-5	2	5-8	2	5-1	2
3-2x10		8-9	2	7-8	2	6-11	2	7-11	2	6-11	2	6-3	2
3-2x12		10-2	2	8-11	2	8-0	2	9-2	2	8-0	2	7-3	2
4-2x8		8-1	1	7-3	1	6-7	1	7-5	1	6-6	1	5-11	2
4-2x10		10-1	1	8-10	2	8-0	2	9-1	2	8-0	2	7-2	2
4-2x12		11-9	2	10-3	2	9-3	2	10-7	2	9-3	2	8-4	2
Roof, ceiling and one clear span floor		2-2x4	2-8	1	2-4	1	2-1	1	2-7	1	2-3	1	2-0
	2-2x6	3-11	1	3-5	2	3-0	2	3-10	2	3-4	2	3-0	2
	2-2x8	5-0	2	4-4	2	3-10	2	4-10	2	4-2	2	3-9	2
	2-2x10	6-1	2	5-3	2	4-8	2	5-11	2	5-1	2	4-7	3
	2-2x12	7-1	2	6-1	3	5-5	3	6-10	2	5-11	3	5-4	3
	3-2x8	6-3	2	5-5	2	4-10	2	6-1	2	5-3	2	4-8	2
	3-2x10	7-7	2	6-7	2	5-11	2	7-5	2	6-5	2	5-9	2
	3-2x12	8-10	2	7-8	2	6-10	2	8-7	2	7-5	2	6-8	2
	4-2x8	7-2	1	6-3	2	5-7	2	7-0	1	6-1	2	5-5	2
	4-2x10	8-9	2	7-7	2	6-10	2	8-7	2	7-5	2	6-7	2
	4-2x12	10-2	2	8-10	2	7-11	2	9-11	2	8-7	2	7-8	2
	Roof, ceiling and two center-bearing floors	2-2x4	2-7	1	2-3	1	2-0	1	2-6	1	2-2	1	1-11
2-2x6		3-9	2	3-3	2	2-11	2	3-8	2	3-2	2	2-10	2
2-2x8		4-9	2	4-2	2	3-9	2	4-7	2	4-0	2	3-8	2
2-2x10		5-9	2	5-1	2	4-7	3	5-8	2	4-11	2	4-5	3
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4-2x8		6-10	1	6-0	2	5-5	2	6-8	1	5-10	2	5-3	2
4-2x10		8-4	2	7-4	2	6-7	2	8-2	2	7-2	2	6-5	2
4-2x12		9-8	2	8-6	2	7-8	2	9-5	2	8-3	2	7-5	2

SERIES 1 (WCG11)

SERIES 2 (WCG21)

1109	1309	1509	1909	2309	2709	3109
1113	1313	1513	1913	2313	2713	3113
1118	1318	1518	1918	2318	2718	3118
1125	1325	1525	1925	2325	2725	3125
1129	1329	1529	1929	2329	2729	3129
1133	1333	1533	1933	2333	2733	3133
1137	1337	1537	1937	2337	2737	3137
1141	1341	1541	1941	2341	2741	3141
1149	1349	1549	1949	2349	2749	3149
1153	1353	1553	1953	2353	2753	3153
1157	1357	1557	1957	2357	2757	3157
1165	1365	1565	1965	2365	2765	3165

19 1/4" (489)	15 1/4" (388)	13 3/8" (341)	9 1/2" (240)	17 1/8" (435)	19 1/8" (485)	21 1/8" (535)	25" (635)	29" (735)	32 7/8" (835)	36 7/8" (935)	31 3/8" (810)	26 3/4" (680)	30 3/4" (780)	31 1/8" (800)	25 1/4" (640)	30 1/2" (775)	34 1/2" (875)	29 1/8" (740)	33 1/8" (840)	38 3/8" (988)	42 3/8" (1088)	46 3/4" (1188)	54 5/8" (1388)	58 5/8" (1488)	62 1/2" (1588)	69 7/8" (1775)	70 3/8" (1788)
18 3/4" (476)	14 3/4" (375)	13 3/8" (341)	9 1/2" (240)	16 1/8" (410)	18 1/8" (460)	20 1/8" (510)	24" (610)	28" (710)	31 7/8" (810)	35 7/8" (910)	31 3/8" (810)	26 3/4" (680)	30 3/4" (780)	31 1/8" (800)	25 1/4" (640)	30 1/2" (775)	34 1/2" (875)	29 1/8" (740)	33 1/8" (840)	38 3/8" (988)	42 3/8" (1088)	46 3/4" (1188)	54 5/8" (1388)	58 5/8" (1488)	62 1/2" (1588)	69 7/8" (1775)	70 3/8" (1788)
19 1/4" (489)	15 1/4" (388)	13 3/8" (341)	9 1/2" (240)	17 1/8" (435)	19 1/8" (485)	21 1/8" (535)	25" (635)	29" (735)	32 7/8" (835)	36 7/8" (935)	31 3/8" (810)	26 3/4" (680)	30 3/4" (780)	31 1/8" (800)	25 1/4" (640)	30 1/2" (775)	34 1/2" (875)	29 1/8" (740)	33 1/8" (840)	38 3/8" (988)	42 3/8" (1088)	46 3/4" (1188)	54 5/8" (1388)	58 5/8" (1488)	62 1/2" (1588)	69 7/8" (1775)	70 3/8" (1788)
18 3/4" (476)	14 3/4" (375)	13 3/8" (341)	9 1/2" (240)	16 1/8" (410)	18 1/8" (460)	20 1/8" (510)	24" (610)	28" (710)	31 7/8" (810)	35 7/8" (910)	31 3/8" (810)	26 3/4" (680)	30 3/4" (780)	31 1/8" (800)	25 1/4" (640)	30 1/2" (775)	34 1/2" (875)	29 1/8" (740)	33 1/8" (840)	38 3/8" (988)	42 3/8" (1088)	46 3/4" (1188)	54 5/8" (1388)	58 5/8" (1488)	62 1/2" (1588)	69 7/8" (1775)	70 3/8" (1788)

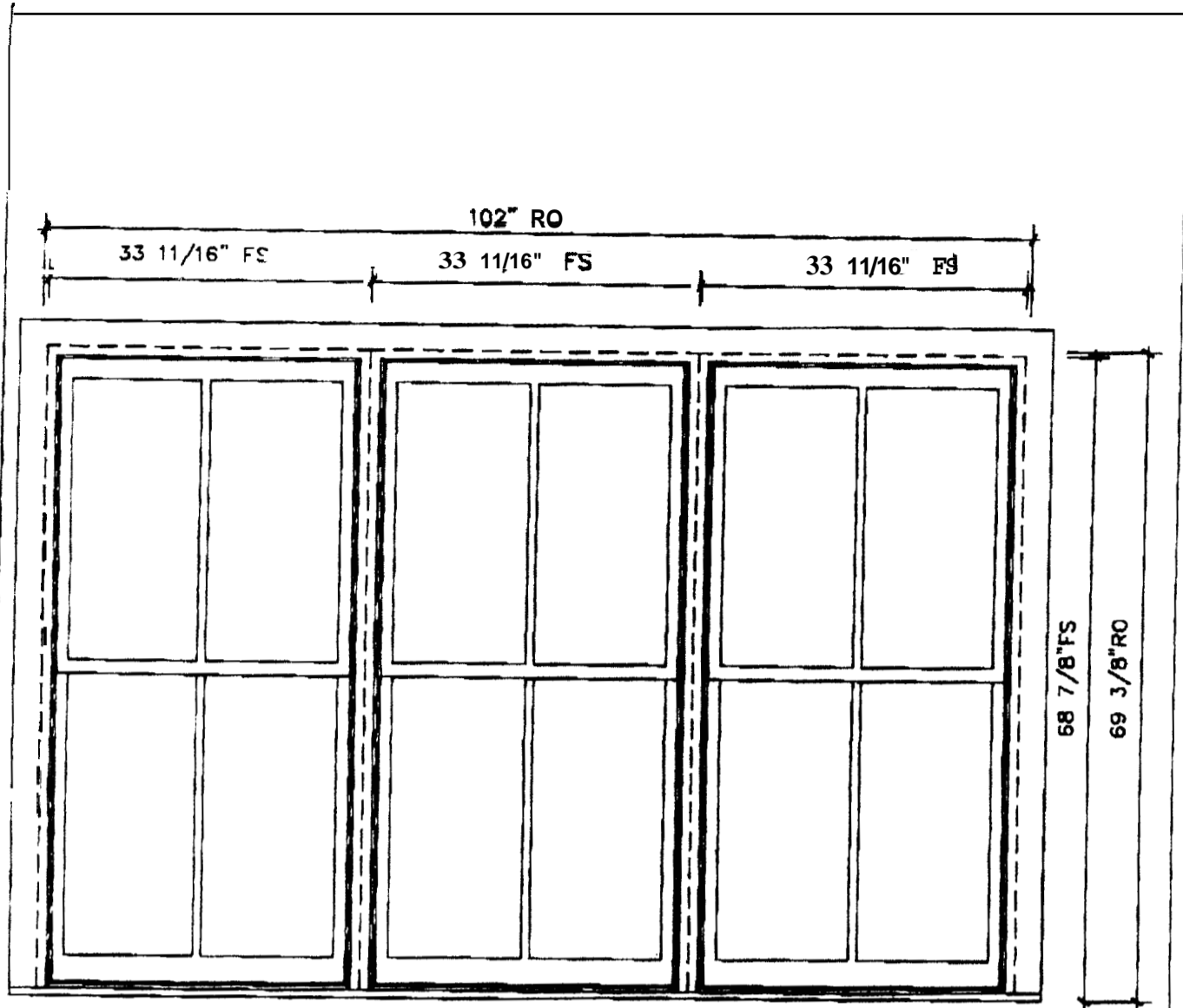
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1133	1333	1533	1933	2333	2733	3133
1137	1337	1537	1937	2337	2737	3137
1141	1341	1541	1941	2341	2741	3141
1149	1349	1549	1949	2349	2749	3149
1153	1353	1553	1953	2353	2753	3153
1157	1357	1557	1957	2357	2757	3157
1165	1365	1565	1965	2365	2765	3165

TRANSOM
 19 1/4" (489) 15 1/4" (388) 13 3/8" (341) 9 1/2" (240)
RO FRAME 32 3/8" (820) 36 3/4" (920) 40 3/4" (1020) 48 1/8" (1220) 56" (1420) 63 3/4" (1620) 71 3/4" (1820)
GLASS 31 3/8" (795) 35 1/4" (895) 39 1/4" (995) 47 1/8" (1195) 55" (1395) 62 3/4" (1595) 70 3/4" (1795)
 11" (280) 13" (330) 15" (380) 18 1/8" (460) 22 1/8" (560) 26 3/4" (680) 30 3/4" (780)

W/EGRESS HANDICAP



Not to scale
 ** These windows meet Canadian national egress codes. Local codes may differ.
 ** These windows meet American national egress codes. Local codes may differ.



*** CLAD SASH WOOD FRAME ***
 3 1/2" FLAT CASING NO FINGERJOINT

EXTERIOR VIEW

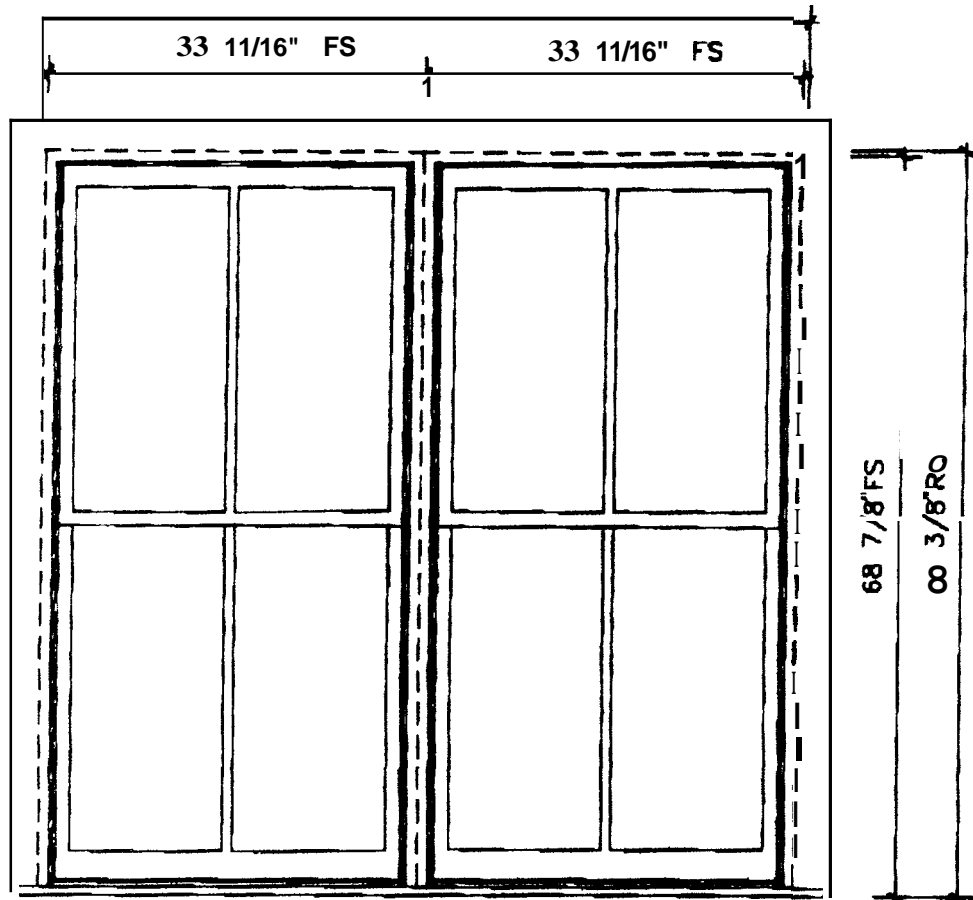
CSMT-1941-1W RH

C
 QTY. 1 SCALE: 3/4"=1'-0"

OK

80 COLON ST. BEVERLY MA 01915
 PHONE: 978-922-0921 FAX: 978-921-4522

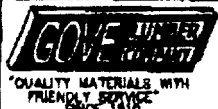
	ARCHITECTURAL MILLWORK		HART SHED	page
	NUMBER: HART03	DATE: 4/21/04		OF
	DRAWN: GTG	CHECK:		



*** CLAD SASH WOOD FRAME ***
 3 1/2" FLAT CASING NO FINGERJOINT
 EXTERIOR VIEW
 WHB2930-2W

QTY. 1 SCALE: 3/4" = 1'-0"

80 COLON ST. BEVERLY MA 01915
 PHONE: 978-922-0921 FAX: 978-922-4522



ARCHITECTURAL MILLWORK

NUMBER: HART02 DATE: 4/21/04
 DRAWN: GTG CHECK:

HART
 SHED

page
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