

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0448	Issue Date: SEP 07 2004	CBL: 088 M006001
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Location of Construction: 225 Brackett Ave PEAKS ISLAND	Owner Name: Thompson Otis C &	Owner Address: Seashore Ave	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: 2077665919
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: IR-1X

Past Use: vacant land	Proposed Use: Single Family: 30' x 30' one story dwelling on posts	Permit Fee: \$1,086.00	Cost of Work: \$110,000.00	CEO District: 1
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Proposed Project Description: Single Family: 30' x 30' one story dwelling on posts	FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>[Signature]</i>	INSPECTION: Use Group: R-3 Type: 5B BOCA 1999 Signature: <i>[Signature]</i>
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Permit Taken By: kwd	Date Applied For: 04/20/2004	Zoning Approval	
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<p>1 This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2 Building permits do not include plumbing, septic or electrical work.</p> <p>3 Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland <i>within 80' to edge of wetlands/Alum</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>Panel 15 Zone C</i></p> <p><input type="checkbox"/> Subdivision <i>Let's read 1A-433</i></p> <p><input checked="" type="checkbox"/> Site Plan #2004-0080</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/></p> <p><i>ok with conditions</i></p> <p>Date: <i>8/31/04</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <i>[Signature]</i></p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE:		DATE	PHONE:

11/24/04 Setbacks w/ Scott & Harvey - Lines Strung OK.

First Set of Footings in rear (4) ok to pour - rebar pinned to ledge. All other Footings to ledge - will check next week. Discussed septic system - had Harvey sign HHE200 Form That was submitted 4/20/04. May change design in spring but will review this one for approval JMB

12/2/04 OK to place remainder of structures. ^{above}

4/5/06 close in w/ John B., Scott H., & Mavournean T.

- ✓ Exterior Front entrance guard 32"
- Egress window 48" off Floor
- ✓ No wired smoke detectors
- ✓ Electrical Boxes - grounds not bonded
- ✓ Some 1 1/4 Rule on studs - esp. @ panel - need stacker
- Only one ground rod - galv. steel ok but need listed clamp.
- meter to panel feed not to code - no shut off.
- No plumbing lines on test
- No backventing installed
- Must submit detail on exposed Drain lines on exterior - also need approved clamps.
- ✓ Must seal all electrical & plumbing openings/penetrations
- must submit detail on multiple wall plate stacking for structural integrity.

4/6/06 received detail on wall JMB

Need vacuum breaker -

4/26/06 - Follow up - still need to ① build/raise floor ② egress window ③ Ground rod needs to be 6' apart ④ Need to address exposed plumbing under building ⑤ Need vacuum breaker on exterior spicket. M. 7/13/06 - Elec Insp - not ready 7/20/06 - Elec. Insp. - OK to connect.

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

Permit Number: 040448

SEP 03 2004

This is to certify that Thompson Otis C & /Thompson & John workers

has permission to Single Family: 30' x 30' one story dwelling on post

AT 225 Brackett Ave PEAKS ISLAND

088 M006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notations: Inspector must give and work on permit in process before this building or part thereof is started or closed-in. **HEAVY NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____ Department Name _____

[Handwritten Signature]
9/3/04
Director, Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit

389 Congress Street 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0448	Date Applied For: 04/20/2004	CBL: 088 M006001
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Location of Construction: 219 Brackett Ave PEAKS ISLAND	Owner Name: Thompson Otis C &	Owner Address: Seashore Ave	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: (207) 766-5219
Lessee/Buyer's Name:	Phone:	Permit Type: Single Family	

Proposed Use: Single Family: 30' x 30' one story dwelling on posts	Proposed Project Description: Single Family: 30' x 30' one story dwelling on posts
---	---

Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 08/30/2004

Note: 6/23/04 - actually on hold - I spoke to Rachel - I have nothing showing that this is a lot of record (under req. Ok to Issue:
 40,000 sq. Ft) No parking is shown (2 required) - I need to know Pre-development grade for the building
 height review - needs to delineate where the 75' from the edge of wetlands is located
 8/12/04 Received more site plan information - will be getting info on the lot of record from the lawyer

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. All required minimum heights are measured from the pre-development grades on the islands..
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of revised plans submitted on 8/12/04. Any deviations shall require a separate approval before starting that work.

Dept: Building Status: Approved with Conditions Reviewer: Tammy Munson Approval Date: 09/03/2004

Note: Ok to Issue:

- 1) If the egress windows in the bedrooms are casement windows, egress hardware must be installed on them.

Dept: DRC Status: Approved with Conditions Reviewer: Jay Reynolds Approval Date: 06/28/2004

Note: Ok to Issue:

- 1) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) Your new street address is now # 219 Brackett Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 5) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

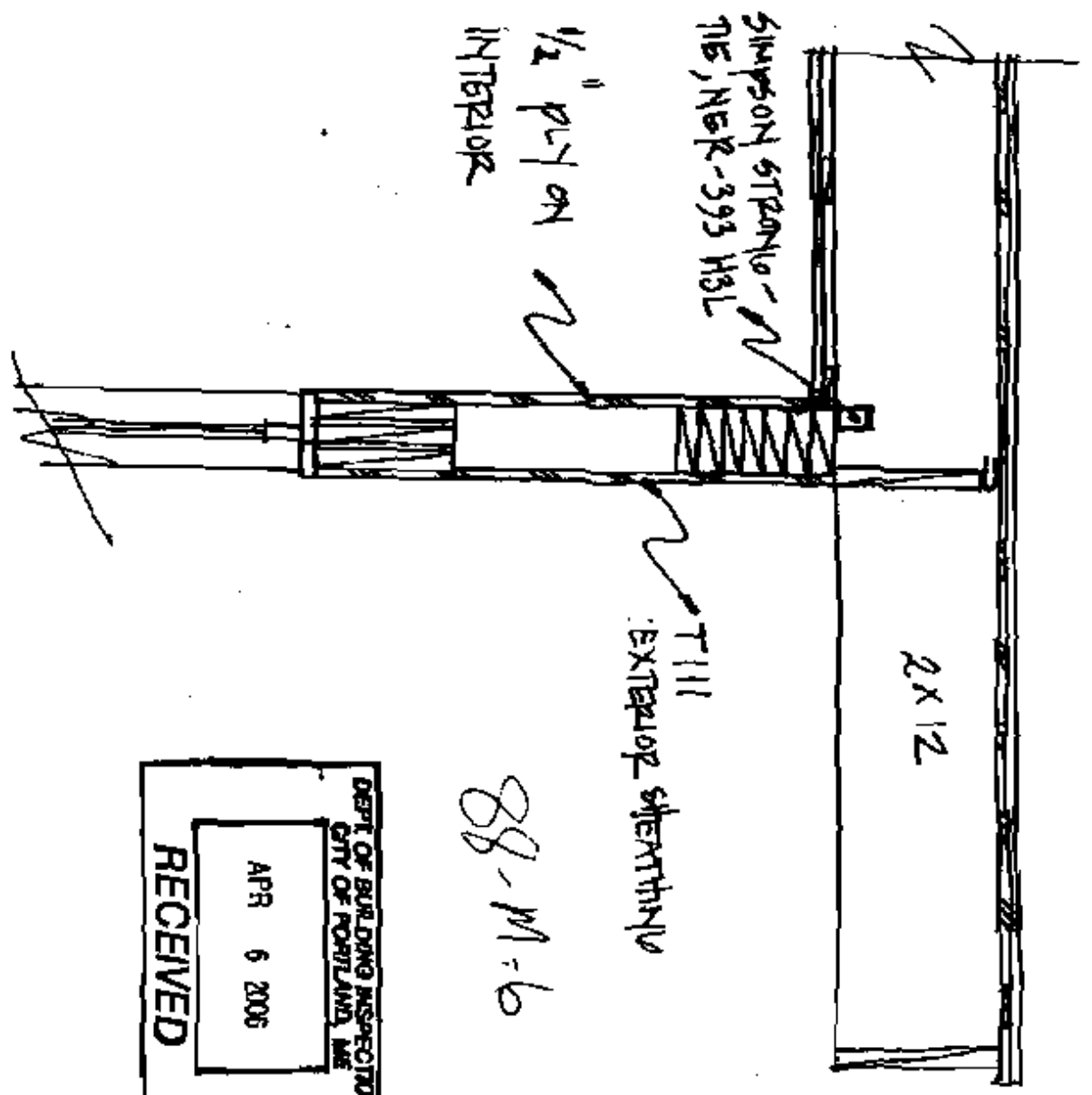
Dept: Planning Status: Not Applicable Reviewer: Jay Reynolds Approval Date: 06/28/2004

Note: Ok to Issue:

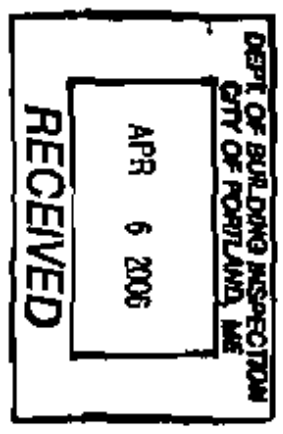
ATTN: JEANIE BOURKE

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, ME 04108

000-4317



88-M-6



THOMPSON RESIDENCE: BRACKETT ST. ROOF + WALL DETAIL
4.2.06



CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 4/20 2004 _____

Received from Thompson Subsurface Permits

Location of Work 235 Brackett Ave, P.I.

Cost of Construction \$ 110,000

Permit Fee \$ 1011

Planing (U) X 1011 + 75 0370 Electrical (E) _____ Site Plan (S) X \$300.00

Subsurface 110.00

Permit 038-M-606

Check # 1888 Total Collected \$ 1496

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

September 1, 2004

Tammy Munson
Code Enforcement Officer
City of Portland

RE: 225 Brackett Avenue, Peaks Island
(ID # 2004-0080, CBL #088M006)

Dear Tammy:

The following corrections have been made to the to a permit submission for a new single-family house to be located at 225 Brackett Avenue, Peaks Island, per your request:

- 1 balustrade revision, permit submission page fifteen
- 2 joist span revision of entry porch, permit submission page nine
- 3 egress window revision, permit submission page two (also, please see revised window schedule)
- 4 safety glazing revision, permit submission page two (also, please see revised window schedule)

Thank you for your help, Tammy, and please let me know if you need any additional information.

Sincerely,


Rachel Conly
Architectural Designer

Applicant:

Date: 6/23/04

Address:

225 Brackett Ave, Peaks IS C-B-L: 088-M-006

CHECK-LIST AGAINST ZONING ORDINANCE

Date - New Dev,

permit # 04-0448

Zone Location - IR-1

Interior or corner lot -

Proposed Use/Work - to construct 30.1' x 30.1' New single family dwelling

Sevage Disposal - Private

Lot Street Frontage - 100' min - 244' shown

Front Yard - 30' req - 30' + shown

Rear Yard - 30' req - 30' + shown

Side Yard - 20' req - 20' + shown

Projections - BACK porch? front porch

Width of Lot - 100' - 244' shown

Height - 35' to pre-development grade - 31' 2" shown to lowest existing grade

Lot Area - 40,000 sq ft - 31,230 sq ft - Evidence to Lot of Record 14-433

Lot Coverage Impervious Surface - 20% max of 6,246 sq ft

Area per Family - Normally 40,000 sq ft unless a lot of record

Off-street Parking - 2 req - 2 New shown

Loading Bays - N/A

Site Plan - #2004-0080

Shoreland Zoning/Stream Protection - with - needs to show 75' from HWY

Flood Plains - panel 15 Zone C

30.1 x 30.1 = 906.01

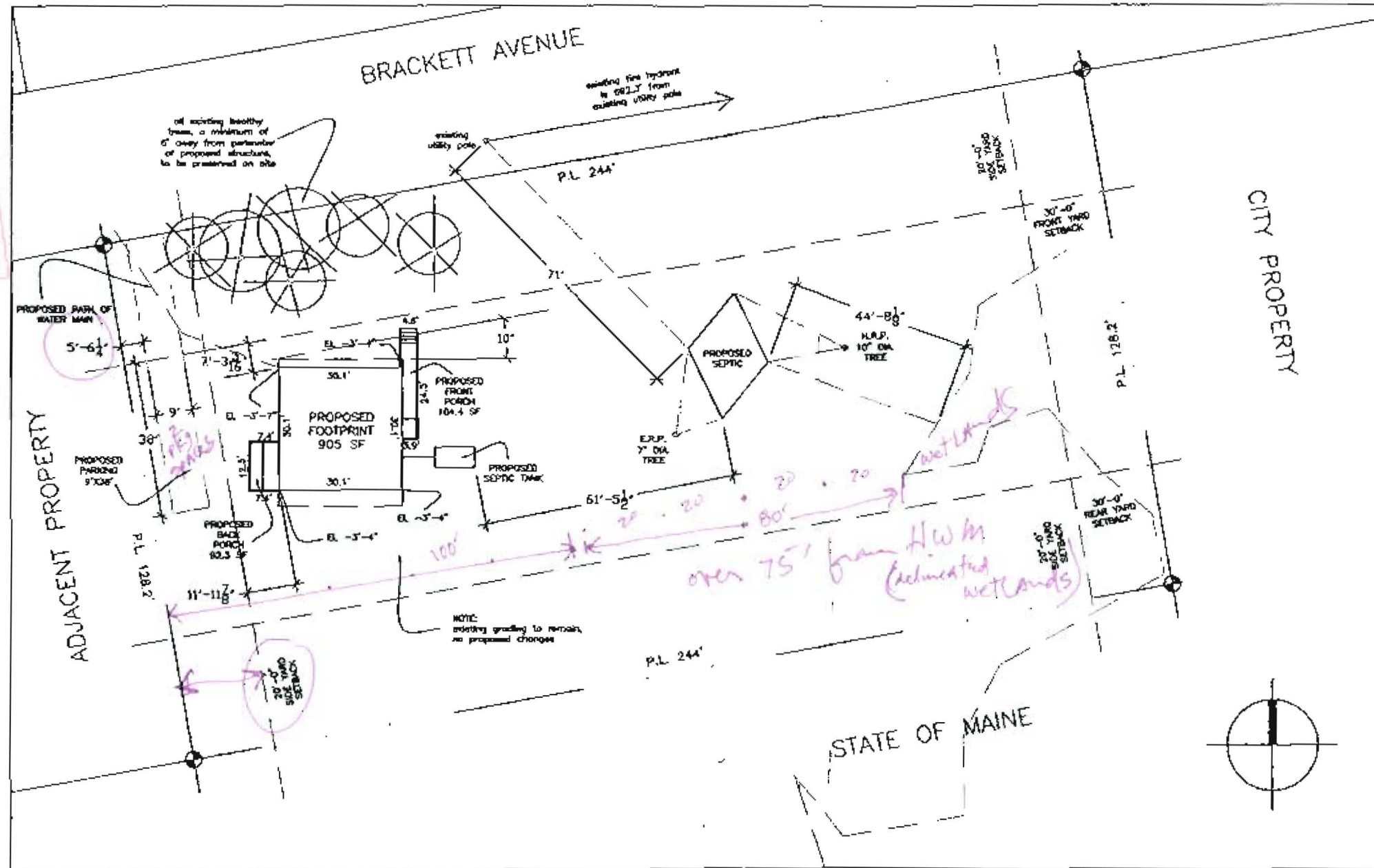
front porch area = 104.49 sq ft

side porch = 92.5 sq ft

1,102.91 sq ft

over 80' from delineated wetland

EXISTING LOT AREA 31,230 SF
(X.20=6,246 MAXIMUM COVERAGE)
TOTAL AREA NEW CONSTRUCTION 1,101.9 SF



Notes

PLOT PLAN
(revised)

Most current plan

PROJECT
THOMPSON RESIDENCE

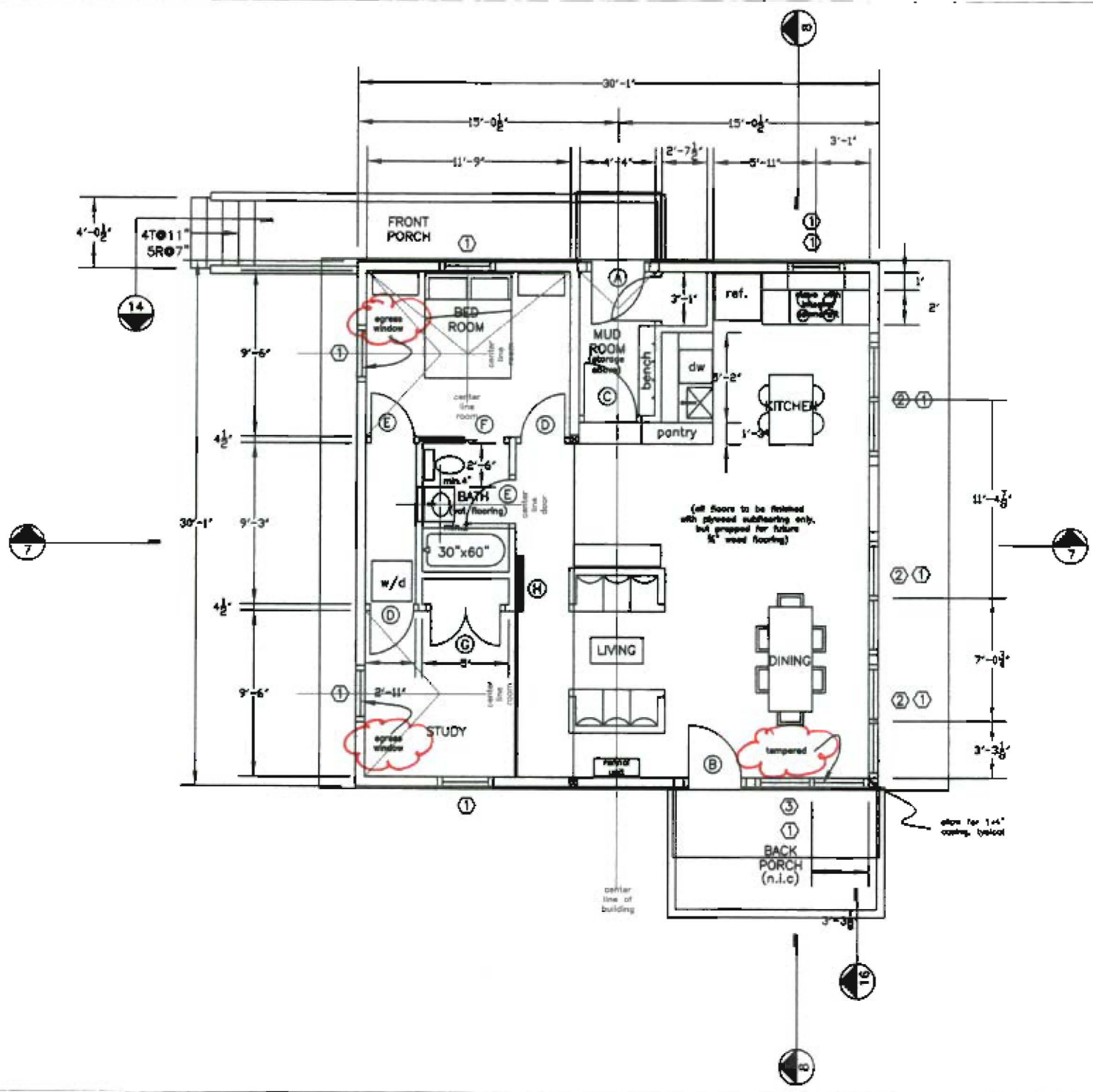
DATE	REVISED
3.11.04	4.28.04 6.17.04 8.11.04

SCALE	DRAWN BY
1/32" = 1'-0"	

ITEM

Notes

FIRST FLOOR PLAN



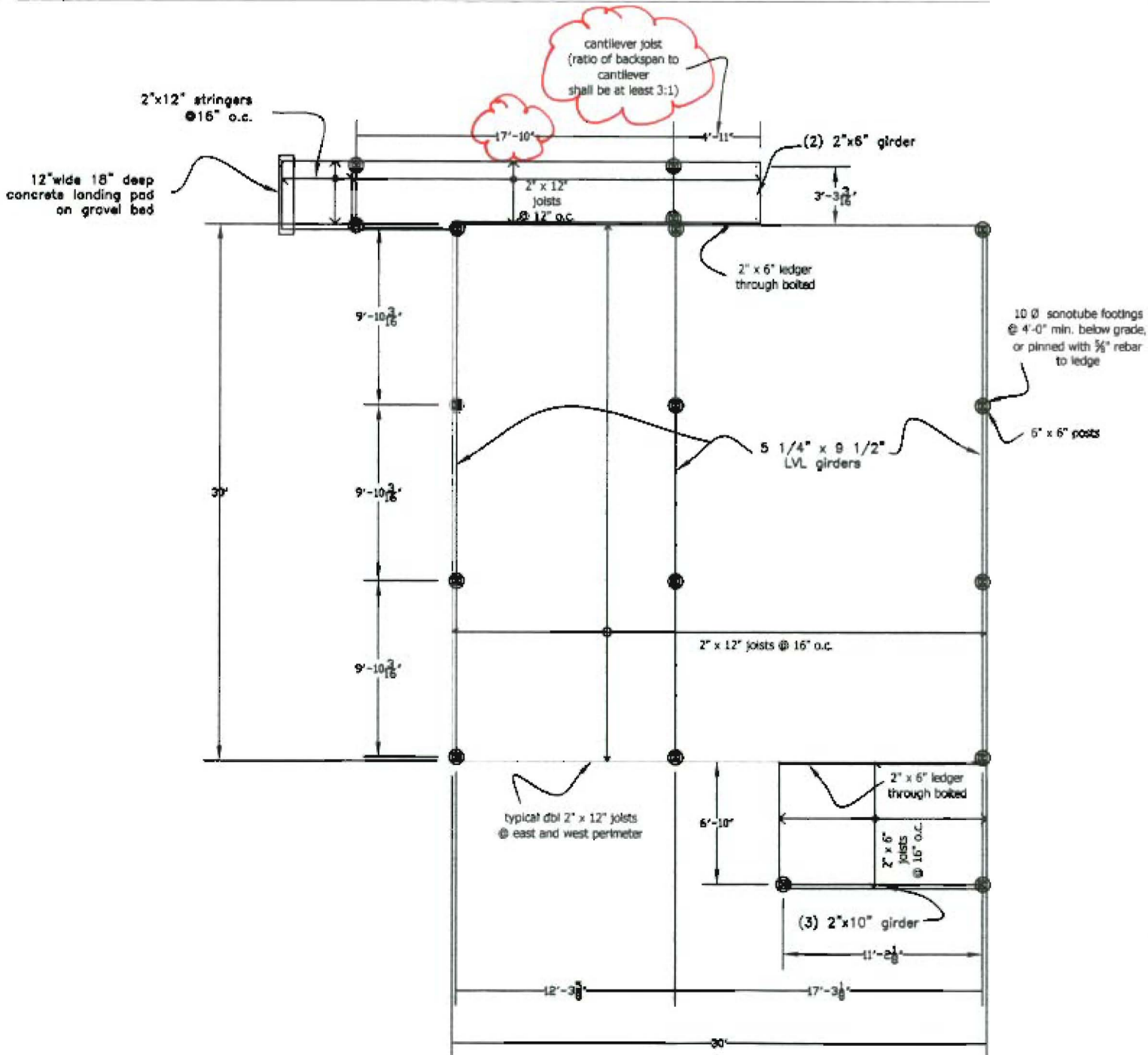
slope for 1/4" ceiling (yellow)

PROJECT
THOMPSON RESIDENCE

DATE 3.11.04	REVISED 9.1.04
-----------------	-------------------

SCALE 1/8" = 1'-0"	DRAWN BY
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ITEM



Notes

FOUNDATION/FIRST FLOOR FRAMING PLAN

PROJECT
THOMPSON RESIDENCE

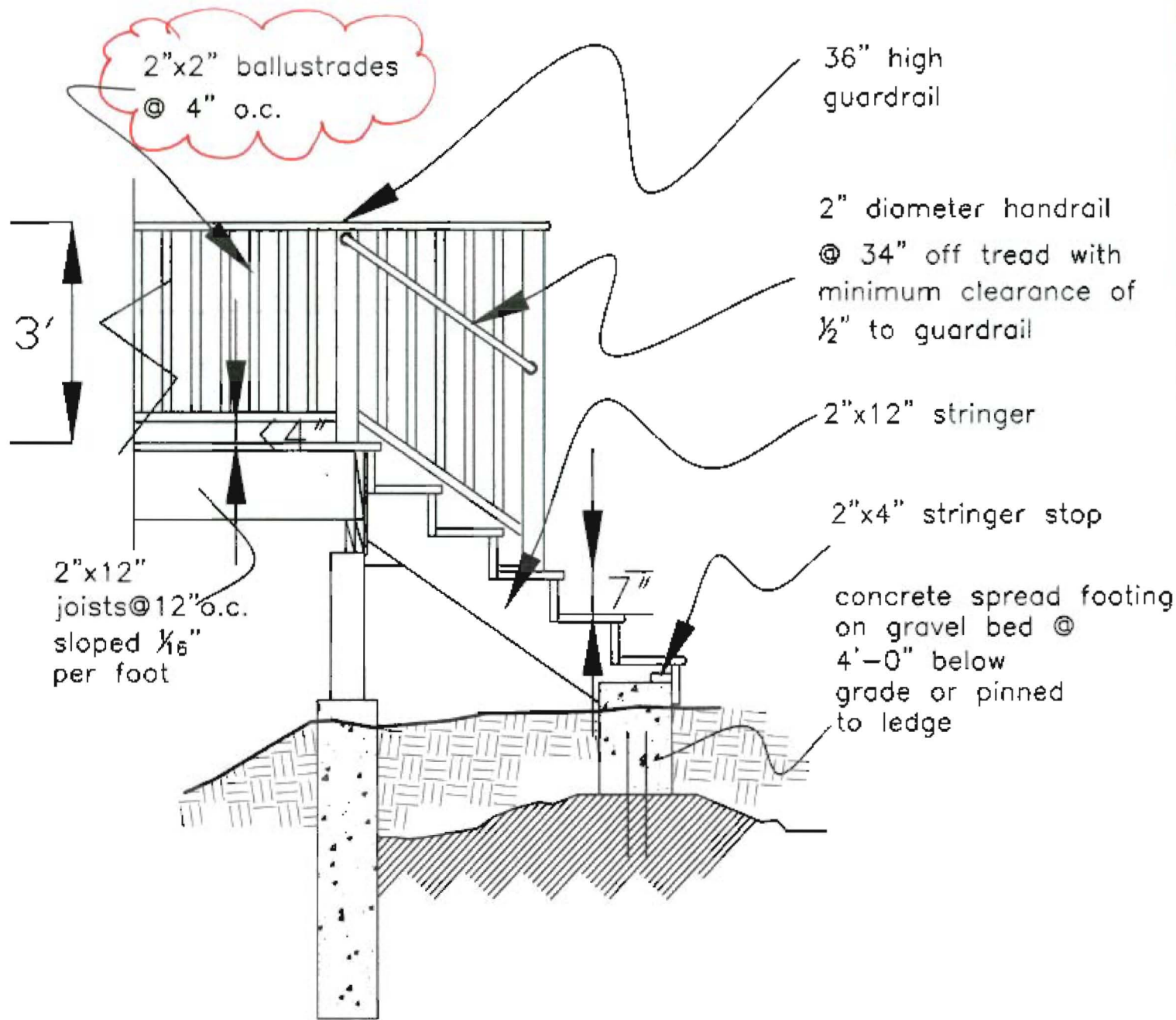
DATE
3.11.04

REVISED
9.1.04

SCALE
1/8" = 1'-0"

DRAWN BY

ITEM



THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Fifteen

Notes

STAIR DETAILS

PROJECT
THOMPSON RESIDENCE

DATE 3.11.04	REVISED 9.1.04
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SCALE 1/2"=1'-0"	DRAWN BY
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ITEM

Thompson Johnson Woodworks

Window/Door Schedule

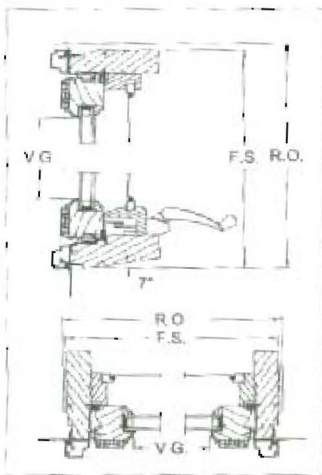
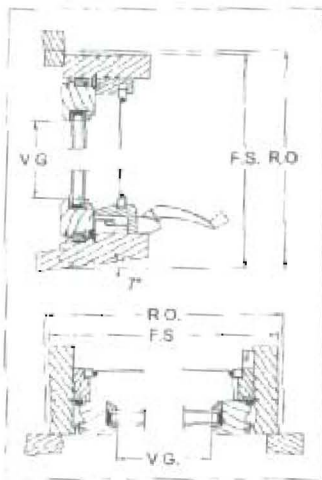
Thompson Residence

Peaks Island

QTY	WINDOW	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
9	1	LEPAGE	WOOD INT/ ALUM CLAD OUT	E,SDL	CASEMENT	31 7/8"	30 1/2"	2X6	
3	2	LEPAGE	WOOD INT/ ALUM CLAD OUT	E,SDL	DBL HNG	71 1/4"	56 7/8"	2X6	
1	3	LEPAGE	WOOD INT/ ALUM CLAD OUT	E,SDL, TEMPERED	DBL HNG	72 1/4"	57 7/8"	2X7	

QTY	DOOR	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
1	A		WOOD INT/ ALUM EXT/FULL GLASS	EXT/TEMPERED	RH	36"	6-8	2X6	1 3/4
1	B		WOOD INT/ ALUM EXT/FULL GLASS	EXT/TEMPERED	LH	36"	6-8	2X6	1 3/4
1	C		WOOD INT/FULL GLASS	TEMPERED	LH	36"	6-8	2X4	1 3/8
2	D		4 PANEL, SOLID CORE	INT	RH	30"	6-8	2X4	1 3/8
1	E		4 PANEL, SOLID CORE	INT	LH	30"	6-8	2X4	1 3/8
1	F		4 PANEL, SOLID CORE	INT	POCKET	28"	6-8	2X4	1 3/8
1	G		4 PANEL, SOLID CORE	INT	PAIR	(2) 24"	6-8	2X4	1 3/8
1	H		WOOD INT/FULL GLASS	INT/TEMPERED	TRACK	38"	6-8	2X4	1 3/8

Construction Details



WOOD CASEMENT (operating)

ENERGY DATA (3/4" I.G.)				
NATURAL				
	U factor	R value	SHGC	VT
Clear	0.42	2.34	0.48	0.50
Clear + Spacer*	0.42	2.34	0.43	0.45
Clear + GBG**	0.36	2.71	0.43	0.45
Low E Argon	0.29	3.37	0.24	0.44
Low E Argon + Spacer*	0.29	3.37	0.22	0.39
Low E Argon + GBG**	0.30	3.32	0.22	0.39
ALUMINUM CLAD				
Clear	0.42	2.34	0.48	0.50
Clear + Spacer*	0.42	2.34	0.43	0.45
Clear + GBG**	0.43	2.30	0.43	0.45
Low E Argon	0.29	3.36	0.25	0.44
Low E Argon + Spacer*	0.29	3.36	0.22	0.39
Low E Argon + GBG**	0.30	3.32	0.22	0.39
PERFORMANCE DATA				
A-3	B-3	C-3	F-20	
DESIGN PRESSURE DATA				
DP-50				
*SPACER 3/4" spacer for SDL				
**GBG 3/4" Georgian grilles between the glass.				

Values are subject to update. Results are obtained in accordance with NFRC 102 and CSA A440-00

Custom sizes are available on request. Minimum and maximum sizes applicable may vary depending on features and options

For masonry openings, please contact your local LePage representative.

The patterns shown are 1/2" (22) SDL. Lite patterns for 1/4" (31) SDL and other grilles may vary.

For sizes that meet the local Egress code requirements, please contact your local LePage representative.

Venting configurations shown in units of the first line and first column are applicable to all units.

Units with 15 1/2" and 18 1/2" heights are stationary only.

For elevations of picture units, bay windows and bow windows, please contact your local LePage representative.

WC11

Transoms	1009	1209	1409	1609	2209	2509	2909
20 1/2" (513)	1013	1213	1412	1613	2213	2511	2914
17 1/2" (435)	1017	1217	1417	1617	2217	2517	2917
19 1/2" (500)	1021	1221	1421	1621	2221	2521	2921
18 1/2" (460)	1025	1225	1425	1625	2225	2525	2925
20 1/2" (510)	1029	1229	1429	1629	2229	2529	2929
15 1/2" (394)	1033	1233	1433	1633	2233	2533	2933
17 1/2" (436)	1037	1237	1437	1637	2237	2537	2937
19 1/2" (500)	1041	1241	1441	1641	2241	2541	2941
21 1/2" (536)	1045	1245	1445	1645	2245	2545	2945
23 1/2" (591)	1049	1249	1449	1649	2249	2549	2949
25 1/2" (636)	1053	1253	1453	1653	2253	2553	2953
27 1/2" (700)	1057	1257	1457	1657	2257	2557	2957
29 1/2" (765)	1061	1261	1461	1661	2261	2561	2961
31 1/2" (810)	1065	1265	1465	1665	2265	2565	2965
33 1/2" (865)							
35 1/2" (910)							

R.O.: Rough Opening
F.S.: Frame Size
V.G.: Visible Glass

OB M-6

225 Brackett Ave, P.I.

Rachel Conley
766-5919
766-5919

Fax 766-5297

Soil type/Presumptive Load Value (Table 401.4.1)		
Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	10" ϕ sonotubes 4'-0" below grade	>OK
Foundation Drainage Damp proofing (Section 406)	N/A	
Ventilation (Section 409.1) Crawls Space ONLY	OK - open below	
Anchor Bolts/Straps (Section 403.1.4)	NOT shown	
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	OK	
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	OK	
Sill/Band Joist Type & Dimensions	N/A	OK fixed
① First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x12's - 16" OC - 17'-5 3/4" span -	2x12 - 12" OC spanning 22'-6 5/16" - OK ON SPAN
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	N/A	

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	N/A	
Roof Rafter Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	2x12'-5 spans 17'-5 3/4" Max span - 17'-6" - OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	Floor - 3/4" - OK Roof - 5/8" OK Walls - T111	
Fastener Schedule (Table 602.3(1) & (2))		
Private Garage Section 309 and Section 407 1999 BOCA) Living Space ? (Above or beside)	N/A	
Fire separation		
Fire rating of doors to living space Door Sill elevation (407.5 BOCA)	N/A	
Egress Windows (Section 310)	OK - shows awning window - Need egress hardware, and verification it meets.	
Roof Covering (Chapter 9)	asphalt shingles	
Safety Glazing (Section 308)	OK - Need in window next to door going to back porch	
Attic Access (BOCA 1211.1)	N/A	
Draft Stopping around chimney	N/A	

2

3

Header Schedule		
Type of Heating System	Renna:	
Stairs Number of Stairways		
Interior 0		
Exterior 1		
Treads and Risers (Section 314)	7" R / 11" T	
Width 4'		
Headroom - OK		
Guardrails and Handrails (Section 315)	- shows horizontal balusters - Not allowed under B	
Smoke Detectors Location and type/Interconnected	OK	
Plan Reviewer Signature		

4

See Chimney Summary Checklist

vent fans

THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVF
 PEAKS ISLAND, ME 04108
 TEL 207-766-5297 FAX 207-766-5297
 E-MAIL:

TAMMY MUNISON # 874-8716
 CITY OF PORTLAND INSPECTION SERVICES
 RACHEL COULY
 9-1-04
 225 BRACKETT AVE, PEAKS ISLAND

① PAGE 2 ENCL...

NOTES:

(PLEASE SEE ATTACHED)

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

September 1, 2004

Tammy Munson
Code Enforcement Officer
City of Portland

RE: 225 Brackett Avenue, Peaks Island
(ID # 2004-0080, CBL #088M006)

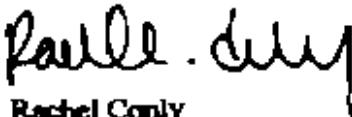
Dear Tammy:

The following corrections have been made to the to a permit submission for a new single-family house to be located at 225 Brackett Avenue, Peaks Island, per your request:

- 1 balustrade revision, permit submission page fifteen
- 2 joist span revision of entry porch, permit submission page nine
- 3 egress window revision, permit submission page two (also, please see revised window schedule)
- 4 safety glazing revision, permit submission page two (also, please see revised window schedule)

Thank you for your help, Tammy, and please let me know if you need any additional information.

Sincerely,



Rachel Conly
Architectural Designer

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

September 1, 2004

Tammy Munson
Code Enforcement Officer
City of Portland

RE: 225 Brackett Avenue, Peaks Island
(ID # 2004-0080, CBL #088M006)

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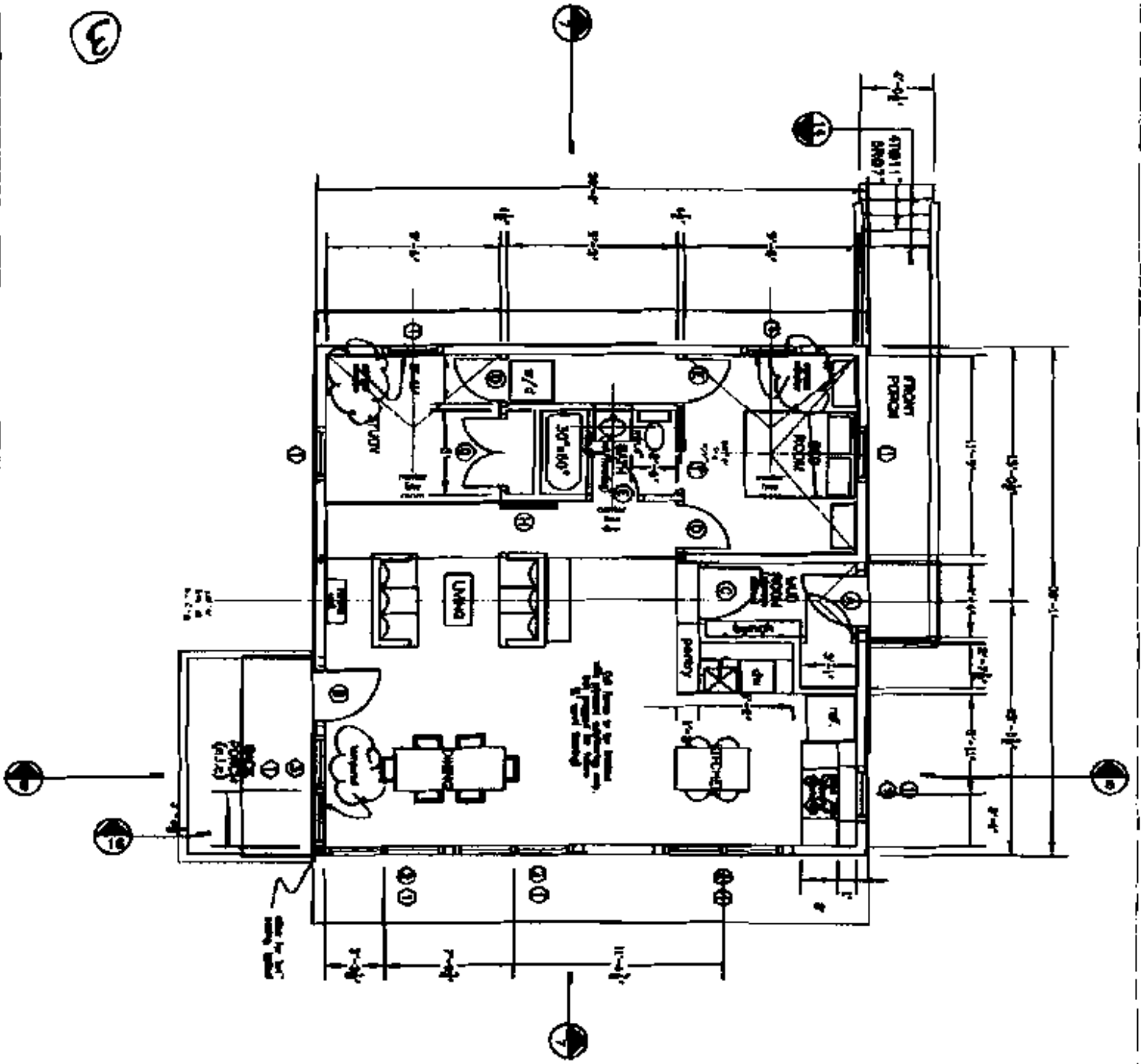
Sincerely,



Rachel Conly
Architectural Designer

2

3



THOMPSON JOHNSON WORKSPACES
 115 ISLAND AVENUE
 FRASER ISLAND NE OASIS
 227.166.5287

Page Two

Notes

FIRST FLOOR PLAN

PROJECT
 THOMPSON RESIDENCE

DATE
 3.15.04

SCALE
 1/8" = 1'-0"

REVISIONS
 8.1.04

THOMPSON JOHNSON WOODWORKS

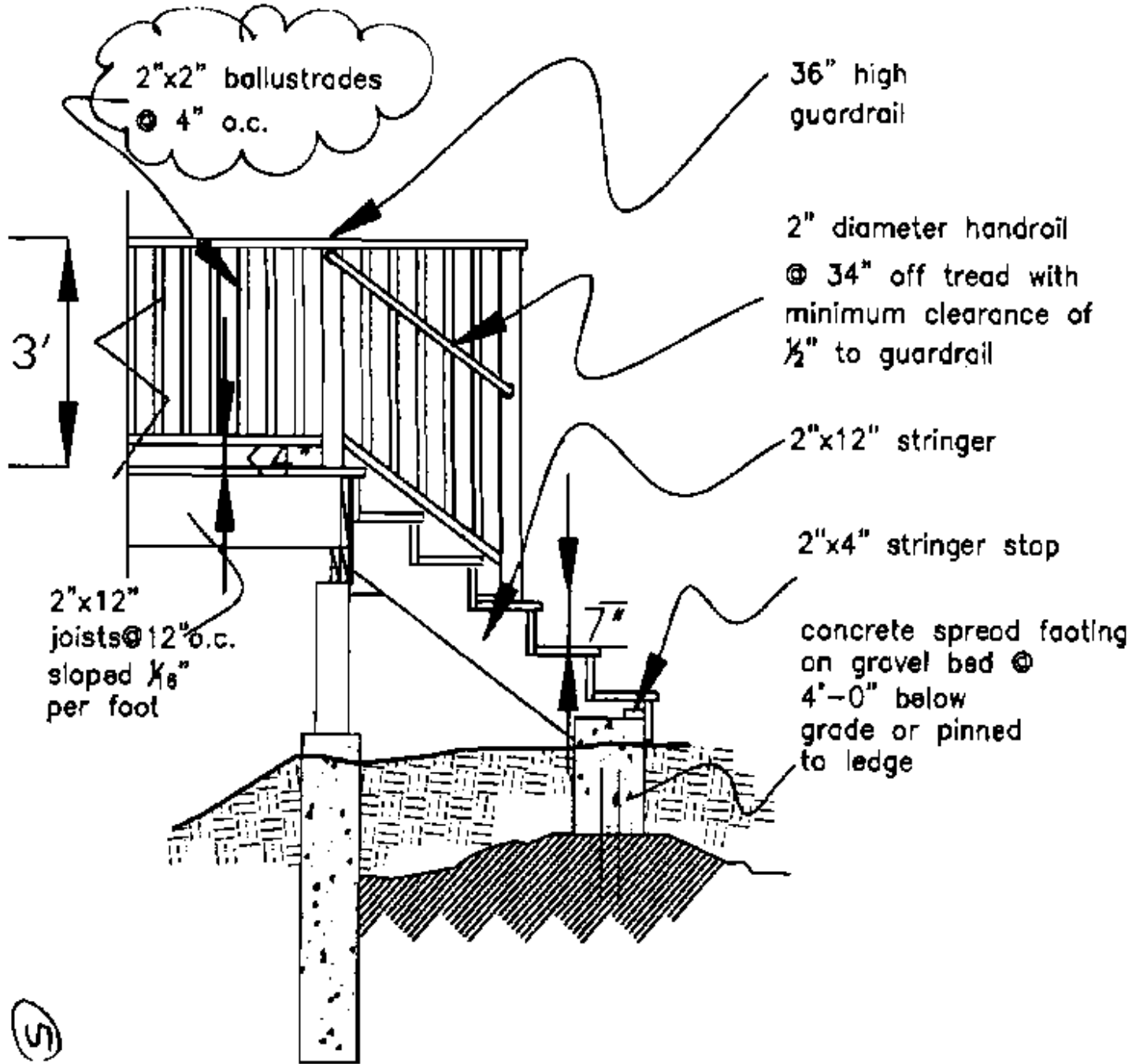
113 ISLAND AVENUE
PEARLE BEACH, MS 38906
601.766.5919

Page Fifteen

Notes

STAR DETAILS

PROJECT THOMPSON RESIDENCE	
DATE 3.11.04	ISSUED 9.1.04
SCALE 1/2"=1'-0"	DRAWN BY
TYP	



5

Thompson Johnson Woodworks
 Window/Door Schedule
 Thompson Residence
 Peaks Island

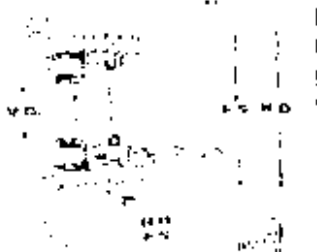
QTY	WINDOW	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THICKNS	THICKNESS
8	1	LEPAGE	WOOD INT/ALUM CLAD OUT	E SID	OPER CASEMENT	37 7/8"	50 1/2"	2X6	1 3/4
2	2	LEPAGE	WOOD INT/MCM CLAD OUT	E SID	OPER CASEMENT	31 1/2"	48 7/8"	2X6	1 3/8
1	3	LEPAGE	WOOD INT/ALUM CLAD OUT	E SOL. TEMPERED	OPER DOOR SLIDING	72 1/2"	57 7/8"	2X7	1 3/8
1	A		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	RH	36"	6-6	2X6	1 3/4
1	B		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	LH	36"	6-6	2X4	1 3/8
1	C		WOOD INT/FULL GLASS	TEMPERED	LH	36"	6-6	2X4	1 3/8
2	D		4 PANEL SOLID CORE	INT	RH	30"	6-6	2X4	1 3/8
1	E		4 PANEL SOLID CORE	INT	LH	30"	6-6	2X4	1 3/8
1	F		4 PANEL SOLID CORE	INT	POCKET	26"	6-6	2X4	1 3/8
1	G		4 PANEL SOLID CORE	INT	PAIR	(2) 26"	6-6	2X4	1 3/8
1	H		WOOD INT/FULL GLASS	INT/TEMPERED	TRACK	36"	6-6	2X4	1 3/8

6

Thompson Johnson Woodworks
 Window/Door Schedule
 Thompson Residence
 Peabody Island

lepage.

Construction Details



CASEMENT WINDOWS

Thompson Johnson Woodworks
 115 Island Avenue
 Peabody Island, ME 04108

QTY	WINDOW	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THICK	THICKNESS
0	1	LEPAGE	WOOD INT/ALUM CLAD OUT	E-80L	CASEMENT	31 7/8"	50 7/2"	2X8	1 3/4"
1	2	LEPAGE	WOOD INT/ALUM CLAD OUT	E-80L	CASEMENT	31 1/2"	50 7/8"	2X4	1 3/4"
1	3	LEPAGE	WOOD INT/ALUM CLAD OUT	E-80L, TEMPERED	DR. HND	21 1/2"	51 7/8"	2X7	1 3/4"

QTY	DOOR	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THICK	THICKNESS
1	A		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	RR	30"	6-0"	2X8	1 3/4"
1	B		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	LH	30"	6-0"	2X8	1 3/4"
1	C		WOOD INT/FULL GLASS	TEMPERED	LH	30"	6-0"	2X4	1 3/4"
2	D		4 PANEL SOLID CORE	INT	RH	30"	6-0"	2X4	1 3/4"
1	E		4 PANEL SOLID CORE	INT	LH	30"	6-6"	2X4	1 3/4"
1	F		4 PANEL SOLID CORE	INT	POCKET	20"	6-6"	2X4	1 3/4"
1	G		4 PANEL SOLID CORE	INT	PNR	0134"	6-0"	2X4	1 3/4"
1	H		WOOD INT/FULL GLASS	INT/TEMPERED	TRACK	30"	6-0"	2X4	1 3/4"

Notes:

1. SEE DRAWING FOR WINDOW SCHEDULE
2. SEE DRAWING FOR WINDOW SCHEDULE
3. SEE DRAWING FOR WINDOW SCHEDULE
4. SEE DRAWING FOR WINDOW SCHEDULE
5. SEE DRAWING FOR WINDOW SCHEDULE
6. SEE DRAWING FOR WINDOW SCHEDULE
7. SEE DRAWING FOR WINDOW SCHEDULE
8. SEE DRAWING FOR WINDOW SCHEDULE
9. SEE DRAWING FOR WINDOW SCHEDULE
10. SEE DRAWING FOR WINDOW SCHEDULE

2"x2" balustrades
@ 4" o.c.

36" high
guardrail

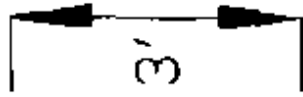
2" diameter handrail
@ 34" off tread with
minimum clearance of
1/2" to guardrail

2"x12" stringer

2"x4" stringer stop

concrete spread footing
on gravel bed @
4'-0" below
grade or pinned
to ledge

2"x12" joists @ 12" o.c.
sloped 1/8" per foot



Page Fifteen

Notes

STAIR DETAILS

THOMPSON JOHNSON WOODWORKS
15 BLIND AVENUE
PRINCETON ISLAND HI 06118
207.766.5919

PROJECT THOMPSON RESIDENCE

DATE 3.11.04
DRAWN 2.1.04

SCALE 1/2"=1'-0"

STAIR

(5)

THOMPSON JENNIFER WOODRIDGE
15 ISLAND AVENUE
MELBURN VICTORIA 3127
227 266 5878

Page Two

Notes

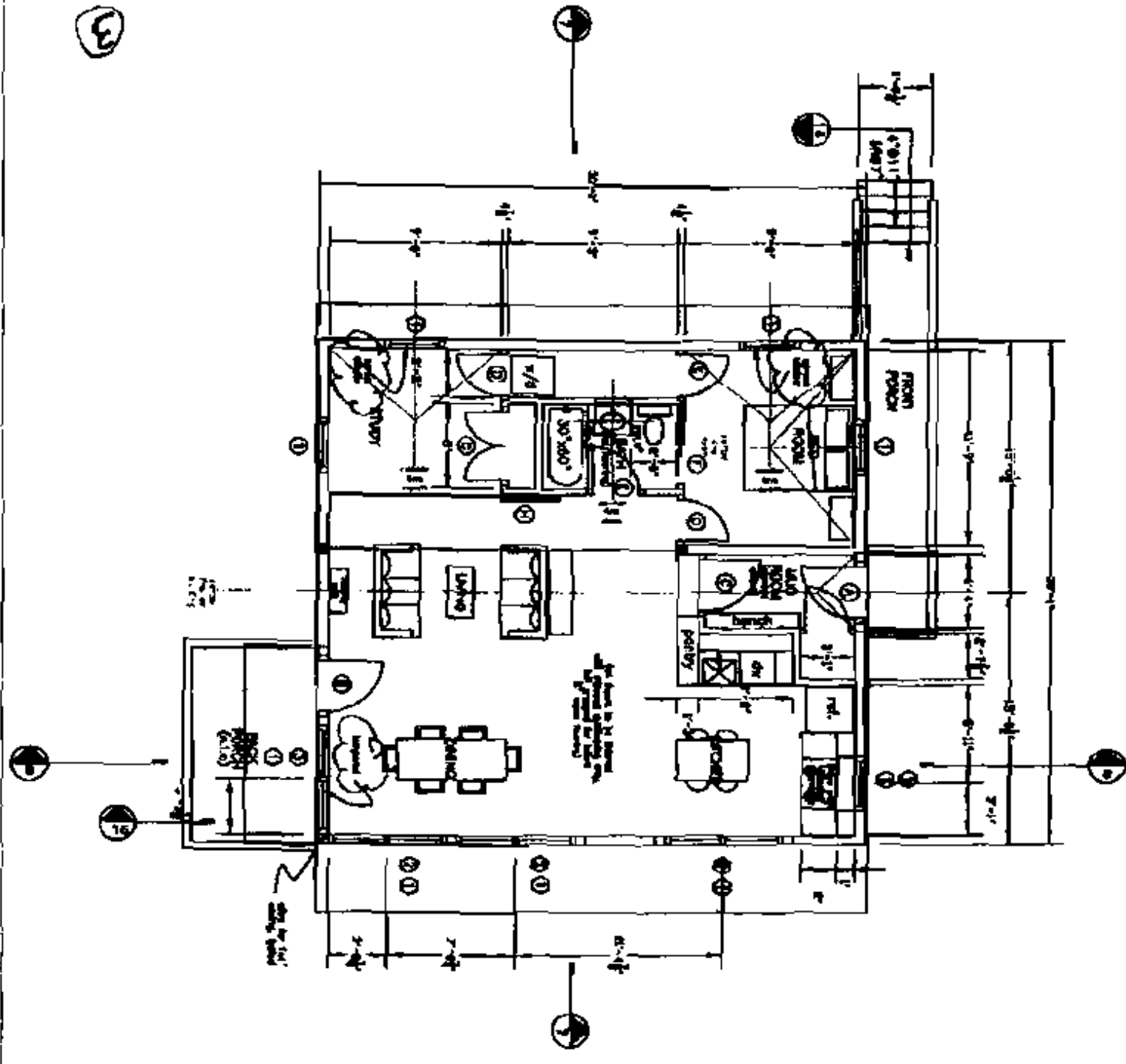
FIRST FLOOR PLAN

PROJECT
THOMPSON RESIDENCE

DATE
2.11.04

REVISED
9.1.04

SCALE
1/8"=1'-0"



3

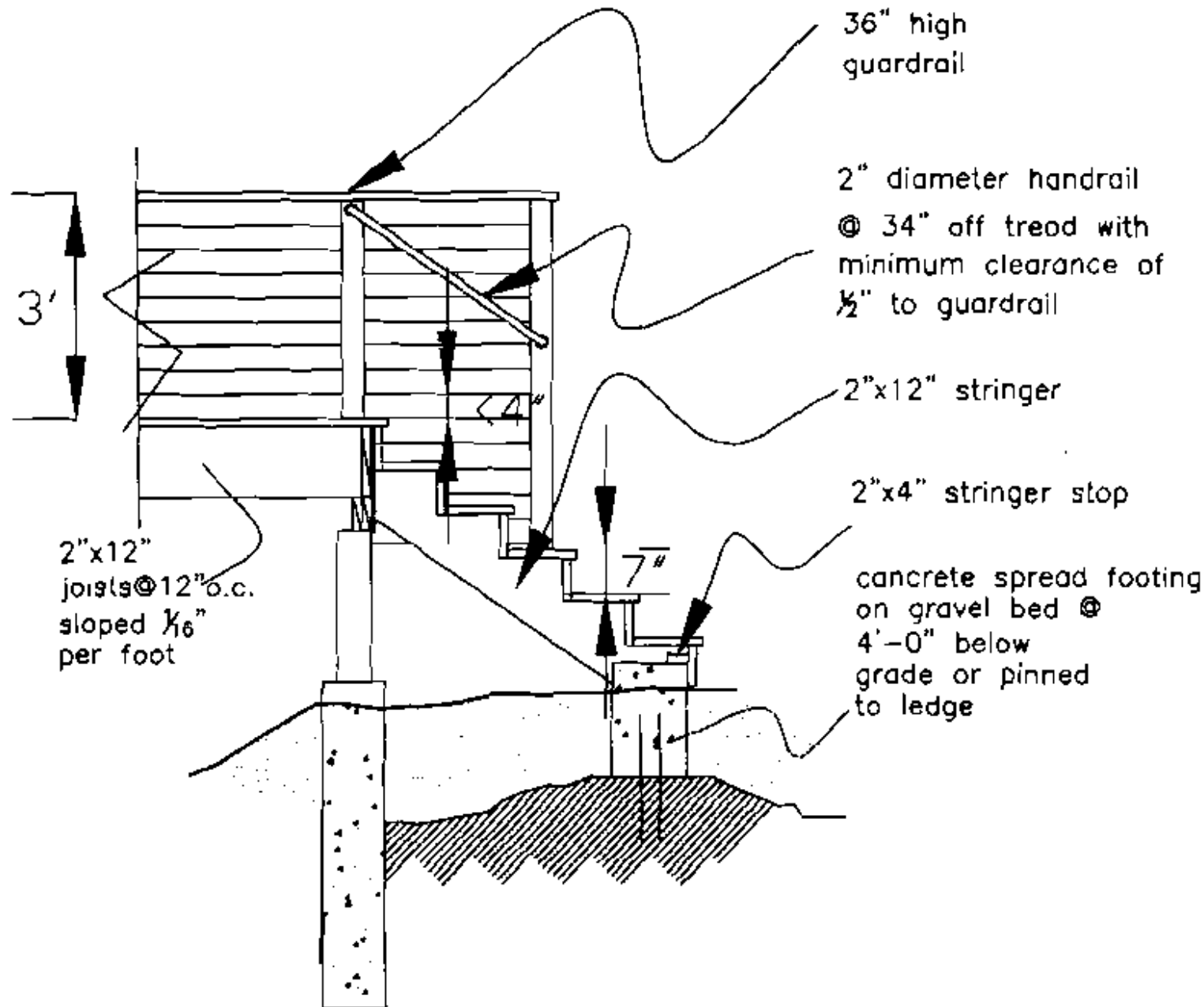
THOMPSON JOHNSON WOODWORKS

113 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Fifteen

Notes

STAIR DETAILS



PROJECT
THOMPSON RESIDENCE

DATE
3.11.04

REVISED

SCALE
 $\frac{1}{2}" = 1'-0"$

DRAWN BY

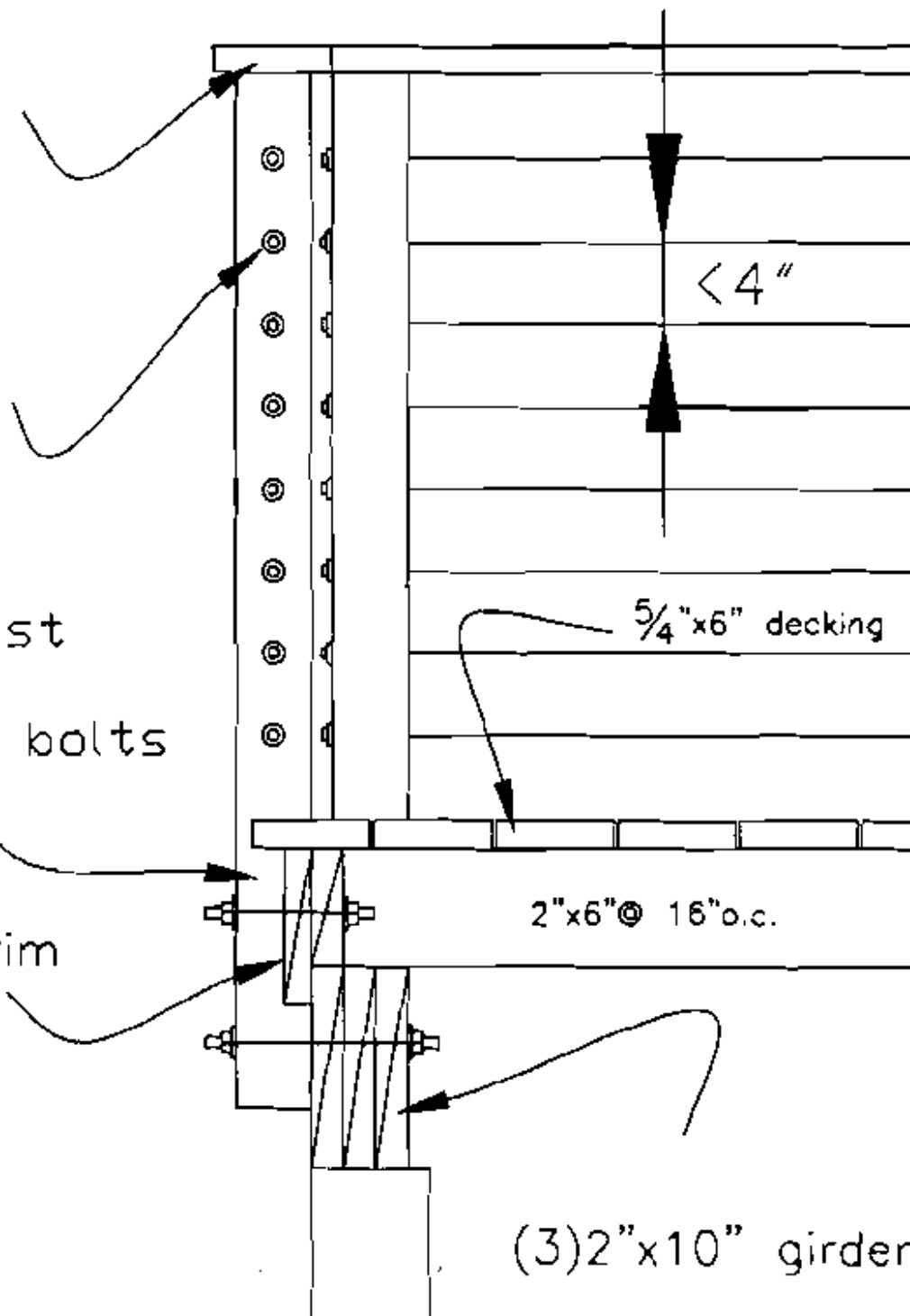
TCM

5/4"x6"
cap. with
1" O.H.

cable rail
with
threaded
terminal

4"x4" post
with 1/2"
through bolts

5/4"x8" trim



THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04109
207.766.5919

Page Sixteen

Notes

railing detail

PROJECT
THOMPSON RESIDENCE

DATE
3.11.04

REVISED

SCALE
1 1/2" = 1'-0"

DRAWN BY

ITEM

(3) 2"x10" girder

THOMPSON JOHNSON ARCHITECTS

115 ISLAND AVENUE
PEARLS ISLAND ME 04108
207.766.9919

Page Seventeen

ledger detail

Notes

PROJECT THOMPSON RESIDENCE

DATE 3.11.04

REVISED

SCALE 3"=1'-0"

DRAWN BY

ITEM

flashing

$\frac{1}{2}$ " through
bolt, staggered
12" o.c.

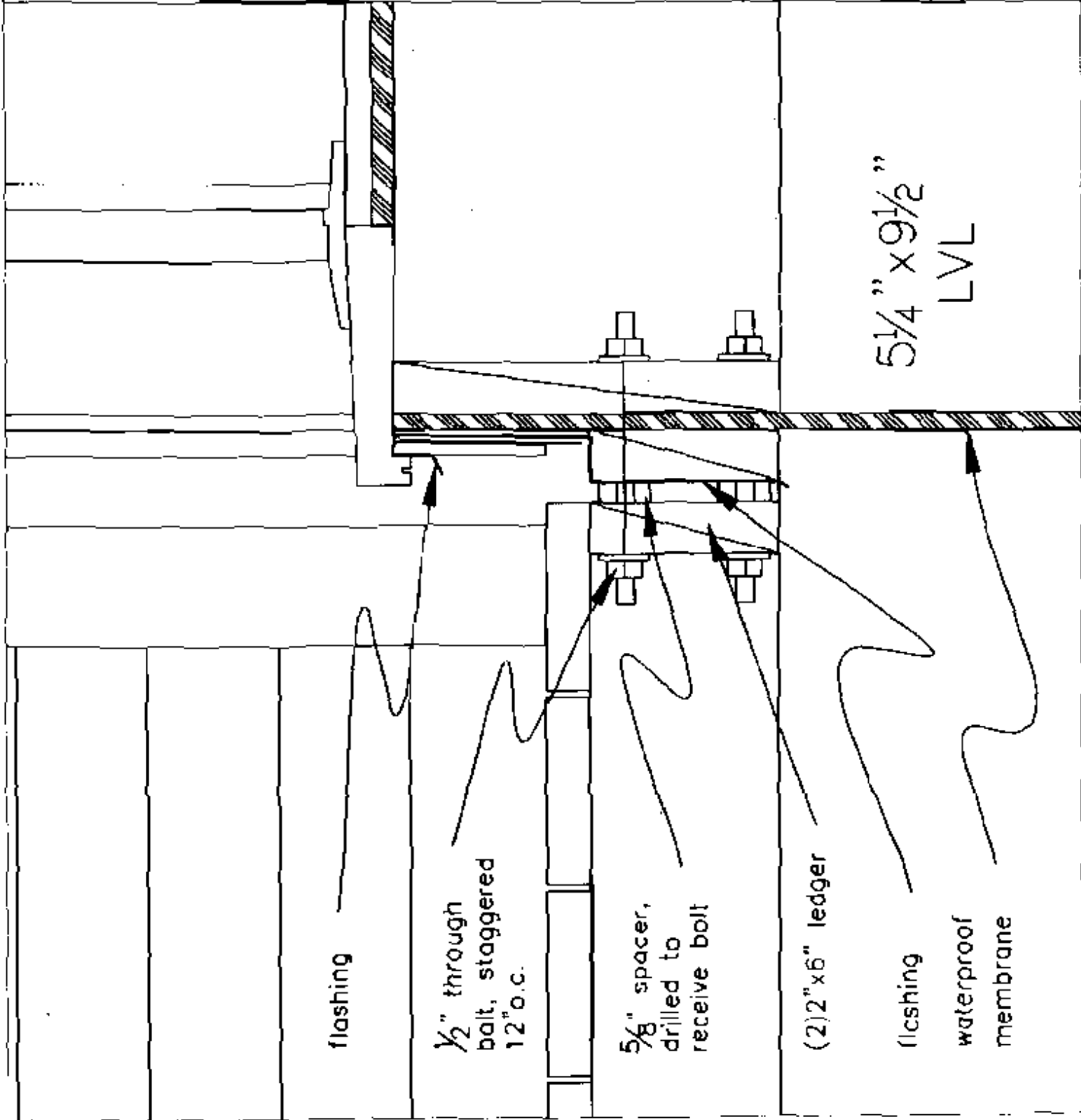
$\frac{5}{8}$ " spacer,
drilled to
receive bolt

(2) 2"x6" ledger

flashing

waterproof
membrane

$5\frac{1}{4}$ " x $9\frac{1}{2}$ "
LVL



Notes

Eave and Window
Flashing Detail

PROJECT
THOMPSON RESIDENCE

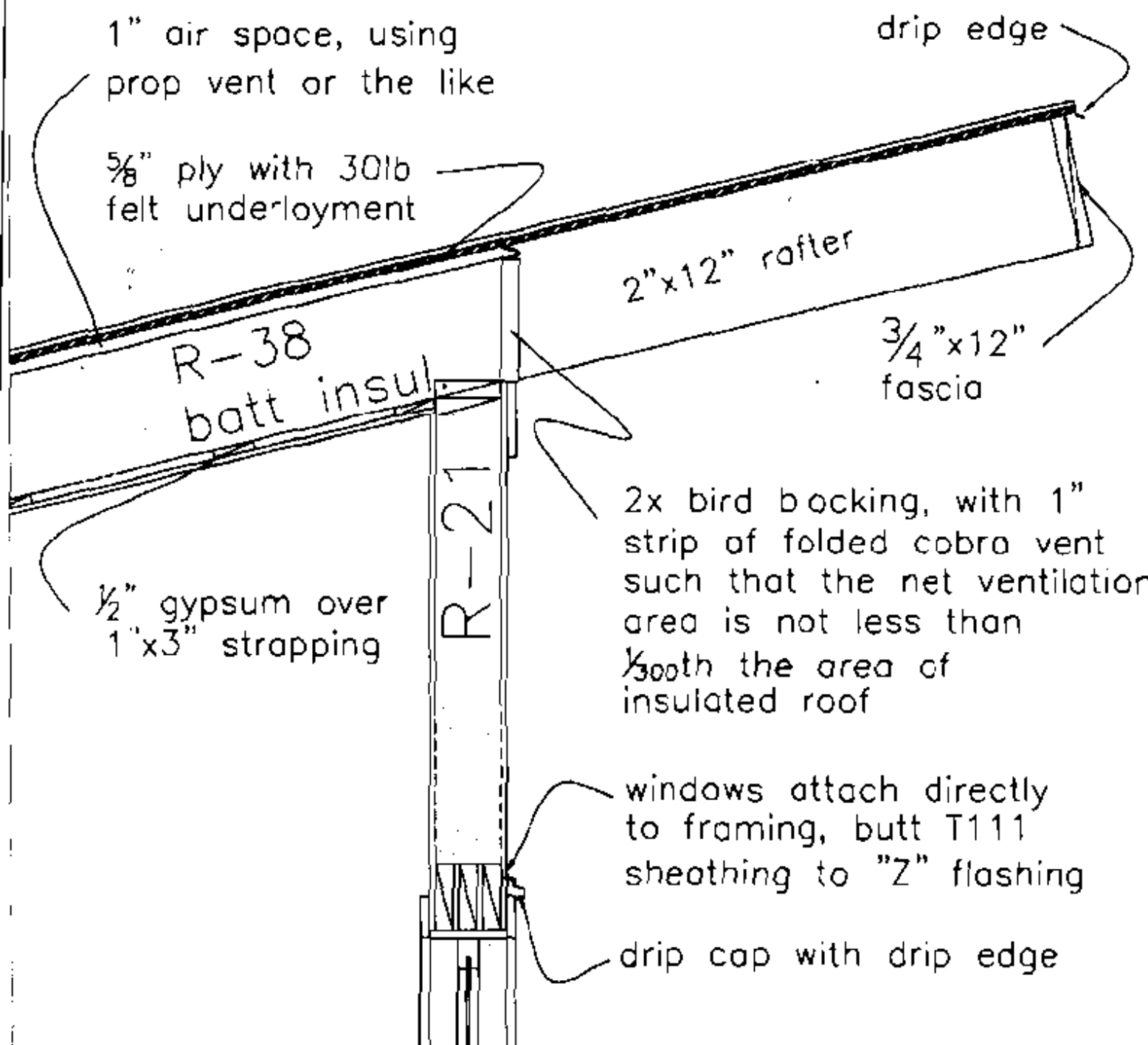
DATE
3.11.04

REVISED

SCALE
1"=1'-0"

DRAWN BY

ITEM



THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEARS ISLAND ME 04106
207.766.5919

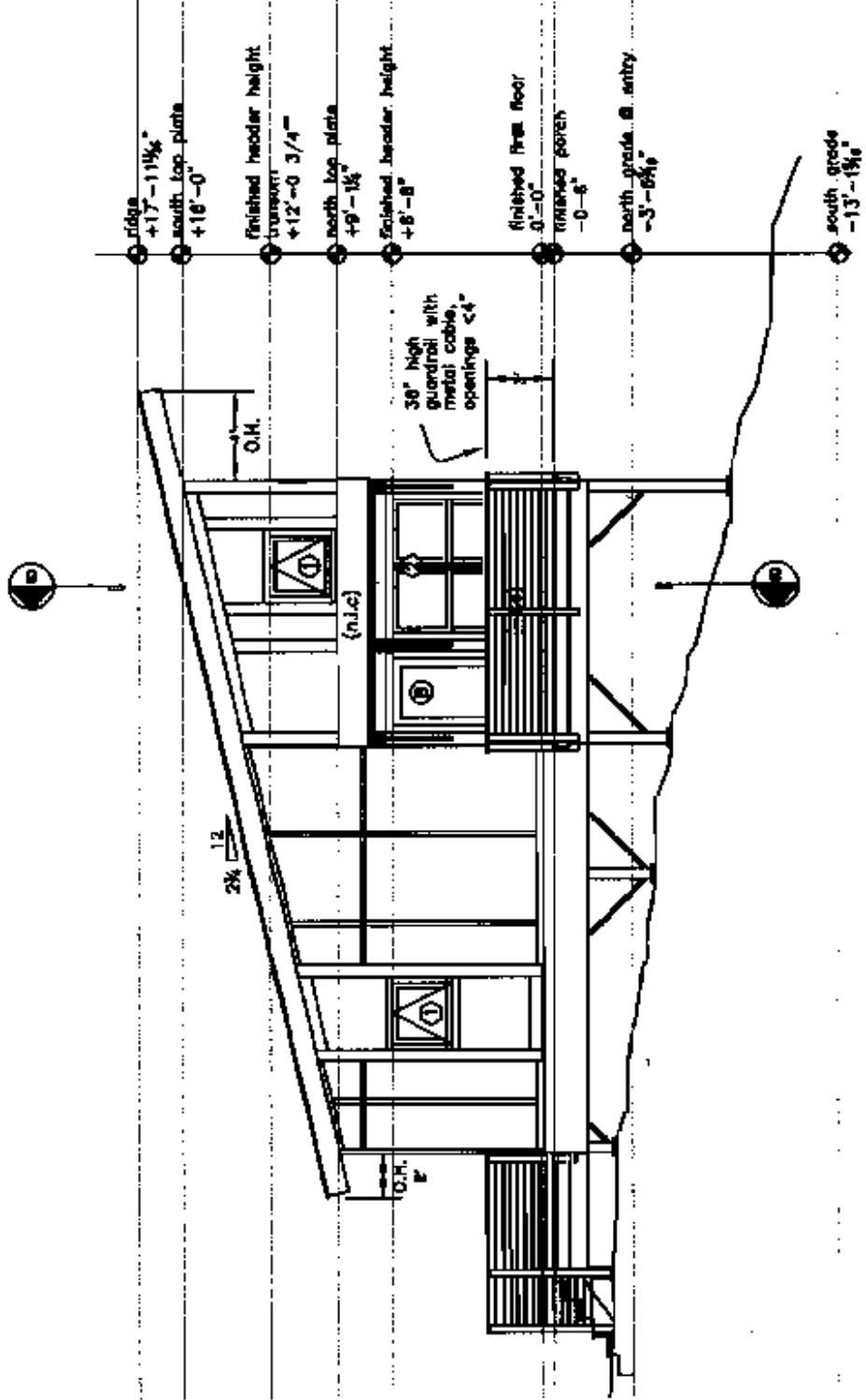
Page Four

WEST ELEVATION

Notes

PROJECT
THOMPSON RESIDENCE

DATE	3.11.04	REVISED	4.13.04
SCALE	1/8" = 1'-0"		
ITEM			



THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Five

Notes

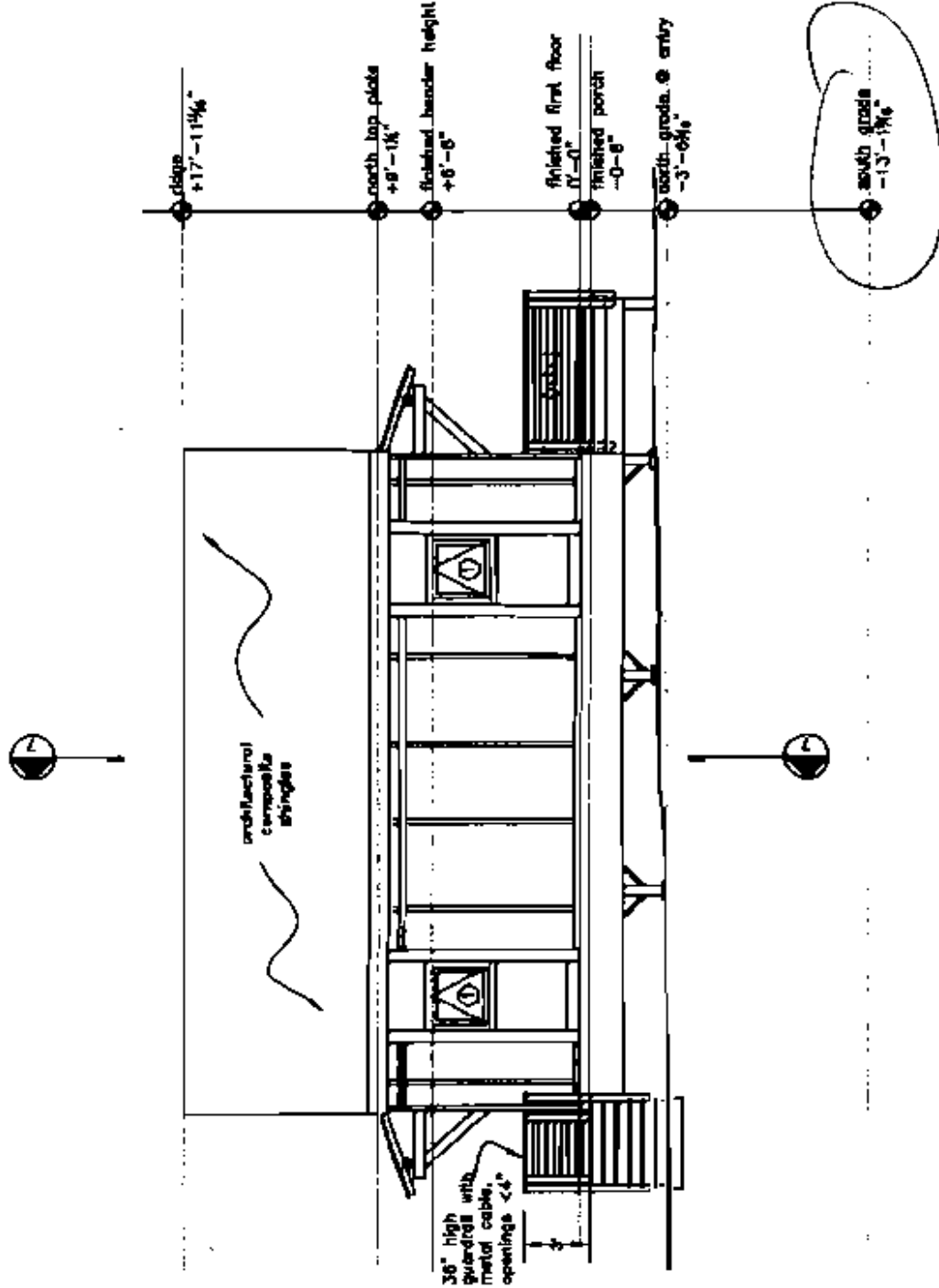
NORTH ELEVATION

PROJECT
THOMPSON RESIDENCE

DATE 3.11.04
REVISED 4.13.04

SCALE 1/8"=1'-0"
DRAWN BY

ITEM



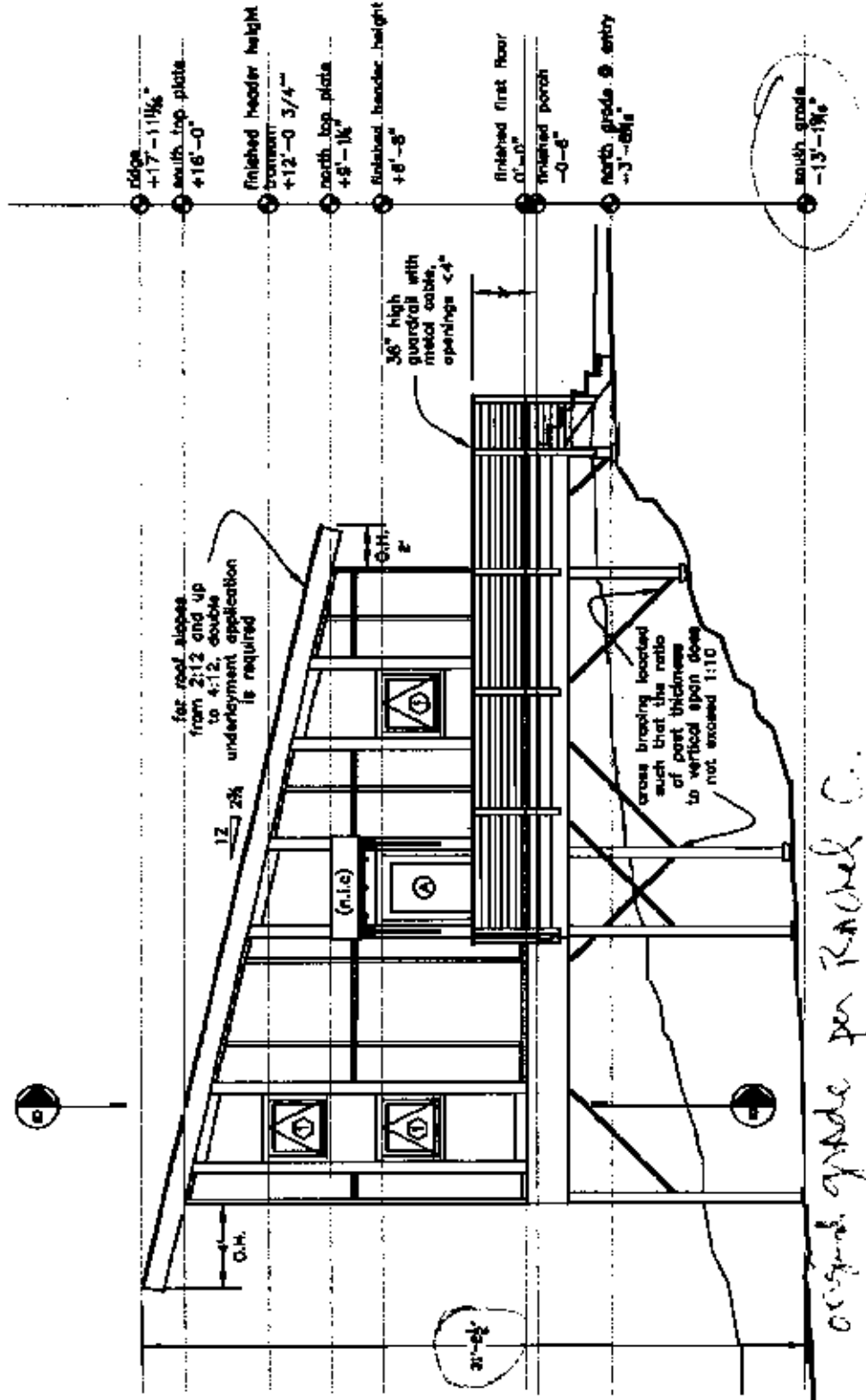
Notes

PROJECT THOMPSON RESIDENCE

DATE 3.11.04 REVISED 4.13.04

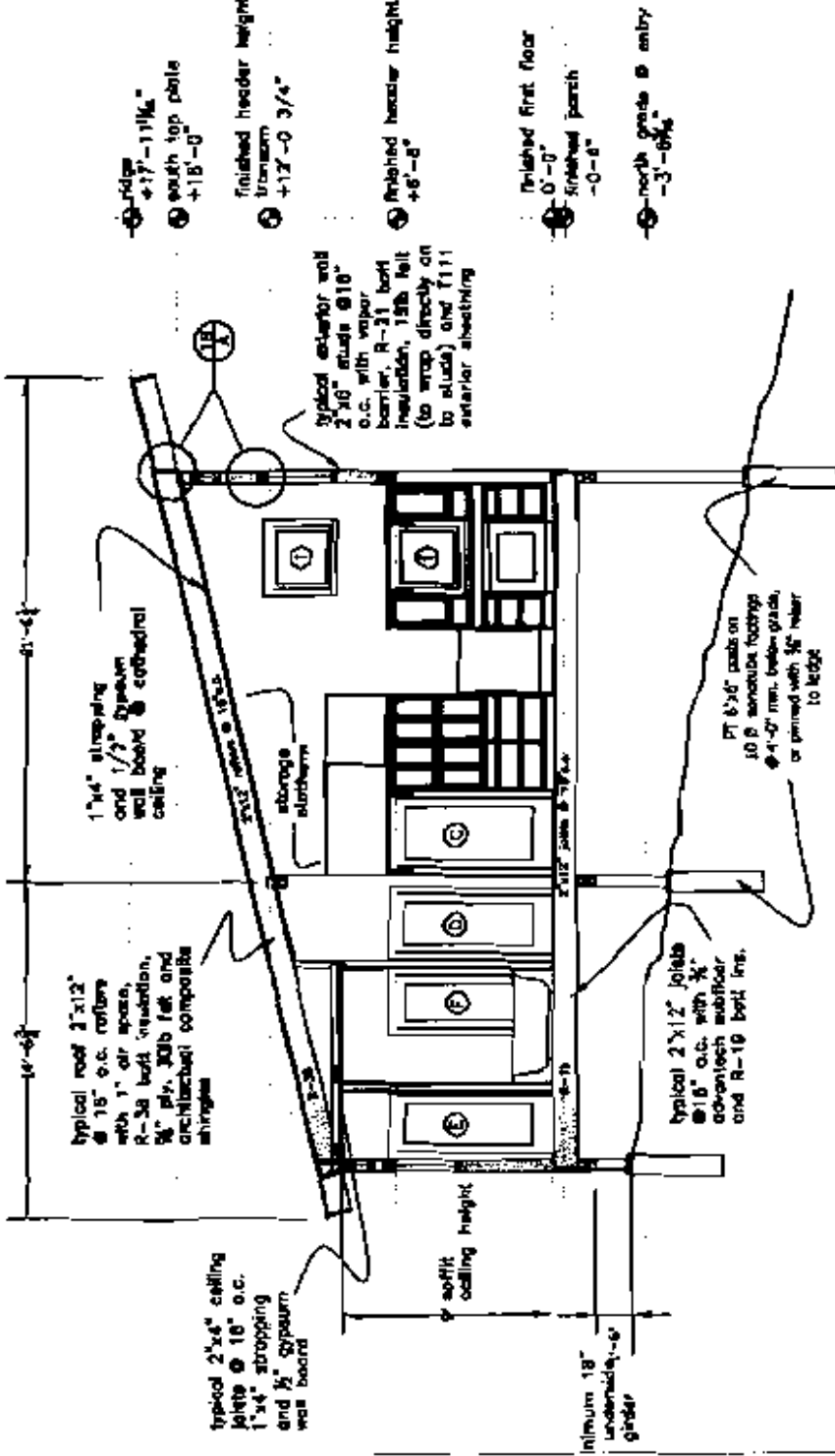
SCALE 1/8"=1'-0" DRAWN BY

ITEM



DATE	3.11.04	REVISED
SCALE	1/8"=1'-0"	DRAWN BY
ITEM		

Notes



① ridge
+17'-11 1/4"

② south top plate
+15'-0"

③ finished header height
transom
+13'-0 3/4"

④ finished header height
+6'-8"

⑤ finished first floor
0'-0"
finished porch
-0'-8"

⑥ north grade @ entry
-3'-6 1/4"

⑦ south grade
-13'-18 1/4"

THOMPSON WOODWORKS
 115 ISLAND AVENUE
 PEARB ISLAND ME 04108
 207.766.5919

Page Eight

CROSS SECTION
 EAST/WEST

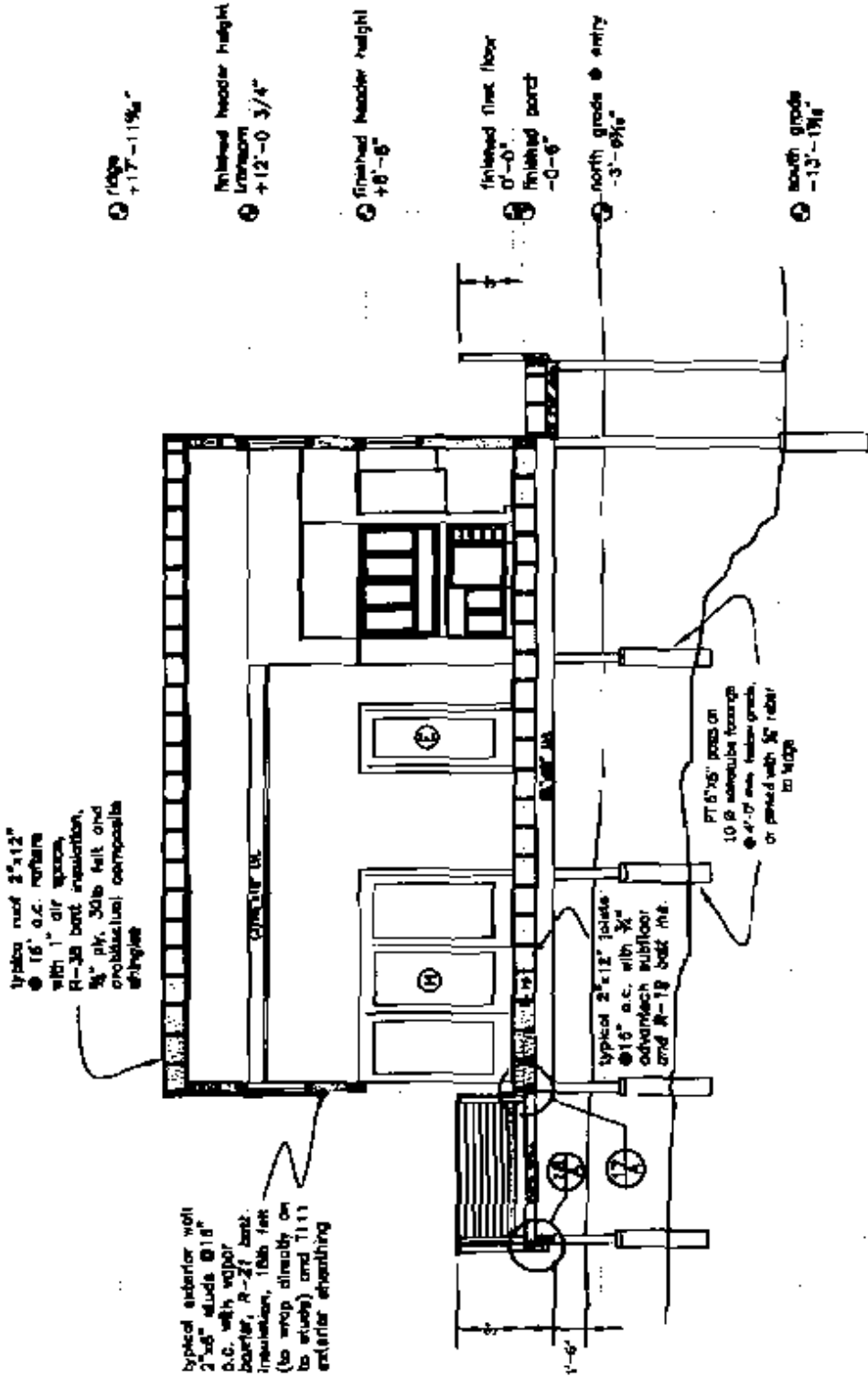
PROJECT
 THOMPSON RESIDENCE

DATE 3.11.04
 REVISIONS

SCALE 1/8"=1'-0"
 DRAWN BY

TEXT

NOTES





CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

August 27, 1985

Robert Poutenis
39 Tolman Avenue
Shirley, MA. 01464

RE: 88-M-7, 88-M-8, & 88-M-9 Brackett Avenue, Peaks Island, Maine 04108

Dear Mr. Poutenis:

Your three permits to construct a 30' x 32' single family dwelling, as per plans on each of the above lots, are being denied for the following Building Code reasons:

- 1) The estimated contractual cost given for each of these three dwellings was \$10,000.00. This is an extremely low estimate. A more reasonable amount, reflecting the contractual cost must be submitted to this office and additional permit fees paid before further review.
- 2) The one structural plan submitted with 88-M-7 Brackett Avenue does not at all match the elevation plans submitted. The structural plans indicate a salt-box type carriage shed, whereas the elevation plans show a full two story, apparently flat roofed building.

The other two dwellings had no structural plans submitted.

This office must have accurate structural plans submitted for each of these buildings for review before a permit can be issued.

If you have any questions regarding this matter, please don't hesitate to call.

Very truly yours,

MARGE SCHMUCKAL,
ACTING BUILDING CODE EXAMINER

MS/mlb

Thompson Johnson Woodworks
 Window/Door Schedule
 Thompson Residence
 Peake Island

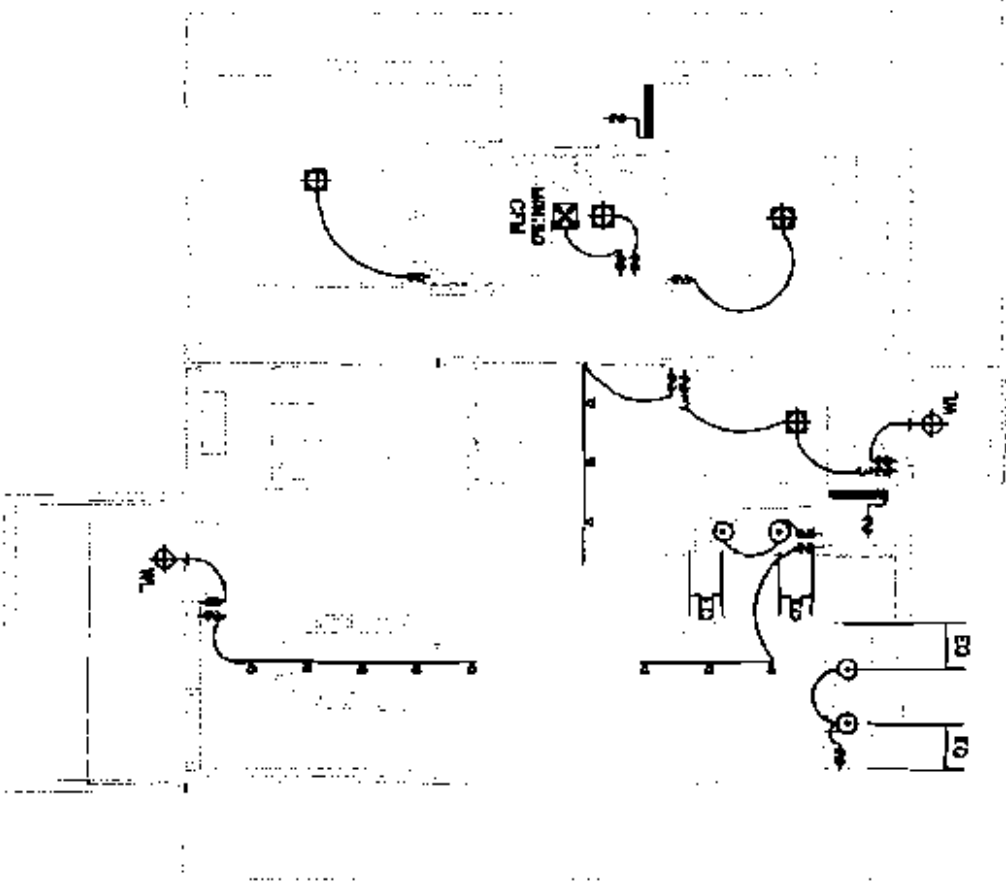
QTY	WINDOW	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
8	1	LEPAGE	WOOD INT/ ALUM CLAD OUT	E, SOL	AWNING	31 7/8"	30 1/2"	2X6	1 3/4
4	2	LEPAGE	WOOD INT/ ALUM CLAD OUT	E, SGL	OBL HNG	71 1/4"	66 7/8"	2X6	1 3/8
1	A		WOOD INT/ ALUM EXT/FULL GLASS	EXT/TEMPERED	RH	36"	6-8	2X6	1 3/4
1	B		WOOD INT/ ALUM EXT/FULL GLASS	EXT/TEMPERED	LH	36"	6-8	2X6	1 3/4
1	C		WOOD INT/FULL GLASS	TEMPERED	LH	36"	6-8	2X4	1 3/8
2	D		4 PANEL, SOLID CORE	INT	RH	30"	6-8	2X4	1 3/8
1	E		4 PANEL, SOLID CORE	INT	LH	30"	6-8	2X4	1 3/8
1	F		4 PANEL, SOLID CORE	INT	POCKET	28"	6-8	2X4	1 3/8
1	G		4 PANEL, SOLID CORE	INT	PAIR	(2) 24"	6-8	2X4	1 3/8
1	H		WOOD INT/FULL GLASS	INT/TEMPERED	TRACK	36"	6-8	2X4	1 3/8

THOMPSON JOHNSON WOODWORKERS
115 ISLAND AVENUE
PEARL ISLAND NE 04108
207.766.5919

Page Fourteen

Notes

LIGHTING PLAN



PROJECT
THOMPSON RESIDENCE

DATE
3.11.04

REVISED

SCALE
1/8" = 1'-0"

DRAWN BY














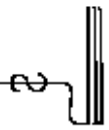

TDJ

THOMPSON JOHNSON WOODWORKS
 145 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

Page Twelve

Notes

ELECTRICAL KEY

	duplex		ceiling mount light fixture
	ground-fault circuit interrupter		pendant light fixture
	220 volt		recessed can light fixture
	switch		wall sconce light fixture
	3-way switch		wall location wall sconce light fixture
	dimmer switch		track lighting
	smoke detector		fluorescent locally switched
	minimum 50 cfm vent fan		

MIN. 50
CFM

PROJECT
THOMPSON RESIDENCE

DATE
3.11.04

SCALE
DRAWN BY

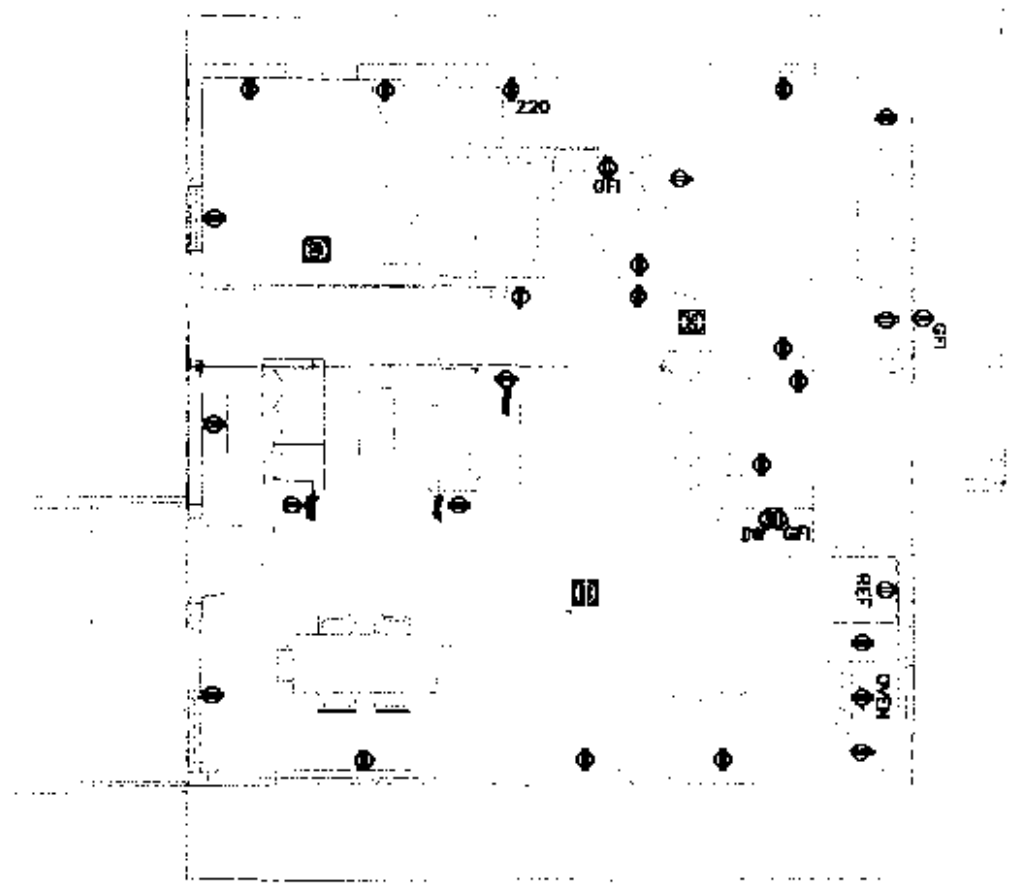
ITEM

THOMPSON, JOHNSON WOODWORKS
115 ISLAND AVENUE
PEARL ISLAND ME 04108
207.766.5919

Page Thirteen

Notes

POWER PLAN



PROJECT
THOMPSON RESIDENCE

DATE
3.11.04

REVISIONS

SCALE
1/8" = 1'-0"

DRAWN BY

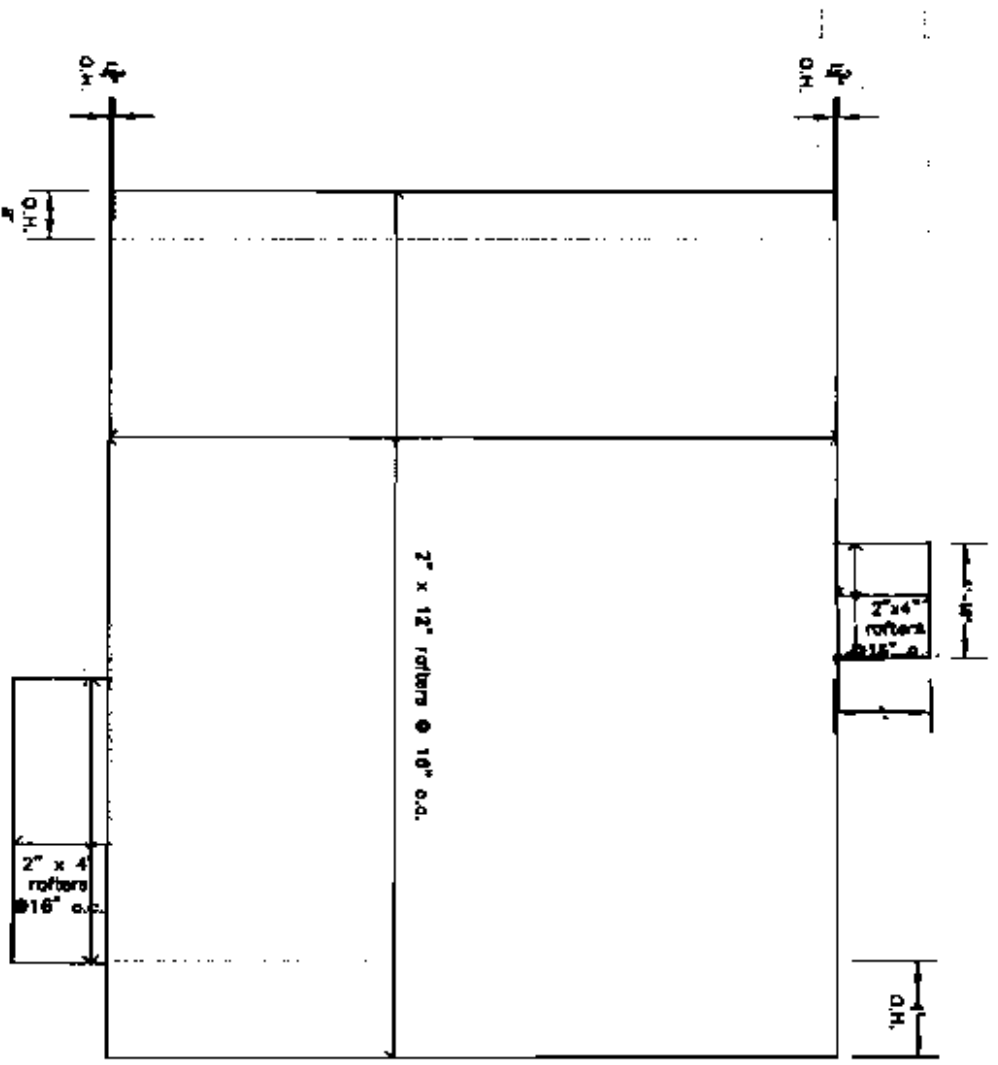
MEW

THOMPSON JOHNSON WOODWORKERS
115 ISLAND AVENUE
PEARS ISLAND ME 04108
207.766.5010

Page Eleven

Notes

ROOF FRAMING



PROJECT
THOMPSON RESIDENCE

DATE 3.11.04 REVISED

SCALE 1/8" = 1'-0" DRAWN BY

OTHER

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0448	Date Applied For: 04/20/2004	CBL: 088 M006001
-----------------------	---------------------------------	---------------------

Location of Construction: 219 Brackett Ave PEAKS ISLAND	Owner Name: Thompson Otis C &	Owner Address: Seashore Ave	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: (207) 766-5219
Lessee/Buyer's Name:	Phone:	Permit Type: Single Family	

Proposed Use: Single Family: 30' x 30' one story dwelling on posts	Proposed Project Description: Single Family: 30' x 30' one story dwelling on posts
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/30/2004

Note: 6/23/04 - actually on hold - I spoke to Rachel - I have nothing showing that this is a lot of record (under req. 40,000 sq. Ft) No parking is shown (2 required) - I need to know Pre-development grade for the building height review - needs to delineate where the 75' from the edge of wetlands is located
8/12/04 Received more site plan information - will be getting info on the lot of record from the lawyer

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. All required minimum heights are measured from the pre-development grades on the islands..
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of revised plans submitted on 8/12/04. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Pending **Reviewer:** **Approval Date:** **Ok to Issue:** —

04-0448

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 225 BRACKETT AVE PEAKS ISLAND		
Total Square Footage of Proposed Structure 1,101.9 SF	Square Footage of Lot 31,230 SF	
Tax Assessor's Chart, Block & Lot Chart# 88 Block# M Lot# 6	Owner: OTIS AND MAUOURNEEN THOMPSON	Telephone: 766-5219
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: Thompson Johnson Woodworks 115 ISLAND AVE. PEAKS ISLAND, ME 04108	Cost Of Work: \$ 110,000 Fee: \$ 1011
Current use: VACANT LAND		75 080
If the location is currently vacant, what was prior use:		1086
Approximately how long has it been vacant:		300 site plan
Proposed use: NEW SFR		\$ 1386
Project description:		
Contractor's name, address & telephone.	THOMPSON JOHNSON WOODWORKS 115 ISLAND AVE, PEAKS ISLAND, ME 04108 766-5219	
Who should we contact when the permit is ready:	RACHEL CONLY	
Mailing address:	115 ISLAND AVENUE PEAKS ISLAND, MAINE 04108	
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 766-5919		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

REPT. OF BUILDING & ZONING
APR 20 2004

Signature of applicant: **Paulle. July** Date: **APRIL 20, 2004**

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

QUITCLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS, that I, John Faison, of New York, in the State of New York, in consideration of One Dollar and other valuable consideration paid by Ois C. Thompson and A. Mavourneen Thompson, both of Portland, County of Cumberland and State of Maine, whose mailing address is Seashore Avenue, Peaks Island, Maine 04108, the receipt whereof is hereby acknowledged, do hereby REMISE, RELEASE, BARGAIN, SELL, AND CONVEY and forever QUITCLAIM unto the said Ois C. Thompson and A. Mavourneen Thompson as JOINT TENANTS, their heirs and assigns forever, the following described real estate situated in Peaks Island, in Portland, County of Cumberland and State of Maine and more particularly described as follows, viz:

The set of Lot 22, as shown on Plan of the Mary A. Brackett Estate, recorded in the Cumberland County Registry of Deeds in Plan Book 12, Page 101, which is southerly of Brackett Avenue, and designated as Assessor's Map 88-M-6

Meaning and intending to convey and hereby conveying the same premises conveyed to Grantor herein by deed dated November 30, 1971 and recorded in the Cumberland County Registry of Deeds in Book 3208, page 515.

TO HAVE AND TO HOLD, the same, together with all the privileges and appurtenances thereto belonging, to the said Ois C. Thompson and A. Mavourneen Thompson, their heirs and assigns forever, to the use and behoof forever.

IN WITNESS WHEREOF, the said John Faison has hereunto set his hand and seal, this 2nd day of October, 2003.

WITNESSES

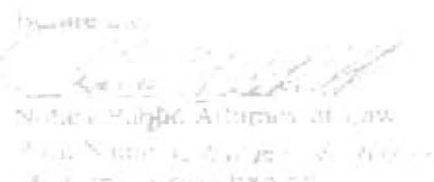



John Faison

WITNESS MY HAND AND SEAL
this 2nd day of October, 2003

October 2, 2003

Given personally appearing before me as above named John Faison and acknowledging the foregoing to be and to be his free and lawful act.

Notary Public

Notary Public, Attorney at Law
Paul N. Smith, Esq., 2003
1000

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

August 11, 2004

Marge Schmuckal
Zoning Administrator
Planning & Development Department
City of Portland

RE: 219 Brackett Avenue, Peaks Island
(ID # 2004-0080, CBL #088M006)

Dear Marge:

Per your request, I am enclosing corrections made to the permit submission for a new single-family house to be located at 219 Brackett Avenue, Peaks Island. The following corrections have been made to the plot plan per your request:

1. I have made parking for two cars, measuring 9' wide by 38' wide, along the eastern side of the property.
2. I am submitting a full size/ to scale print of the survey. *→ wetland Survey what is the land elevation*
3. It is also my understanding that my client's lawyer, Charles Cahill, has made a submission to you regarding "lot of record", showing separate and distinct ownership from adjacent lots since July 15, 1985. If you have not received a package from Charles, please let me know.

Thank you for your patience and please let me know if you need any additional information.

Sincerely,

I did the work for them - OK
over 75' from delineated wetland
Rachel Conly
Architectural Designer

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Building Copy**

2004-0080
Application I. D. Number

Thompson Otis C & Mavourneen
Applicant

4/20/2004
Application Date

Applicant's Mailing Address

single family dwelling
Project Name/Description

Consultant/Agent

225 - 225 Brackett Ave, Portland, Maine

Address of Proposed Site

Agent Ph: _____ **Agent Fax:** _____

088 M006001

Applicant or Agent Daytime Telephone, Fax

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____

900 sf

IR-1

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

- | | | | |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan
(major/minor) | <input type="checkbox"/> Subdivision
of lots | <input type="checkbox"/> PAD Review | <input type="checkbox"/> 14-403 Streets Review |
| <input type="checkbox"/> Flood Hazard | <input type="checkbox"/> Shoreland | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional
Use (ZBA/PB) | <input type="checkbox"/> Zoning Variance | <input type="checkbox"/> Other | |

Fees Paid: Site Pla **\$250.00** Subdivision _____ Engineer Review **\$50.00** Date **4/20/2004**

Building Approval Status:

Reviewer _____

- Approved** **Approved w/Conditions**
See Attached **Denied**

Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets
Attached

Condition Compliance _____
signature date

Performance Guarantee **Required*** **Not Required**

* No building permit may be issued until a performance guarantee has been submitted as indicated below

- | | | | |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted | _____ | _____ | _____ |
| | date | amount | expiration date |
| <input type="checkbox"/> Inspection Fee Paid | _____ | _____ | |
| | date | amount | |
| <input type="checkbox"/> Building Permit Issue | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Reduced | _____ | _____ | _____ |
| | date | remaining balance | signature |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____ | <input type="checkbox"/> Conditions (See Attached) | _____ |
| | date | | expiration date |
| <input type="checkbox"/> Final Inspection | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Certificate Of Occupancy | _____ | | |
| | date | | |
| <input type="checkbox"/> Performance Guarantee Released | _____ | _____ | |
| | date | signature | |
| <input type="checkbox"/> Defect Guarantee Submitted | _____ | _____ | _____ |
| | submitted date | amount | expiration date |
| <input type="checkbox"/> Defect Guarantee Released | _____ | _____ | |
| | date | signature | |

88-M-006

219 Brackett Ave. P.I

Oct 2, 2003

~~Thompson conveyed~~
John FAISON conveyed to Thompsons
20559/162

Nov 30, 1971

City of Portland convey to John FAISON
2269/194

88-M-007

- 213 Brackett Ave

d. June 11, 1987
who owned it

- Robert R. Poutenis and Poutenis Hydro
Works

between →

This office issued
Bldg permit for a lot of
Record here in 1989

conveyed to Albert BALDI
7819/299
current owners

85-EE-001

- State of ME

ok

160 New Island Ave

I did the leg work in Assessors
State of ME Purchased in 1975 from DAVID E'

APPLICATION FOR PERMIT

PERMIT ISSUED

B.O.C.A. USE GROUP

B.O.C.A. TYPE OF CONSTRUCTION 00195

FEB 26 1986

ZONING LOCATION PORTLAND, MAINE 8/5/85

City Of Portland

To the CHIEF OF BUILDING & INSPECTION SERVICES, PORTLAND, MAINE

The undersigned hereby applies for a permit to erect, alter, repair, demolish, move or install the following building, structure, equipment or change use in accordance with the Laws of the State of Maine, the Portland B.O.C.A. Building Code and Zoning Ordinance of the City of Portland with plans and specifications, if any, submitted herewith and the following specifications:

LOCATION #88-M-7, Brackett Avenue Peaks Island Fire District #1 [] #2 []
1. Owner's name and address Robert Poutenis, 39 Tolman Avenue Shirley, MA 01464 Telephone 617-425-6648
2. Lessee's name and address Telephone
3. Contractor's name and address Telephone

Proposed use of building single family dwelling No. of sheets
Last use No. families

Material No. stories Heat Style of roof Roofing
Other buildings on same lot

Estimated contractual cost \$ 10,000.00
20,000

site plan Appeal Fees \$ 50.00 pd
Base Fee 70.00 pd
Late Fee 2-21-86 100.00
TOTAL \$ 120.00

FIELD INSPECTOR - Mr. @ 775-5451

to construct a 32' x 30' single family dwelling

Stamp of Special Conditions

PERMIT ISSUED WITH LETTER

NOTE TO APPLICANT: Separate permits are required by the installers and subcontractors of heating, plumbing, electrical and mechanicals.

DETAILS OF NEW WORK

Is any plumbing involved in this work? Is any electrical work involved in this work?
Is connection to be made to public sewer? If not, what is proposed for sewage?
Has septic tank notice been sent? Form notice sent?
Height average grade to top of plate Height average grade to highest point of roof
Size, front depth No. stories solid or filled land? earth or rock?
Material of foundation Thickness, top bottom cellar
Kind of roof Rise per foot Roof covering
No. of chimneys Material of chimneys of lining Kind of heat fuel
Framing Lumber - Kind Dressed or full size? Corner posts Sills
Size Girder Columns under girders Size Max. on centers
Studs (outside walls and carrying partitions) 2x4-16" O. C. Bridging in every floor and flat roof span over 8 feet.
Joists and rafters: 1st floor 2nd 3rd roof
On centers: 1st floor 2nd 3rd roof
Maximum span: 1st floor 2nd 3rd roof
If one story building with masonry walls, thickness of walls? height?

IF A GARAGE

No. cars now accommodated on same lot to be accommodated number commercial cars to be accommodated
Will automobile repairing be done other than minor repairs to cars habitually stored in the proposed building?

APPROVALS BY:

DATE

MISCELLANEOUS

BUILDING INSPECTION - PLAN EXAMINER Will work require disturbing of any tree on a public street?
ZONING: 8/5/85

BUILDING CODE: Will there be in charge of the above work a person competent

Fire Dept.: to see that the State and City requirements pertaining thereto

Health Dept.: are observed?

Others: my

Signature of Applicant Robert P. Poutenis Phone #

Applicant: Judith + Albert Baldi Date: 9-28-89
Address: Lot #7 Brackett Ave Peaks Island
Assessors No.:

CHECK LIST AGAINST ZONING ORDINANCE

Date - 9-28-89

Zone Location - IR-1

Interior or corner lot -

Use - single

Sewage Disposal - septic OK

Rear Yards - 30' 30' req

Side Yards - OK 20' req.

Front Yards - 30' 30' req.

Projections -

Height - 1 1/2 stories

Lot Area - 28,000+ sq ft 14-433

Building Area - 24x34

Area per Family - single

Width of Lot - 219.76' ±

Lot Frontage - same

Off-street Parking - 2 cars

Loading Bays - N/A

Site Plan - minor minor

Shoreland Zoning - N/A

Flood Plains - N/A

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 085 M003001
 Location 255 BRACKETT AVE
 Land Use GOVERNMENTAL
 Owner Address CITY OF PORTLAND
 389 CONGRESS ST
 PORTLAND ME 04101

Abutting property

*owned
 1975
 per Assessor
 Transfer Station*

Book/Page 9848/109
 Legal 85-M-3 86-A-3
 88-M-5 BRACKETT AVE
 SEASHORE AVE PEAKS IS
 1907775SF

Valuation Information

Land	Building	Total
\$125,160	\$ 0.00	\$125,160

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres		
				43.796		
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
12/17/1992	LAND + BLDING		10470-341

Picture and Sketch

[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	085 EE001001
Location	160 NEW ISLAND AVE GOVERNMENTAL
Land Use	
Owner Address	STATE AUGUSTA ME 04333
Book/Page	
Legal	85-EE-1 ISLAND AVE PEAKS ISLAND ME 887684SF

Abutter

Valuation Information

Land	Building	Total
\$58,280	\$ 0.00	\$58,280

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				20.378	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
------	------	-------	-----------

Picture and Sketch

[Picture](#)

[Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

CHART	LETTER	BLOCK	LOT	STREET CODE	STREET NUMBER	CENSUS TRACT	CENSUS BLOCK	LAND USE	ZONING	LAND NOS.	STREET	BLDG. NO.	CARD NUMBER	CLASS CODE	ROUTING NUMBER
085		EE	001	2000				56 40					01001	R	285

DESCRIPTION	DEVL. NO.	RECORD OF OWNERSHIP		TAX YEAR	ACCOUNT NUMBER	DATE		TYPE 1 LAND 2 L & B	SALE PRICE	SOURCE				VALIDITY			
		NO.	YR.			1. BUYER	2. SELLER			3. FEE AGENT	4. AGENT	1. YES	2. NO				
AINES GLENN E & ELEN S JTS SLAND AVE EAKS ISLAND ME 04106 5-EE-1 ISLAND AVE EAKS ISLAND ME 07684SF	28784 S.F.	VARNER, DAVID H + VIVIAN A. JT.		1975	9-65305		75	① 2	250	1	2	3	4	1	2		
		STATE OF MAINE		1975	9-65985	0	1	75	① 2		1	2	3	4	1	2	
		date 1975-100%										1	2	3	4	1	2
		F.M. HAS DEED FILED IN CITY PROJECT FOLDER										1	2	3	4	1	2
		TITLE NOT TO BE PASSED UNTIL FILE NOTIFIED IN WRITING										1	2	3	4	1	2

LAND COMPUTATIONS										LAND USE		ASSESSMENT RECORD		
0 NONE	N	ACTUAL FRONTAGE	EFFECTIVE FRONTAGE	EFFECTIVE DEPTH	UNIT PRICE	DEPTH FACTOR	ACTUAL PRICE	INFLUENCE FACTOR	LAND VALUE	RESIDENTIAL	ASSESSMENT	INCREASE	DECREASE	
1 REGULAR LOT	L									06 Multi-Use Residential	LAND	11220		
2 MINUS LOT	L									07 Residential Hotels	BLDGS.			
3 APARTMENT SITE	L									08 Apartments & Rooms	TOTAL	11220		
FT.	①	887.684			.03			03	26630	09 Rooming Houses	LAND	11220		
1 PRIMARY SITE	S	8.000			.20				1120	10 Condominiums	BLDGS.			
2 SECONDARY SITE	S									11 Single Family	TOTAL	11220		
3 UNDEVELOPED										12 Two Family	LAND			
4 RESIDUAL										13 Three Family	BLDGS.			
LEAGE	A	20.19	ACRES		.500				10100	14 Four Family	TOTAL			
1 PRIMARY SITE	A									15 Five to Ten Family	LAND			
2 SECONDARY SITE	A									16 Eleven to Twenty Family	BLDGS.			
3 UNDEVELOPED	A									17 Twenty-One Plus Family	TOTAL			
4 RESIDUAL	A									18 Seasonal	LAND			
5 TILLABLE	A									19 Garages, Sheds, Accessory Bldg	BLDGS.			
6 PASTURE	A									COMMERCIAL	TOTAL			
7 WOODLAND	A									21 Retail & Personal Services	LAND			
8 WASTELAND	A									22 Office & Business Services	BLDGS.			
9 HOMESITE	A									23 Hotel & Motel	TOTAL			
0 TOTAL	A									24 Wholesale	LAND			
0 MINUS R.O.W	G									25 Parking Lots	BLDGS.			
										26 Private Clubs	TOTAL			
										27 Multi-Use Commercial	LAND			
										INDUSTRIAL	BLDGS.			
										31 Manufacturing & Construction	TOTAL			
										32 Warehouse & Storage	LAND			
										33 Transportation	BLDGS.			
										34 Communication	TOTAL			
										35 Extractor	LAND			
										36 Multi-Use Industrial	BLDGS.			
										YACANT LAND	TOTAL			
										40 Vacant Land	LAND			
										EXEMPT	BLDGS.			
										53 Religious	TOTAL			
										54 Benevolent & Charitable Institutions	LAND			
										55 Literary & Scientific Institutions	BLDGS.			
										56 Governmental	TOTAL			
										57 Others Exempt By Law	LAND			

GENERAL PROPERTY FACTORS				RESIDENTIAL PROPERTY FACTORS				BUILDING PERMIT RECORD				
NEIGHBORHOOD I. D.				NEIGHBORHOOD FACTORS				LOT FACTORS				
1 GOOD	2 FAIR	3 POOR	4 VERY POOR	1 RURAL	2 URBAN	3 SUBURBAN	4 SUBDIVISION	1 EXCELLENT	2 GOOD	3 FAIR	4 POOR	5 NONE
1 PAVED	2 UNPAVED	3 PROPOSED	4 NONE	1 IMPROVING	2 TREND	3 DECLINING	4 STATIC	1 IMPROVED	2 UNIMPROVED	3 NONE		
1 SIDEWALK	2 YES	3 NO	4 ALLEY	1 NONE	2 DEVALUING	3 ENHANCING		1 LIGHT	2 MEDIUM	3 HEAVY	4 NONE	
UTILITIES				DESIRABILITY RATING				COMPARISON TO NEIGHBORING PROPERTIES				
1 WATER	2 SEWER	3 ELECTRICITY	4 GAS	1 EXCELLENT	2 VERY GOOD	3 GOOD	4 AVERAGE	1 LOT	2 IMPROVEMENTS	3 LOT	4 IMPROVEMENTS	S.F. TO FROM CH BL LOT
1 PUBLIC	2 PRIVATE			5 FAIR	6 POOR	7 VERY POOR		1. TYPICAL	2. POORER	3. BETTER	4. NONE	S.F. TO FROM CH BL LOT

40 Buchanan Road
Enfield, CT 06082

October 1, 1974

Mr. Alfred Lucci
Tax Assessor
City Hall
389 Congress Street
Portland, ME 04111

- Re: 1. 1974 Proposed Valuation of lot 85-EE-1, Island Avenue, Peaks Island, Maine. Formally in the name of Glenn E. Haines and Helen S. Haines. Recently purchased by David H. Parker and Vivian A. Parker.
2. 1974 Proposed Valuation of Wiley Street, 84-D-11
3. 1974 Proposed Valuation of Island Avenue, 84-D-8

Dear Sir:

I have followed appeal step #1 outlined in the pamphlet sent to property owners at the time the estimates went out. Since I have received tax bills on the property I suppose I should assume that the valuation program is 100% completed and accepted by the city.

It is apparent that the "informal hearing" that I had with the representative of the revaluation firm Cole-Layer-Trumble was a joke at best. I am requesting a formal hearing step #2, I understand that I am not required to be represented by an attorney at this meeting and may present my own case.

RECEIVED

OCT 10 1974

Sincerely,

David H. Parker
David H. Parker

DHP:mp

DEPT. OF ASSESSOR
CITY OF PORTLAND, ME.

Sec. 14-433. Lots of record and accessory structure setbacks for existing buildings.

Any lot of record as of June 5, 1957, and held under separate and distinct ownership from adjacent lots and having a street frontage of forty (40) feet, or to which a means of access has been previously approved by the city council as provided elsewhere in this article, may be considered a buildable lot in any residential zone except as provided below for island residential zones, with a minimum lot size of five thousand (5,000) square feet, except that a lot in the R-6 zone may have a minimum lot size of three thousand (3,000) square feet, provided that the applicable yard dimensions can be met.

A lot in the R-1, R-2, R-3, R-4, R-5, R-5A or R-6 zones that was described in a subdivision plat approved by the planning board after June 5, 1981, or a lot of record that conformed to the applicable lot size requirement, lot width and street frontage as of June 5, 1984, shall be considered a buildable lot, provided that the applicable yard dimensions can be met.

Where such a lot has a principal structure which existed as of July 19, 1988, an accessory structure or building addition may be located within the following side and rear yards, provided that the normal applicable yard requirements cannot be met:

a. R-1, R-2:

Rear yard: Ten (10) feet.

Side yard: Five (5) feet.

b. R-3, R-4, R-5, R-5A, R-6:

Rear yard: Five (5) feet.

Side yard: Five (5) feet.

Any lot of record as of July 15, 1985, and held under separate and distinct ownership from adjacent lots and meeting the applicable street frontage requirements of that time may be considered a buildable lot in the IR-1 and IR-2 zones, provided that the applicable yard dimensions can be met and provided further that a lot in the IR-1 zone shall have a minimum area of ten

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number 1 of 1
 Parcel ID 088 M007001
 Location 213 BRACKETT AVE
 Land Use SINGLE FAMILY

Abaffy Property

Owner Address BALDI ALBERT F & JUDITH K JTS
 191 BRACKETT AVE
 PEAKS ISLAND ME 04108

Book/Page 7819/299
 Legal 88-M-7
 BRACKETT AVE
 PEAKS ISLAND
 28600 SF

Valuation Information

Land	Building	Total
\$27,300	\$78,020	\$105,320

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	Bedrooms	Full Baths	Half Baths	Total Rooms	Attic Part Finsh	Basement Pier/slab
1990	Cape	1	1212	0.657	3	1	1	6		

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition

Sales Information

Date	Type	Price	Book/Page

Picture and Sketch

[Picture](#) [Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!

CHARLES J. KAHILL
Attorney at Law

236 Highland Avenue
South Portland, Maine 04106

TEL: (207) 799-3364
FAX: (207) 799-3364
Email: kahilllaw@yahoo.com

ADMITTED TO PRACTICE IN MAINE
CALIFORNIA AND FEDERAL COURTS

July 28, 2004

City of Portland
Attn: Marge Schmuckal
Zoning Administrator

FAX: 874-8716
Page 1 of 9



Re: Thompson, Otis C. & A. Mavourneen
Assessor's Map 88-M-6
Brackett Avenue, Peaks Island

Dear Ms. Schmuckal:

I am working with the Thompsons and Thompson Johnson Woodworks in connection with plans for the Thompson Residence under submission with the City. I have completed a full title search for the property and have researched issues regarding abutters; and I report the following history:

1. The property was conveyed to the Thompsons by John Faison by deed dated October 2, 2003, recorded in the Cumberland County Registry of Deeds in Book 20569, Page 162, copy attached as Exhibit A. Said deed references Assessor's Map 88-M-6, and conveys that part of lot 22 of the Mary A. Brackett Estate southerly of Brackett Avenue, as shown on plan recorded in said Registry in Plan Book 12, Page 101.

2. The City map shows a rectangular lot of 31720 square feet, with a depth of 131.4 feet.

3. The Registry plan at 12/101 by C. E. Staples was recorded November 11, 1914. It shows a distinct rectangular lot numbered 22 southerly of Brackett Avenue. Dimensions and specific scale are absent, but reference is made to more specific plans "at the office of the Portland Assessor."

4. Said property was conveyed to Robert G. Edgecomb by J. Putnam Stevens by deed dated September 29, 1927, recorded in Book 1277, Page 113. Said property was then inherited by A. Clinton Edgecomb and Dorothy G. Edgecomb as the parents and sole heirs at law of said Robert G. Edgecomb. They apparently failed to pay to pay real estate taxes for the 1952 tax year.

5. The City of Portland became owner of the property, as a distinct lot, by virtue of tax deed dated February 28, 1953, recorded in Book 2269, Page 194, copy attached as Exhibit B. Note that the property is identified then, as now, as Assessor's Map 88-M-6, and as 31720 square feet.

6. The City subsequently sold the property as a distinct lot, described by reference to the said subdivision plan--Assessor's Map 88-M-6--and the 2269/194 deed, to John Faison et al. by deed dated November 30, 1971, recorded in Book 3208, Page 575, copy attached as Exhibit C.

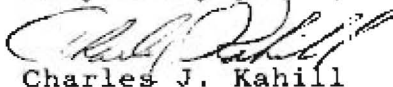
Thompson/City of Portland
July 28, 2004
Page 2

7. The Thompson property is bounded northerly by Brackett Avenue and easterly and southerly by government holdings. The westerly abutting property is also a distinct lot, numbered 21, in the same Mary A. Brackett Estate plan, Assessor's Map 88-M-7, similarly with no dimension change over time, a copy of the latest deed transferring it--to Albert P. Baldi et al.--attached as Exhibit D.

Please consider the history of the Thompson lot, as a distinct, unchanged subdivision lot since 1914, in your evaluation of the pending construction application.

Thank you for your attention. Please contact me for more information or documentation.

Very truly yours,



Charles J. Kahill

CJK/sms
Enc.

cc: Thompson, Otis C. & A. Mavourneen

QUITCLAIM DEED

KNOW ALL PERSONS BY THESE PRESENTS, that I, John Faison, of New York City, State of New York, in consideration of One Dollar and other valuable consideration paid by Otis C. Thompson and A. Mavourneen Thompson, both of Portland, County of Cumberland and State of Maine, whose mailing address is Seashore Avenue, Peaks Island, Maine 04108, the receipt whereof is hereby acknowledged, do hereby REMISE, RELEASE, BARGAIN, SELL AND CONVEY and forever QUITCLAIM unto the said Otis C. Thompson and A. Mavourneen Thompson, as JOINT TENANTS, their heirs and assigns forever, the following described real estate situated in Peaks Island, in Portland, County of Cumberland and State of Maine and more particularly described as follows, viz:

The part of Lot 22, as shown on Plan of the Mary A. Brackett Estate, recorded in the Cumberland County Registry of Deeds in Plan Book 12, Page 101, which is southerly of Brackett Avenue, and designated as Assessor's Map 88-M-6.

Meaning and intending to convey and hereby conveying the same premises conveyed to Grantor herein by deed dated November 30, 1971 and recorded in the Cumberland County Registry of Deeds in Book 3208, page 575.

TO HAVE AND TO HOLD, the same, together with all the privileges and appurtenances thereunto belonging, to the said Otis C. Thompson and A. Mavourneen Thompson, their heirs and assigns forever, to their use and behoof forever.

IN WITNESS WHEREOF, the said John Faison has hereunto set his hand and seal this 2nd day of October, 2003.

WITNESS:




John Faison

STATE OF MAINE
Cumberland, ss.

October 2, 2003

Then personally appeared the above-named John Faison and acknowledged the foregoing instrument to be his free act and deed.


Before me,

Notary Public/Attorney-at-Law
Print Name: Charles J. Kahill
My Commission Expires: _____

Exhibit A

194

194

(Collector's Tax Due - Return Due)

State of Maine

Edw. Cobb
to
Port and
City of
Tax

Quitclaim
Book 310
Page 47

Know all Men the Special Assessors, the Mayor and the Assessor of the City of Portland, County of Cumberland, for the year A. D. 1952, legally chosen and sworn, have specially in law assessed the real estate heretofore described, to wit: **Fifteen** Dollars

to wit: **A. Clinton and Dorothy G. Edgcomb**

in a certain piece of real estate in said Portland, which tax they did in their last assessment on the thirtieth day of July, 1952, by their warrant commit to me, LEON W. KELSER, Collector of said City for said year, and my successor in office, legally chosen and sworn to collect, and whereas no person has appeared to discharge said tax, and the same remained unpaid on the first Monday in February next after said tax was assessed, although I, the said LEON W. KELSER, Collector, as aforesaid, gave notice that the said tax remained unpaid, and of my intention to sell so much of said real estate or interest in the same as necessary for the payment of said tax and all charges by issuing said notice to be posted in the following places, to wit:—one notice at Legion House, No. 114 Congress St., in ward one, one notice at Police Station, on Long Island, in Island ward next the water at Island Hall, near Howe House, Island Ave., on Peaks Island, in Island ward two, one notice at C. R. Lee Recreation Building, No. 27 India St., in ward two, one notice at Foster City Hall, Myrtle St., entrance, in ward three, one notice at Chestnut St. entrance, City Hall, in ward four, one notice at Jackson School, Nos. 44-46 Forest Ave., in ward five, one notice at Eugene House, No. 157 Spring St., in ward six, one notice at Morgan Street Kindergarten, No. 117 Sherman St., in ward six, one notice at Park Ave. entrance, in ward seven, one notice at Legion House, No. 319 Loring Ave., in ward eight, one notice at No. 1174 Cayuga St., Liberty Hill, ward eight, one notice at Rousevelt School, No. 211 Brewer Ave., in ward eight, one notice at Legion House, No. 49 Arden St., in ward nine, one notice at Cummings School, No. 187 Ocean Ave., ward nine, one notice at Henry Wadsworth Longfellow School, No. 424 Brewer Ave., ward nine, one notice at the place where warrants for said taxes were required to be posted according to law, and on the twentieth day of December, A. D. 1952, I posted such notices, being at least six weeks before and five Mondays before the day of February next after said tax was assessed, said notices being in form and substance as required by the provisions of Sections 141, 131 and 132 of Chapter 81 of the Revised Statutes of Maine and its amendments thereto and supplementary thereto.

AND WHEREAS I, the said LEON W. KELSER, Collector of Taxes, did on the twenty-sixth day of December, A. D. 1952, lodge with the City Clerk of the City of Portland a copy of each such notice with my certificate thereon that I had given notice of the same as required by law and in the manner heretofore set forth, and on the twenty-second day of January, A. D. 1953, being at least ten days before the day of the sale, I, LEON W. KELSER, Collector of Taxes of the City of Portland for the year 1952, decided

A. Clinton and Dorothy G. Edgcomb

to sell the above parcel of land, by making to **them** the sum of **thirty** Dollars, said sum equal to the amount of said taxes and interest and charges thereon, and whereas no person appeared to discharge said tax assessed on each real estate of the said **A. Clinton and Dorothy G. Edgcomb**

with costs of advertising, on or before the time of sale to wit, on the first Monday of February, A. D. 1953, at nine o'clock in the forenoon, I, the said LEON W. KELSER, Collector as aforesaid, proceeded to sell at public auction to the highest bidder so much of said real estate or interest as was necessary to pay the tax, due and charges in the manner following, to wit: I sought bidders who would pay the sum due for the said fractional part of the estate, no person offered to pay the sum due for any fractional part of the estate. The City of Portland was the highest bidder and offered to pay the sum due for the whole of the estate. I struck off the said estate to the City of Portland for the sum due.

Now, therefore, I, LEON W. KELSER, Collector of Taxes, of said Portland, for the year 1952, legally chosen and sworn, in consideration of the sum of **nineteen** Dollars and **forty** cents, being the amount of said tax remaining unpaid and interest and charges thereon as provided by the City of Portland, State of Maine, in the County of Cumberland, have granted, bargained, and sold by these presents to, unto, bought, all and every name the said City of Portland the following described real estate situated in the City of Portland to wit:

Land Brackett Ave., part lot 22, Rec. Plan Mary A. Brackett estate Portland, Val. \$275.

Assessed Place in the year 1952 **AA** **Block M** **Lot 6** **Approx. Area 31720 Sq. Ft.**
Said Place on **Map** the City Assessor's Office, City Building, Portland, Maine

It is the duty of the said City of Portland and its successors and assigns for their proper use and behoof for the subject, hereinafter, in the right of redemption which the aforesaid parcel or any other parcel has at any time within the time specified by law.

In Witness Whereof, I have set my hand and seal in my said capacity as Collector of said Portland, duly authorized by law, on the twenty-eighth day of February, A. D. one thousand nine hundred and fifty-three.

SIGNED, SEALED AND DELIVERED
IN PRESENCE OF
Charlotte Logue *Leon W. Kelsner*

State of **Maine**, County of **Cumberland**, ss.
I, **Leon W. Kelsner**, duly authorized by law, do hereby certify that the above instrument is the true and correct copy of the original thereof as the same appears to me by my inspection of the original thereof.

Leon W. Kelsner Collector of the City of Portland

REGISTRY OF DEEDS, CUMBERLAND COUNTY, MAINE **JAN 11 1956**
Received at **2 M 52 W 0 M**, and recorded in
BOOK **1308** PAGE **194**

Exhibit B

FROM :

PHONE NO. :

SEP. 18 2003 04:13PM P3

Meaning and intending to convey the same land and building which the said grantor acquired by tax deed dated February 25, 1953

The deed above referred to is recorded in the Cumberland County Registry of Deeds in Book 2269 Page 194

This property was assessed to A. Clinton and Dorothy G. Edgcomb and was sold February 2, 1953 for the non-payment of the 1952 tax. Inasmuch as said parcel is non-payment of the tax.

At such tax sale the City of Portland was the purchaser.

Said premises are hereby conveyed subject to taxes thereon for the year 1971, and said grantee assumes and agrees to pay said taxes as part of the consideration for this conveyance.

To have and to hold the same, together with all the privileges and appurtenances thereto belonging to the said Charles James Wright and John Paison

their Heirs and Assigns, forever.

In Witness Whereof, the said City of Portland has caused this instrument to be executed and its corporate seal affixed by John G. DeFala - Director of Finance, thereunto duly authorized, this 30th day of November A. D. 1971.

Witness my hand and Seal in presence of

City of Portland

[Signature]

By *[Signature]*
Director of Finance.

FROM :

PHONE NO. :

SEP. 18 2003 04:13PM P4

State of Maine,
Cumberland, } ss.

November 10, 1971



Then personally appeared the above named John G. DePalma and acknowledged the foregoing instrument to be his free act and deed in his said capacity, and the free act and deed of said City of Portland.

Before me.

JAN 12 1972

John O. Robbins
Justice of the Peace.
Hosmer-Rublee.

REGISTRY OF DEEDS, CUMBERLAND COUNTY, MAINE
Received at 10:04 AM, and recorded in
BOOK 3208 PAGE 575 *to title Key Co* Register

618

Known all Men by these Presents,

~~That The City of Portland, a body politic and corporate, and located at Portland, in the County of Cumberland and State of Maine, in consideration of one dollar and other valuable considerations paid by Charles James Wright~~

~~Neighborhood of Portland, in the County of Cumberland and State of Maine, the receipt whereof it does hereby acknowledge, does hereby remise, release, forgive, full and ransom, and forever quit-claim unto the said Charles James Wright, his~~

~~Heirs and assigns forever, all its right, title and interest in and to the following described real estate situated in Portland in the County of Cumberland and State of Maine and more particularly described as, viz:~~

~~land, N side Seaboard Avenue and S side Reed Avenue, Peaks Island, Maine Assessor's Plan 61-B-1~~

033827

WARRANTY DEED
(Joint Tenants)

THAT WE, ROBERT R. POUTENIS, a/k/a Robert Poutenis, of Brunswick, Maine, and POUTENIS HYDRO WORKS, INC., a Massachusetts corporation, for consideration paid, grant to ALBERT F. BALDI and JUDITH K. BALDI, with a mailing address of 8 Ashland Street, Nashua, NH 03060, as Joint Tenants and not as Tenants in Common, with Warranty Covenants, the land in Portland, County of Cumberland, and State of Maine, described as follows:

SEE Exhibit A attached hereto and made a part hereof.

MEANING AND INTENDING TO CONVEY all and the same premises as conveyed to the Grantors herein by Quit Claim Deed With Covenant of Philip N. Lord, Jr., and Edith N. Lord dated October 25, 1984, and recorded in the Cumberland County Registry of Deeds in Book 6614, Page 229. FURTHER REFERENCE is made to Quit Claim Deed With Covenant from Virginia Leeman Brackett to Robert Poutenis dated November 26, 1980, and recorded in said Registry in Book 6634, Page 271.

WITNES our hands and seals this 11th day of June, 1987.

[Signature]
WITNES

[Signature]
Robert R. Poutenis, a/k/a
Robert Poutenis
POUTENIS HYDRO WORKS, INC.

[Signature]
WITNES

[Signature]
Its
[Signature]
SIRWET POUTENIS, PRESIDENT
June 11, 1987

STATE OF MAINE
Cumberland, ss.

Personally appeared ROBERT R. POUTENIS, a/k/a Robert Poutenis, and acknowledged the foregoing to be his free act and deed.

Before me,

[Signature]
Notary Public/Attorney at Law
[Signature]
Printed Name

LOT # 21

BK 819
Pg 219-
300
LOT # 21

Exhibit D

DE 7819 PG 0390

EXHIBIT A

A certain lot or parcel of land situated on the southerly side of Brackett Avenue on Peaks Island in the City of Portland, County of Cumberland, and State of Maine bounded and described as follows:

All that certain lot or parcel of land shown as Lot 21 Section C on the copy of the plan of Macy A. Brackett Estate, Peaks Island as recorded in the Cumberland County Registry of Deeds in Plan Book 12, Page 101, and being a portion of the premises set off to Henry C. Brackett in the Partition of the Henry E. H. Brackett Estate dated November 3, 1914 and recorded in the Cumberland County Registry of Deeds in Book 938, Page 261.

HENRY E. BRACKETT

RECEIVED
RECORDED REGISTRY OF DEEDS
1987 JUN 12 PM 3:34
CUMBERLAND COUNTY
James J. Walsh

THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

Page One

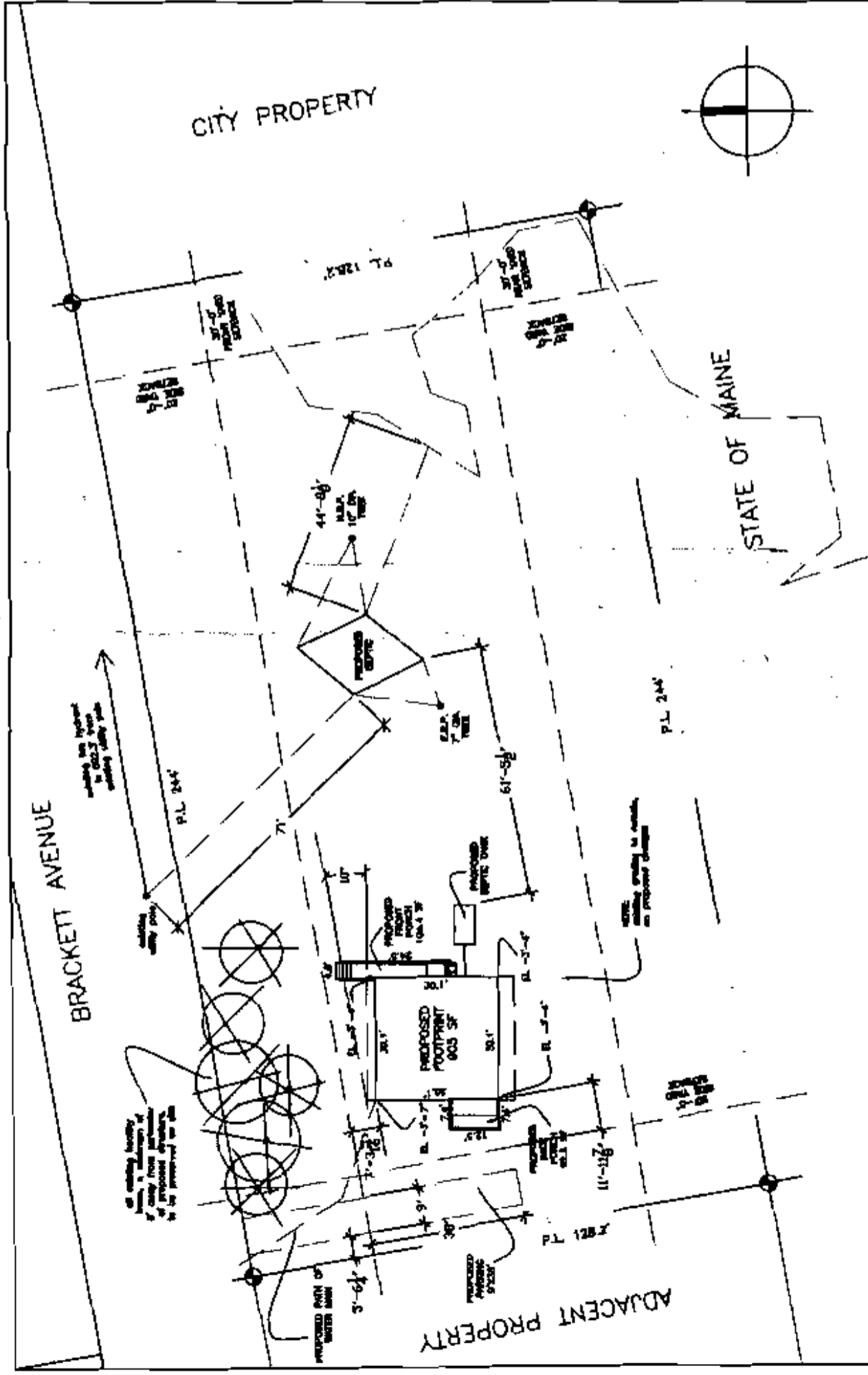
Notes

PLOT PLAN
 (revised)

PROJECT
 THOMPSON RESIDENCE

DATE	3.11.04	REVISED	4.28.04
SCALE	1/32" = 1'-0"		
		DRAWN BY	B.11.04
ITEM			

EXISTING LOT AREA 31,230 SF
 (X.20=6,246 MAXIMUM COVERAGE)
 TOTAL AREA NEW CONSTRUCTION 1,101.9 SF



THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEARS ISLAND ME 04108
 207.766.5919

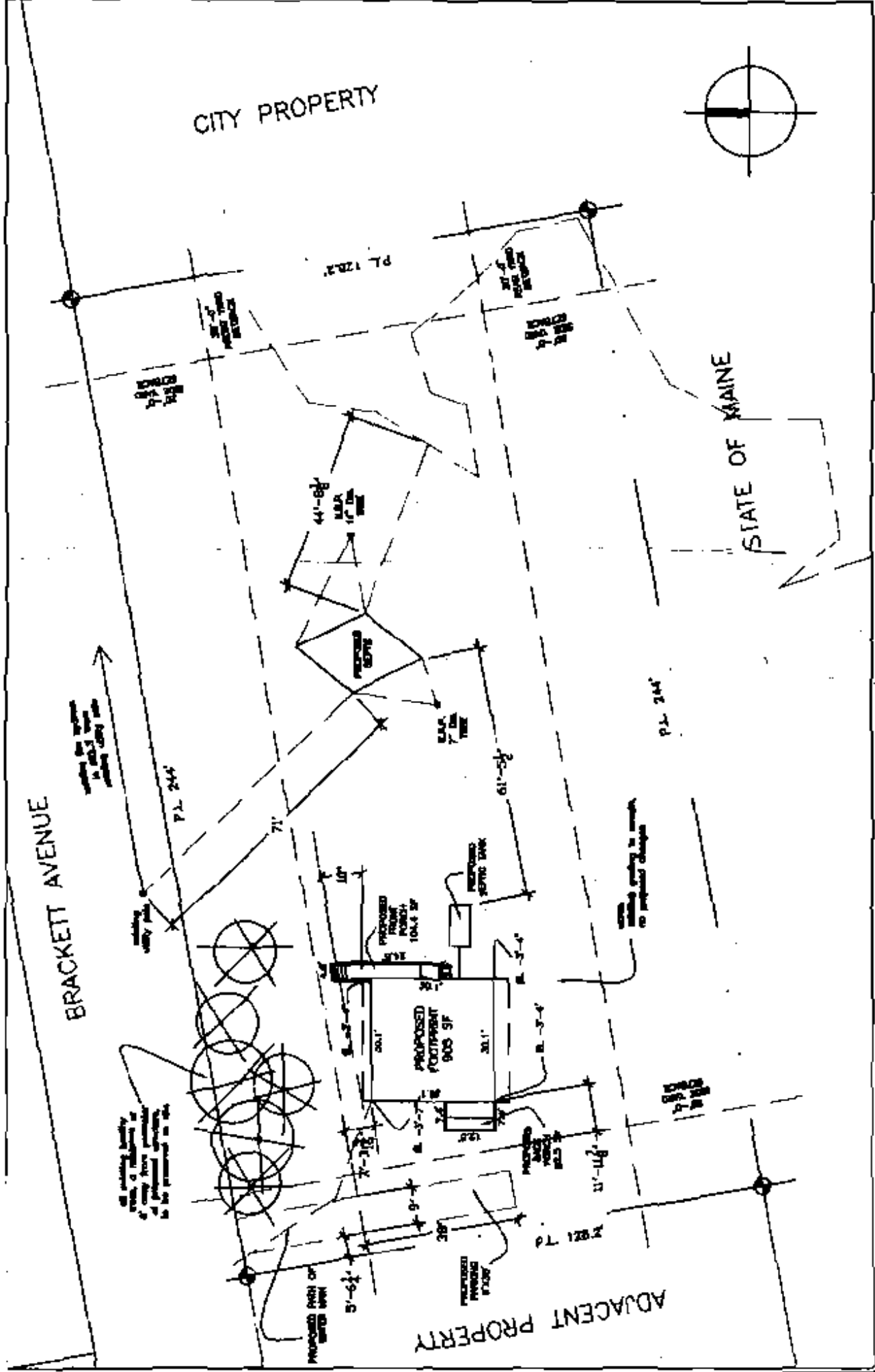
Page One

Notes

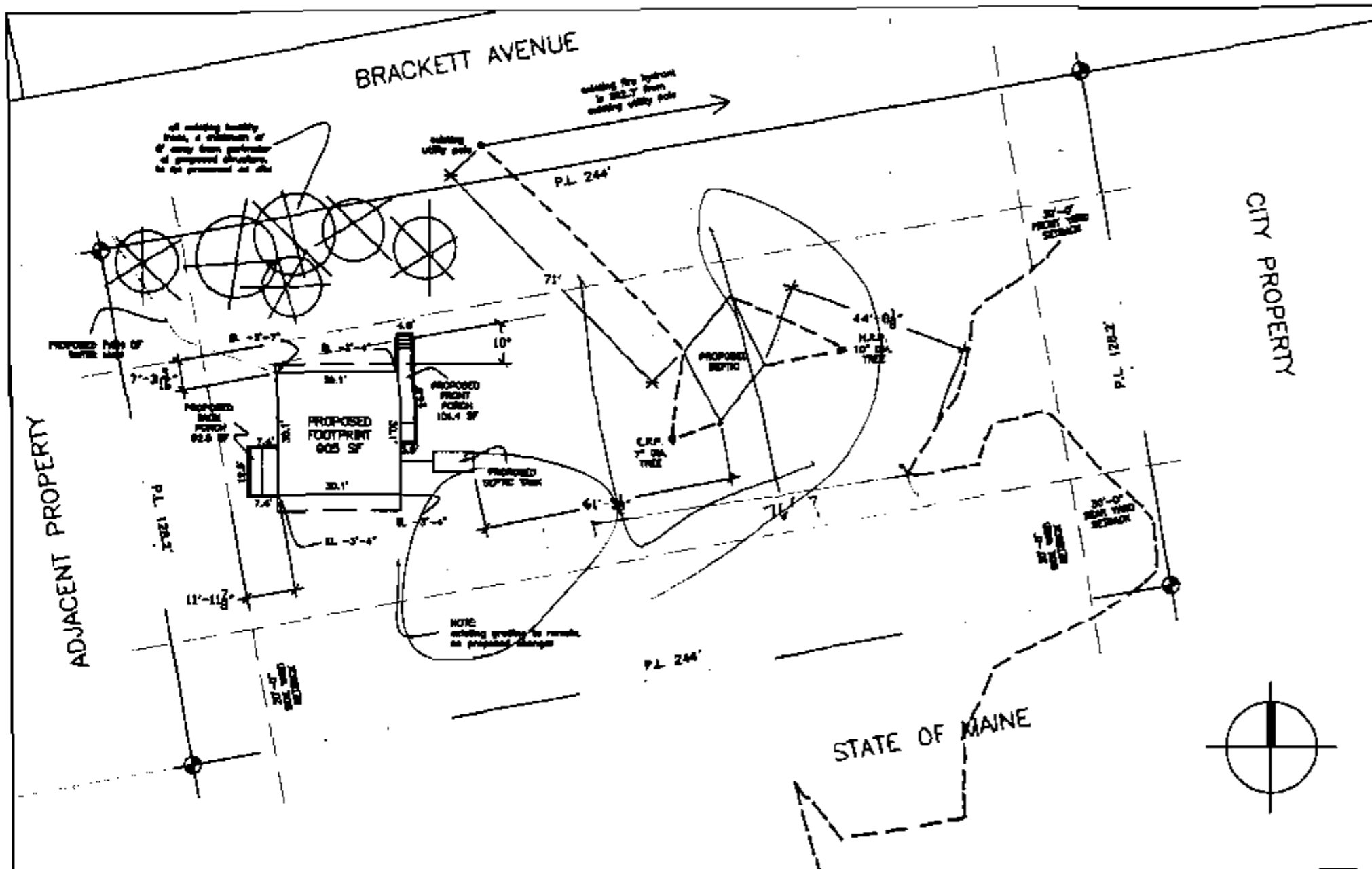
PLOT PLAN
 (revised)

PROJECT	THOMPSON RESIDENCE		
DATE	3.11.04	REVISED	4.28.04
SCALE	1/32"=1'-0"		
ITEM		DRAWN BY	8.11.04

EXISTING LOT AREA 31,230 SF
 (X.20=6,246 MAXIMUM COVERAGE)
 TOTAL AREA NEW CONSTRUCTION 1,101.9 SF



EXISTING LOT AREA 31,230 SF
 (X.20=6.246 MAXIMUM COVERAGE)
 TOTAL AREA NEW CONSTRUCTION 1,101.9 SF



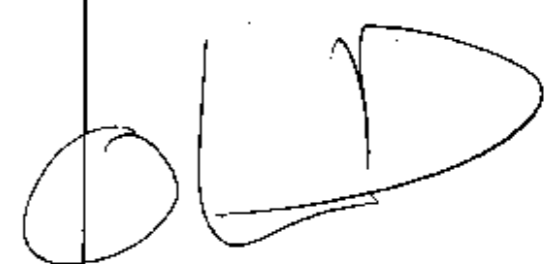
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

Page One

Notes

PLOT PLAN
 (revised)



JUN 23 2004



PROJECT
 THOMPSON RESIDENCE

DATE	REVISED
3.11.04	4.28.04 6.17.04

SCALE	DRAWN BY
1/32"=1'-0"	

ITEM 2/32 = 1/16" = 2'

