

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0448	Issue Date:	CBL: 088 M006001
-----------------------	-------------	---------------------

Location of Construction: 225 Brackett Ave PEAKS ISLAND	Owner Name: Thompson Otis C &	Owner Address: Seashore Ave	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: 2077665919
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	Zone: IR-1/514

Past Use: vacant land	Proposed Use: Single Family: 30' x 30' one story dwelling on posts	Permit Fee: \$1,086.00	Cost of Work: \$110,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied <i>N/A</i>	INSPECTION: Use Group: R-3 Type: 5B BOCA 1999	

Proposed Project Description: Single Family: 30' x 30' one story dwelling on posts	Signature: <i>[Signature]</i>	Signature: <i>[Signature]</i>
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: kwd	Date Applied For: 04/20/2004	Zoning Approval	
-------------------------	---------------------------------	------------------------	--

<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input checked="" type="checkbox"/> Shoreland <i>with in edge over 80' to edge of wetlands/HWM</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <i>Panel 15 Zone C</i> <input type="checkbox"/> Subdivision <i>lot 12/2004 A-433</i> <input checked="" type="checkbox"/> Site Plan <i>#2004-0080</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> <i>ok with conditions</i> Date: <i>2/3/04</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
---	--	---	--

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING PERMIT

Permit Number: 040448
 1997 OCT 20 11 20 AM
 CITY OF PORTLAND

This is to certify that Thompson Otis C & /Thompson & John workers

has permission to Single Family: 30' x 30' one story dwelling on post

AT 225 Brackett Ave PEAKS ISLAND 088 M006001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification inspection must be made and written permit in procuring this building and structure thereon. NO NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

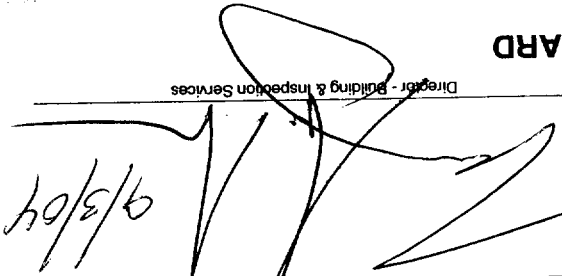
OTHER REQUIRED APPROVALS

Fire Dept.
 Health Dept.
 Appeal Board
 Other

Department Name

PENALTY FOR REMOVING THIS CARD

Director - Building & Inspection Services

9/3/04


City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-0448	Date Applied For: 04/20/2004	CBL: 088 M006001
-----------------------	---------------------------------	---------------------

Location of Construction: 219 Brackett Ave PEAKS ISLAND	Owner Name: Thompson Otis C &	Owner Address: Seashore Ave	Phone:
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	

Proposed Use: Single Family: 30' x 30' one story dwelling on posts	Proposed Project Description: Single Family: 30' x 30' one story dwelling on posts
--	--

Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Marge Schmuckal **Approval Date:** 08/30/2004

Note: 6/23/04 - actually on hold - I spoke to Rachel - I have nothing showing that this is a lot of record (under req. 40,000 sq. Ft) No parking is shown (2 required) - I need to know Pre-development grade for the building height review - needs to delineate where the 75' from the edge of wetlands is located
8/12/04 Received more site plan information - will be getting info on the lot of record from the lawyer

- 1) Separate permits shall be required for future decks, sheds, pools, and/or garages. All required minimum heights are measured from the pre-development grades on the islands..
- 2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 3) This permit is being approved on the basis of revised plans submitted on 8/12/04. Any deviations shall require a separate approval before starting that work.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tammy Munson **Approval Date:** 09/03/2004

Note: **Ok to Issue:**

- 1) If the egress windows in the bedrooms are casement windows, egress hardware must be installed on them.

Dept: DRC **Status:** Approved with Conditions **Reviewer:** Jay Reynolds **Approval Date:** 06/28/2004

Note: **Ok to Issue:**

- 1) All Site Work will conform to the City of Portland ordinance on Shoreland Regulations (Division 26).
- 2) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.
- 3) Your new street address is now # 219 Brackett Avenue, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 5) All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.

Dept: Planning **Status:** Not Applicable **Reviewer:** Jay Reynolds **Approval Date:** 06/28/2004

Note: **Ok to Issue:**

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

September 1, 2004

Tammy Munson
Code Enforcement Officer
City of Portland

RE: 225 Brackett Avenue, Peaks Island
(ID # 2004-0080, CBL #088M006)

Dear Tammy:

The following corrections have been made to the to a permit submission for a new single-family house to be located at 225 Brackett Avenue, Peaks Island, per your request:

- 1 balustrade revision, permit submission page fifteen
- 2 joist span revision of entry porch, permit submission page nine
- 3 egress window revision, permit submission page two (also, please see revised window schedule)
- 4 safety glazing revision, permit submission page two (also, please see revised window schedule)

Thank you for your help, Tammy, and please let me know if you need any additional information.

Sincerely,


Rachel Conly
Architectural Designer

THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

Page Nine

FOUNDATION/FIRST
 FLOOR FRAMING PLAN

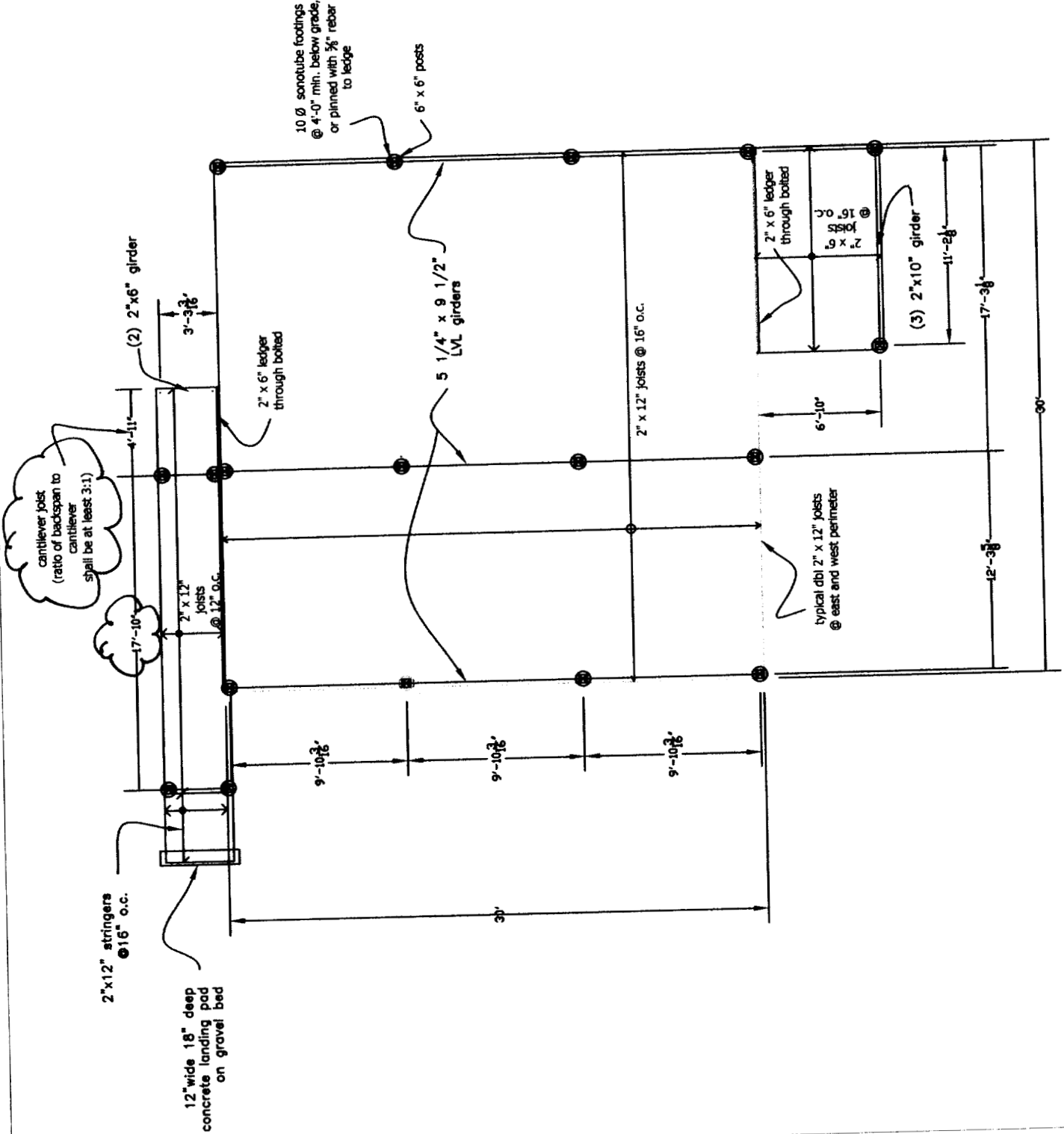
Notes

PROJECT THOMPSON RESIDENCE

DATE 3.11.04 REVISED 9.1.04

SCALE 1/8" = 1'-0"

ITEM



THOMPSON JOHNSON WOODWORKS
115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Fifteen

Notes

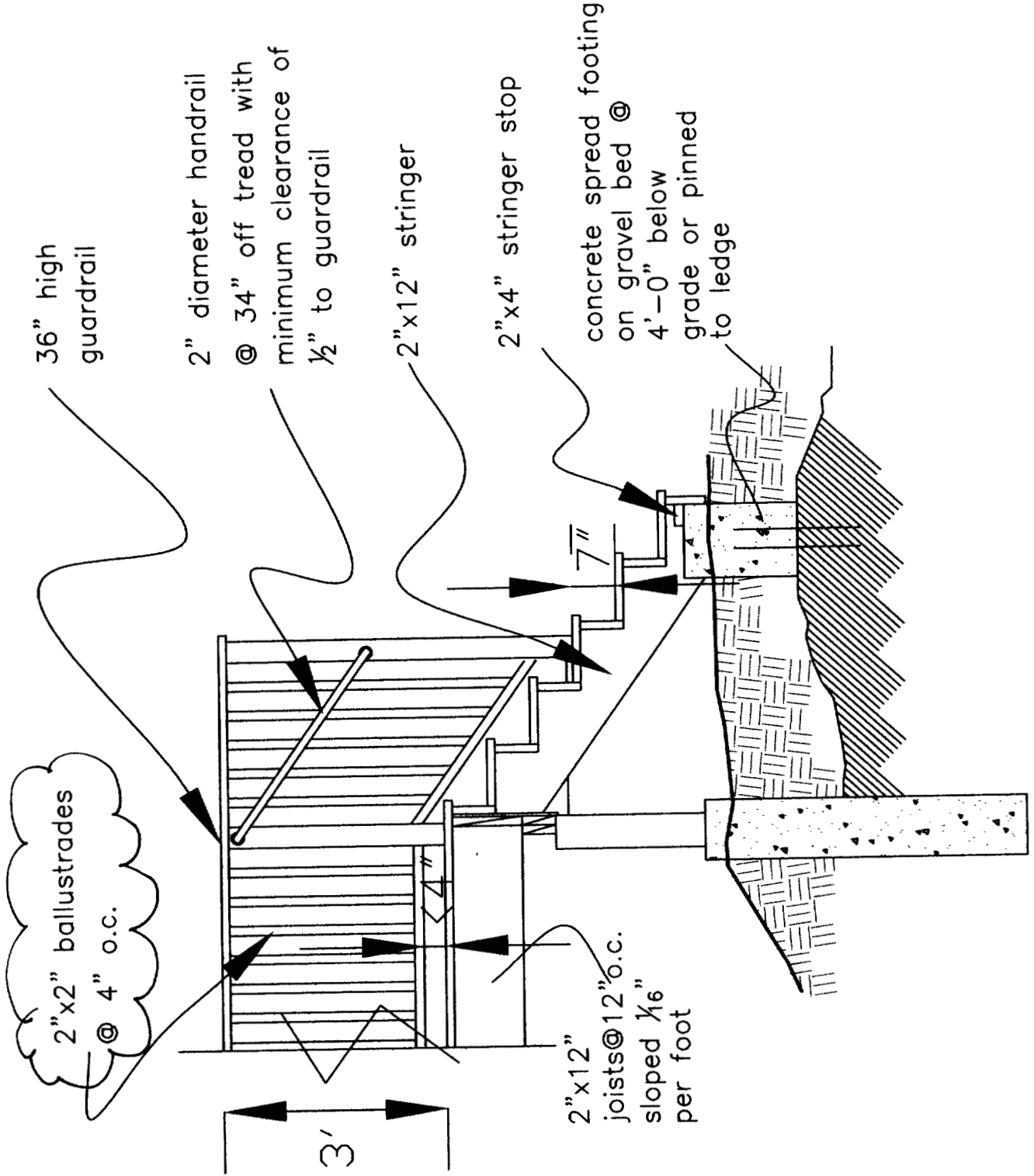
STAIR DETAILS

PROJECT THOMPSON RESIDENCE

DATE 3.11.04 REVISED 9.1.04

SCALE 1/2" = 1'-0" DRAWN BY

ITEM



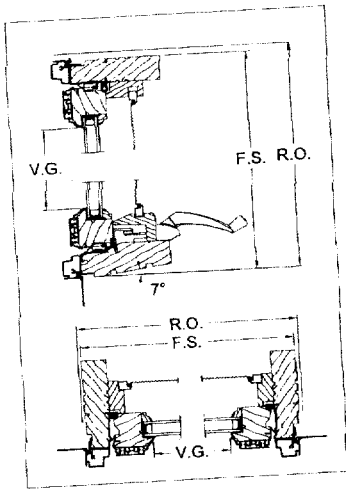
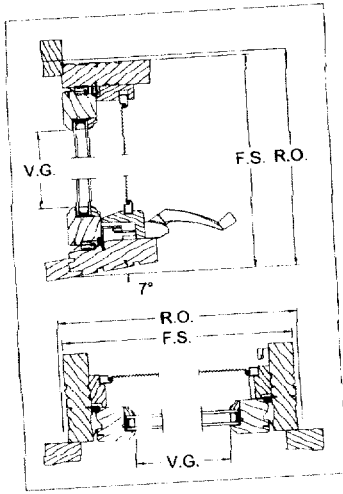
Thompson Johnson Woodworks

Window/Door Schedule
Thompson Residence
Peaks Island

QTY	WINDOW	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
9	1	LEPAGE	WOOD INT/ALUM CLAD OUT	E,SDL	CASEMENT	31 7/8"	30 1/2"	2X6	
3	2	LEPAGE	WOOD INT/ALUM CLAD OUT	E,SDL	DBL HNG	71 1/4"	56 7/8"	2X6	
1	3	LEPAGE	WOOD INT/ALUM CLAD OUT	E,SDL, TEMPERED	DBL HNG	72 1/4"	57 7/8"	2X7	

QTY	DOOR	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
1	A		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	RH	36"	6-8	2X6	1 3/4
1	B		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	LH	36"	6-8	2X6	1 3/4
1	C		WOOD INT/FULL GLASS	TEMPERED	LH	36"	6-8	2X4	1 3/8
2	D		4 PANEL, SOLID CORE	INT	RH	30"	6-8	2X4	1 3/8
1	E		4 PANEL, SOLID CORE	INT	LH	30"	6-8	2X4	1 3/8
1	F		4 PANEL, SOLID CORE	INT	POCKET	28"	6-8	2X4	1 3/8
1	G		4 PANEL, SOLID CORE	INT	PAIR	(2) 24"	6-8	2X4	1 3/8
1	H		WOOD INT/FULL GLASS	INT/TEMPERED	TRACK	38"	6-8	2X4	1 3/8

Construction Details



WOOD CASEMENT (operating)				
ENERGY DATA (3/4" I.G.)				
NATURAL	U factor	R value	SHGC	VT
Clear	0.42	2.34	0.48	0.50
Clear + Spacer*	0.42	2.34	0.43	0.45
Clear + GBG**	0.36	2.71	0.43	0.45
Low E-Argon	0.29	3.37	0.24	0.44
Low E-Argon + Spacer*	0.29	3.37	0.22	0.39
Low E-Argon + GBG**	0.30	3.32	0.22	0.39
ALUMINUM CLAD				
Clear	0.42	2.34	0.48	0.50
Clear + Spacer*	0.42	2.34	0.43	0.45
Clear + GBG**	0.43	2.30	0.43	0.45
Low E-Argon	0.29	3.36	0.25	0.44
Low E-Argon + Spacer*	0.29	3.36	0.22	0.39
Low E-Argon + GBG**	0.30	3.32	0.22	0.39
PERFORMANCE DATA				
A-3	B-3	C-3	F-20	
DESIGN PRESSURE DATA				
DP-50				

*SPACER: 3/4" spacer for SDL.
 **GBG: 3/4" Georgian grilles between the glass.

Values are subject to update. Results are obtained in accordance with NFRC 102 and CSA A440-00.

Custom sizes are available on request. Minimum and maximum sizes applicable may vary depending on features and options. For masonry openings, please contact your local LePage representative.

Lite patterns shown are 7/8" (22) SDL. Lite patterns for 1 1/4" (31) SDL and other grilles may vary. For sizes that meet the local Egress code requirements, please contact your local LePage representative. Venting configurations shown in units of the first line and first column are applicable to all units.

Units with 15 3/4" and 19 1/8" heights are stationary only. For elevations of picture units, bay windows and bow windows, please contact your local LePage representative.

WC11

Transoms	1009	1209	1409	1809	2209	2509	2909
16 1/8" (413)							
20 1/8" (513)							
17 1/8" (435)							
19 1/8" (485)							
21 1/8" (535)							
25" (635)							
28 1/8" (735)							
32 1/8" (835)							
36 1/8" (935)							
16 1/4" (410)							
18 1/4" (460)							
20 1/4" (510)							
24" (610)							
27 1/8" (710)							
31 1/8" (810)							
25" (636)							
28 1/8" (736)							

R.O.: Rough Opening
 F.S.: Frame Size
 V.G.: Visible Glass

Thompson Johnson Woodworks
 115 Island Avenue
 Peaks Island, ME 04108

98-M-6

225 Brackett Ave, P.I.

Rachel Conly
766-5319
766-5319

Fax 766-5297

Soil type/Presumptive Load Value (Table 401.4.1)	Component	Plan Reviewer	Inspection/Date/Findings
STRUCTURAL			
Footing Dimensions/Depth (Table 403.1.1 & 403.1.1(1), Section 403.1.2)	10" ϕ square tubes 4'-0" below grade	OK	
Foundation Drainage Damp proofing (Section 406)	N/A		
Ventilation (Section 409.1) Crawls Space ONLY	OK - open below		
Anchor Bolts/Straps (Section 403.1.4)	NOT shown		
Lally Column Type, Spacing and footing sizes (Table 502.3.4(2))	OK		
Built-Up Wood Center Girder Dimension/Type (Table 502.3.4(2))	OK		OK fixed
Sill/Band Joist Type & Dimensions	N/A		
First Floor Joist Species Dimensions and Spacing (Table 503.3.1(1) & Table 503.3.2(1))	2x12's - 16" OC	17'-5 3/4" Span -	2x12 - 12" bc Spacing - 22'-6 5/8" - DW
Second Floor Joist Species Dimensions and Spacing Table(503.3.1(1) & Table 503.3.2(1))	N/A		ON SPAN

1

Attic or additional Floor Joist Species Dimensions and Spacing (Table 802.4.2 or 503.3.1(1) & Table 503.3.2(1))	N/A	
Roof Rafter Pitch, Span, Spacing & Dimension (Table 802.3.2(7))	2x12-5 spans 17'-5 3/4" Net span - 17'-6" - OK	
Sheathing; Floor, Wall and roof (Table 503.2.1(1))	Floor - 3/4" - OK Roof - 5/8" - OK Walls - T 111	
Fastener Schedule (Table 602.3(1) & (2))		
Private Garage Section 309 and Section 407 1999 BOCA) Living Space? (Above or beside)	N/A	
Fire separation		
Fire rating of doors to living space	N/A	
Door Sill elevation (407.5 BOCA)		
Egress Windows (Section 310)	Shows awning - Need egress hardware. and windows - and verification if meets.	
Roof Covering (Chapter 9)	asphalt shingles	
Safety Glazing (Section 308)	OK Need in window next to door going to back porch	
Attic Access (BOCA 1211.1)	N/A	
Draft Stopping around chimney	N/A	

2

3

Header Schedule	Type of Heating System	Number of Stairways	Interior	Exterior	Treads and Risers (Section 314)	Width	Headroom	Guardrails and Handrails (Section 315)	Smoke Detectors Location and type/Interconnected	Plan Reviewer Signature	See Chimney Summary Checklist
Renna					7" R / 11" T	4'	OK	OK Shows horizontal balusters	Not allowed under BCAA.	OK	See Chimney Summary Checklist

14

Vent Fans

THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVE
 PEAKS ISLAND, ME 04108
 TEL 207-766-5919 FAX 207-766-5297
 E-MAIL:

TO: TAMMY MUNSON # 874-8716
 CITY OF PORTLAND INSPECTION SERVICES
 FROM: RACHEL COULY
 DTG: 9.1.04
 RE: 225 BRACKETT AVE, PEAKS ISLAND

① PAGES ENCLOSED

NOTES:

(PLEASE SEE ATTACHED)

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

September 1, 2004

Tammy Munson
Code Enforcement Officer
City of Portland

RE: 225 Brackett Avenue, Peaks Island
(ID # 2004-0080, CBL #088M006)

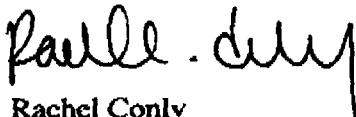
Dear Tammy:

The following corrections have been made to the to a permit submission for a new single-family house to be located at 225 Brackett Avenue, Peaks Island, per your request:

- 1 balustrade revision, permit submission page fifteen
- 2 joist span revision of entry porch, permit submission page nine
- 3 egress window revision, permit submission page two (also, please see revised window schedule)
- 4 safety glazing revision, permit submission page two (also, please see revised window schedule)

Thank you for your help, Tammy, and please let me know if you need any additional information.

Sincerely,



Rachel Conly
Architectural Designer

②

Thompson Johnson Woodworks
115 Island Avenue
Peaks Island, Maine 04108
206.766.5919

September 1, 2004

Tammy Munson
Code Enforcement Officer
City of Portland

RE: 225 Brackett Avenue, Peaks Island
(ID # 2004-0080, CBL #088M006)

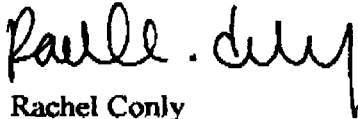
Dear Tammy:

The following corrections have been made to the to a permit submission for a new single-family house to be located at 225 Brackett Avenue, Peaks Island, per your request:

- 1 balustrade revision, permit submission page fifteen
- 2 joist span revision of entry porch, permit submission page nine
- 3 egress window revision, permit submission page two (also, please see revised window schedule)
- 4 safety glazing revision, permit submission page two (also, please see revised window schedule)

Thank you for your help, Tammy, and please let me know if you need any additional information.

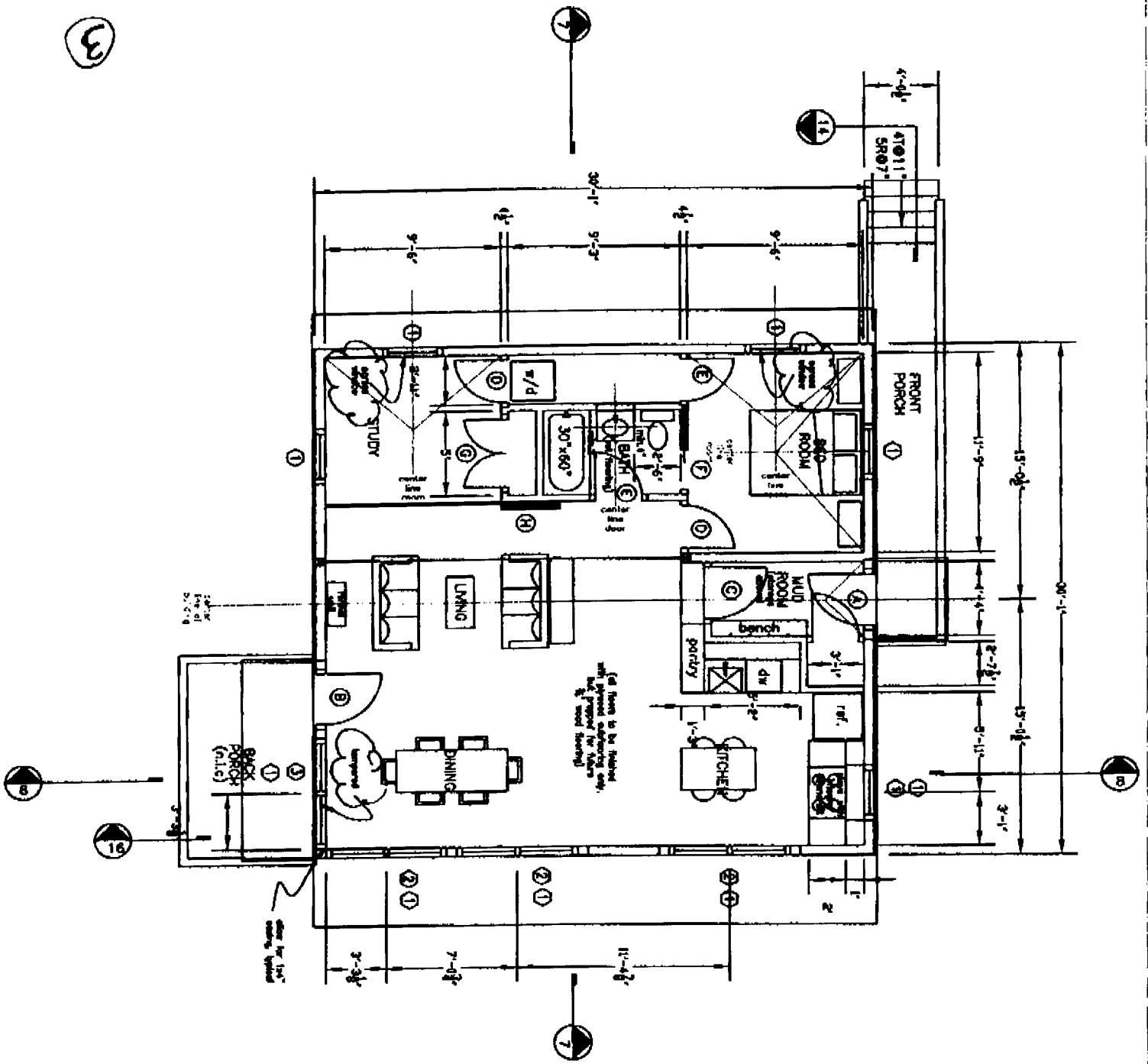
Sincerely,



Rachel Conly
Architectural Designer

2

3



THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEAKS ISLAND NE 06108
 207.766.5919

Page Two

Notes

FIRST FLOOR PLAN

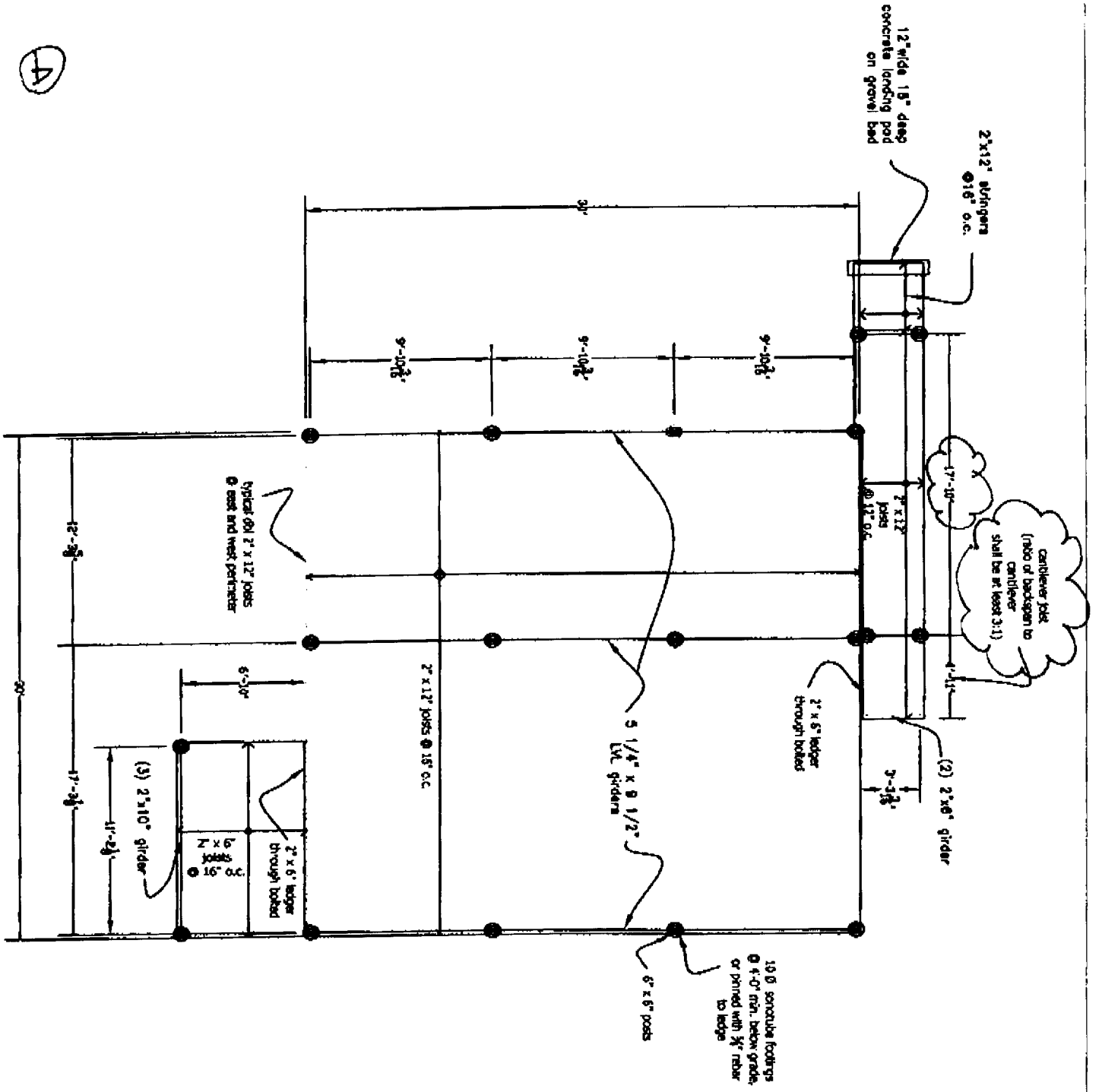
PROJECT
 THOMPSON RESIDENCE

DATE
 3.11.04

SCALE
 1/8" = 1'-0"

REVISION
 9.1.04

MDV



4

THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEARS ISLAND ME 04 08
 207.766.5919

Page Nine

Notes

FOUNDATION/FIRST
 FLOOR FRAMING PLAN

PROJECT
 THOMPSON RESIDENCE

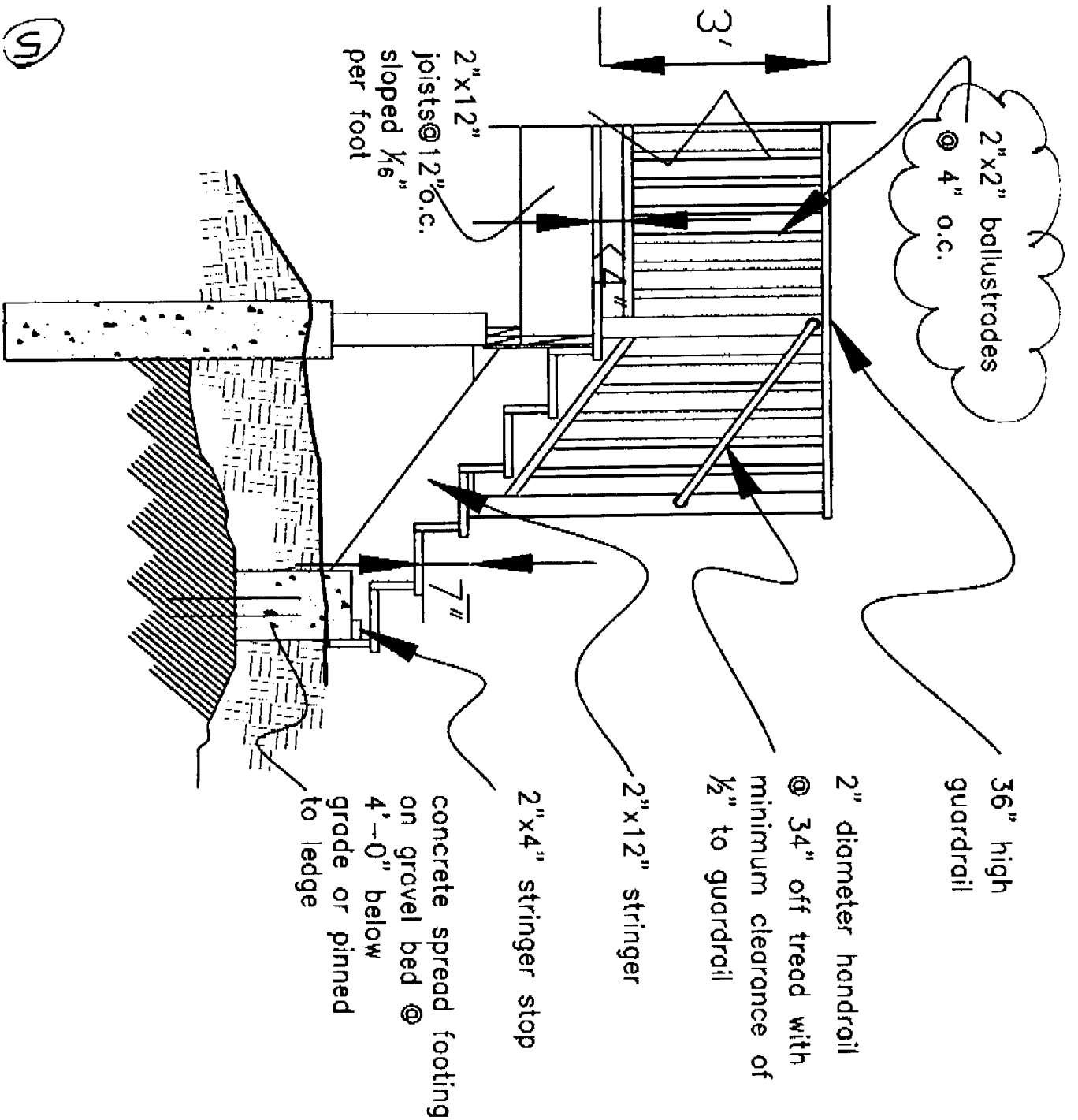
DATE
 3.11.04

DESIGNED
 9.1.04

SCALE
 1/8" = 1'-0"

DRAWN BY

ITEM



51

THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 FEARS ISLAND PE 04103
 207.766.5919

Page Fifteen

Notes

STAIR DETAILS

PROJECT
 THOMPSON RESIDENCE

DATE
 3.11.04

REVISIONS
 9.1.04

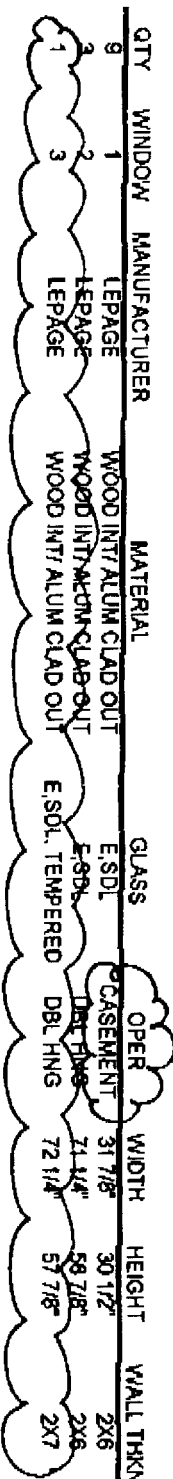
SCALE
 1/2" = 1'-0"

DRAWN BY

TEXT

Thompson Johnson Woodworks
 Window/Door Schedule
 Thompson Residence
 Peaks Island

QTY	WINDOW	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
9	1	LEPAGE	WOOD INT/ALUM CLAD OUT	E.SDL	OPER CASEMENT	31 7/8"	30 1/2"	2X6	1 3/4
2	2	LEPAGE	WOOD INT/ALUM CLAD OUT	E.SDL	DBL HNG	71 1/4"	58 7/8"	2X6	1 3/8
1	3	LEPAGE	WOOD INT/ALUM CLAD OUT	E.SDL, TEMPERED	DBL HNG	72 1/4"	57 7/8"	2X7	1 3/8
1	A		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	RH	36"	6-8	2X6	1 3/4
1	B		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	LH	36"	6-8	2X6	1 3/4
1	C		WOOD INT/FULL GLASS	TEMPERED	LH	36"	6-8	2X4	1 3/8
2	D		4 PANEL, SOLID CORE	INT	RH	30"	6-8	2X4	1 3/8
1	E		4 PANEL, SOLID CORE	INT	LH	30"	6-8	2X4	1 3/8
1	F		4 PANEL, SOLID CORE	INT	POCKET PAIR	28"	6-8	2X4	1 3/8
1	G		4 PANEL, SOLID CORE	INT	PAIR	(2) 24"	6-8	2X4	1 3/8
1	H		WOOD INT/FULL GLASS	INT/TEMPERED	TRACK	38"	6-8	2X4	1 3/8



6

Thompson Johnson Woodworks
 Window/Door Schedule
 Thompson Residence
 Peaks Island

lepage.

Construction Details



CASEMENT WINDOWS

Thompson Johnson Woodworks
 115 Island Avenue
 Peaks Island, ME 04108

QTY	WINDOW	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
9	1	LEPAGE	WOOD INT/ALUM CLAD OUT	E.SGL	CASEMENT	31 7/8"	30 1/2"	2X6	1 3/4
2	2	LEPAGE	WOOD INT/ALUM CLAD OUT	E.SGL	DBL HNG	71 1/4"	56 7/8"	2X6	1 3/4
1	3	LEPAGE	WOOD INT/ALUM CLAD OUT	E.SGL, TEMPERED	DBL HNG	72 1/4"	57 7/8"	2X7	1 3/8

QTY	DOOR	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
1	A		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	RH	36"	6-8	2X6	1 3/4
1	B		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	LH	36"	6-8	2X6	1 3/4
1	C		WOOD INT/ALUM EXT/FULL GLASS	TEMPERED	LH	36"	6-8	2X4	1 3/8
2	D		WOOD INT/FULL GLASS	INT	RH	30"	6-8	2X4	1 3/8
1	E		4 PANEL, SOLID CORE	INT	LH	30"	6-8	2X4	1 3/8
1	F		4 PANEL, SOLID CORE	INT	POCKET	28"	6-8	2X4	1 3/8
1	G		4 PANEL, SOLID CORE	INT	PAIR	(2) 24"	6-8	2X4	1 3/8
1	H		WOOD INT/FULL GLASS	INT/TEMPERED	TRACK	36"	6-8	2X4	1 3/8

WC11

QTY	WINDOW	MANUFACTURER	MATERIAL	GLASS	OPER	WIDTH	HEIGHT	WALL THKNS	THICKNESS
1	1		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	RH	36"	6-8	2X6	1 3/4
1	2		WOOD INT/ALUM EXT/FULL GLASS	EXT/TEMPERED	LH	36"	6-8	2X6	1 3/4
1	3		WOOD INT/ALUM EXT/FULL GLASS	TEMPERED	LH	36"	6-8	2X4	1 3/8
2	4		WOOD INT/FULL GLASS	INT	RH	30"	6-8	2X4	1 3/8
1	5		4 PANEL, SOLID CORE	INT	LH	30"	6-8	2X4	1 3/8
1	6		4 PANEL, SOLID CORE	INT	POCKET	28"	6-8	2X4	1 3/8
1	7		4 PANEL, SOLID CORE	INT	PAIR	(2) 24"	6-8	2X4	1 3/8
1	8		WOOD INT/FULL GLASS	INT/TEMPERED	TRACK	36"	6-8	2X4	1 3/8

6

THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

Page Fifteen

Notes

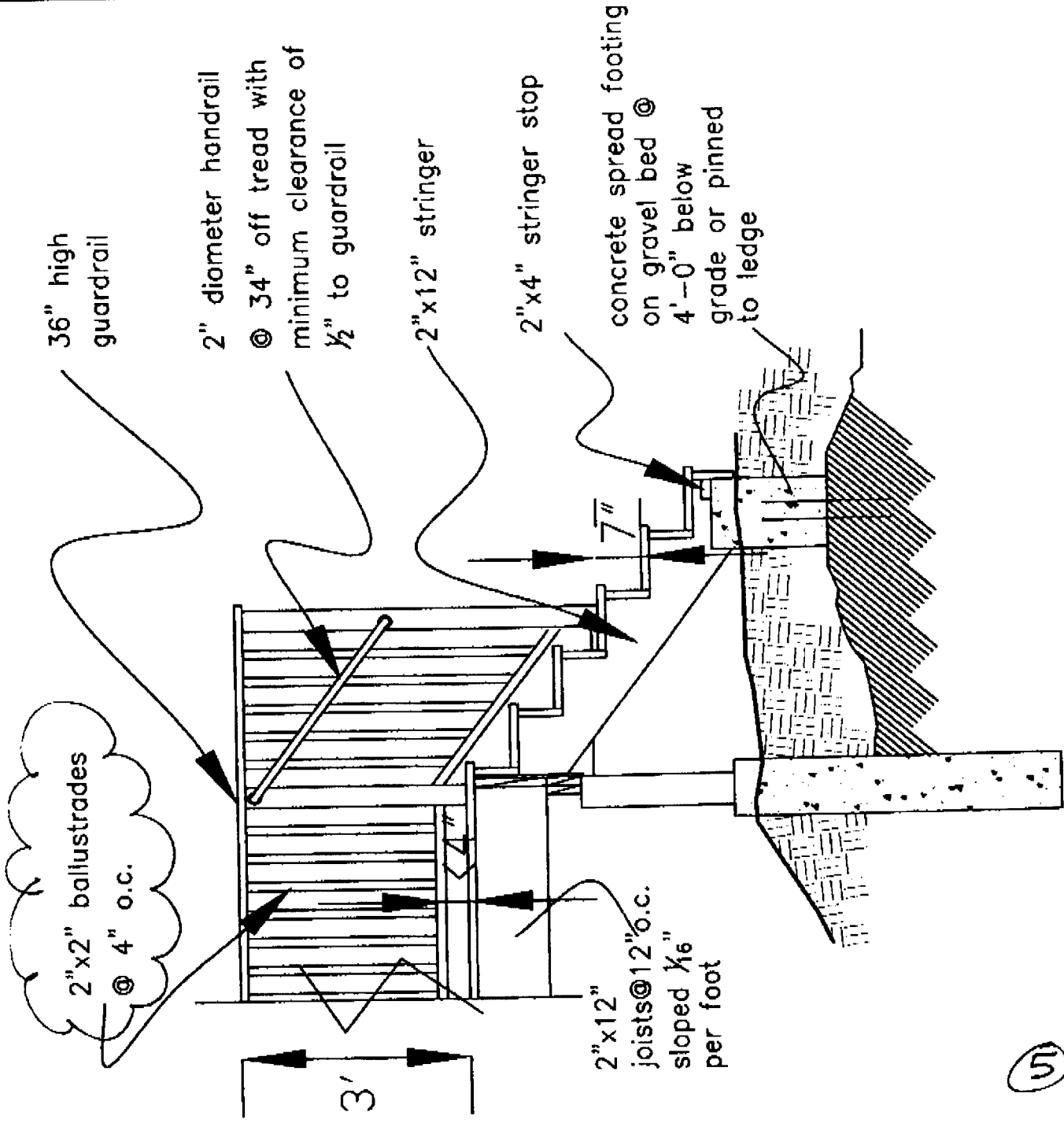
STAIR DETAILS

PROJECT THOMPSON RESIDENCE

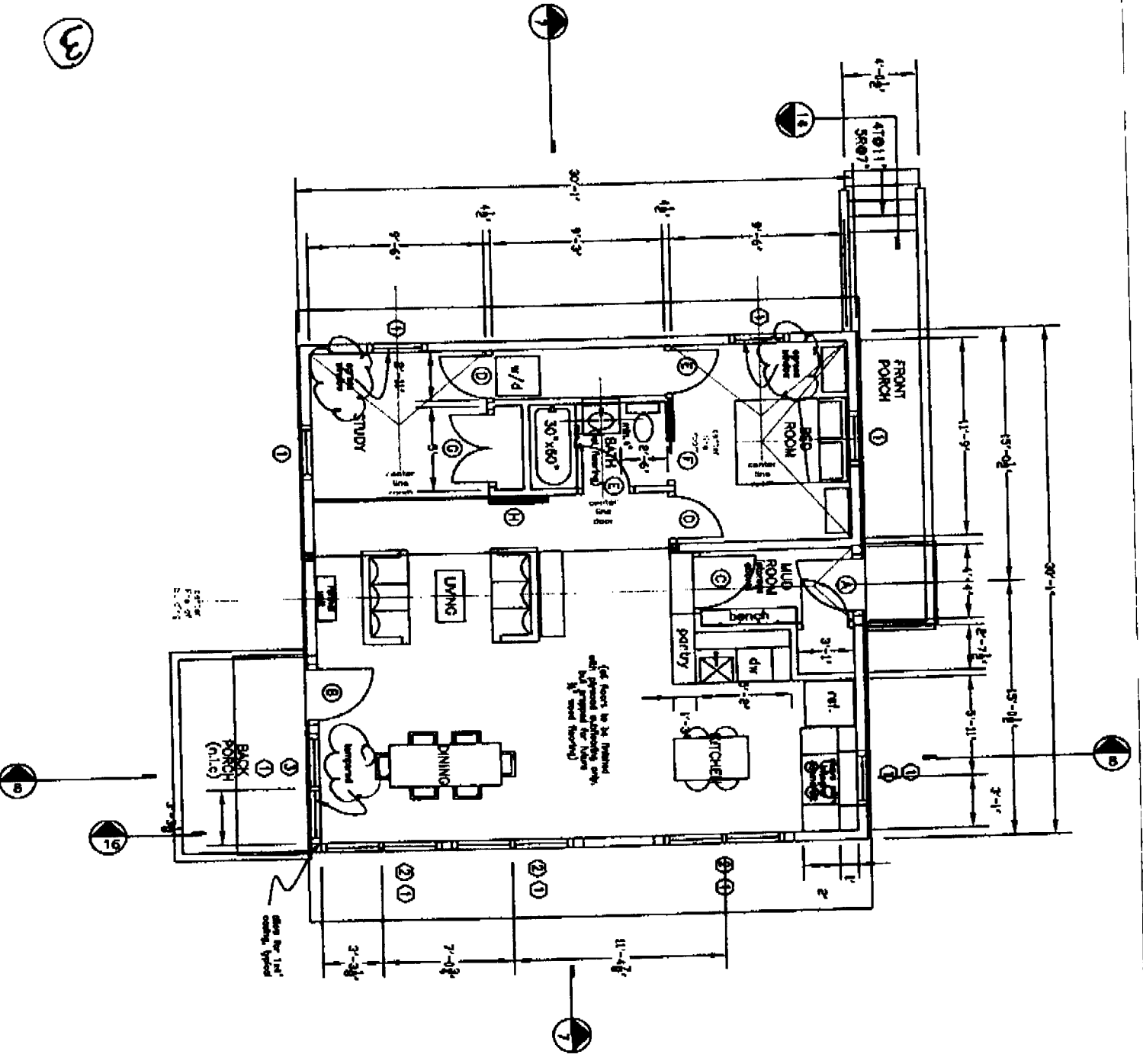
DATE 3.11.04 REVISIONS 9.1.04

SCALE 1/2"=1'-0" DRAWN BY

ITEM



51



THOMPSON JOHNSON WOODWORKS

1.5 ISLAND AVENUE
PEAKS ISLAND ME 05:08
207.766.5919

Page Two

Notes

FIRST FLOOR PLAN

PROJECT
THOMPSON RESIDENCE

DATE 3.11.04
SCALE 1/8" = 1'-0"

REVISIONS
9.1.04
DRAWN BY: [Signature]

ITEM

THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Fifteen

Notes

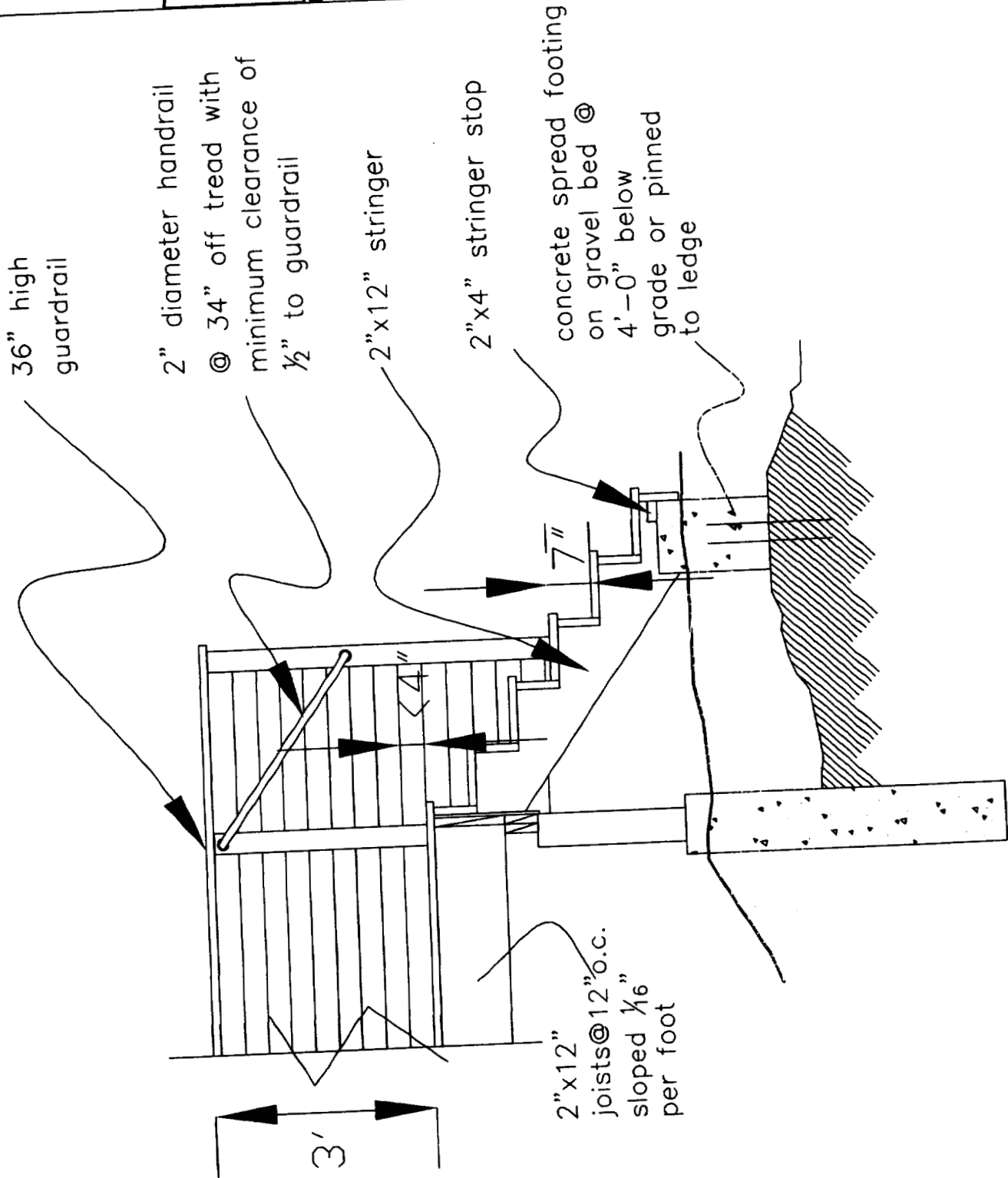
STAIR DETAILS

PROJECT THOMPSON RESIDENCE

DATE 3.11.04 REVISED

SCALE 1/2" = 1'-0" DRAWN BY

ITEM



THOMPSON JOHNSON WOODWORKS
115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Sixteen

railing detail

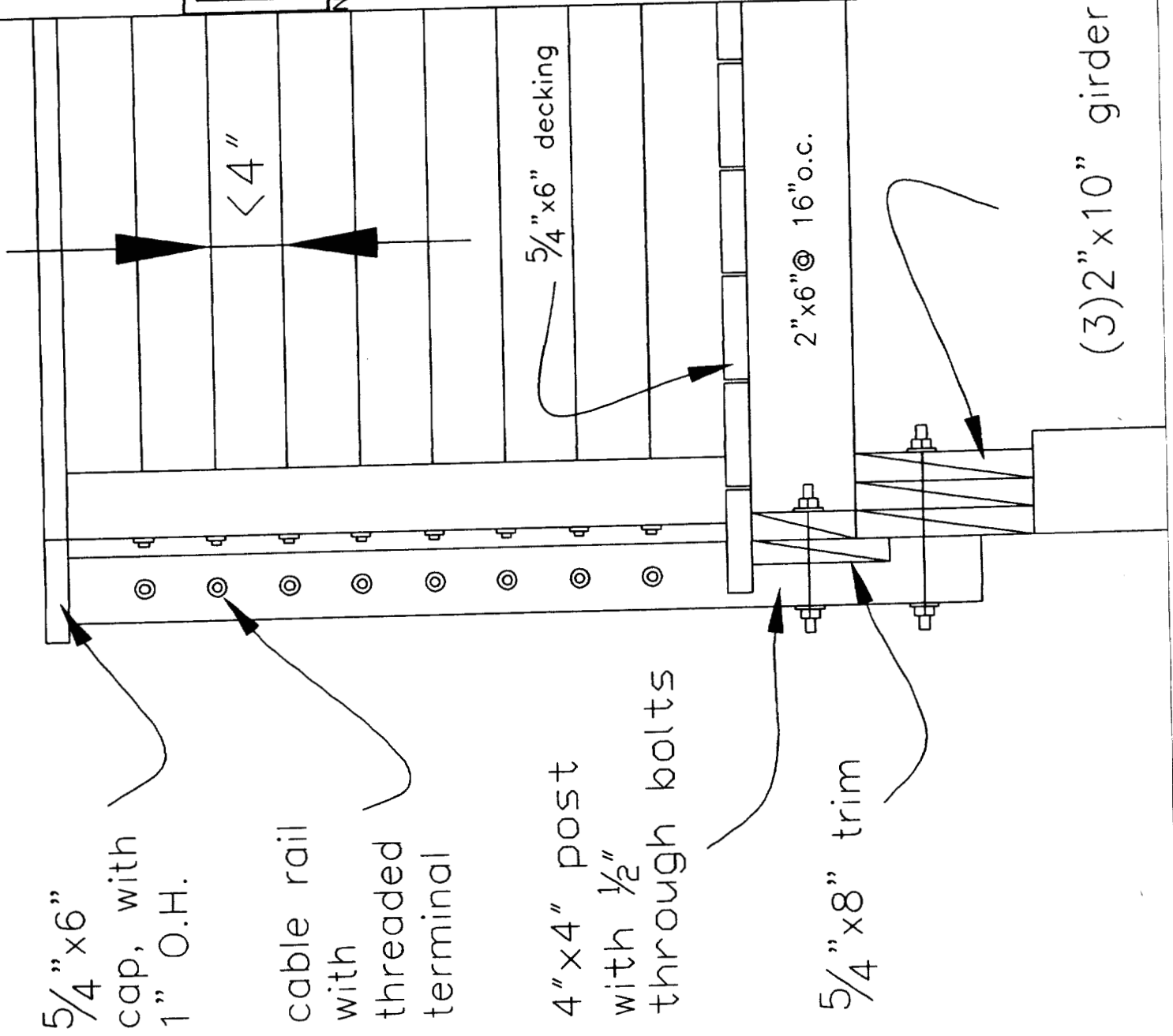
Notes

PROJECT
THOMPSON RESIDENCE

DATE 3.11.04
REVISED

SCALE 1/2"=1'-0"
DRAWN BY

ITEM



5/4" x 6"
cap, with
1" O.H.

cable rail
with
threaded
terminal

4" x 4" post
with 1/2"
through bolts

5/4" x 8" trim

5/4" x 6" decking

2" x 6" @ 16" o.c.

(3) 2" x 10" girder

THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Seventeen

ledger detail

Notes

PROJECT
THOMPSON RESIDENCE

REVISED

DATE 3.11.04

DRAWN BY

SCALE 3"=1'-0"

ITEM

flashing

1/2" through
bolt, staggered
12" o.c.

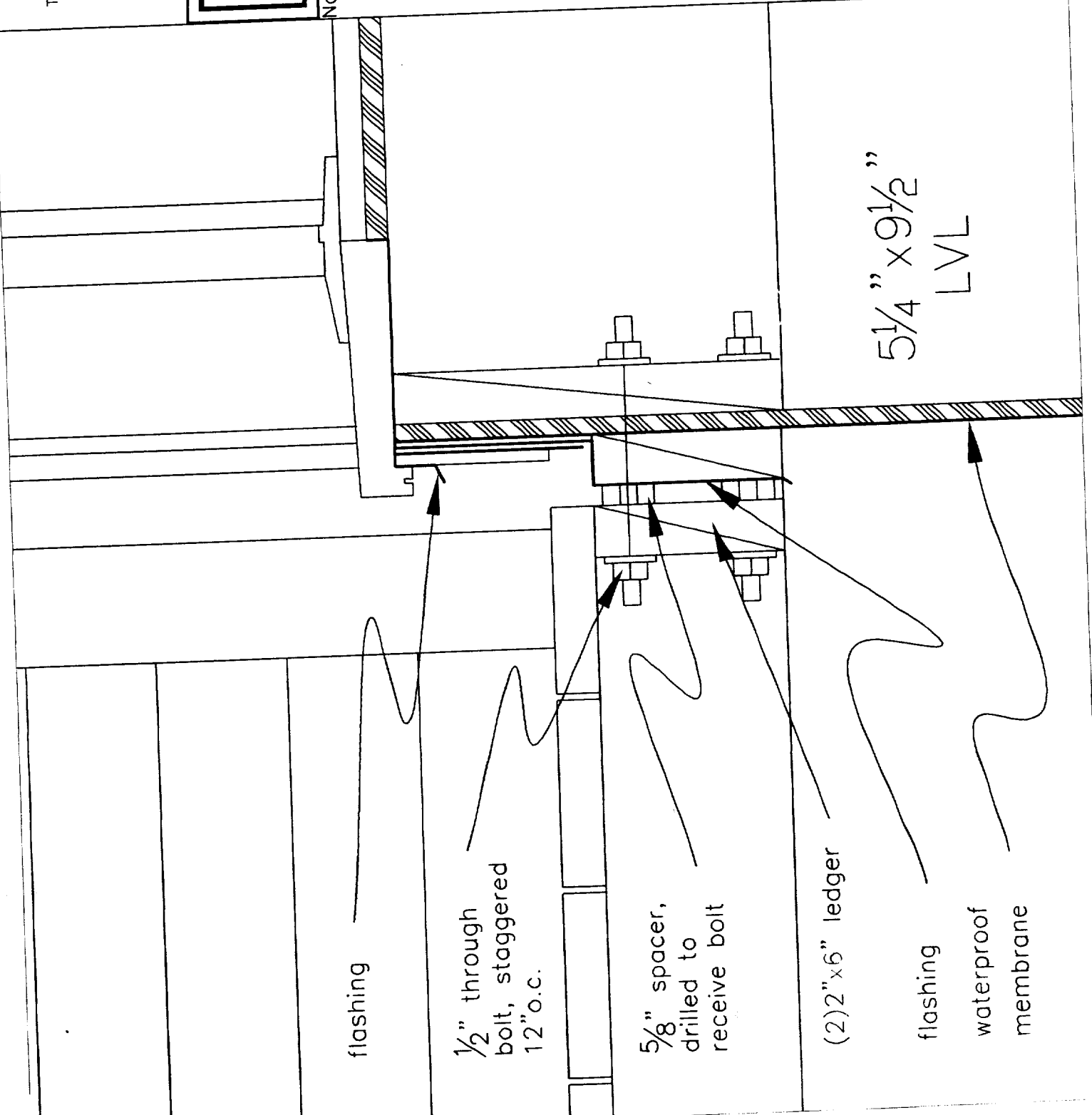
5/8" spacer,
drilled to
receive bolt

(2)2"x6" ledger

flashing

waterproof
membrane

5 1/4" x 9 1/2"
LVL



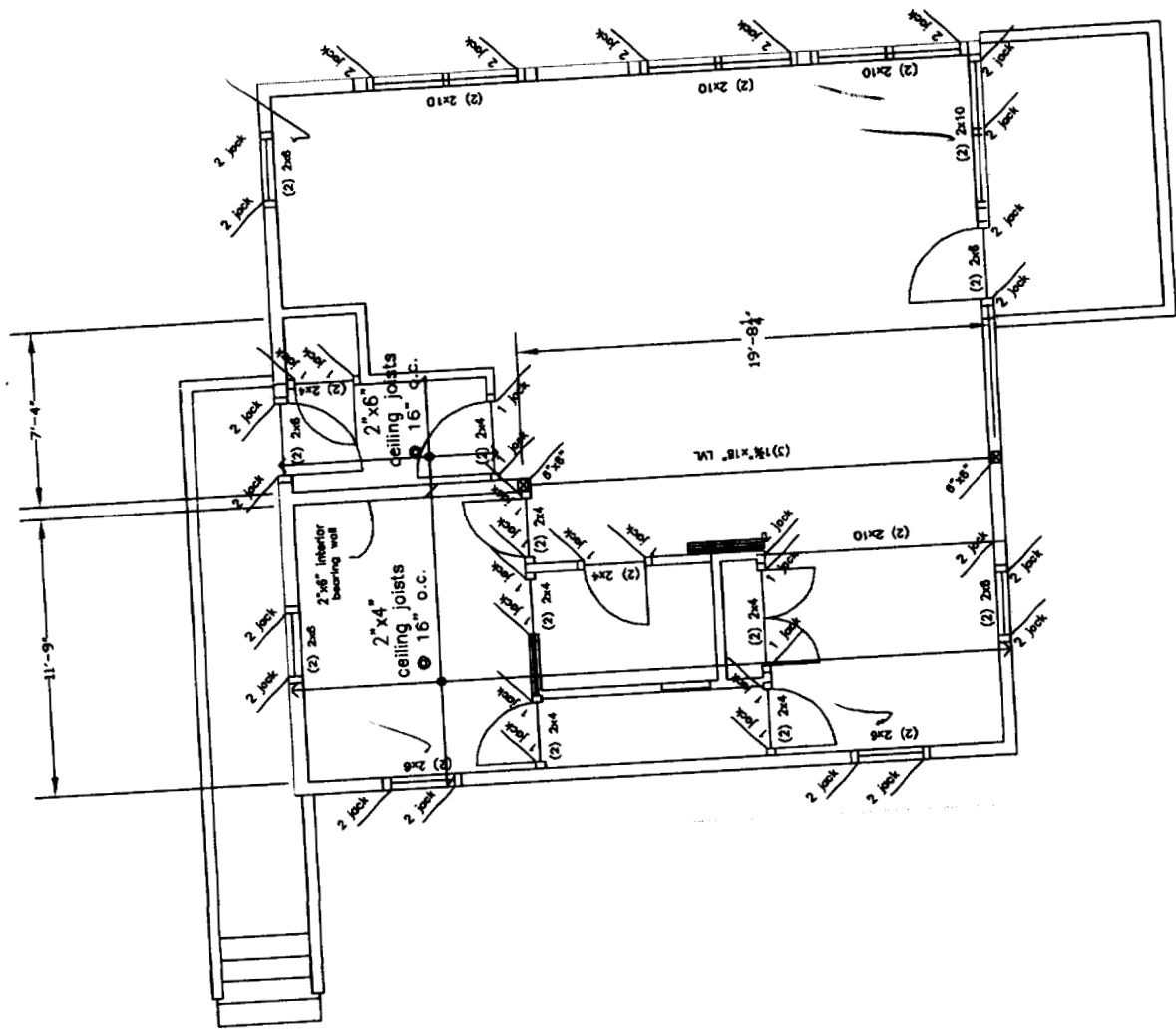
THOMPSON JOHNSON WOODWORKS
115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Ten

CEILING JOIST PLAN

Notes

PROJECT	THOMPSON RESIDENCE	
DATE	3.11.04	REVISED
SCALE	1/8" = 1'-0"	DRAWN BY
ITEM		



THOMPSON JOHNSON WOODWORKS
115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Eighteen

Eave and Window
Flashing Detail

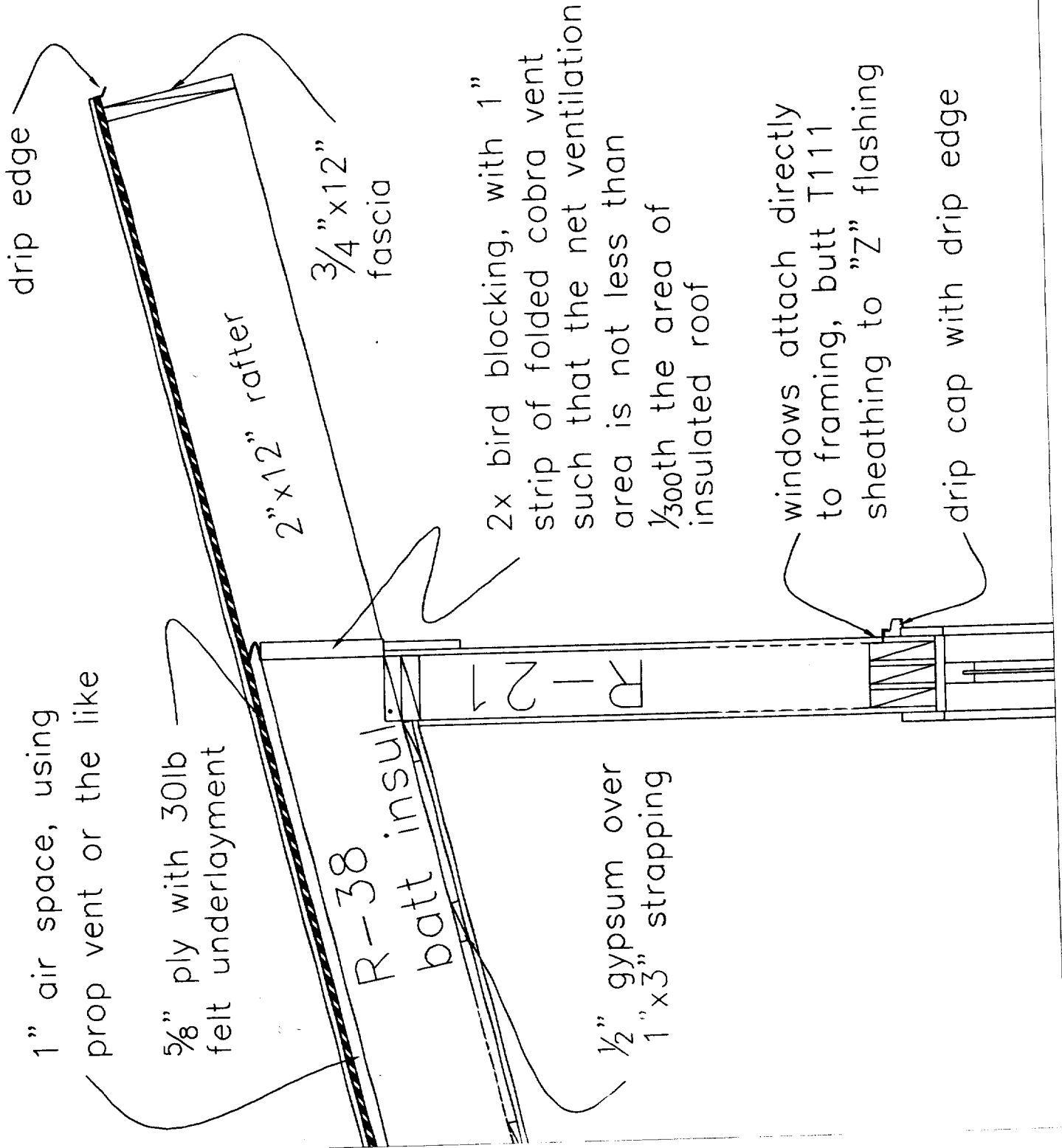
Notes

PROJECT THOMPSON RESIDENCE

DATE 3.11.04
REVISED

SCALE 1"=1'-0"
DRAWN BY

ITEM



THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

Page Two

Notes

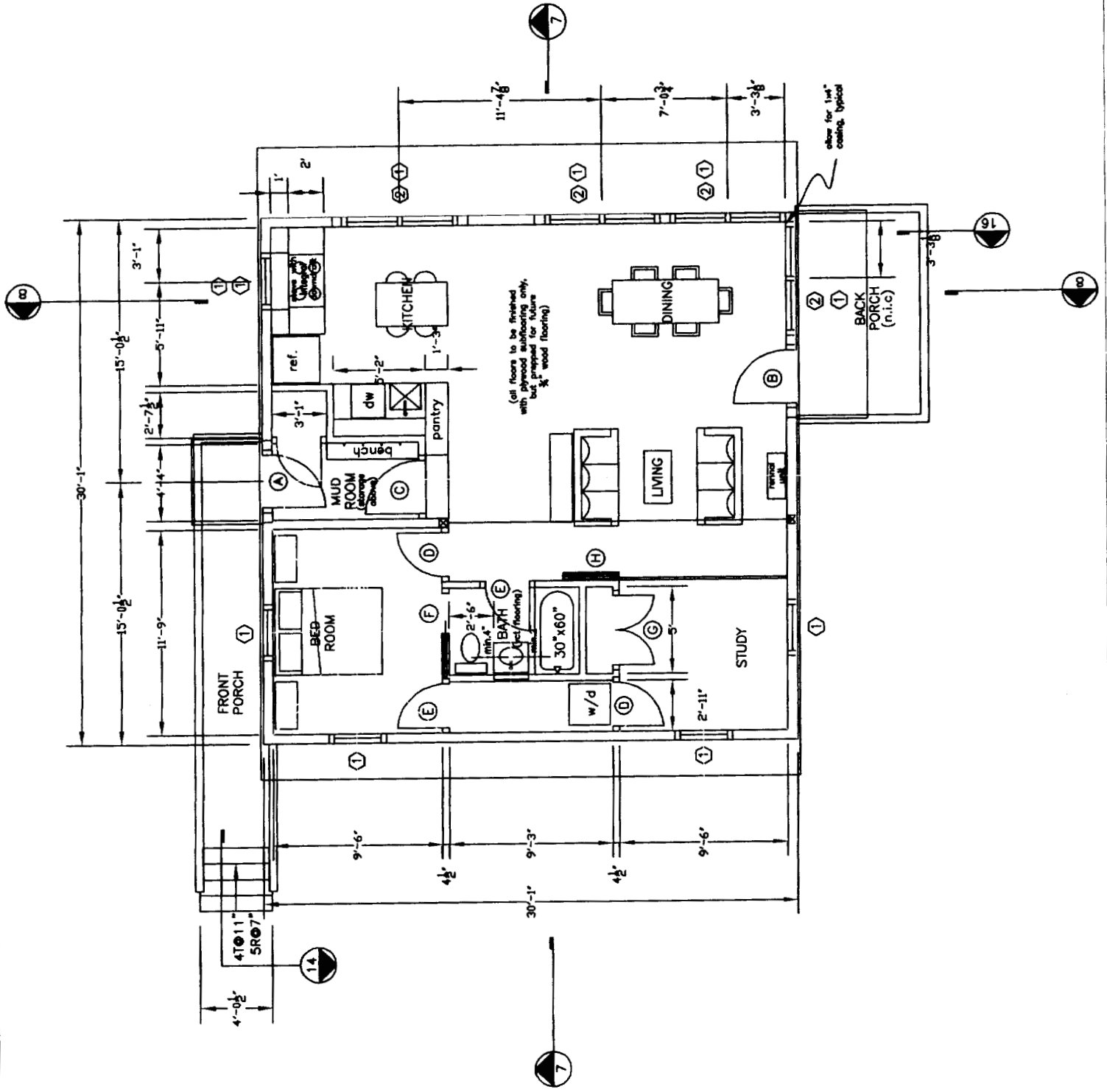
FIRST FLOOR PLAN

PROJECT THOMPSON RESIDENCE

DATE 3.11.04
 REVISIONS

SCALE 1/8" = 1'-0"
 DRAWN BY

ITEM



THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

Page Three

SOUTH ELEVATION

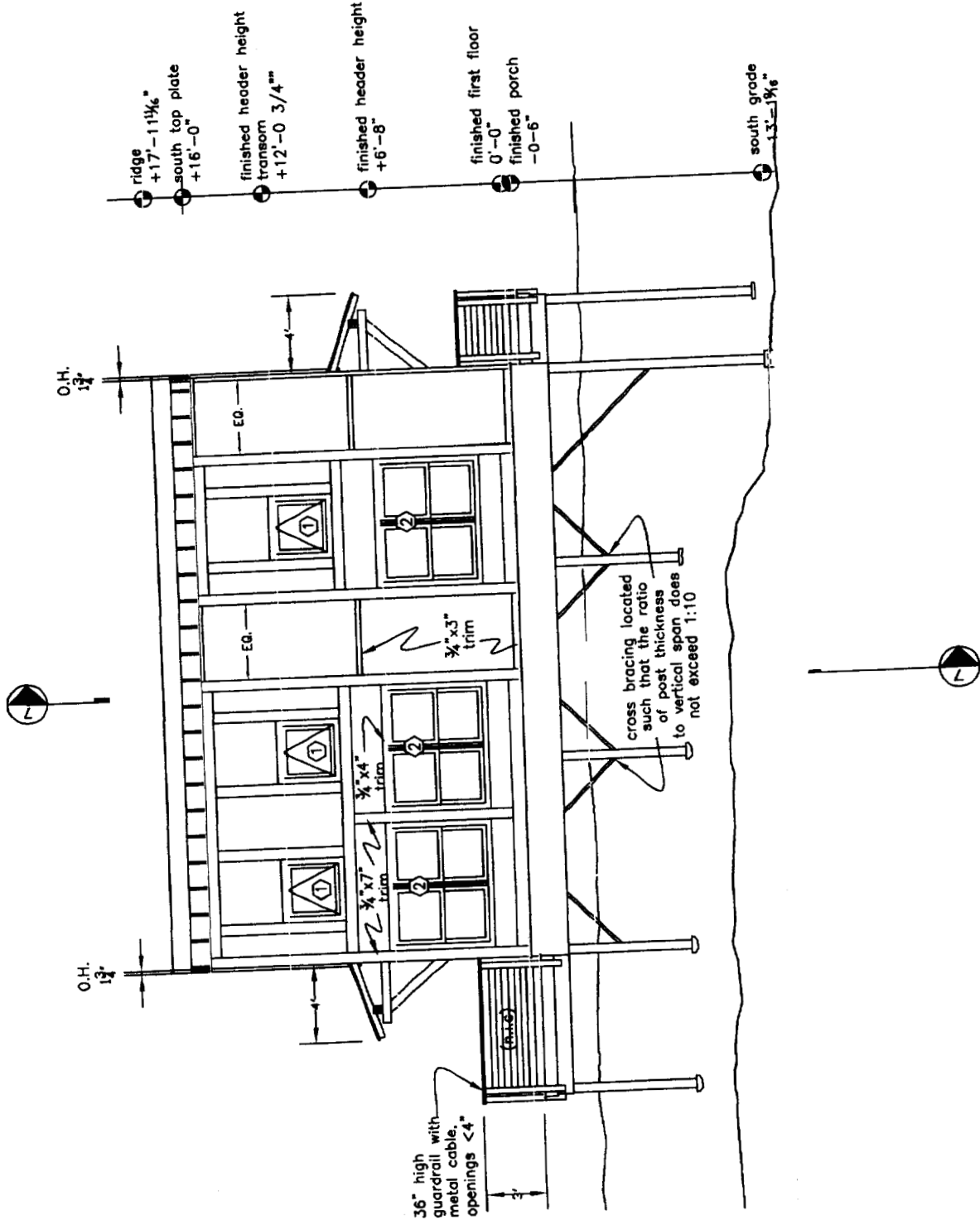
Notes

PROJECT THOMPSON RESIDENCE

DATE 3.11.04 REVISED

SCALE 1/8" = 1'-0" DRAWN BY

ITEM



THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Four

Notes

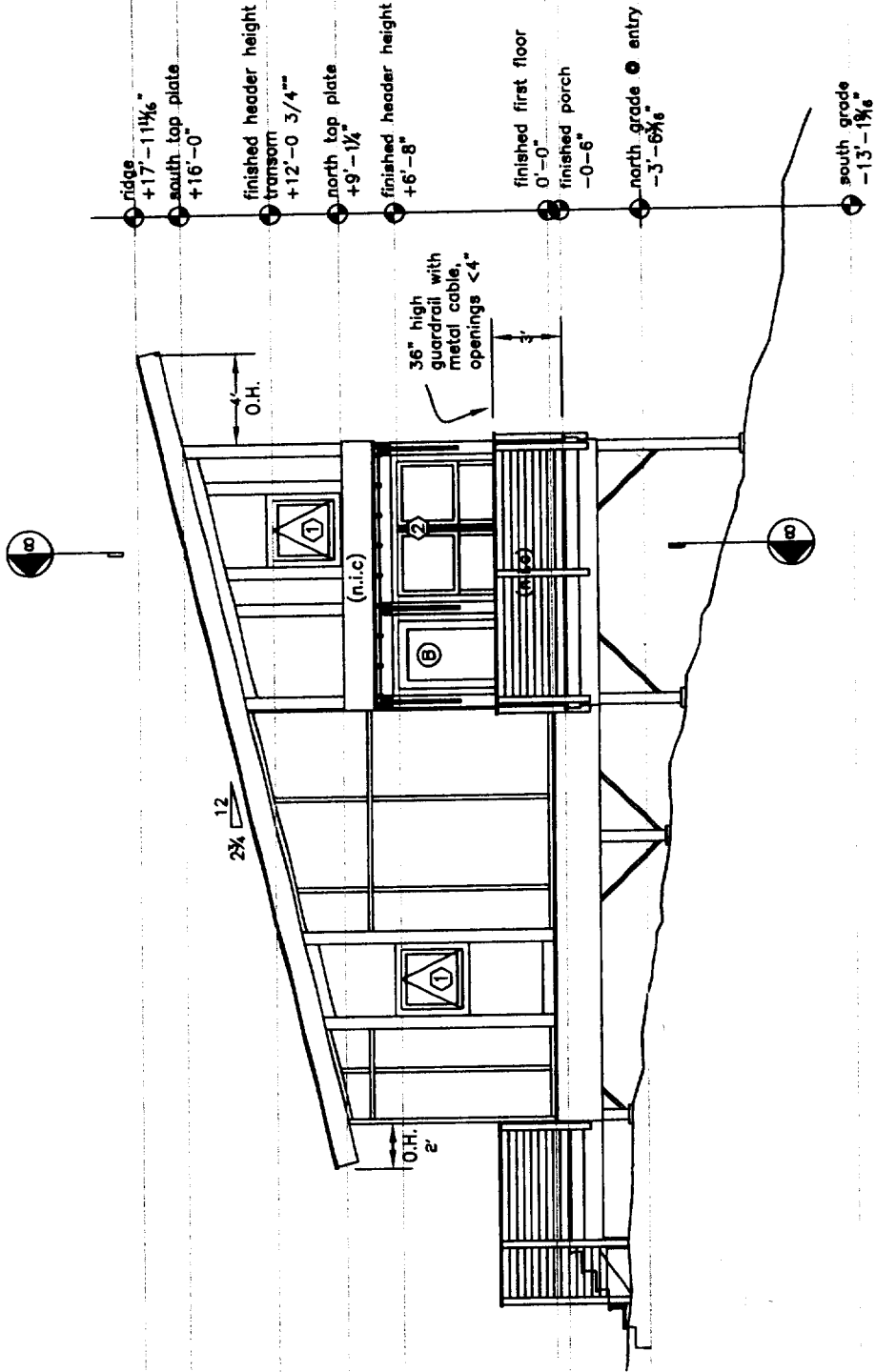
WEST ELEVATION

PROJECT THOMPSON RESIDENCE

DATE 3.11.04 REVISED 4.13.04

SCALE 1/8"=1'-0" DRAWN BY

ITEM



THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Five

Notes

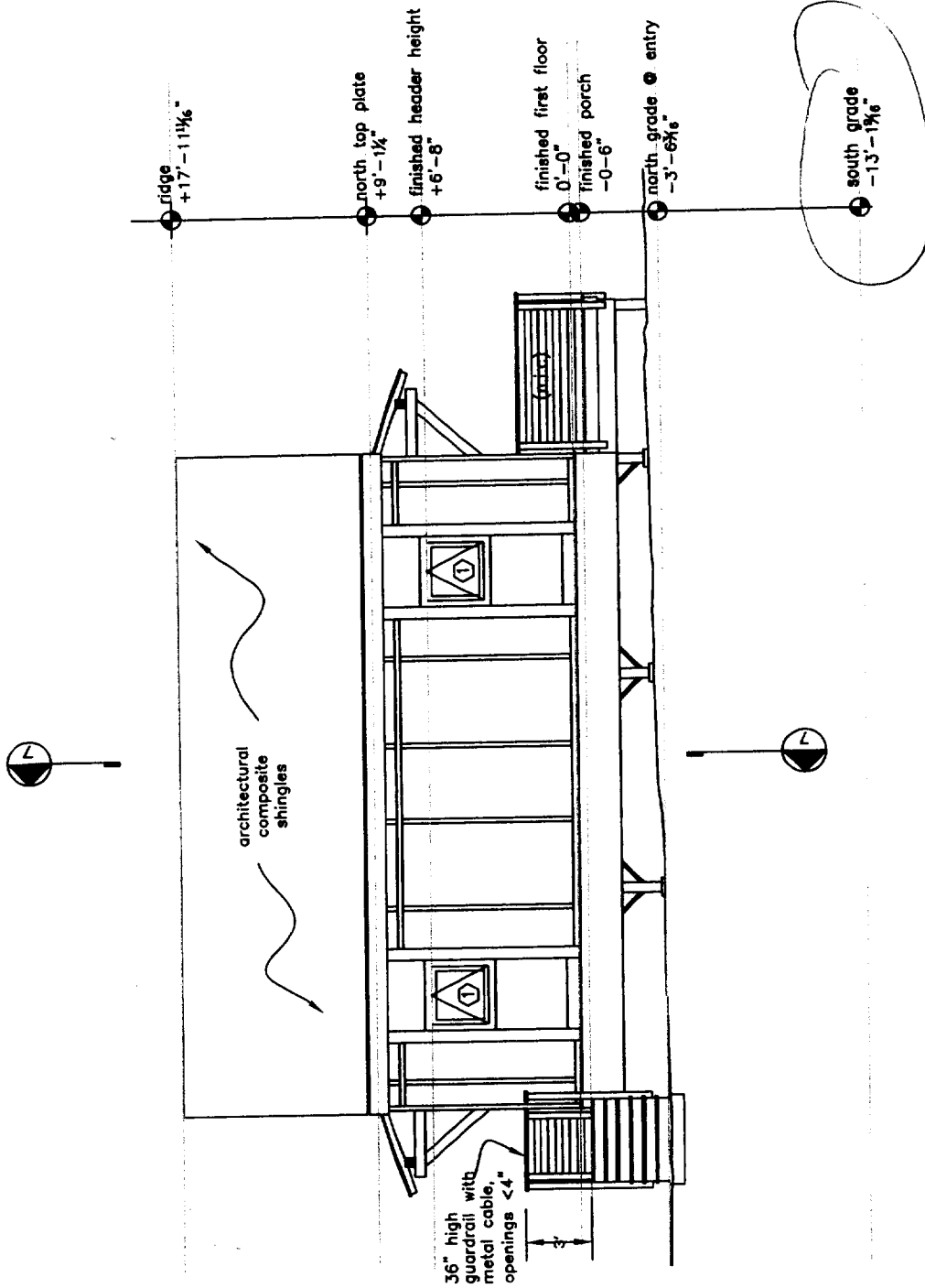
NORTH ELEVATION

PROJECT
THOMPSON RESIDENCE

DATE 3.11.04 REVISED 4.13.04

SCALE 1/8"=1'-0" DRAWN BY

ITEM



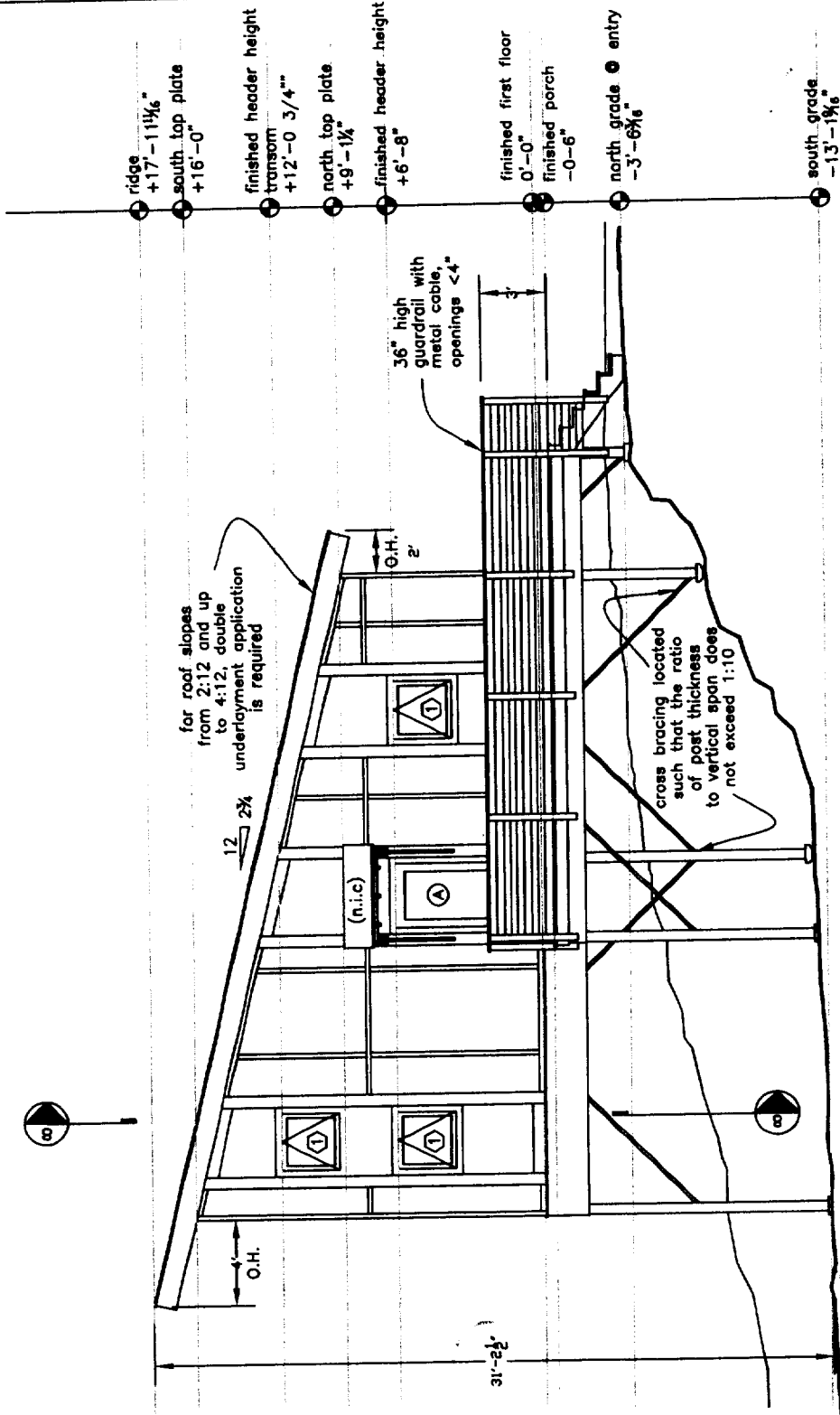
THOMPSON JOHNSON WOODWORKS
 115 ISLAND AVENUE
 PEAKS ISLAND ME 04108
 207.766.5919

Page Six

EAST ELEVATION

Notes

PROJECT THOMPSON RESIDENCE	
DATE 3.11.04	REVISED 4.13.04
SCALE 1/8" = 1'-0"	DRAWN BY
ITEM	



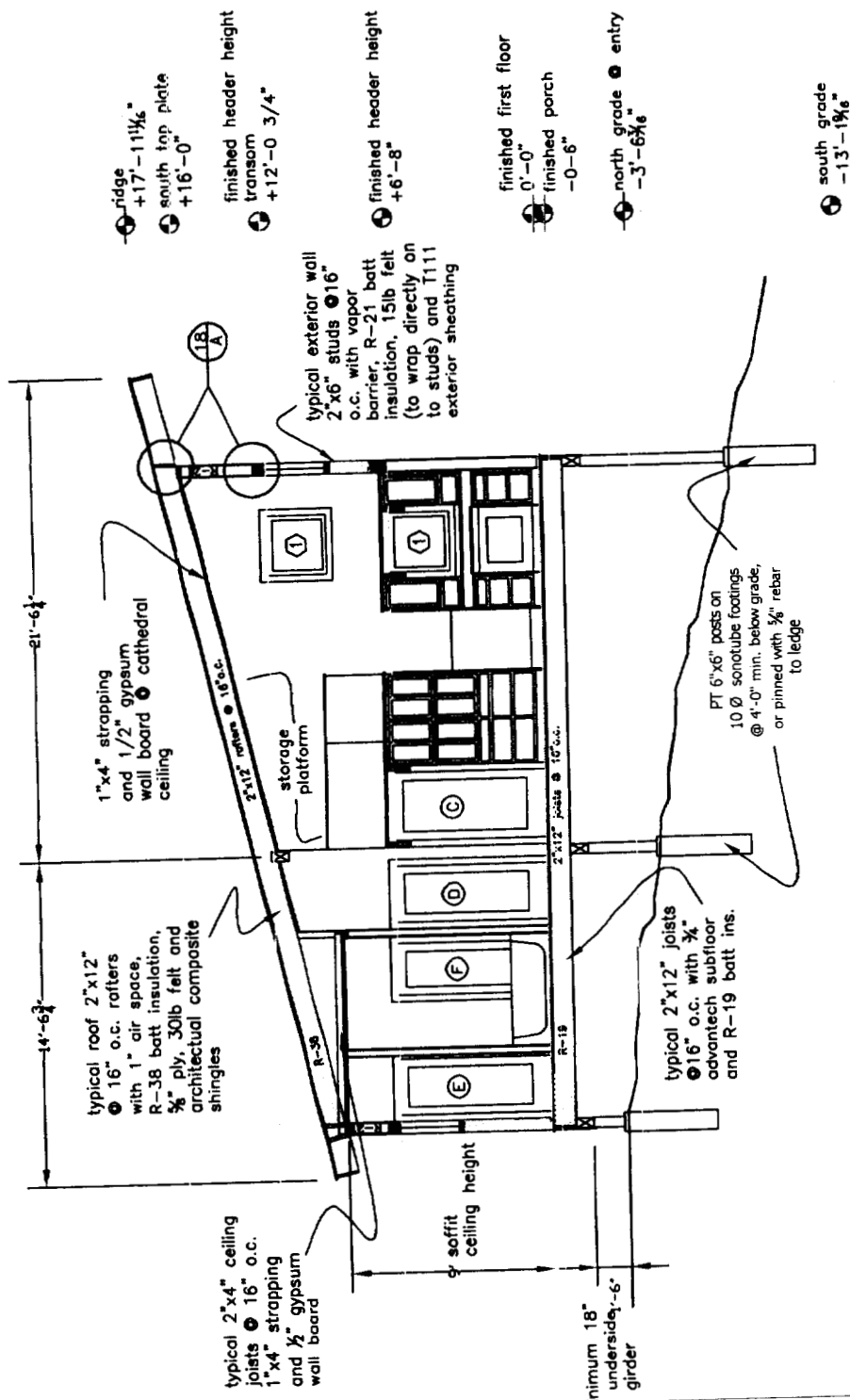
THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Seven

CROSS SECTION NORTH/SOUTH

Notes



PROJECT THOMPSON RESIDENCE	
DATE 3.11.04	REVISED
SCALE 1/8"=1'-0"	DRAWN BY
ITEM	

THOMPSON JOHNSON WOODWORKS

115 ISLAND AVENUE
PEAKS ISLAND ME 04108
207.766.5919

Page Eight

CROSS SECTION
EAST/WEST

Notes

PROJECT
THOMPSON RESIDENCE

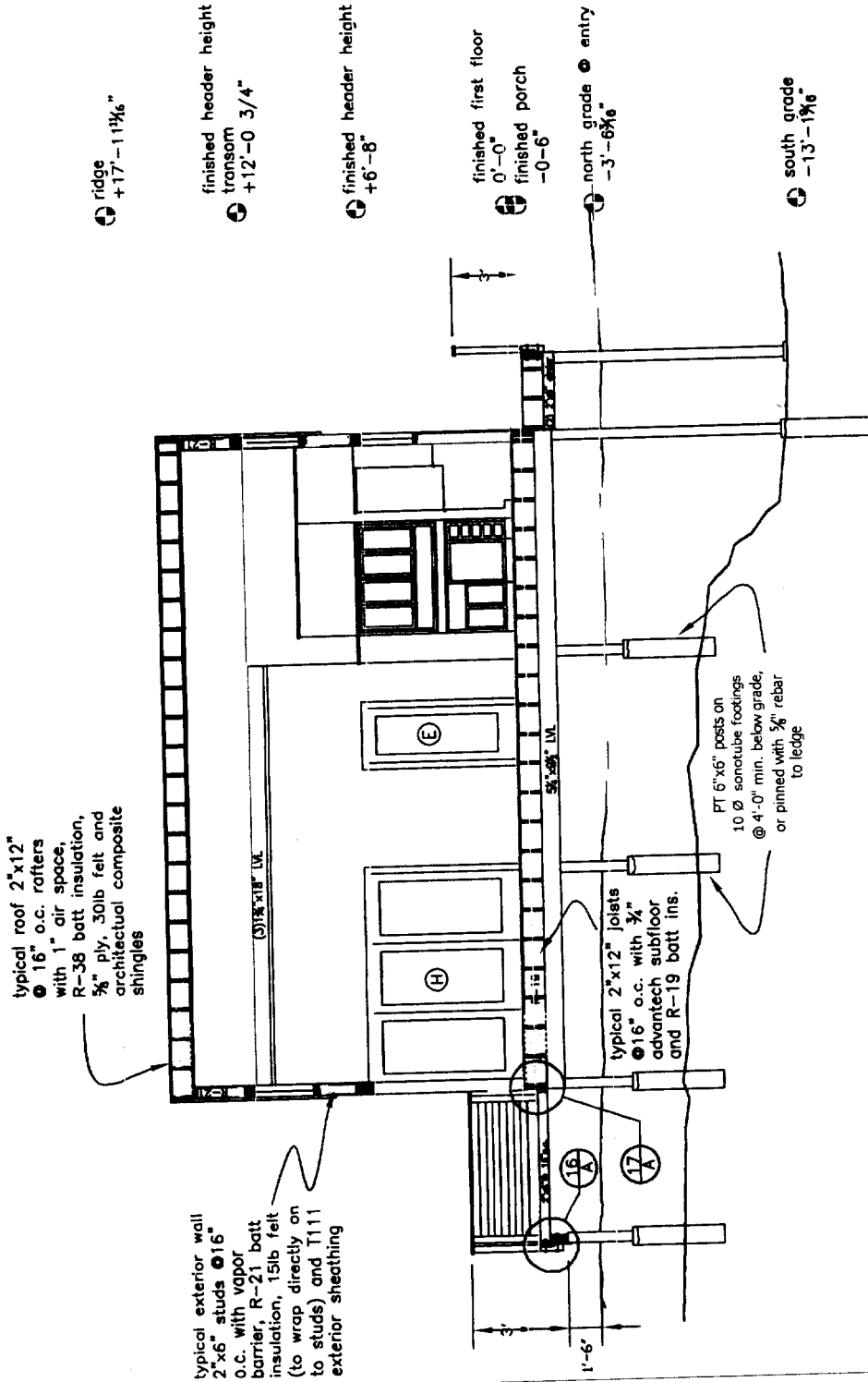
DATE 3.11.04

REVISED

SCALE 1/8"=1'-0"

DRAWN BY

ITEM



typical roof 2"x12"
● 16" o.c. rafters
with 1" air space,
R-38 batt insulation,
3/8" ply, 30lb felt and
architectural composite
shingles

typical exterior wall
2"x6" studs ● 16"
o.c. with vapor
barrier, R-21 batt
insulation, 15lb felt
(to wrap directly on
to studs) and T111
exterior sheathing

typical 2"x12" joists
● 16" o.c. with 3/8"
advantech subfloor
and R-19 batt ins.

PT 6"x6" posts on
10 ∅ sonotube footings
@ 4'-0" min. below grade,
or pinned with 3/8" rebar
to ledge

● ridge
+17'-1 13/16"

finished header height
transom
● +12'-0 3/4"

finished header height
● +6'-8"

finished first floor
0'-0"
finished porch
-0'-6"

north grade ● entry
-3'-6 3/16"

● south grade
-13'-1 1/16"



CITY OF PORTLAND

DEPARTMENT OF PLANNING & URBAN DEVELOPMENT
INSPECTION SERVICES DIVISION

August 27, 1985

Robert Poutenis
39 Tolman Avenue
Shirley, MA. 01464

RE: 88-M-7, 88-M-8, & 88-M-9 Brackett Avenue, Peaks Island, Maine 04108

Dear Mr. Poutenis:

Your three permits to construct a 30' x 32' single family dwelling, as per plans on each of the above lots, are being denied for the following Building Code reasons:

- 1) The estimated contractual cost given for each of these three dwellings was \$10,000.00. This is an extremely low estimate. A more reasonable amount, reflecting the contractual cost must be submitted to this office and additional permit fees paid before further review.
- 2) The one structural plan submitted with 88-M-7 Brackett Avenue does not at all match the elevation plans submitted. The structural plans indicate a salt-box type carriage shed whereas the elevation plans show a full two story, apparently flat roofed building.

The other two dwellings had no structural plans submitted.

This office must have accurate structural plans submitted for each of these buildings for review before a permit can be issued.

If you have any questions regarding this matter, please don't hesitate to call.

Very truly yours,

MARGE SCHMUCKAL
ACTING BUILDING CODE EXAMINER

MS/mlb