

PERMIT ISSUED

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-0663	Issue Date: JUL - 2 2002	EBL: 088 K045001
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Location of Construction: 2 Central Ave Ext	Owner Name: Floyd H Christian &	Owner Address: 2 Central Ave	Phone: 62-2841
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: 2077665219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: TR-1

Past Use: Residence	Proposed Use: Residence	Permit Fee: \$233.00	Cost of Work: \$30,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied N/A	INSPECTION: Use Group: R3 Type: SB BOLA 1999	

Proposed Project Description:
Replace sill and rot - no footprint change.

Signature: *[Signature]*

Signature: *[Signature]*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: jmy	Date Applied For: 06/17/2002	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: 7/2/02	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 7/2/02
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

02-0663

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 2 Central Avenue, Peaks Island, Portland, Me 04108

Total Square Footage of Proposed Structure <u>No change from current structure</u>	Square Footage of Lot
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Tax Assessor's Chart, Block & Lot Chart# <u>088</u> Block# <u>K</u> Lot# <u>045</u>	Owner: <u>Chris and Norma Floyd</u> <u>14 Oxford Street</u> <u>Lexington, Mass. 02420</u>	Telephone: <u>1-781-862-2841</u>
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Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Thompson Johnson Woodworks</u> <u>344 Seashore Ave</u> <u>Peaks Island</u>	Cost Of Estimated Work: \$ <u>30,000.00</u> Fee: \$ <u>233.00</u>
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Current use: Residence

If the location is currently vacant, what was prior use: _____

Approximately how long has it been vacant: _____

Proposed use: _____

Project description: Reconstruction of dry rot in walls and insect damage in north wall of existing structure, Reconstruction and repair of kitchen entry and existing deck at front door. Install vapor barrier in crawl space with crushed stone in one portion of crawl space. Install insulation and vapor barriers as needed in areas of reconstruction.

Contractor's name, address & telephone: Thompson Johnson Woodworks, 344 Seashore Ave., Peaks Island, Portland, Me 04108

Who should we contact when the permit is ready: _____

Mailing address: Same as above

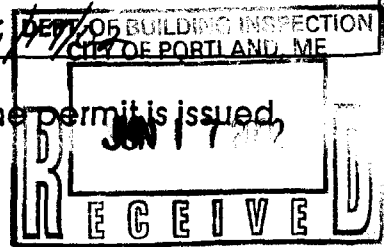
Hand call
766-5219
Phone: 332-4625

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>6/7/78</u>
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This is not a permit, you may not commence ANY work until the permit is issued.



BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8633~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

Re-Bar Schedule Inspection: Prior to pouring concrete

Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X [Signature]
Signature of applicant/designee

7/2/02
Date

[Signature]
Signature of Inspections Official

7/2/02
Date

CBL: 88-K-45 Building Permit #: 02-0663

Thompson Johnson Woodworks
344 Seashore Avenue
Peaks Island
Portland, Maine
04108
Phone (207) 766-5219
Cell Phone (207) 332-4525

June 10, 2002
Estimate

Norma and Chris Floyd, 16 Oxford Street, Lexington, Massachusetts 02420

Step 1- Replace rotted sill at the far end of the house.

a. Remove and dispose of the old siding and sheathing, shoring the wall as needed until the full extent of the water and insect damage is revealed.

b. Shore the wall above the damage with 2'x8' bracing to secure the house while sill is replaced, wall studs are replaced or sistered, and new sheathing with building wrap and siding are replaced.

c. During the process outlined above it may be necessary to rebuild the 4 foot knee-wall that supports the sill.

d. Paint the exterior walls and trim

e. Damage to the interior wall of the two bedrooms will be repaired as a last step in the work on your house.

f. During step 1 each night tarps will be used to cover the work site to prevent additional water damage

g. During reconstruction of the exterior wall fungicides will be used to help prevent rot from developing anew.

Sheathing
- 3/4" Plywood
Exterior Grading
- Sill plate
2x6 P.T.
Knee wall
2x6 studs
- Rim Joist
2x10 Doubled
- Tyvek building
Wrap
- Ply vapor
Barriers.

Approximate time to complete step 1: 4 weeks

Step 2- Replace and repair the sill and sub-flooring under the door in the kitchen, rebuild door jamb, rehang entry door, install door trim, install new storm door, rebuild the front porch and stairs. Reconstruction of the sill and floor in this area will follow in similar manner to step 1.

Wall studs
will be
16" on center

Approximate time to complete step 2: 4 weeks (Although the area to be reconstructed is smaller than the north side of the house, the repair of the floor and the reframing the door will require more detailed and finish work. There is no knee-wall on this side of the house.)

Rim joist
will be
doubled.

Step 3- Install the vapor barrier, crushed stone, and insulation in the crawl space.

a. Remove and dispose of the old insulation and plastic.

b. Clean and prepare the dirt floor and concrete walls to accept the vapor barrier.

c. Install two layers of plastic, using tape and adhesive to close seams in the

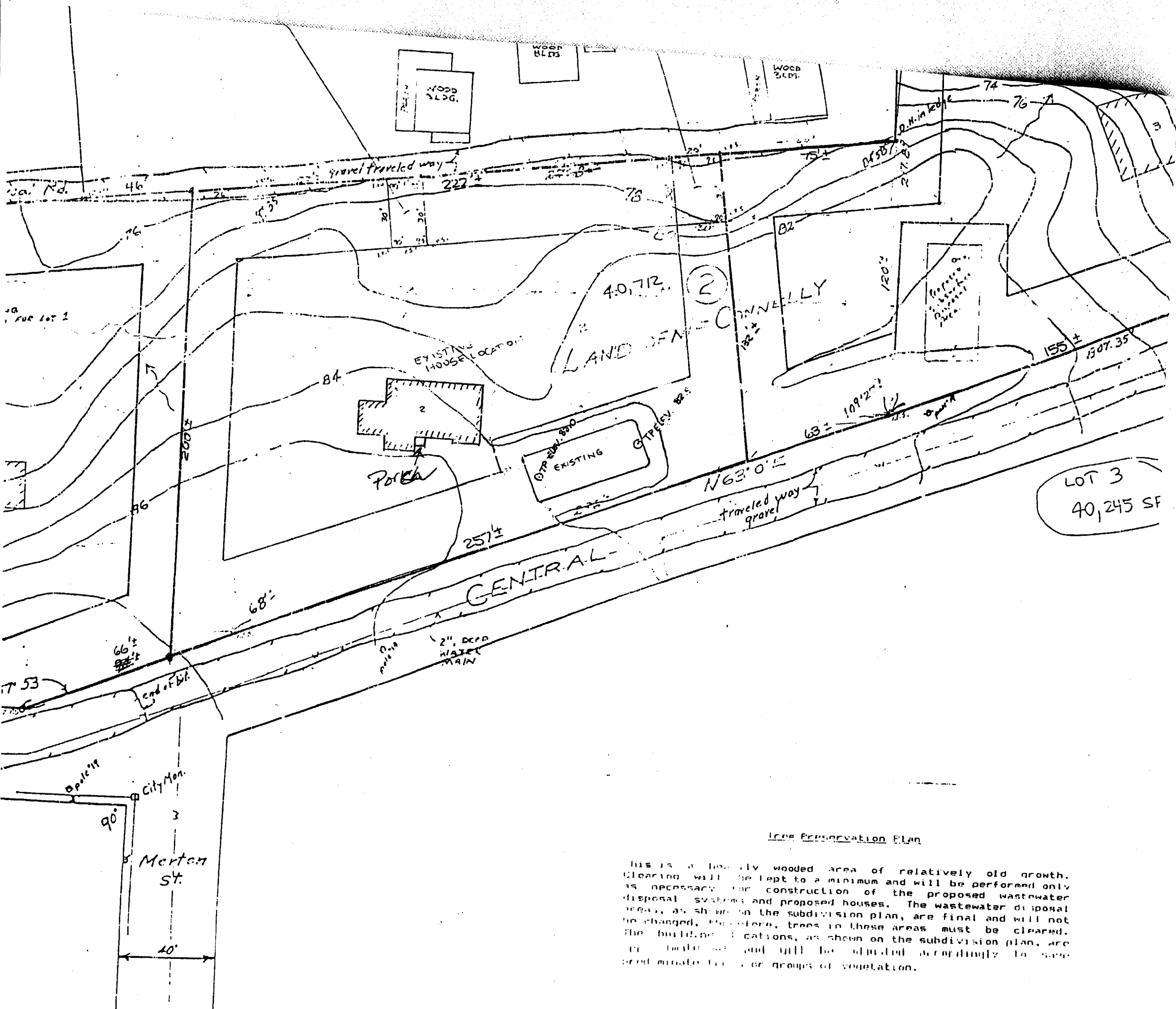
- vapor barrier, attach and seal the vapor barrier to the vertical walls.
- d. Install 2 cubic yards of crushed stone in the area from the fuel tank to the furnace.
 - e. Install insulation in the knee-wall and cover with one layer of vapor barrier.

Approximate time to complete step 3: 2 weeks

Step 4: Improve attic ventilation

- a. Remove and dispose of the old Styrofoam vents.
- b. Install new Styrofoam vents.
- c. Enlarge peak vent

Approximate time to complete step 4: 3 days



Tree Preservation Plan

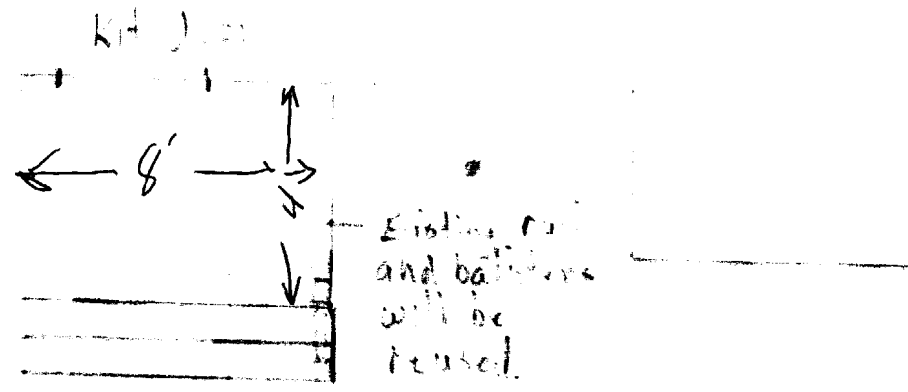
This is a heavily wooded area of relatively old growth. Clearing will be kept to a minimum and will be performed only as necessary for construction of the proposed wastewater disposal system and proposed houses. The wastewater disposal area, as shown on the subdivision plan, are final and will not be changed, therefore, trees in these areas must be cleared. The building locations, as shown on the subdivision plan, are final and will be situated accordingly to accommodate trees or groups of vegetation.



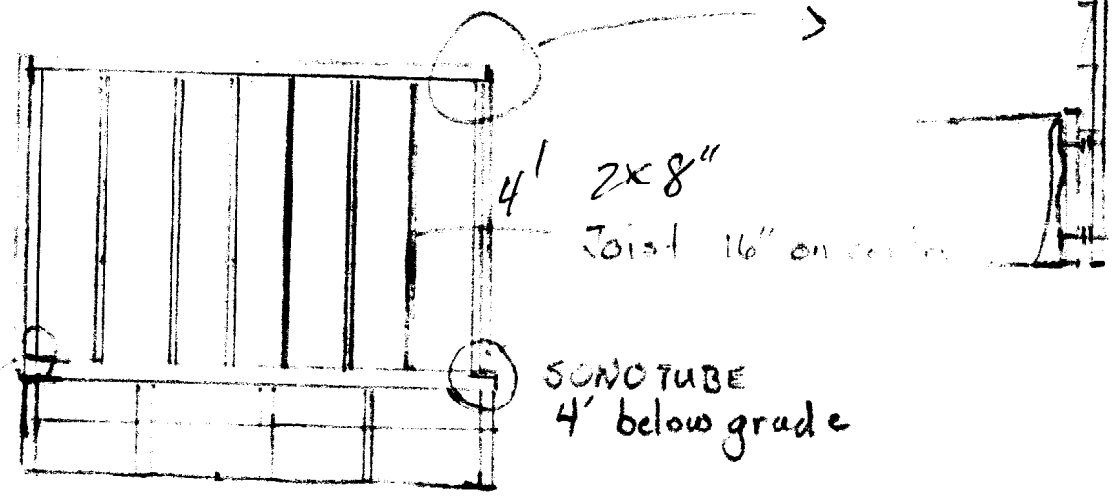




Deck will be built to the dimensions of the
 existing deck



2x8 members
 5/4 decking and string
 treads
 Joist hangers will be
 used to carry the
 boards



10" Tread
 7" Rise

SONOTUBE
 4' below
 grade

2 Central Ave.
 Peaks Island