



9/23/04 - Set backs & framing checked by  
Jodine A. - OK to proceed. TM

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>146 Ledgewood Rd. Pealus Island</u>		
Total Square Footage of Proposed Structure <u>16x16 (256)</u>	Square Footage of Lot <u>1/2 acre (22,000 sq ft)</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>80</u> Block# <u>K</u> Lot# <u>30</u>	Owner: <u>Arn Pearson + Mary Lou Wendell</u>	Telephone: <u>766-0951</u>
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: <u>Same</u>	Cost Of Work: <u>\$10,000</u> Fee: \$
Current use: _____		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>storage shed/workshop</u>		
Project description: <u>we are tearing down a shed and rebuilding it, only larger and moved slightly.</u>		
Contractor's name, address & telephone: <u>Self</u>		
Who should we contact when the permit is ready: <u>Arn Pearson</u>		<b>OCT 13 2004</b>
Mailing address: <u>146 Ledgewood Rd. Pealus Island, ME 04108</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>766-0951</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

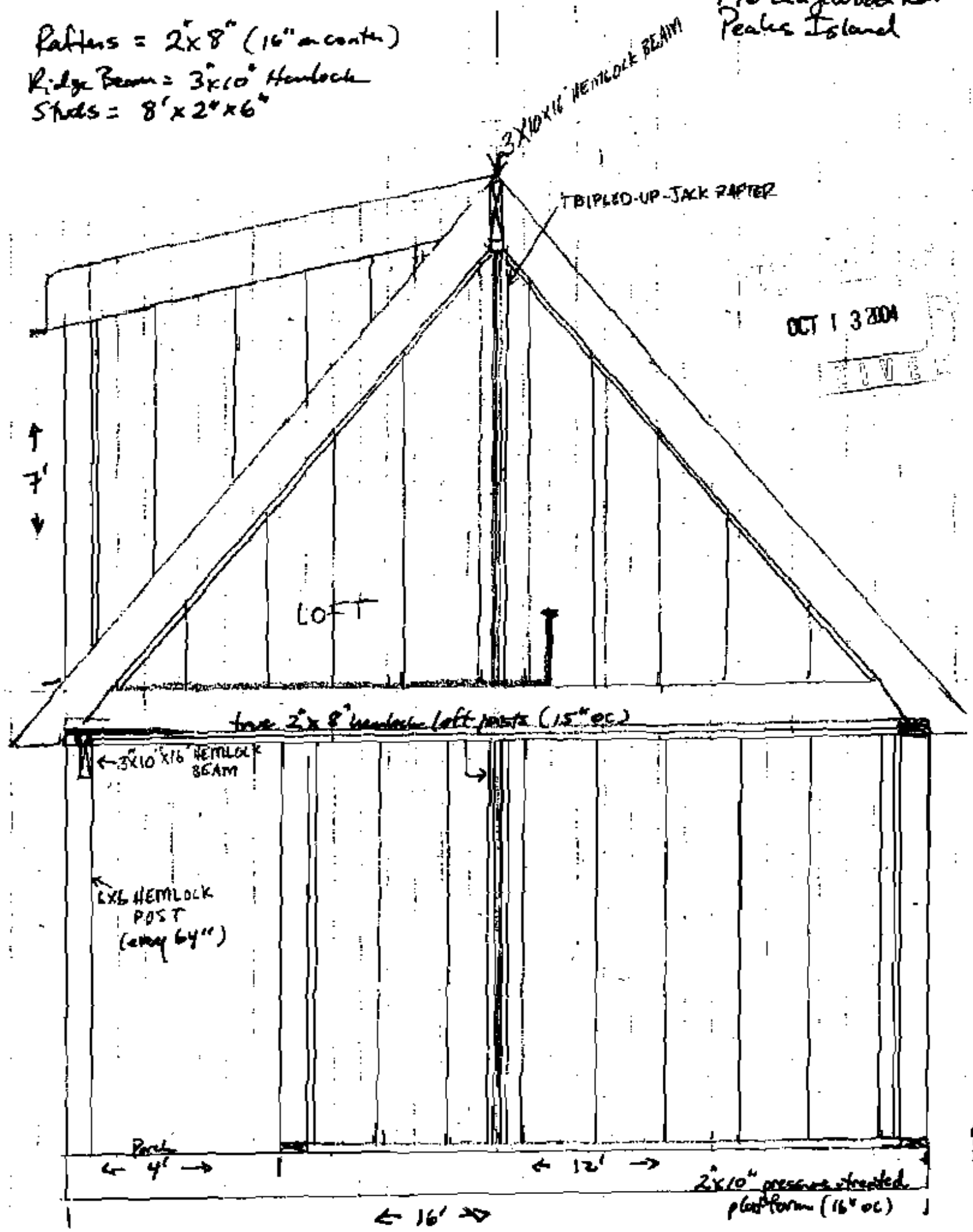
*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Arn H. Pearson</u>	Date: <u>9/21/04</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall**

146 Ledgewood Rd.  
Peaks Island

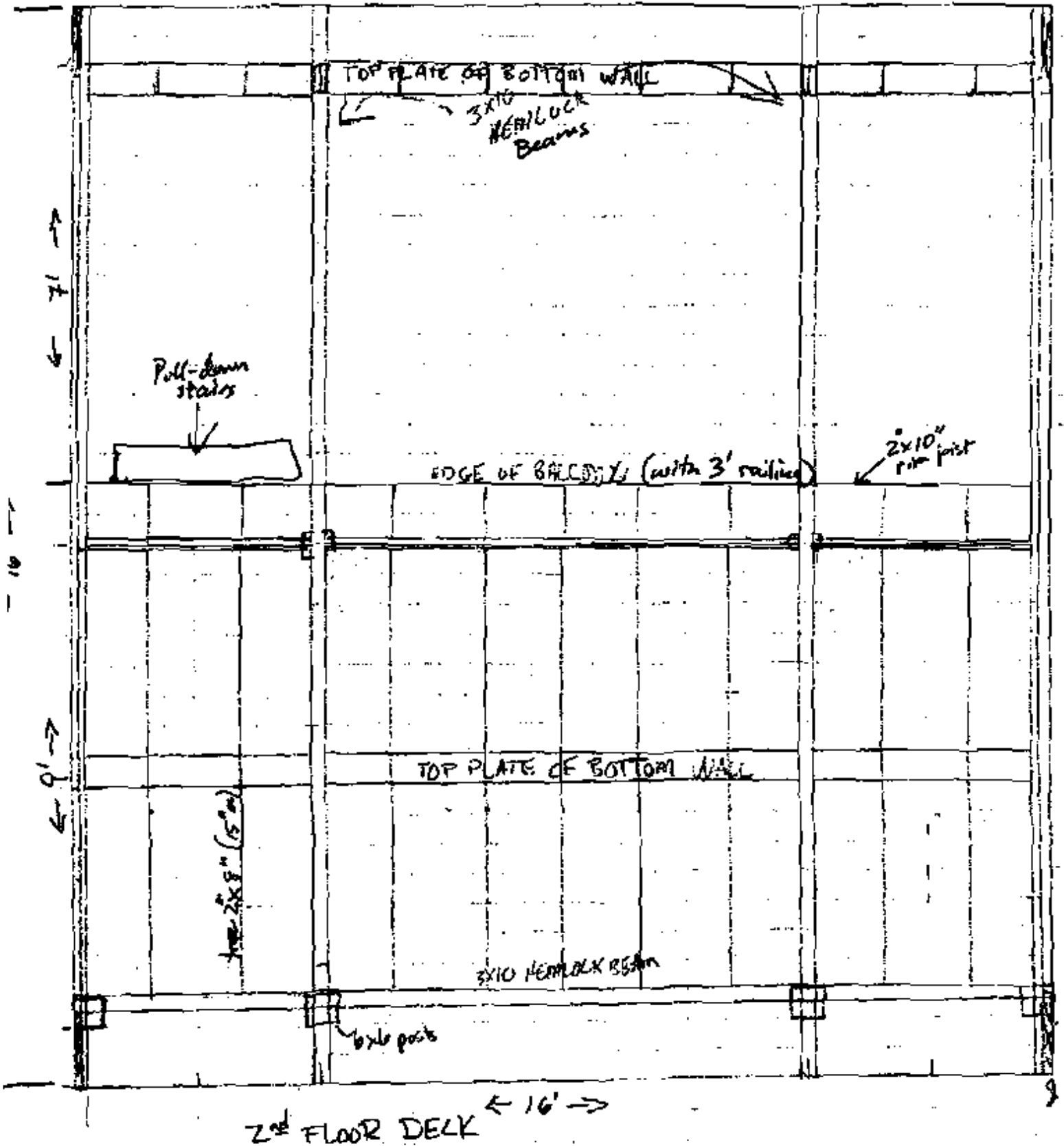
Rafters = 2" x 8" (16" on center)  
Ridge Beam = 3" x 10" Hemlock  
Studs = 8' x 2" x 6"



17 studs

OCT 13 2004

BEVE



OCT 13 2004

BACK

X-bracing between posts

2x10 PT

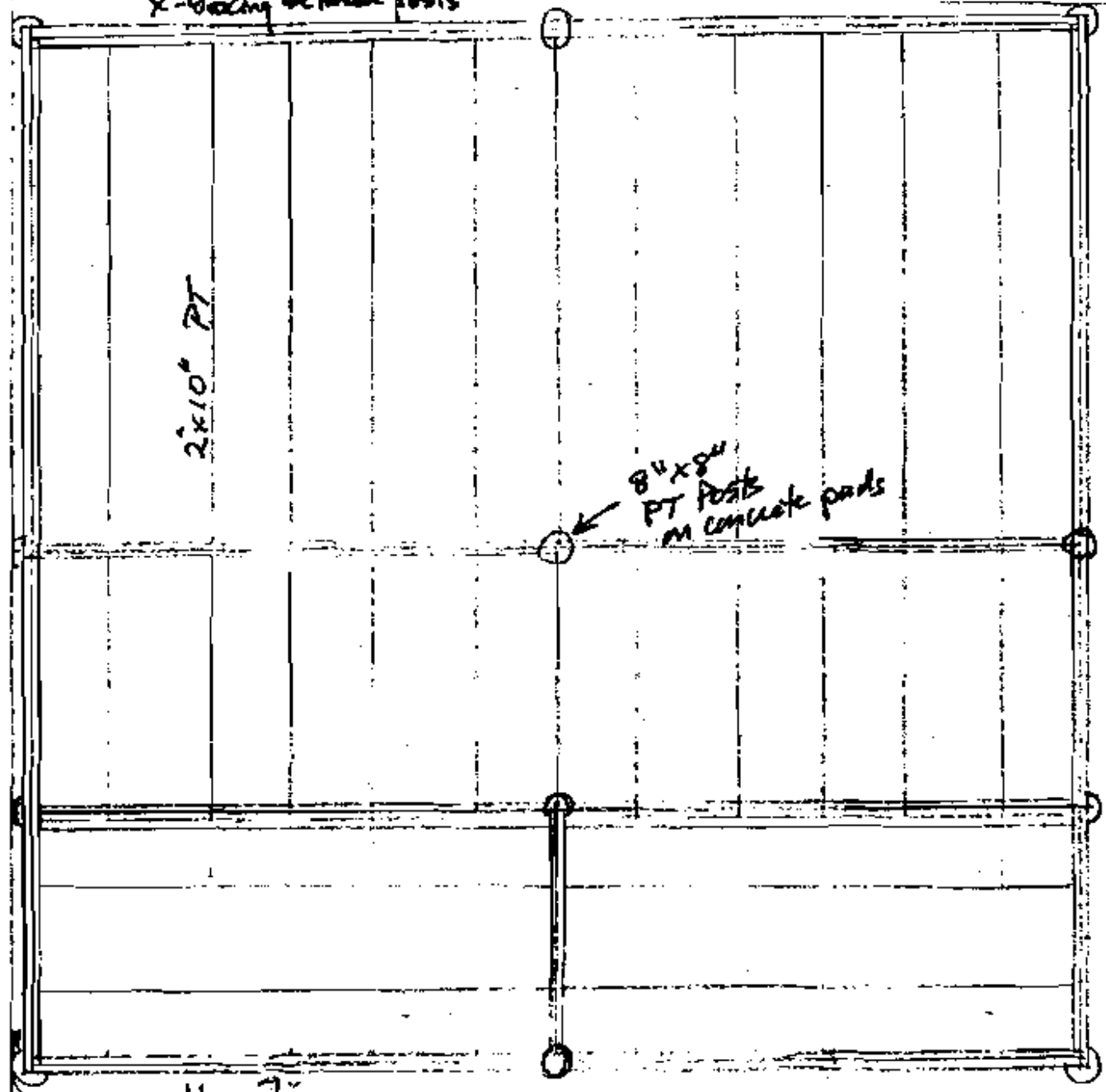
8x8 PT post  
on concrete pads

PT ribbon

- 3 PT 2x6x16
- 1 PT 2x10x8
- 13 PT 2x10x16
- 2 KD 2x10x16
- 17 KD 2x10x8

FOUNDATION &  
DECK

FRONT



# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- OK Done by Jodine*  
\_\_\_\_ Footing/Building Location Inspection: Prior to pouring concrete
- \_\_\_\_ Re-Bar Schedule Inspection: Prior to pouring concrete
- \_\_\_\_ Foundation Inspection: Prior to placing ANY backfill
- done by Jodine*  
\_\_\_\_ Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- \_\_\_\_ Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

\_\_\_\_ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

\_\_\_\_ **CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

\_\_\_\_\_  
Signature of Applicant/Designee

\_\_\_\_\_  
Date

\_\_\_\_\_  
Signature of Inspections Official

\_\_\_\_\_  
Date

CBL: \_\_\_\_\_

Building Permit #: \_\_\_\_\_

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 04-1406	Date Applied For: 09/21/2004	CBL: 088 K036001
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Location of Construction: 146 Ledgewood St	Owner Name: Pearson Arn H &	Owner Address: 146 Ledgewood Rd	Phone:
Business Name:	Contractor Name: no contractor / self	Contractor Address: Portland	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Sheds	

Proposed Use: single family - build 16' x 16' shed	Proposed Project Description: build 16' x 16' shed
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Dept: Zoning      Status: Approved with Conditions      Reviewer: Tammy Munson      Approval Date: 10/15/2004

Note: Ok to Issue:

1) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals

Dept: Building      Status: Approved      Reviewer: Tammy Munson      Approval Date: 10/15/2004

Note: Ok to Issue:

**Comments:**

9/21/04-trmm: Met over the counter - information inadequate - went over what is required. Owner said he'd resubmit.

10/15/04-trmm: owner resubmitted info - ok to issue.

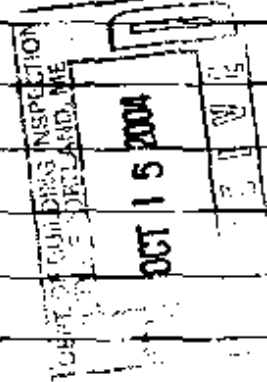


Post-It Fax Note	7871	Date	10/15	# of Pages	1
To	T. Conway	From	ACA	Co.	
Co./Dept.		Phone #	232-4870	Fax #	
Phone #					
Fax #	824-0716				

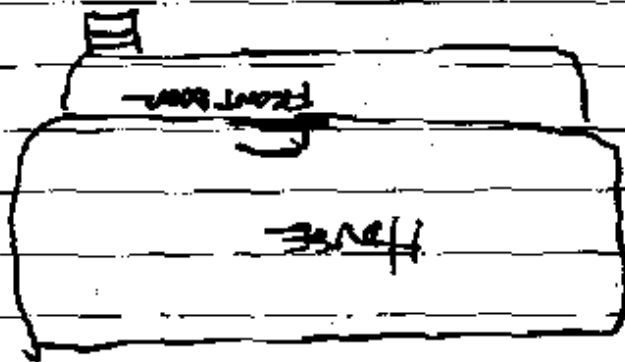
Wedgewood

180

90



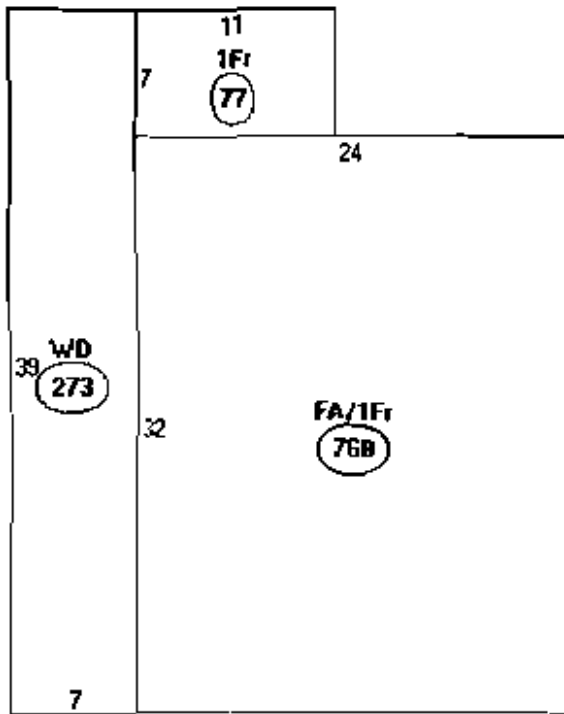
90



170

Plot DRAWING FOR 146 LEDGEMOOD RD.

84



Descriptor/Area

A: FA/1Fr  
768 sqft

B: WD  
273 sqft

C: 1Fr  
77 sqft

*Front - 730'*  
*Rear - 20'*  
*Sides - 20%*  
*Lot cov. - 20%*



# CITY OF PORTLAND, MAINE

Department of Building Inspections

10/13/2004

Received from Ann Pearson

Location of Work 146 Ledgewood

Cost of Construction \$ 10,000

Permit Fee \$ 111

Building (I1)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other \_\_\_\_\_

CBL: 0800-12-0356

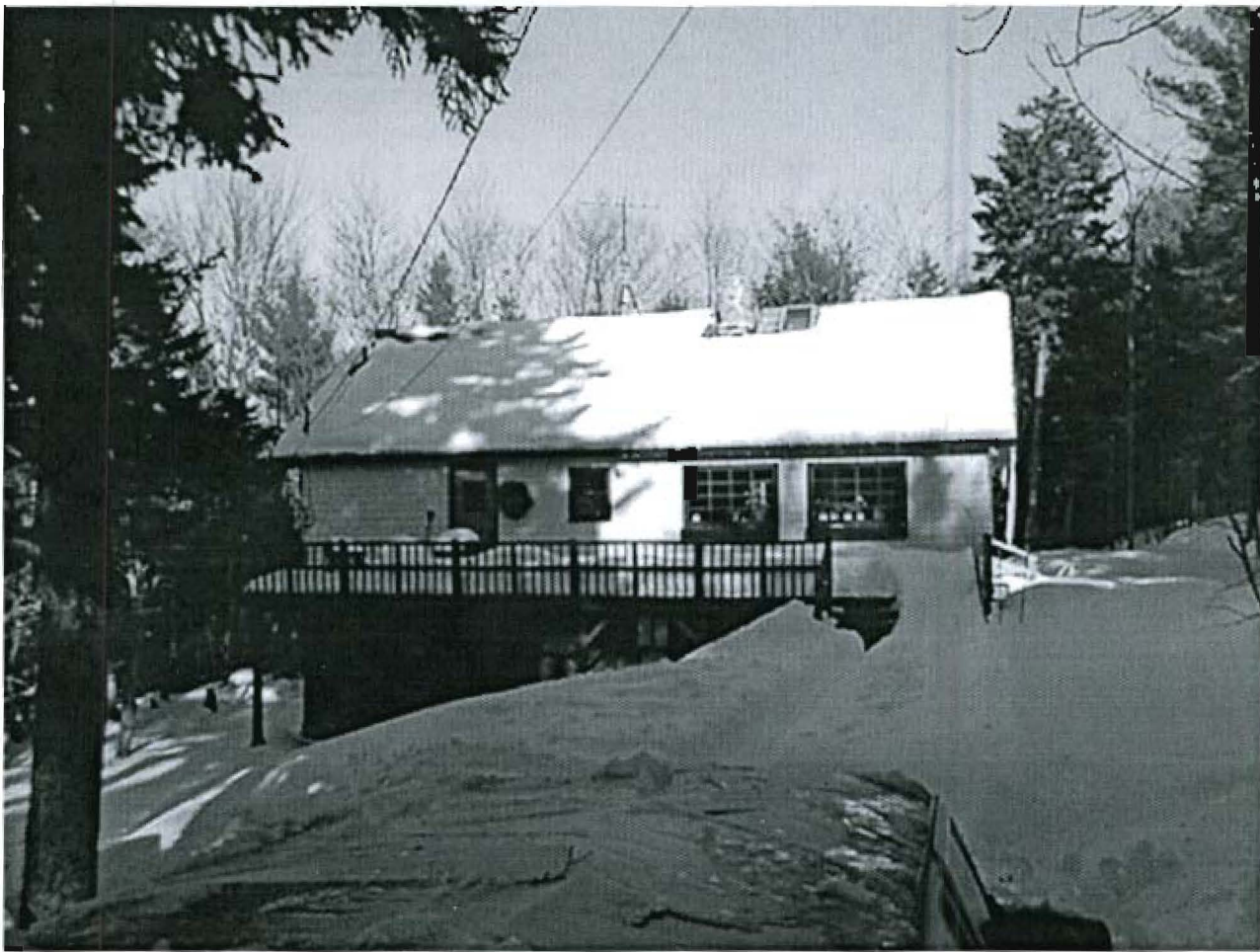
Check #: 39411

Total Collected \$ 111.00

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

### Current Owner Information

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	088 K036001
<b>Location</b>	146 LEDGEMOOD ST
<b>Land Use</b>	SEASONAL
<b>Owner Address</b>	PEARSON ARN H & MARY LOU WENDELL JTS 146 LEDGEMOOD RD PEAKS ISLAND ME 04468
<b>Book/Page</b>	15683/102
<b>Legal</b>	88-K-36-37-41 LEDGEMOOD RD PEAKS ISLAND 23287 SF

### Valuation Information

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$23,000	\$49,770	\$72,770

### Property Information

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1972	Cape	1	1152	0.535	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
1	1		4	Full Finsh	Pier/slab

### Outbuildings

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
GARAGE-WD/CB	1	1950	24X24	D	A
SHED-FRAME	1	1950	12X10	D	A

### Sales Information

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
06/25/2000	LAND + BLDING	\$169,000	15683-102
05/02/2000	LAND + BLDING	\$157,000	15449-029
05/01/1994	LAND + BLDING		11448-154

### Picture and Sketch

[Picture](#)

[Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



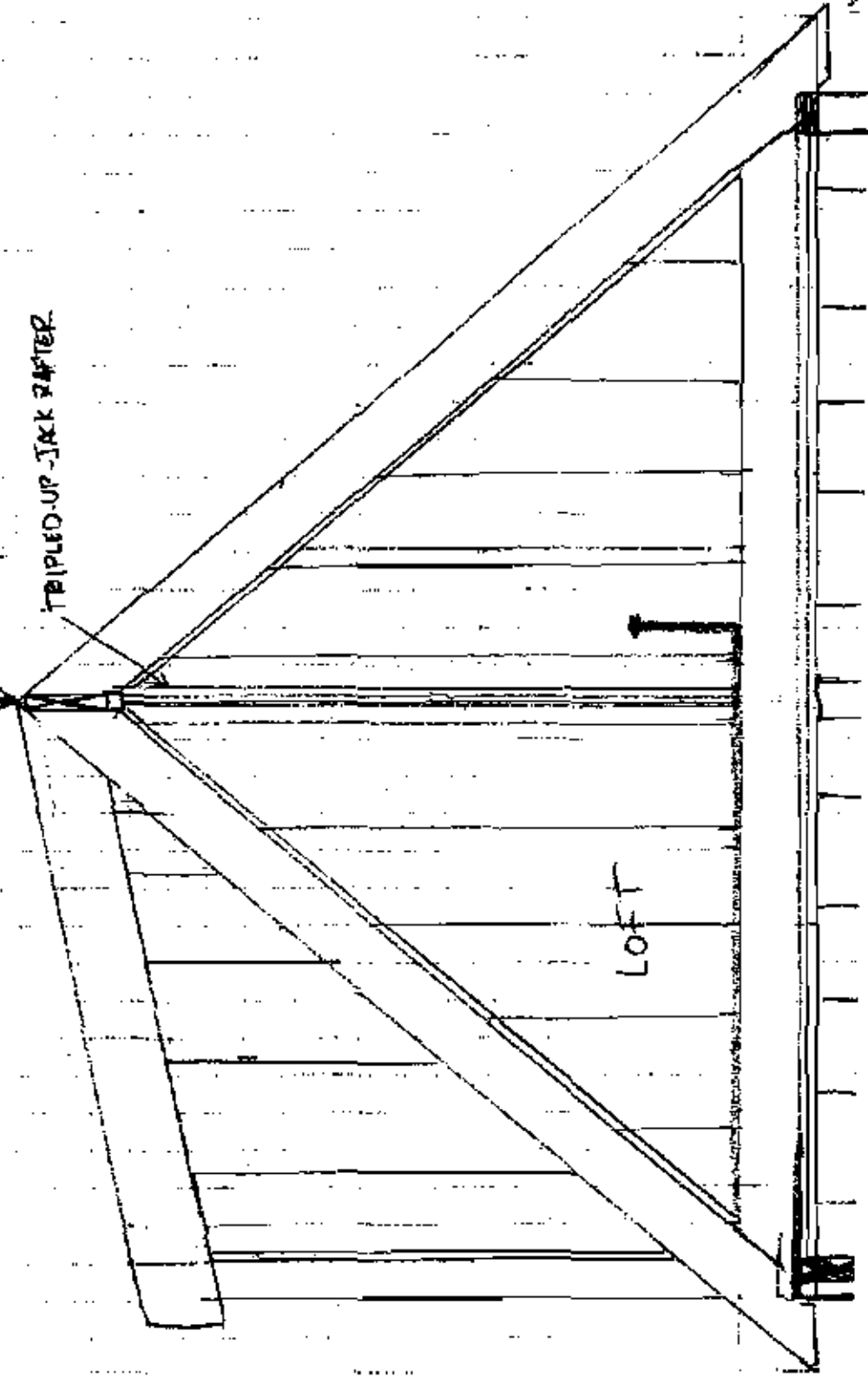
# RAFTERS/WALLS

- 22 2X8X16 RAFTERS
- 10 2X8X16 DORMER RAFTERS
- 22 2X6X10 GABLE WALLS
- 18 2X6X8 WALLS DORMER
- 3 2X6X12 TOP/BOTTOM PLATE DORMER
- 2 2X6X12 GABLE WALL PLATES

5X10X12 NETWORK BEAM

TRIPLED-UP JACK RAFTER

LOFT



price 1100 (including materials)

Notes:

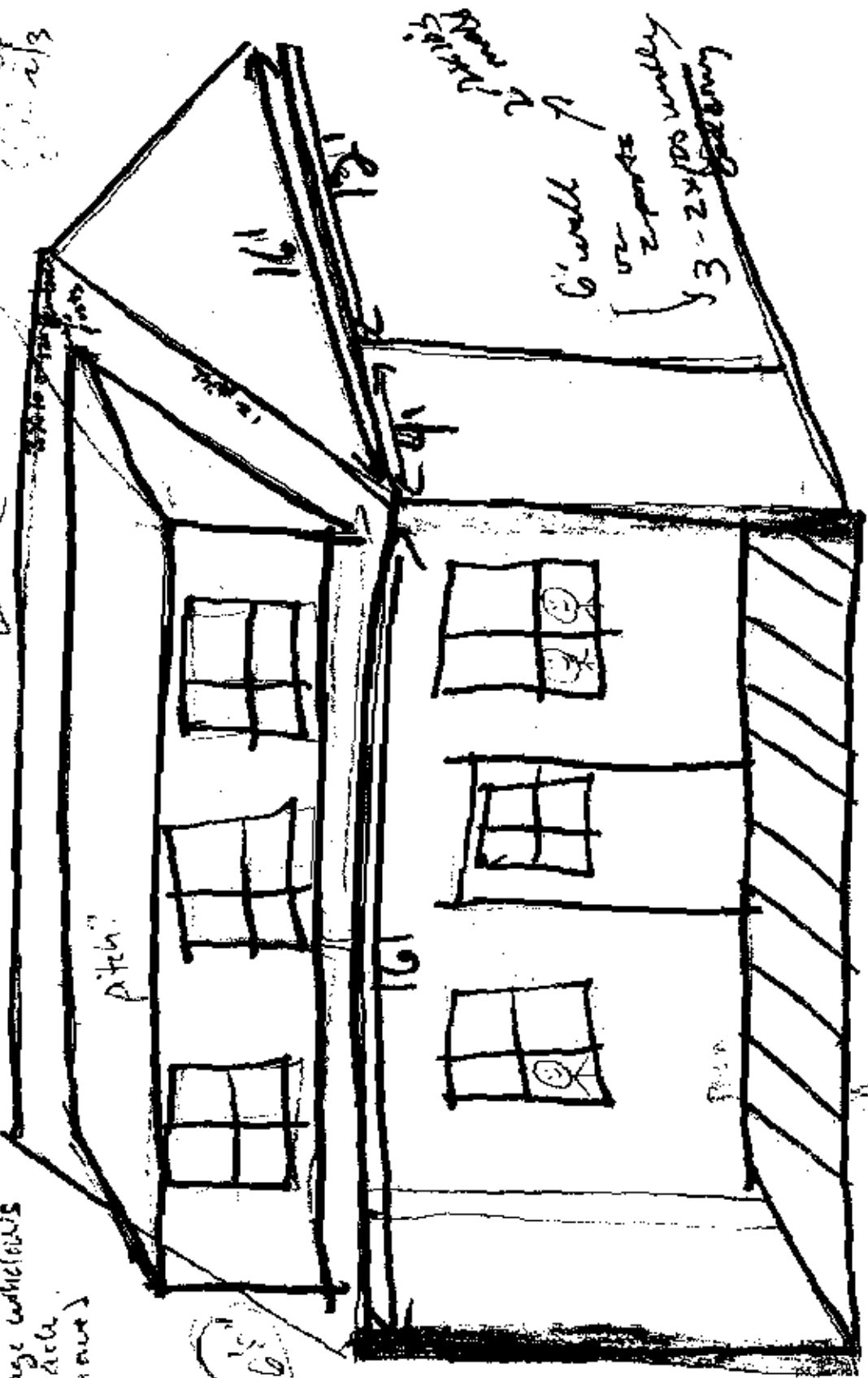
- No knee wall
- No exterior balcony
- Option for wood stove
- Salvage windows in back (see house)

Bob's call 233-2887

wood sheetrock

2x4 @ 16" o.c.  
2x6 @ 16" o.c.

16' x 16'  
2x6  
ceiling  
tree  
2x4 @ 16" o.c.



wood stairs  
6' wall  
2x4 @ 16" o.c.  
3-2x4 @ 16" o.c. ceiling

Front

(we changed our minds again once we saw her dra

need adjust

16'8" (inc 2' posts)

*Not Paid*

Print	14282	New	41406
04-1406	146	Lodgewood St	09/21/2004
Hold	Steds		
088 K036001	2	\$10,000.00	
09/21/2004			
09/28/2004			