

160 UPPER A STREET RESIDENCE

PEAKS ISLAND, MAINE

OWNER

SUSAN BERRY
3222 DeSoto Street
New Orleans, LA 70119

DESIGNER

PAUL NELSON
422 Island Ave
Peaks Island, ME 04108

ENGINEER

CASCO BAY ENGINEERING
424 Fore Street
Portland, ME 04101

ABBREVIATIONS

AFF	ABOVE FINISHED FLOOR
BLDG	BUILDING
BO	BOTTOM OF
CHM	CHIMNEY
CLG	CEILING
CLST	CLOSET
DR	DOOR
D/W	DISHWASHER
DWG	DRAWING
FFE	FINISHED FLOOR ELEVATION
FL	FLOOR
FND	FOUNDATION
GC	GENERAL CONTRACTOR
GWB	GYPSPUM WALL BOARD
INSUL	INSULATION
MFGR	MANUFACTURER
MAX	MAXIMUM
MIN	MINIMUM
MISC	MISCELLANEOUS
M.O.	MASONRY OPENING
OC	ON CENTER
PNT	PAINTED
PT	PRESSURE TREATED
REF	REFRIGERATOR
REQ	REQUIRED
RM	ROOM
R.O.	ROUGH OPENING
SIM	SIMILAR
STRL	STRUCTURAL
TO	TOP OF
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
U.D.	UNIT DIMENSION
VIF	VERIFY IN FIELD
WD	WOOD

DRAWINGS

BOUNDARY SURVEY

ARCHITECTURAL DRAWINGS

A1	BASEMENT PLAN, FIRST FLOOR PLAN, NOTES, MATERIALS, ALLOWANCES
A2	SECOND FLOOR PLAN, ROOF PLAN, DOOR SCHEDULE
A3	REFLECTED CEILING PLANS/POWER PLANS
A4	EXTERIOR ELEVATIONS, SCHEDULES, NOTES
A5	SECTIONS, SECTION DETAILS, NOTES
A6	SECTIONS
A7	STAIR SECTIONS

STRUCTURAL DRAWINGS

S0	STRUCTURAL NOTES
S100	FOUNDATION AND FIRST FLOOR FRAMING PLAN
S101	SECOND FLOOR AND ROOF FRAMING PLAN
S200	FRAMING DETAILS
S201	FRAMING DETAILS



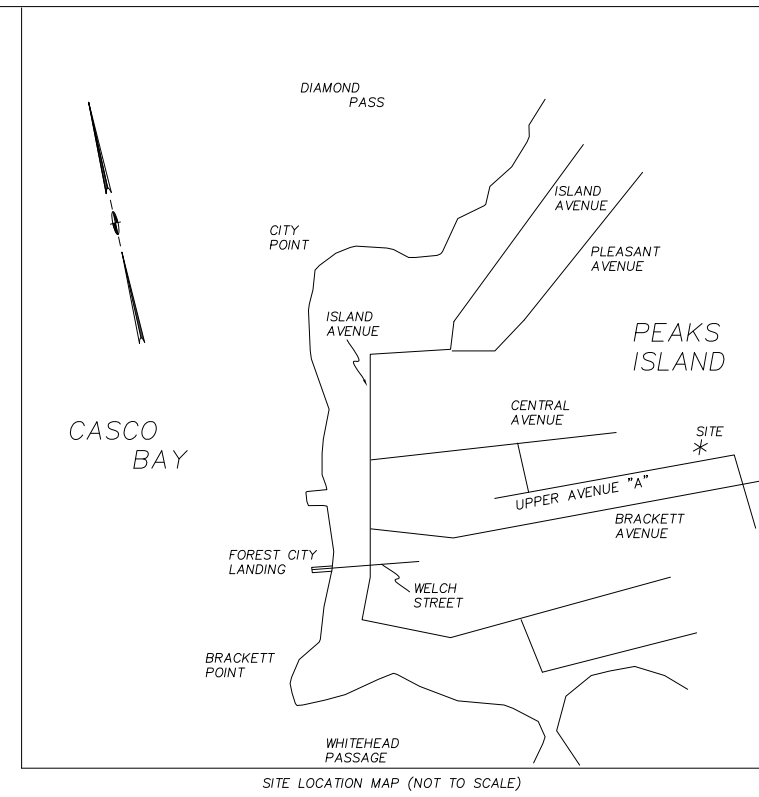
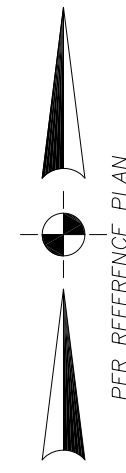
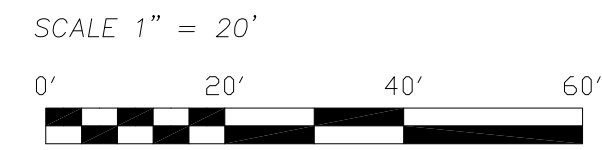
PERMIT DRAWINGS
AUGUST 18, 2011

SITE PLAN OF LAND ON UPPER "A" STREET
PEAKS ISLAND, PORTLAND, MAINE

MADE FOR SUSAN JANE BERRY, M.D.
3222 DESOTO STREET, NEW ORLEANS, LA. 70119-3232

MADE BY NORTHEASTERN LAND SURVEYING
16 COLLEGE AVENUE, GORHAM, MAINE 04038

JULY 25, 2011 JOB #11-006 SHEET 1 OF 1

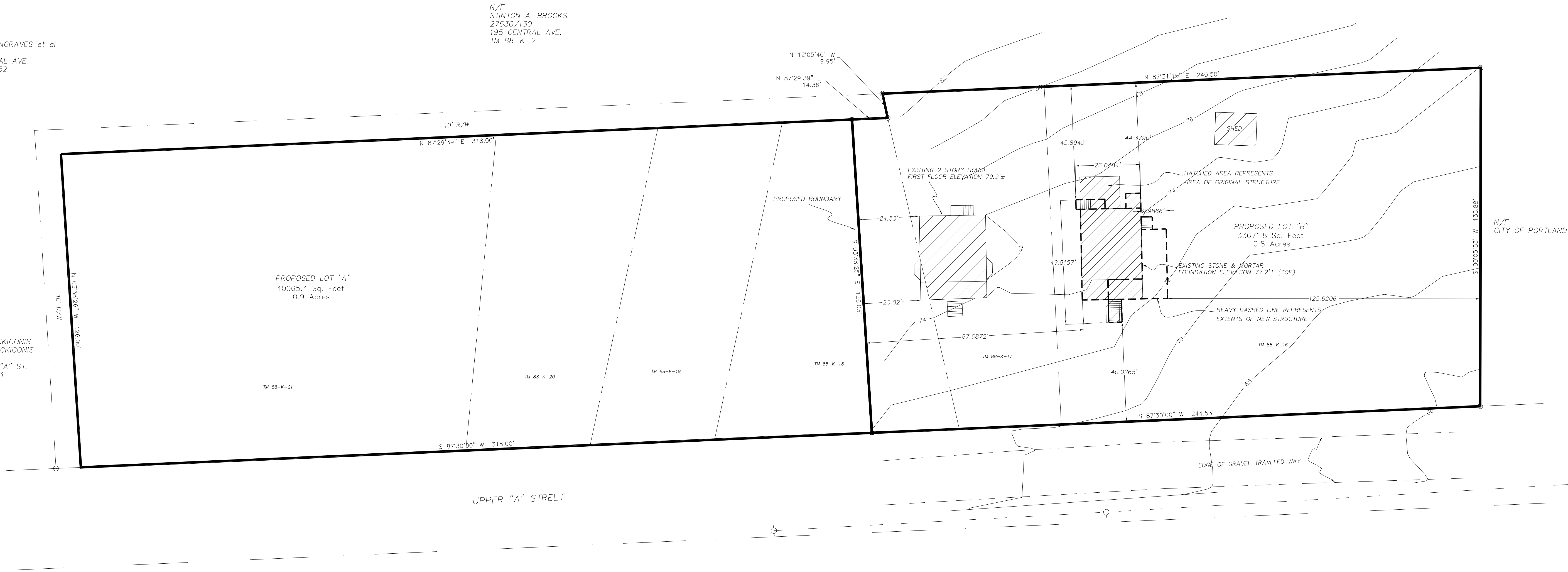


N/F
ALBERT PENGRAVES et al
7906/131
179 CENTRAL AVE.
TM 88-K-52

N/F
STINTON A. BROOKS
27530/130
195 CENTRAL AVE.
TM 88-K-2

N/F
JONATHAN JENNESS
AND NOMAKHOSI JENNESS
7973/41
209 CENTRAL AVE.
TM 88-K-3

N/F
JEANNIE PECKICONIS
STEPHEN PECKICONIS
24572/289
124 UPPER "A" ST.
TM 88-K-23

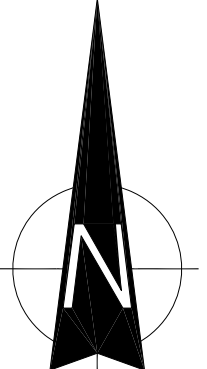


- NOTES:
- 1) OWNER OF RECORD IS SUSAN BERRY, 3222 DESOTO STREET, NEW ORLEANS, LOUISIANA, 70119.
 - 2) DEED REFERENCE IS CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK NUMBER 27547 PAGE 227.
 - 3) CADASTRAL REFERENCE IS CITY OF PORTLAND TAX MAP 88 BLOCK K LOTS 16-21.
 - 4) ZONING: THE PARCELS ARE IN THE "IR-1" ZONE. CURRENT ZONING, STATUS AND REQUIREMENTS MUST BE CHECKED AND VERIFIED WITH THE CITY OF PORTLAND AND ALL OTHER APPLICABLE REGULATORY BODIES BEFORE BUILDING IMPROVEMENTS OR CONVEYING LAND OR INTEREST.
 - 5) ELEVATIONS AND TOPOGRAPHIC LINES SHOWN ARE BASED ON A BENCHMARK 3' OFFSET MONUMENT AT THE CORNER OF ISLAND AVENUE AND STERLING STREET. ELEVATION = 50.44' N.G.V.D. 1929. BENCHMARK ELEVATION IS PER THE CITY OF PORTLAND (ENGINEERING). ELEVATIONS ARE NOT TO ENGINEERING TOLERANCES AND ARE FOR GENERAL BUILDING LOCATION AND LANDSCAPE DESIGN ONLY. TEMPORARY BENCH MARK ON SITE IS A SPIKE NAIL ELEVATION = 67.80'
 - 6) THE PARCEL DOES NOT FALL WITHIN A "SPECIAL FLOOD HAZARD AREA" PER F.E.M.A. SEE COMMUNITY #230051 PANEL #0015B, EFFECTIVE DATE JULY17, 1986.
 - 7) ROAD RIGHT OF WAY WIDTH AND LOCATION SHOWN IS PER THE PLAN REFERENCE.
 - 8) UTILITY LOCATION SHOWN IS APPROXIMATE. THIS PLAN MAY NOT SHOW ALL UTILITIES USED OR IN DISUSE. ALL APPROPRIATE OFFICES AND THE "DIGSAFE" PROGRAM SHOULD BE CONTACTED BEFORE DOING ANY EXCAVATION.
 - 9) THIS PLAN DOES NOT REPRESENT A BOUNDARY SURVEY BY NORTHEASTERN LAND SURVEYING. THE PERIMETER BOUNDS OF THE PARCEL ARE ACCORDING TO THE STATED REFERENCE PLAN PERFORMED BY LLOYD JONES. NORTHEASTERN LAND SURVEYING MAKES NO STATEMENT OR CERTIFICATION AS TO THE ACCURACY OF THE PERIMETER BOUNDARY OR ANY OTHER INFORMATION DERIVED FROM THE REFERENCE PLAN. THIS PLAN IS NOT INTENDED TO DEPICT LIMITS OR EXTENTS OF FEE TITLE OWNERSHIP. AN OPINION OF TITLE SHOULD BE RENDERED BY AN ATTORNEY.
 - 10) NORTHEASTERN LAND SURVEYING AND THE SIGNING SURVEYOR RESERVE THE RIGHT TO BE HELD HARMLESS FROM ALL THIRD PARTY CLAIMS.

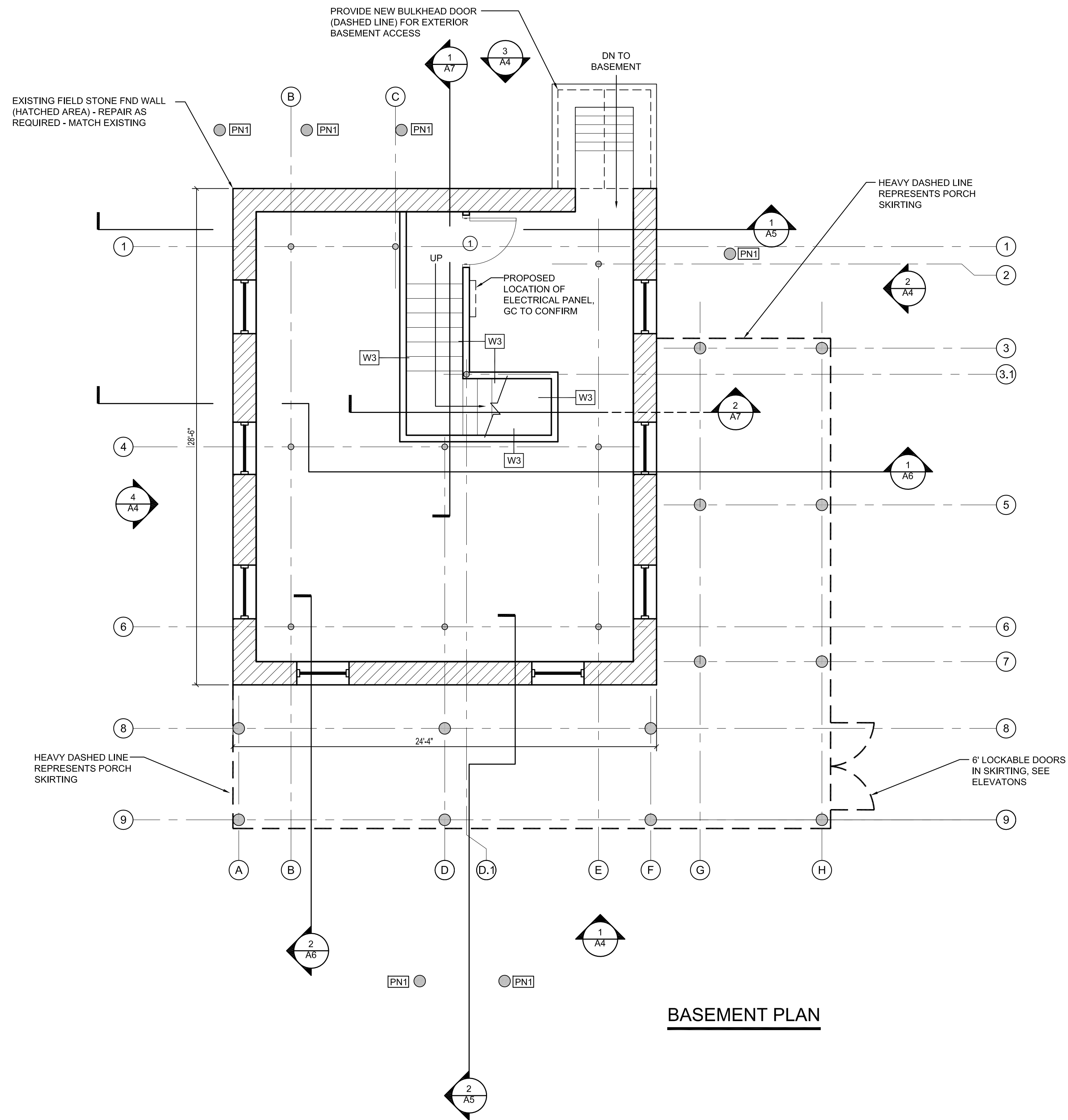
LEGEND

	IRON ROD FOUND (L.E. JONES #485)
	IRON ROD SET WITH CAP (PLS 2063)
	UTILITY POLE
N/F	NOW OR FORMERLY OF
27547/227	CUMBERLAND COUNTY REGISTRY OF DEEDS BOOK/PAGE NUMBER
TM 88-K-21	TAX MAP-BLOCK-LOT NUMBER
	PROPERTY LINE (PER REFERENCE PLAN)
	EASEMENT LINE
	EDGE OF GRAVEL ROAD OR DRIVEWAY
	FORMER LINE OF DIVISION
	OVERHEAD UTILITY LINE
	EXISTING BUILDINGS

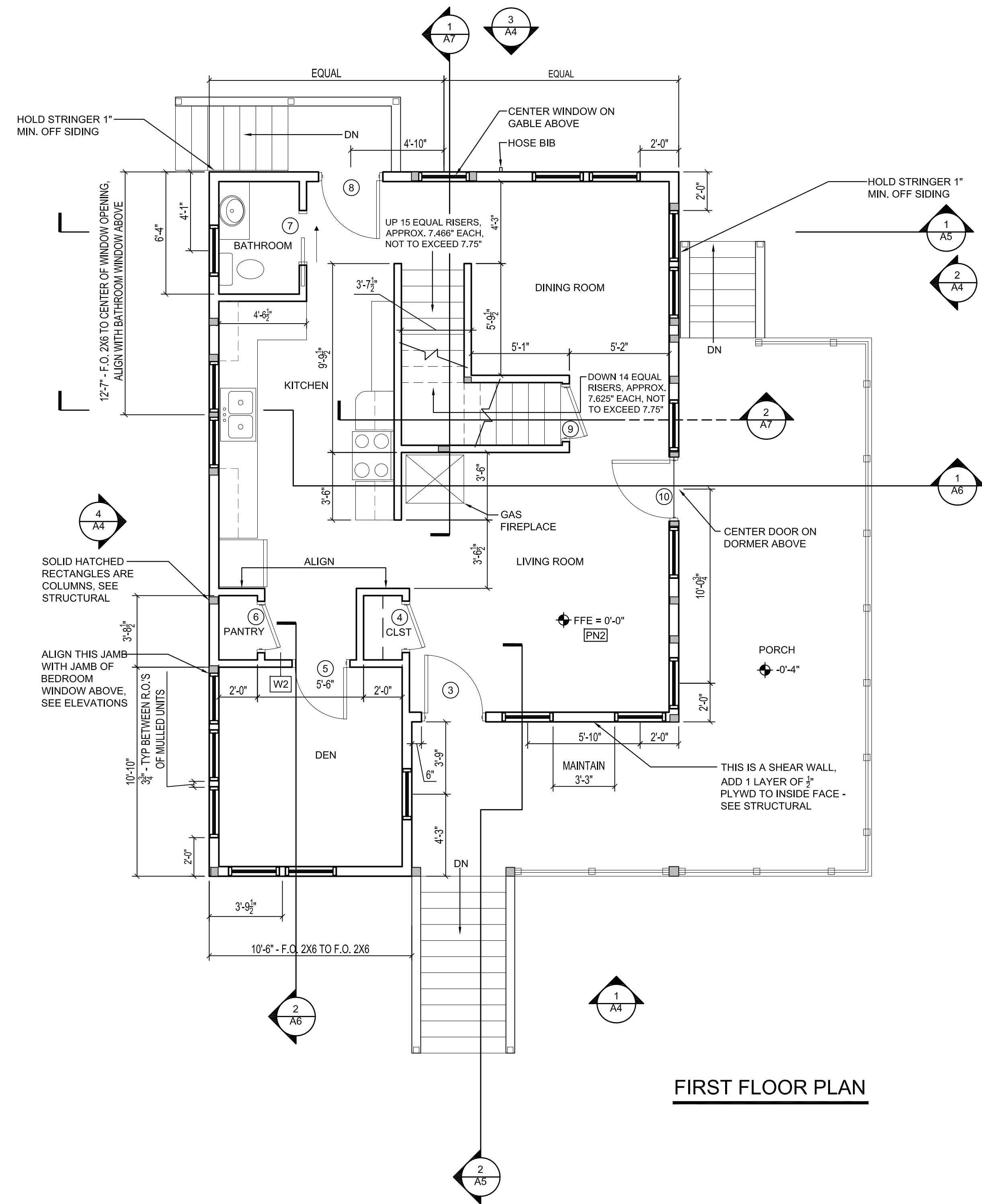
PLAN REFERENCE: "PLAN OF PROPERTY IN PEAKS ISLAND, PORTLAND, MAINE MADE FOR CHARLENE W. AND EDMUND D. BERRY" BY LLOYD E. JONES RLS. DATED JUNE 1989. UNRECORDED.



160 Upper A Street Peaks Island, Maine



BASEMENT PLAN



FIRST FLOOR PLAN

WALL TYPES

- W1 2X4 WD STUD, 1/2" GWB BOTH SIDES
- W2 2X4 WD STUD SHEAR WALL WITH 1 LAYER 1/2" PLYWD BOTH SIDES AND 1/2" GWB OVER PLYWD BOTH SIDES, SEE STRUCTURAL DRAWINGS
- W3 2X4 WD STUD, R13 BATT INSULATION, 1/2" GWB BOTH SIDES
- W4 2X3 WD STUD, 1/2" GWB BOTH SIDES

NOTE: UNLESS TAGGED DIFFERENTLY, ASSUME W1 FOR INTERIOR PARTITIONS

PLAN NOTES

PN1 - SONOTUBES WITH SOLID HATCH AND NOT DIRECTLY ON A COLUMN LINE ARE FOR EXTERIOR STAIR, STAIR LANDINGS, AND BACK PORCH SUPPRT. GC TO COORDINATE FINAL LOCATIONS.

PN2 - THE BOUNDARY/GRADING SURVEY PROVIDES A TOP OF EXISTING FOUNDATION ELEVATION OF 77.2'. THIS YIELDS A FIRST FLOOR FINISHED FLOOR ELEVATION OF 80' 1-7/8". THIS ELEVATION IS SET TO 0'-0" FOR THE PURPOSE OF DIMENSIONAL CLARITY IN THESE DRAWINGS.

DIMENSION NOTES

OUTSIDE OF EXTERIOR 6" STUD WALL REPRESENTS FACE OF STUD. INSIDE FACE OF THIS 6" STUD, AND BOTH FACES OF ALL INTERIOR STUDS IS THE FACE OF FINISH. DIMENSIONS TO INSIDE PARTITIONS ARE TO FACE OF FINISH.

DIMENSIONS TO WINDOWS AND DOORS ARE TO CENTER OF OPENING. DIMENSIONS SHOWN TO JAMBS ARE TO ROUGH OPENING.

WHERE WINDOWS, OR WINDOWS AND DOORS (AS AT DOOR #10), ARE SHOWN IMMEDIATELY ADJACENT TO EACH OTHER, THE DIMENSION BETWEEN ROUGH OPENINGS SHALL BE 3-3/4".

PROVIDE SUFFICIENT CLEARANCE BETWEEN DOORS AND INTERIOR CORNERS TO ALLOW TRIM TO BE INSTALLED.

MATERIALS

FLOORING - WIDE PLANK PINE WITH CLEAR FINISH EXCEPT IN BATHROOMS - USE TILE IN BATHROOMS

BASE - 4" PRE-PRIMED PINE, PAINTED

WALLS - PRIMED AND PAINTED DRYWALL (LEVEL 3 FINISH). USE MOISTURE RESISTANT DRYWALL IN BATHROOMS, KITCHENS, BASEMENT.

INTERIOR STAIRS - TREADS TO MATCH FLOORING, RISERS ARE PAINTED PINE.

DECKS AND EXTERIOR STAIRS - PRESSURE TREATED

PORCH SKIRTING - PRESSURE TREATED

EXTERIOR TRIM BOARDS - PRE-PRIMED, NON FINGER JOINTED PINE, PAINTED.

SEE ELEVATIONS AND SECTIONS FOR OTHER NOTES PERTAINING TO MATERIALS.

USE PT COMPATIBLE FASTENERS AND HANGERS WITH ALL CONSTRUCTION USING PRESSURE TREATED LUMBER.

ALLOWANCES

ALLOWANCES INCLUDE COST OF MATERIAL ONLY, NOT DELIVERY OR INSTALLATION - ITEMIZED ALLOWANCES TO BE INCLUDED IN ESTIMATE.

KITCHEN - \$10,000 FOR CABINETS, COUNTERTOPS, AND APPLIANCES.

BATHROOM (DOWNSTAIRS) - \$500.00 FOR FIXTURES AND ACCESSORIES.

BATHROOM (UPSTAIRS) - \$2,600.00 TOTAL FOR A 3'-0" VANITY, 5-7" CLAW FOOT TUB, 3'-0" X 4'-0" SHOWER UNIT, TOILET, AND ACCESSORIES.

DOORS (PREHUNG) - \$300.00 PER DOOR, INCLUDES HARDWARE BUT NOT THRESHOLDS AND TRANSITIONS. FRENCH DOORS IN CLOSETS TO BE COUNTED AS TWO DOORS. INTERIOR DOORS TO BE WOOD, EXTERIOR DOORS AND BASEMENT DOOR TO BE FIBERGLASS.

HEAT - \$5,000 FOR GAS STOVE AND METAL CHIMNEY

LAUNDRY ROOM - \$1,000 FOR APPLIANCES AND ANY CABINETRY OR COUNTERTOP.

LIGHTING FIXTURES - \$1,500 TOTAL FOR INTERIOR AND EXTERIOR FIXTURES - SEE POWER PLANS.

SPRINKLER ALLOWANCE

A TYPE 13D RESIDENTIAL SPRINKLER SYSTEM IS REQUIRED - CONTRACTOR TO INCLUDE ESTIMATE FOR INSTALLED COST OF THIS SYSTEM. BOOSTER PUMP AND CISTERN MAY BE REQUIRED, GC TO CONFIRM.

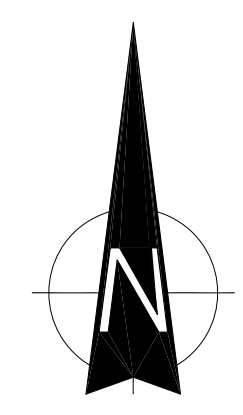
PERMIT DRAWINGS

August 18, 2011

SCALE:
1/4" = 1'-0"

FIRST FLOOR PLAN, WALL TYPES, ALLOWANCES, AND NOTES

A1



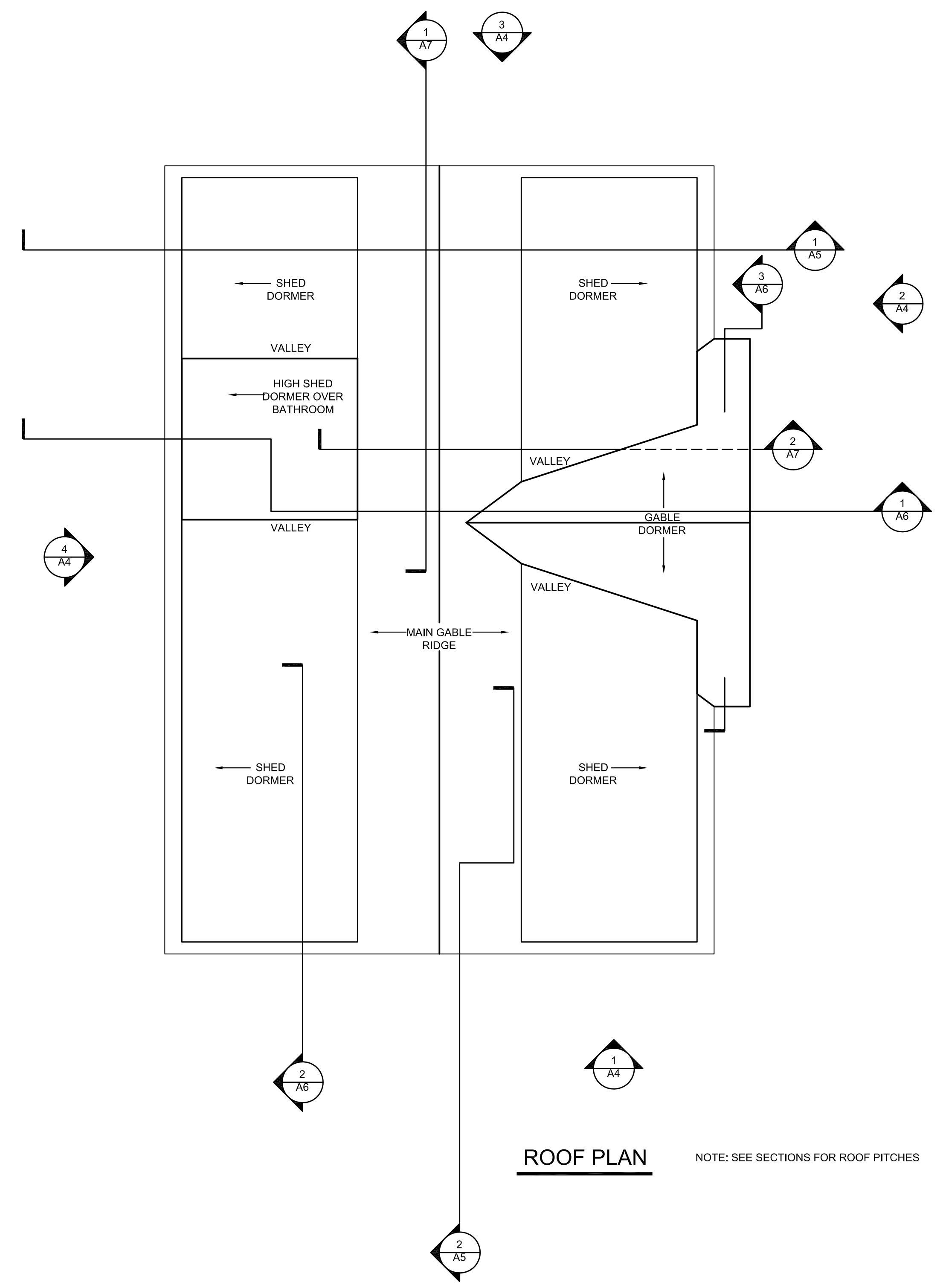
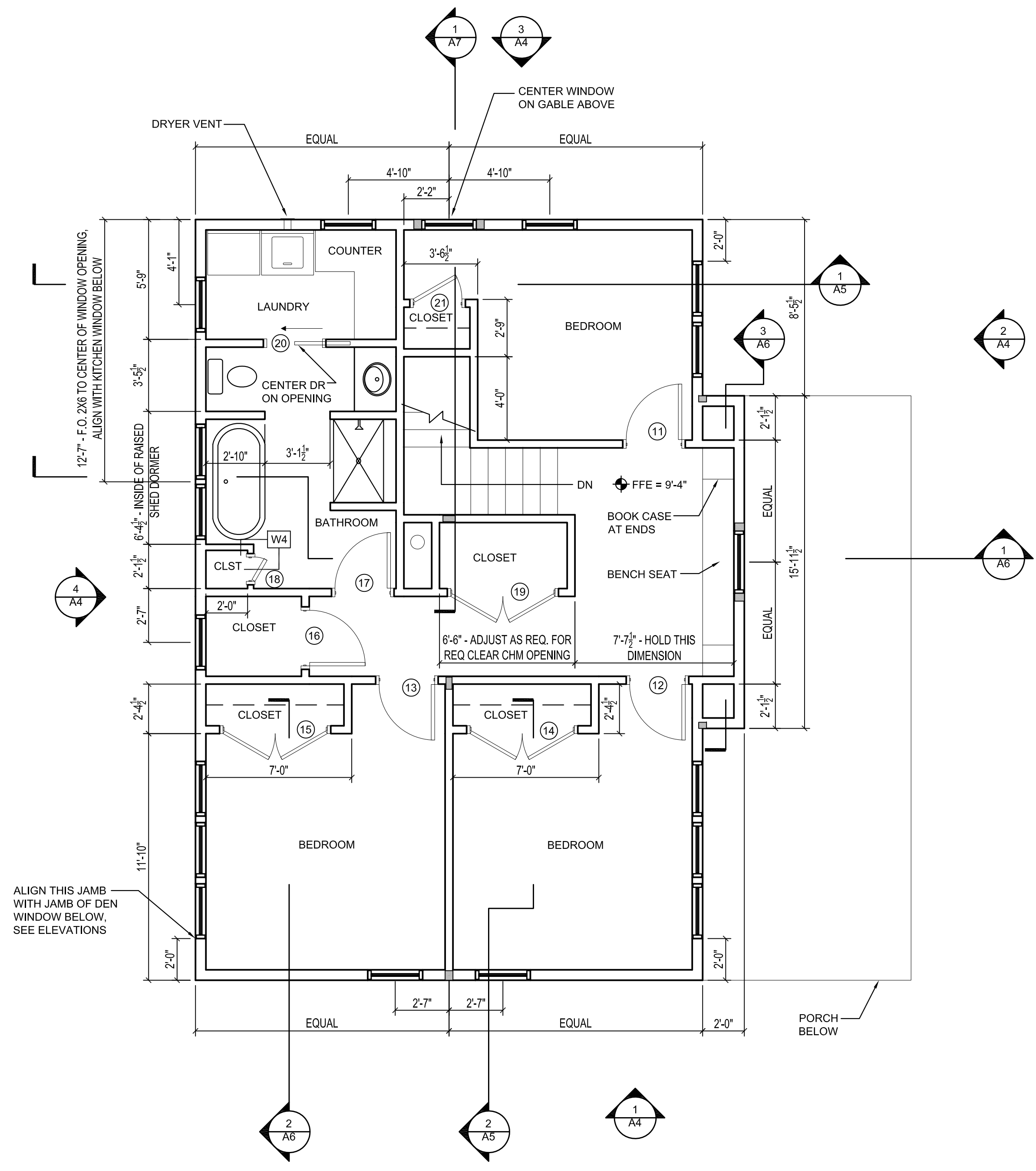
160 Upper A Street
Peaks Island, Maine

PERMIT DRAWINGS
August 18, 2011

SCALE:
1/4" = 1'-0"

SECOND FLOOR PLAN, ROOF PLAN, AND DOOR SCHEDULE

A2



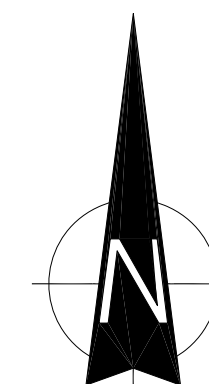
DOOR SCHEDULE

NUMBER	WIDTH	HEIGHT	HARDWARE	NOTE
1	2'-8"	6'-8"	CL	
2				GC TO COORDINATE BULKHEAD DOOR
3	3'-0"	6'-8"	CL	
4	2'-4"	6'-8"	PS	
5	2'-8"	6'-8"	PS	
6	2'-4"	6'-8"	PS	
7	2'-6"	6'-8"	PDPL	
8	3'-0"	6'-8"	CL	
9	2'-8"	6'-8"	CL	
10	3'-0"	6'-8"	CL	
11	2'-8"	6'-8"	PL	
12	2'-8"	6'-8"	PL	
13	2'-8"	6'-8"	PL	

NUMBER	WIDTH	HEIGHT	HARDWARE	NOTE
14	5'-0"	6'-8"	PS	
15	5'-0"	6'-8"	PS	
16	2'-8"	6'-8"	PL	
17	2'-8"	6'-8"	PL	
18	1'-2"	6'-8"	PS	
19	5'-0"	6'-8"	PS	
20	2'-8"	6'-8"	PDPS	
15	2'-4"	6'-8"	PS	

HARDWARE KEY
 CL CYLINDER LOCKSET
 PL PRIVACY LOCKSET
 PS PASSAGE SET
 PDPL POCKET DOOR PRIVACY LOCKSET
 PDPS POCKET DOOR PASSAGE SET

DOOR TYPES ARE EITHER SINGLE LEAF, DOUBLE LEAF, OR POCKET, AS INDICATED ON THE PLAN. OWNER TO SELECT STYLE.



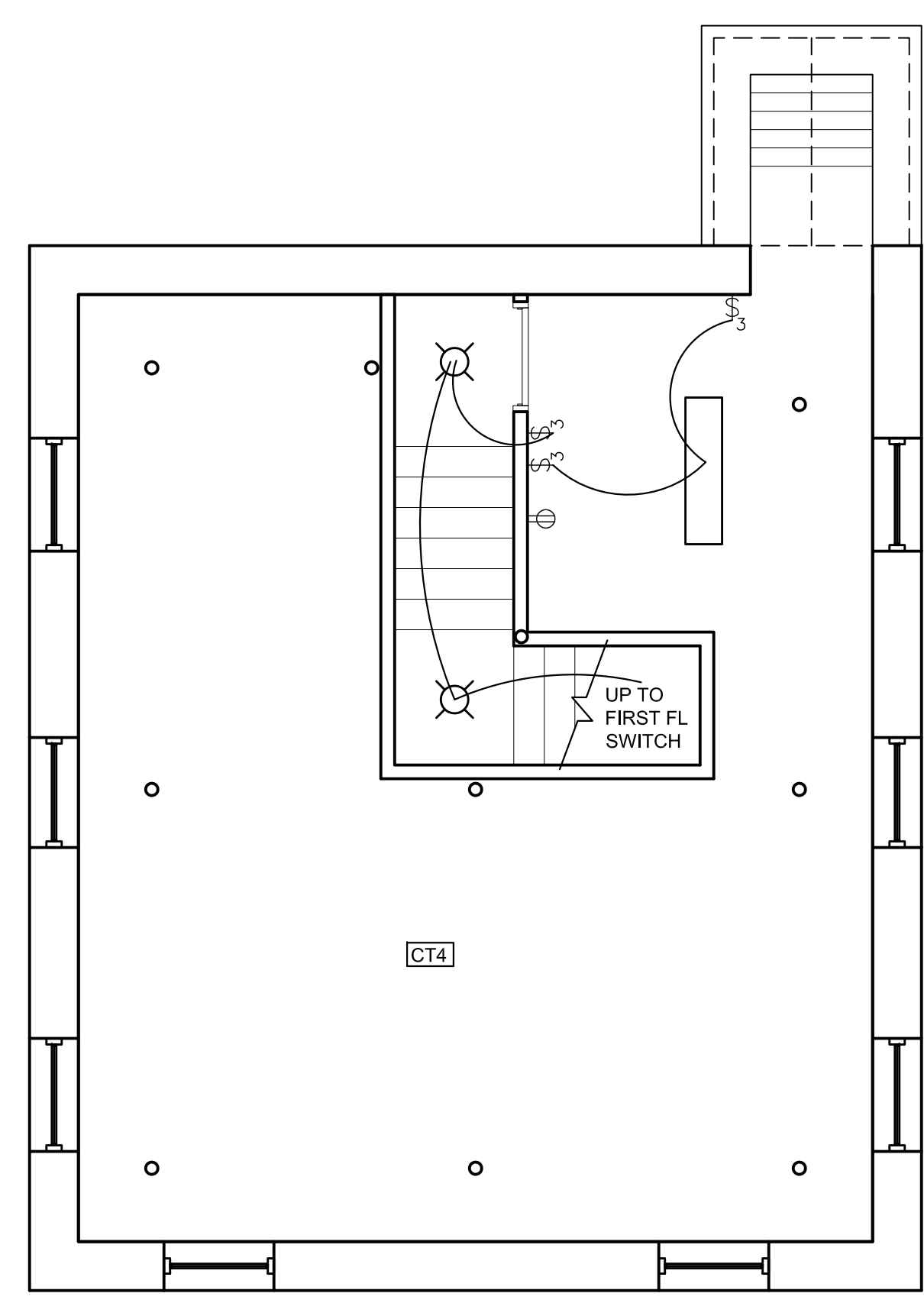
160 Upper A Street
Peaks Island, Maine

PERMIT
DRAWINGS
August 18, 2011

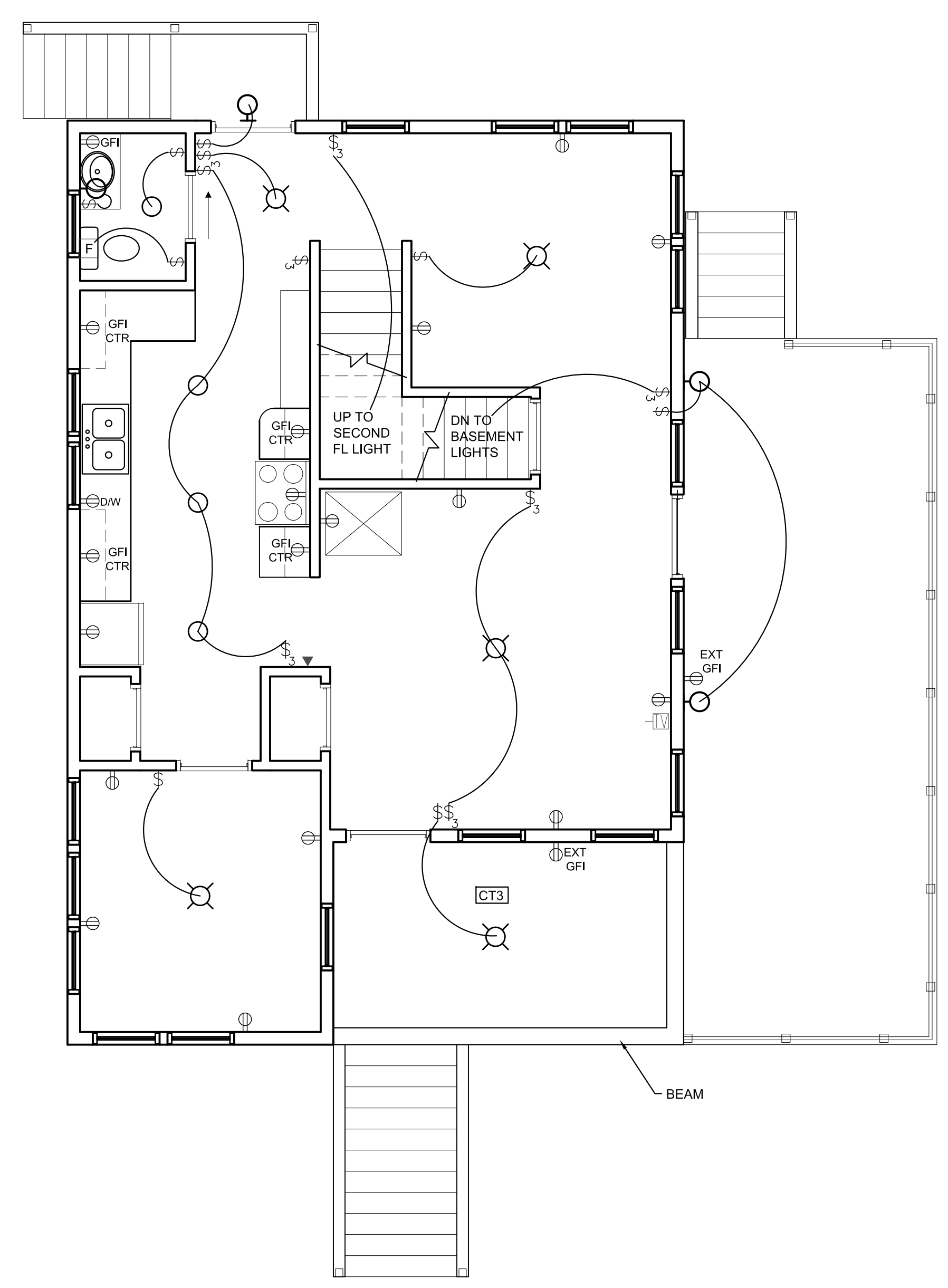
SCALE:
1/4" = 1'-0"

REFLECTED
CEILING AND
POWER
PLANS

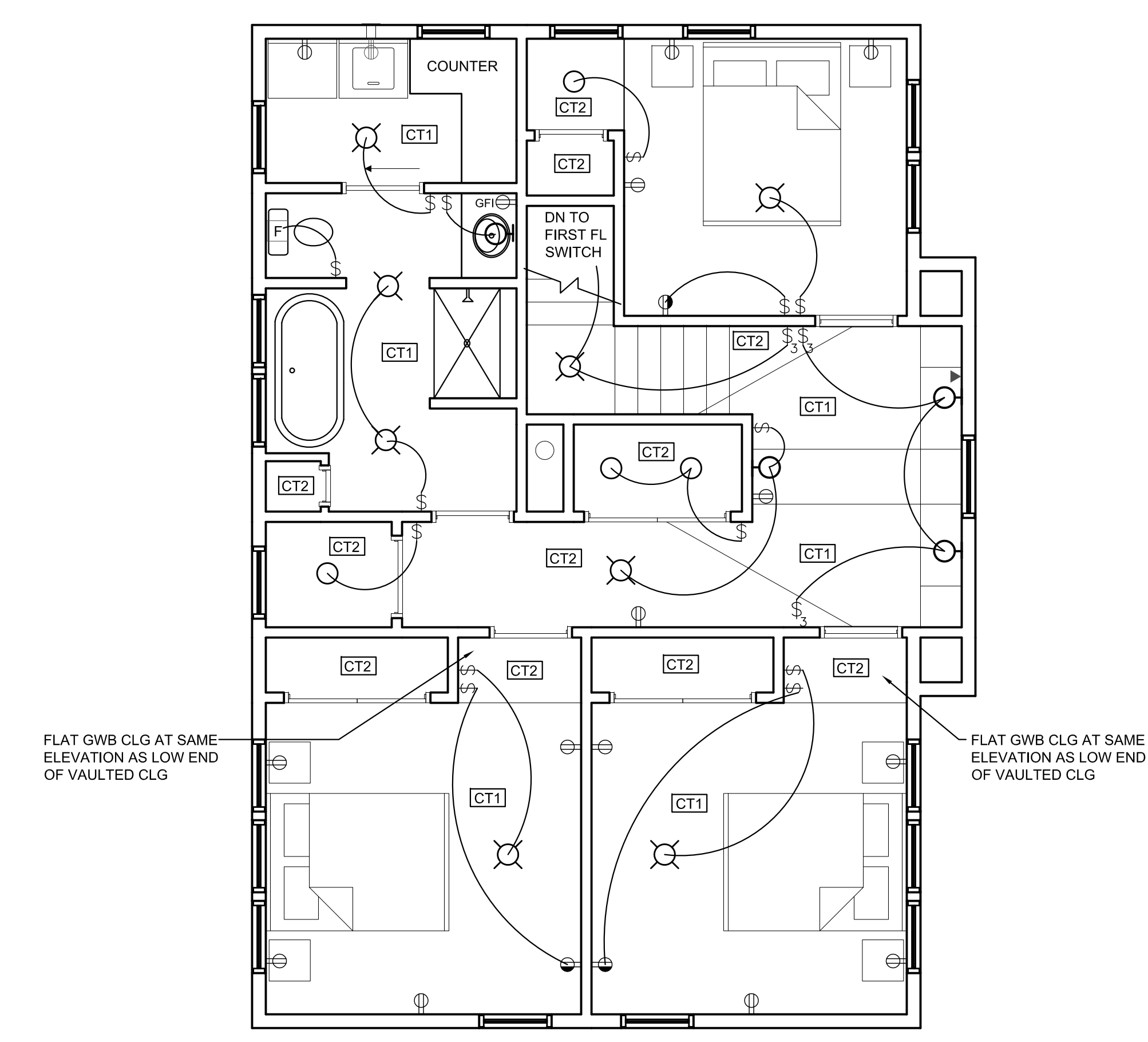
A3



BASEMENT REFLECTED CEILING AND POWER PLAN



FIRST FLOOR REFLECTED CEILING AND POWER PLAN



SECOND FLOOR REFLECTED CEILING AND POWER PLAN

POWER PLAN NOTES

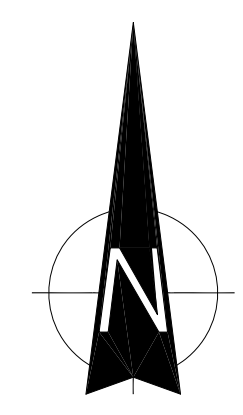
ALL WORK TO CONFORM TO N.E.C. AND OTHER GOVERNING CODES.
MOUNT SWITCHES AT 4'-0" TO TOP OF PLATE.
MULTIPLE SWITCHES SHOWN IN SAME LOCATION SHALL BE GANGED UNDER COMMON PLATE.
SWITCHES SHOWN ADJACENT TO DOORS ARE TO BE LOCATED CLOSE TO FRAME ON LOCK SIDE.
FIXTURES SHOWN ON THE DRAWING ARE TO BE SELECTED BY THE OWNER. SEE ALLOWANCES.

CEILING TYPES

CT1 - VAULTED GWB CEILING TO FOLLOW SLOPE OF ROOF/STRUCTURE. TURN HORIZONTAL AT BOTTOM OF MAIN SUPPORT/RIDGE BEAMS.
CT2 - FLAT GWB CEILING AT 8'-0" UNLESS NOTED OTHERWISE ON DRAWING. ALL FIRST FLOOR CEILINGS ARE TYPE CT2 AT 8'-0".
CT3 BEAD BOARD
CT4 EXPOSED FRAMING

LEGEND

- ▼ PHONE JACK
- ⎓ SINGLE WALL SWITCH
- ⎓ 3-WAY WALL SWITCH
- ⎓ DIMMER SWITCH
- ⎓ 220 VOLT OUTLET
- ⎓ DUPLEX WALL OUTLET
- ⎓ SWITCHED DUPLEX OUTLET
- ⎓ GFI GFI DUPLEX OUTLET
- ⎓ GFI GFI DUPLEX OUTLET - COUNTER HEIGHT
- ⎓ EXT EXTERIOR GFI DUPLEX OUTLET
- WALL SCONCE
- PENDANT LIGHT
- RECESSED CEILING LIGHT
- 1' X 4" BASEMENT LIGHT
- F FAN
- TV CABLE TV



160 Upper A Street Peaks Island, Maine

PERMIT DRAWINGS
August 18, 2011

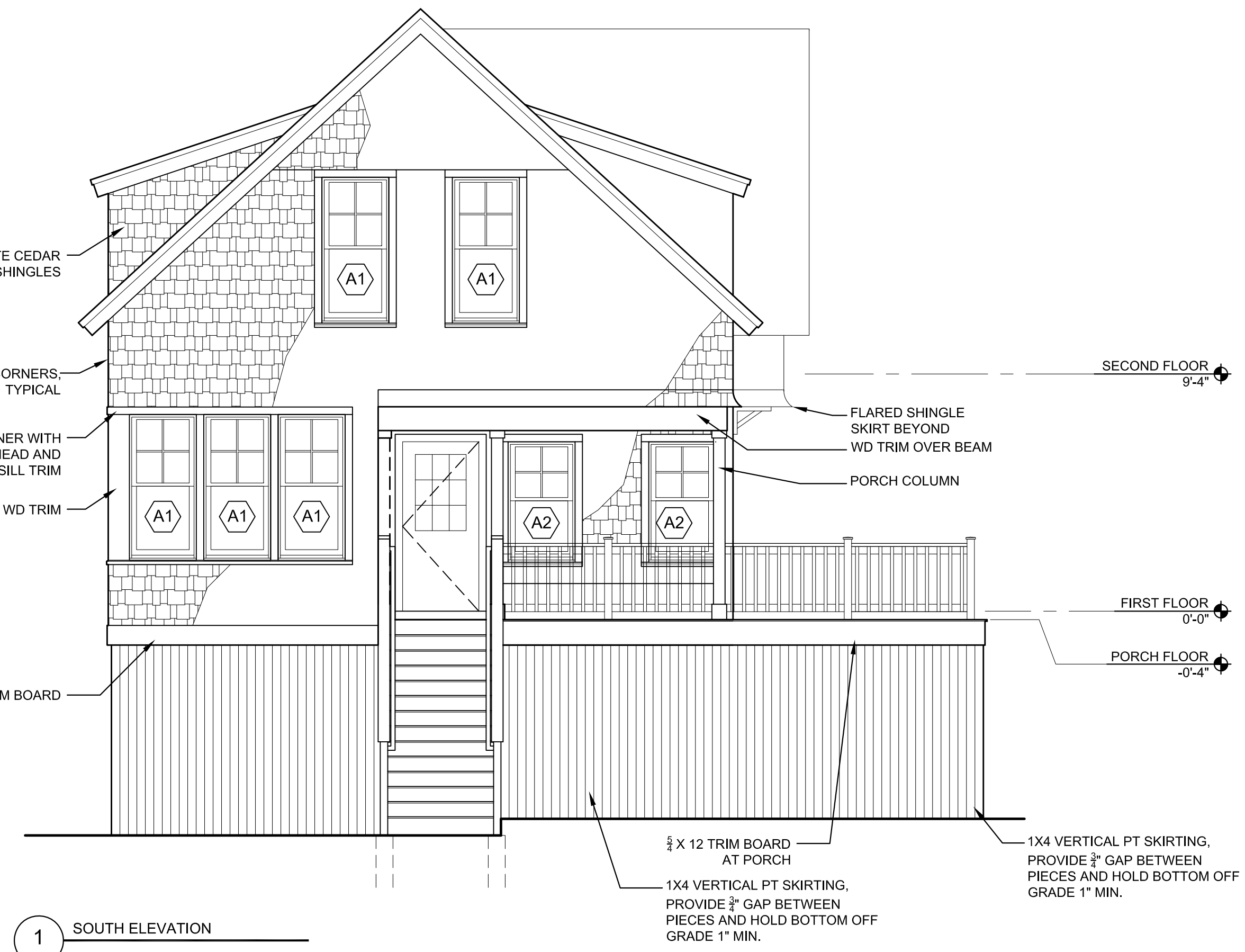
SCALE:
1/4" = 1'-0"

EXTERIOR ELEVATIONS, SCHEDULES, TRIM DETAILS, NOTES

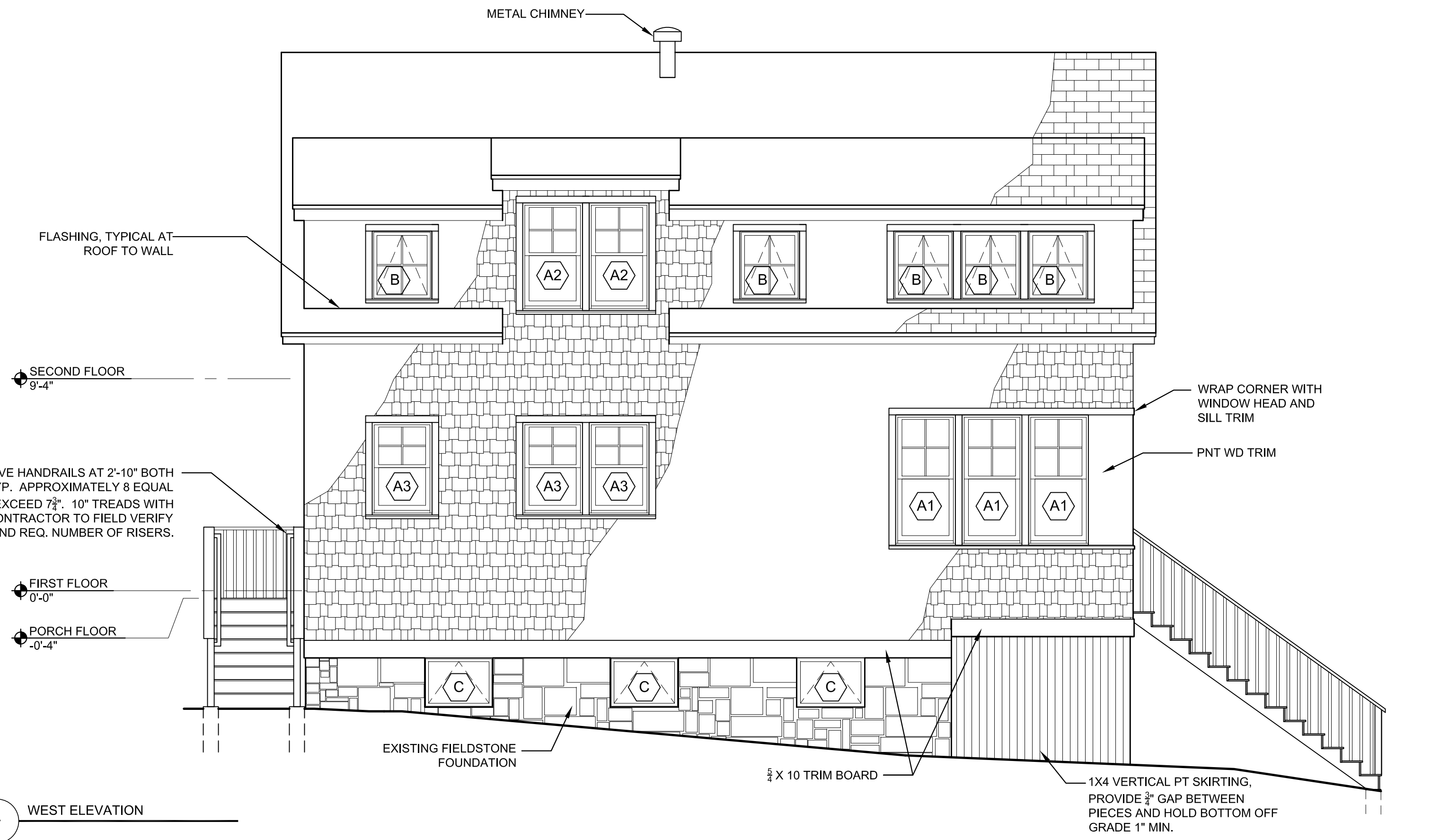
A4



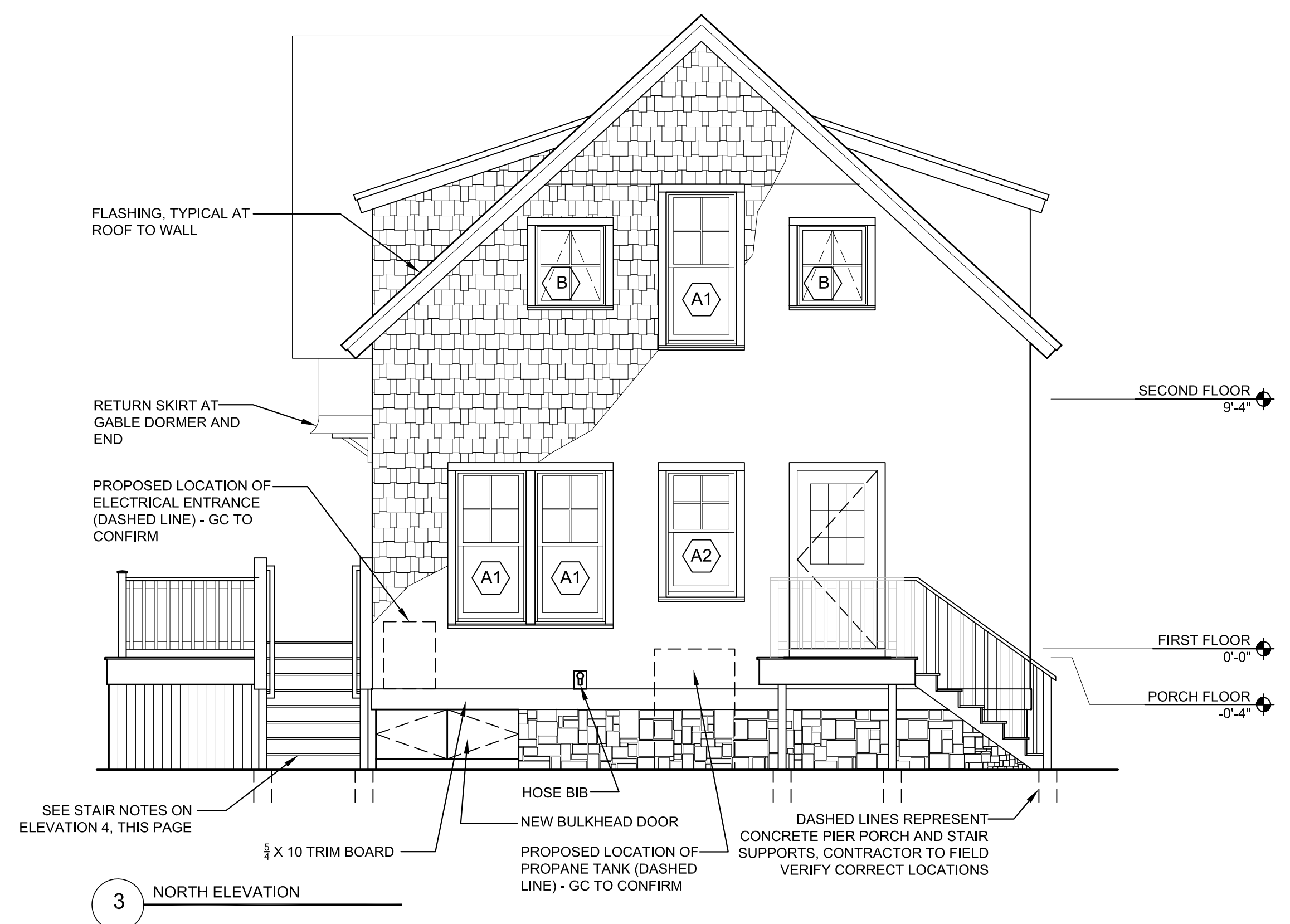
2 EAST ELEVATION



1 SOUTH ELEVATION



4 WEST ELEVATION

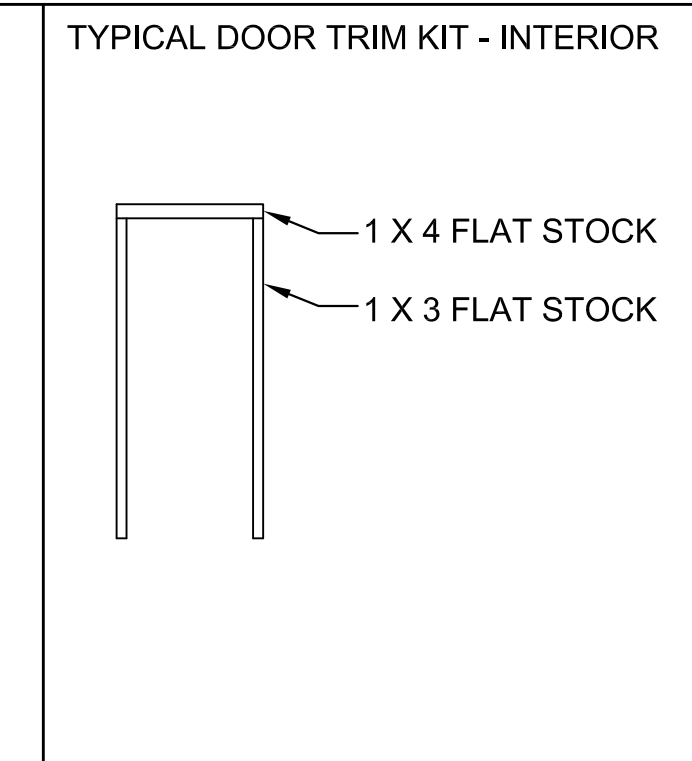
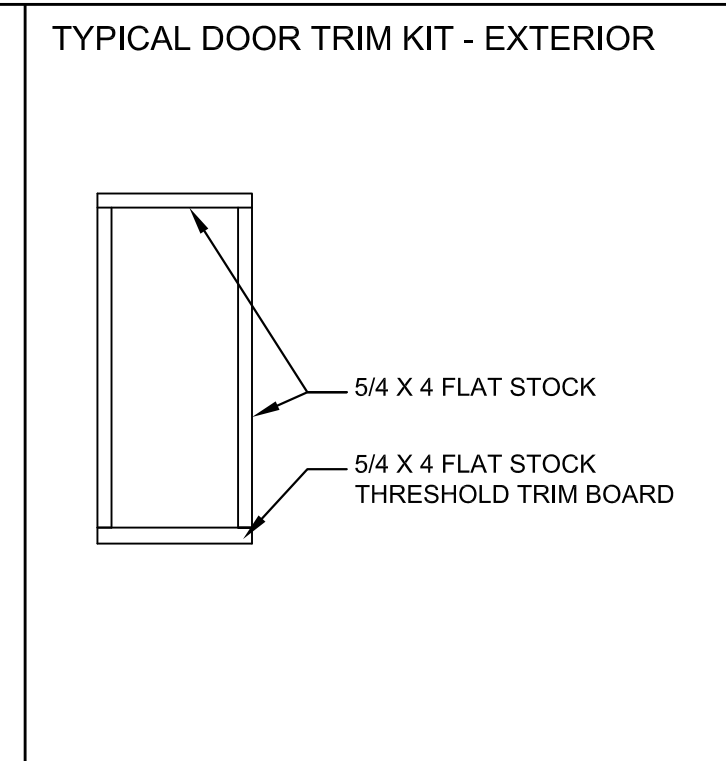
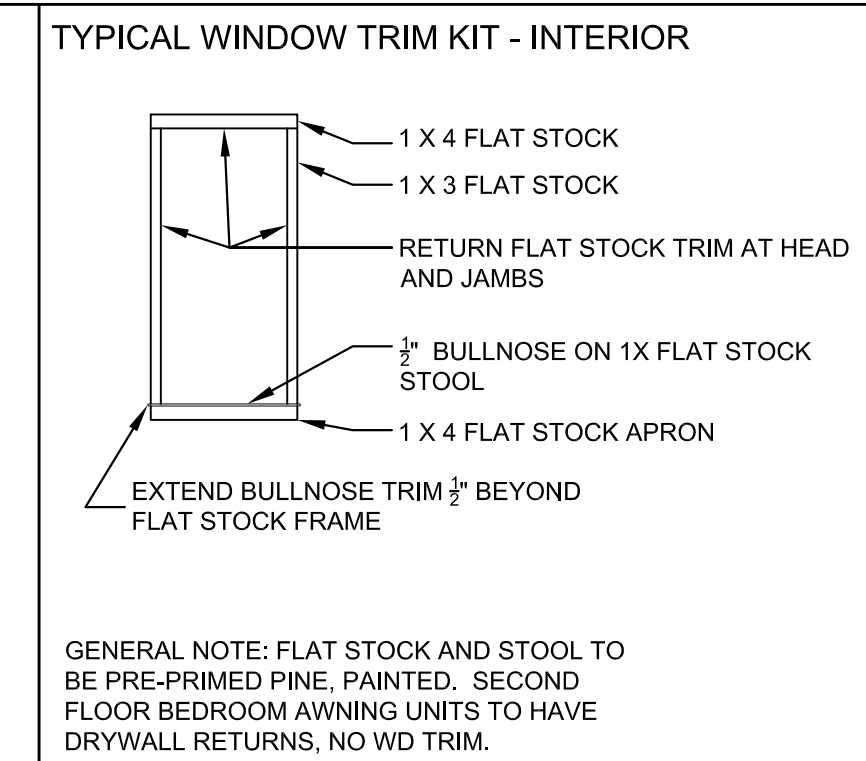
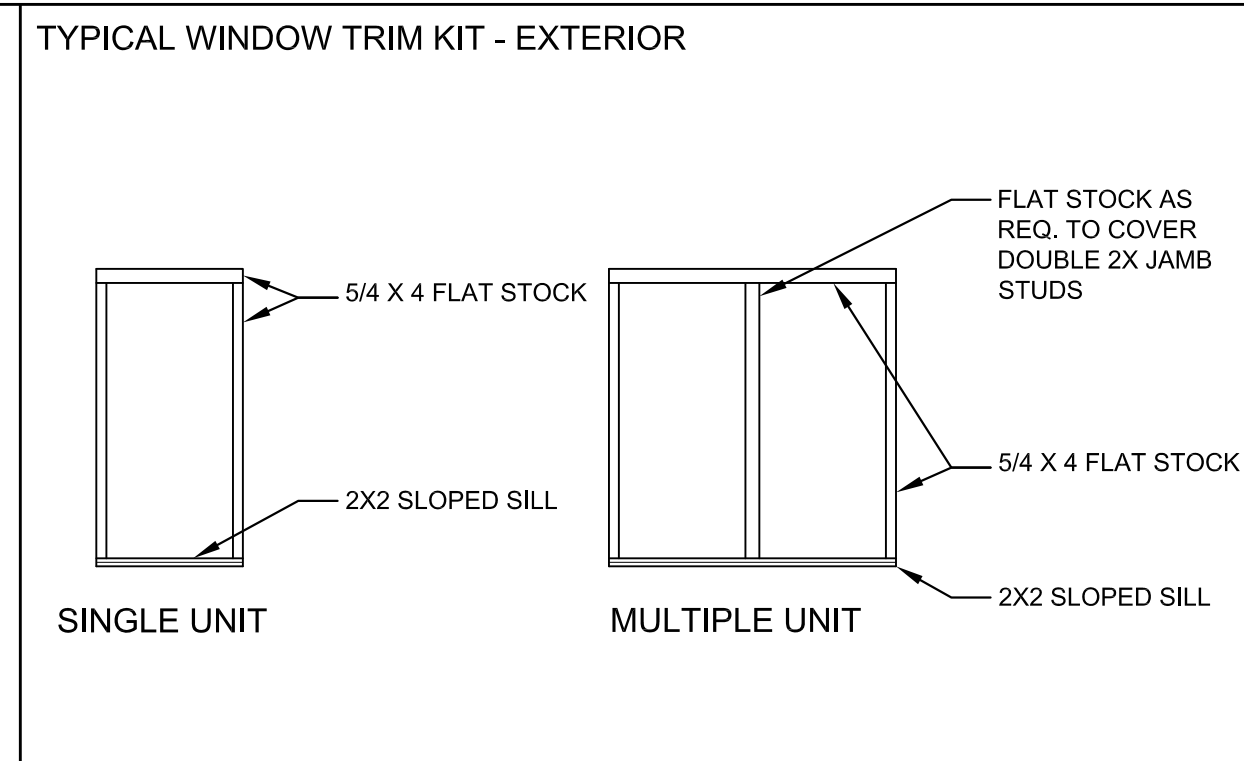


3 NORTH ELEVATION

WINDOW TYPES		
	ANDERSON 400-SERIES TILT-WASH - DOUBLE HUNG MODEL TW2656 U.D. 2'-7 1/2" X 5'-8 1/2" R.O. 2'-8 1/2" X 5'-8 1/2"	ANDERSON 400-SERIES TILT-WASH - DOUBLE HUNG MODEL TW2646 U.D. 2'-7 1/2" X 4'-8 1/2" R.O. 2'-8 1/2" X 4'-8 1/2"
	ANDERSON 400-SERIES TILT-WASH - DOUBLE HUNG MODEL TW26310 U.D. 2'-7 1/2" X 4'-0 1/2" R.O. 2'-8 1/2" X 4'-0 1/2"	ANDERSON 400-SERIES AWNING MODEL AXW281 U.D. 2'-7 1/2" X 2'-11 1/8" R.O. 2'-8" X 3'-0 1/2"
	AWNING BASEMENT REPLACEMENT UNIT TO MATCH OTHERS M.O. 3'-0" X 2'-2" THERE ARE 8 OF THESE UNITS	

GENERAL NOTES: SDL'S AS DRAWN - NO INTERIOR EXTENSION JAMBS OR STOOLS - PROVIDE CORROSION RESISTANT HARDWARE AT AWNING UNITS - WINDOW U FACTOR PER CODE - CONTRACTOR TO CASE OPENINGS PER DETAILS THIS PAGE

DOOR TYPES (SEE ALLOWANCES)
EXTERIOR DOOR TO MATCH THIS TYPE, OWNER TO SELECT U.D. 3'-0" X 6'-8"



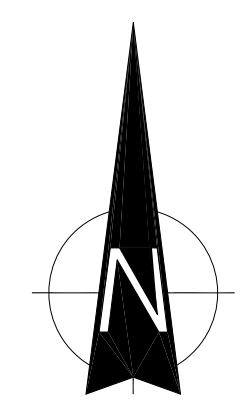
ROUGH OPENINGS

TYPE A1 - R.O. FOR HEAD OF TWO FIRST FLOOR A1 WINDOWS IN ELEVATION 3 THIS PAGE AT 6'-8". ALL OTHER A1 WINDOWS 2'-0" TO SILL R.O.

TYPE A2 - R.O. FOR SILL OF TWO SECOND FLOOR A2 WINDOWS IN ELEVATION 4 THIS PAGE AT 3'-0". ALL OTHER A2 WINDOWS ARE 6'-8" TO HEAD R.O.

TYPE A3 - ALL SILL R.O.'S AT 3'-4"

TYPE B - ALL SILL R.O.'S AT 3'-6" - CONTRACTOR TO ADJUST IF REQUIRED TO CLEAR SLOPED ROOF BELOW.



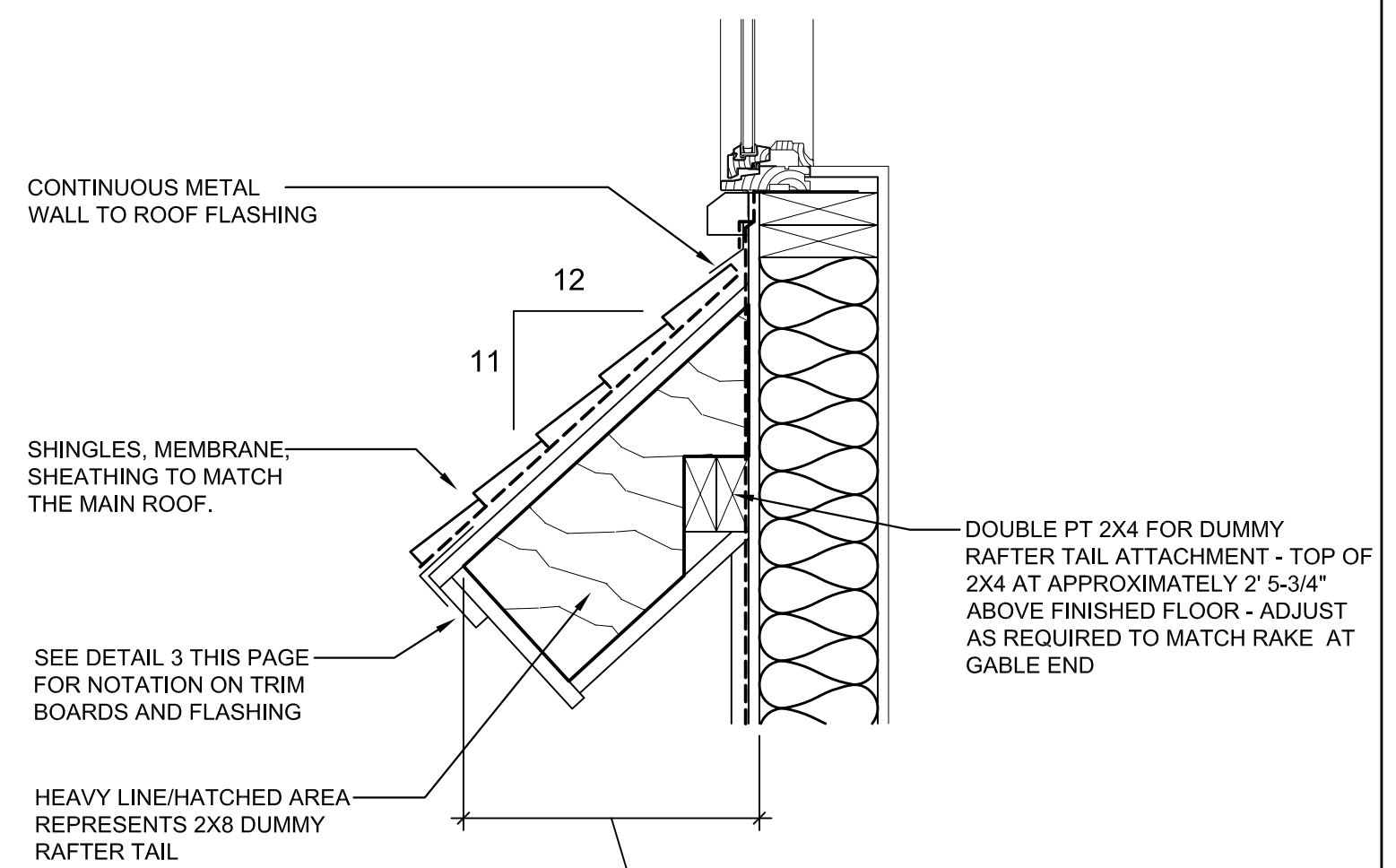
GENERAL NOTES

ALL STRUCTURAL ELEMENTS ARE SHOWN FOR GRAPHIC PURPOSES ONLY. SEE STRUCTURAL DRAWINGS FOR SPECIFICS.

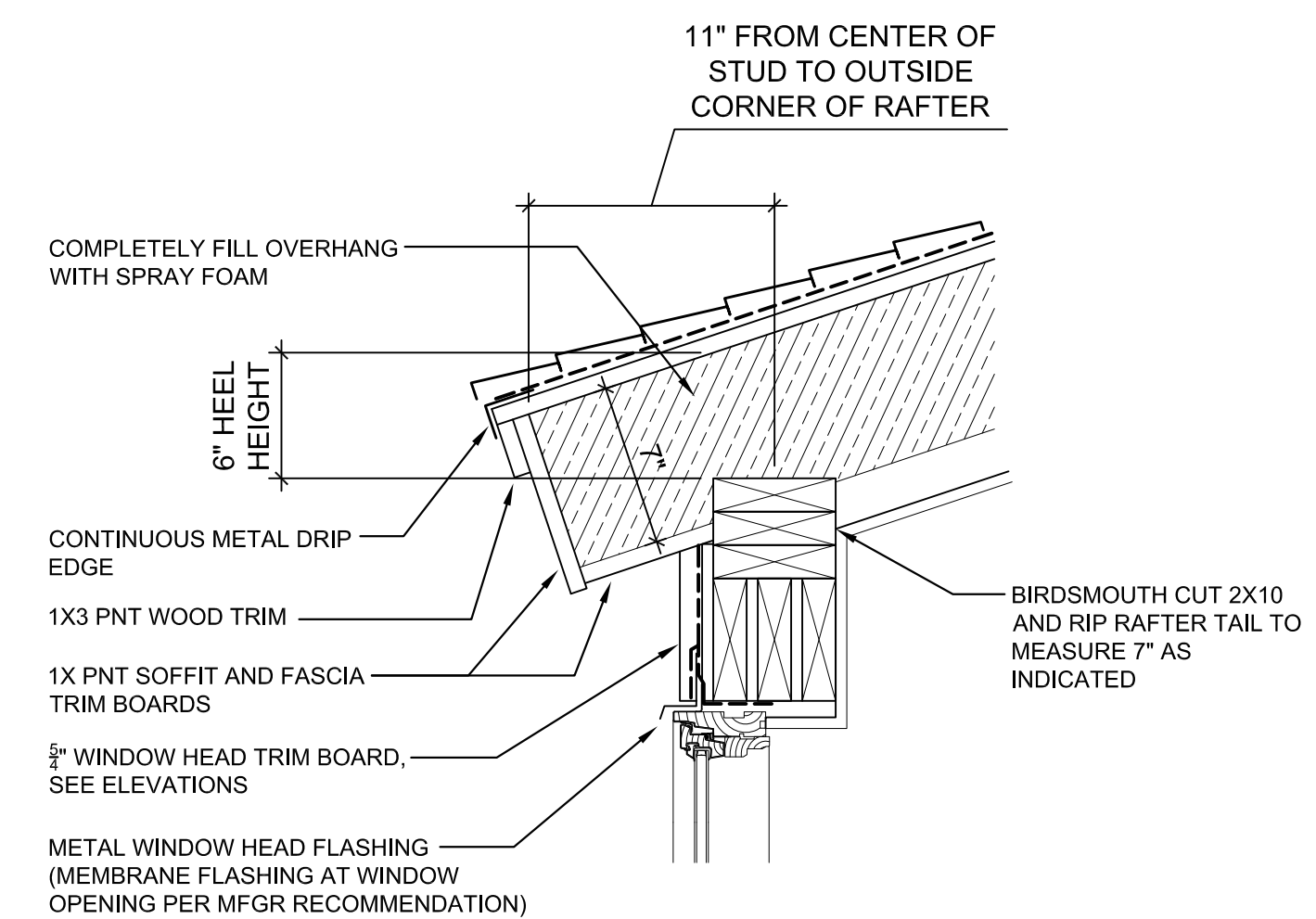
SEE EXTERIOR ELEVATIONS FOR COMPLETE LIST OF WINDOW ROUGH OPENINGS WITH SILL AND HEAD HEIGHTS.

UNLESS NOTED OTHERWISE, ASSUME TYPICAL ROOF, WALL, AND FLOOR ASSEMBLIES DESCRIBED IN SECTION 1/A5

4 SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



3 SECTION DETAIL
SCALE: 1-1/2" = 1'-0"



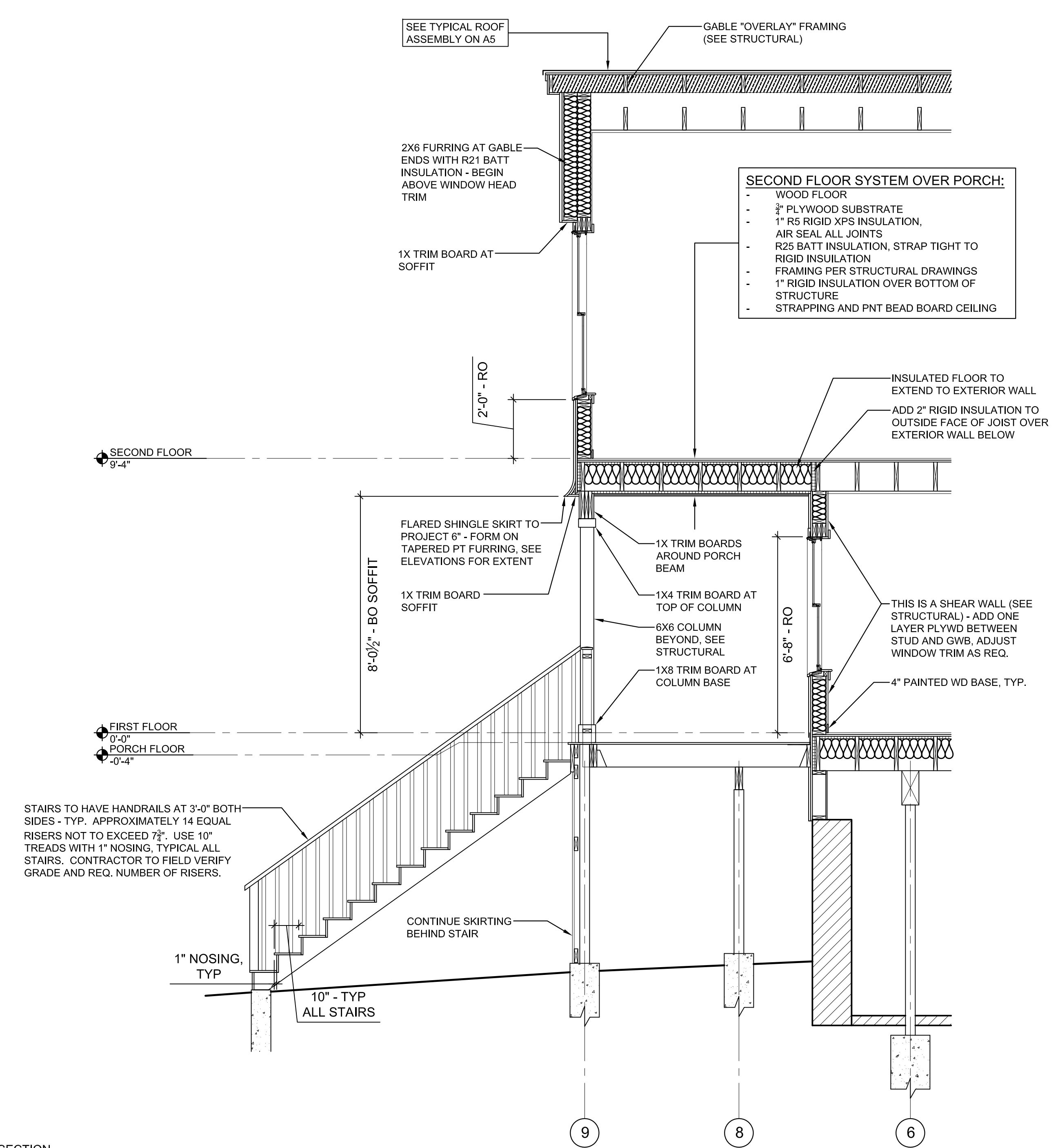
4 SECTION DETAIL
SCALE: 1-1/2" = 1'-0"

- TYPICAL R49 ROOF ASSEMBLY:**
- ARCHITECTURAL SHINGLES
 - MEMBRANE PER ROOFING MFR RECOMMENDATION
 - PLYWD SHEATHING PER STRUCTURAL
 - R49 CLOSED CELL SPRAY FOAM INSULATION
 - FRAMING PER STRUCTURAL DRAWINGS
 - 1/2" GWB ON 1X STRAPPING

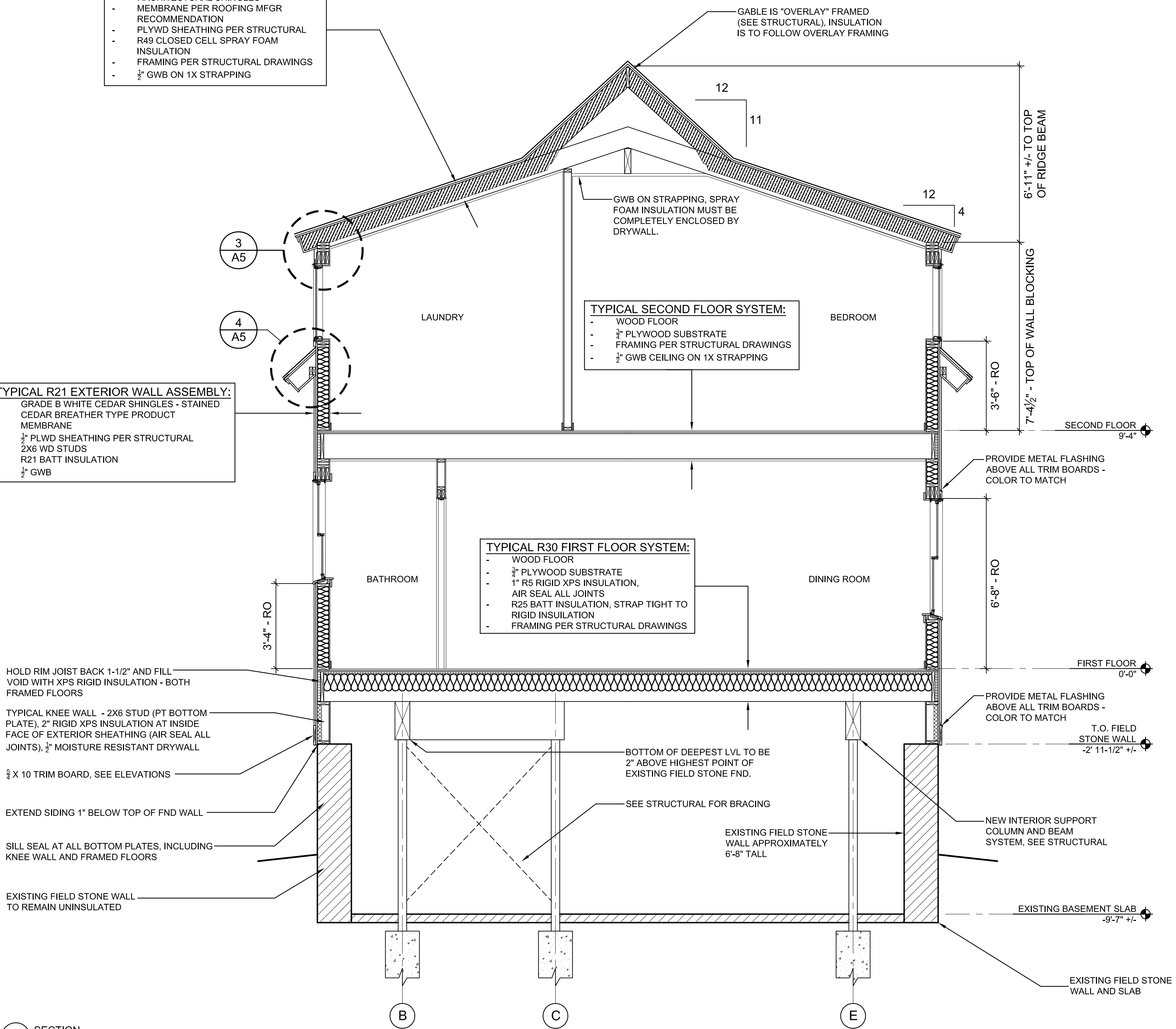
- TYPICAL R21 EXTERIOR WALL ASSEMBLY:**
- GRADE B WHITE CEDAR SHINGLES - STAINED
 - CEDAR BREATHER TYPE PRODUCT
 - MEMBRANE
 - 3/4" PLWD SHEATHING PER STRUCTURAL
 - 2X6 WD STUDS
 - R21 BATT INSULATION
 - 1/2" GWB

- TYPICAL R30 FIRST FLOOR SYSTEM:**
- WOOD FLOOR
 - 3/4" PLYWOOD SUBSTRATE
 - 1" R5 RIGID XPS INSULATION, AIR SEAL ALL JOINTS
 - R25 BATT INSULATION, STRAP TIGHT TO RIGID INSULATION
 - FRAMING PER STRUCTURAL DRAWINGS

- SECOND FLOOR SYSTEM OVER PORCH:**
- WOOD FLOOR
 - 3/4" PLYWOOD SUBSTRATE
 - 1" R5 RIGID XPS INSULATION, AIR SEAL ALL JOINTS
 - R25 BATT INSULATION, STRAP TIGHT TO RIGID INSULATION
 - FRAMING PER STRUCTURAL DRAWINGS
 - 1" RIGID INSULATION OVER BOTTOM OF STRUCTURE
 - STRAPPING AND PNT BEAD BOARD CEILING



1 SECTION
SCALE: 3/4" = 1'-0"



160 Upper A Street
Peaks Island, Maine

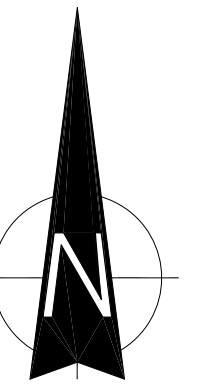
PERMIT DRAWINGS

August 18, 2011

SCALE: as noted

SECTIONS

A5



160 Upper A Street Peaks Island, Maine

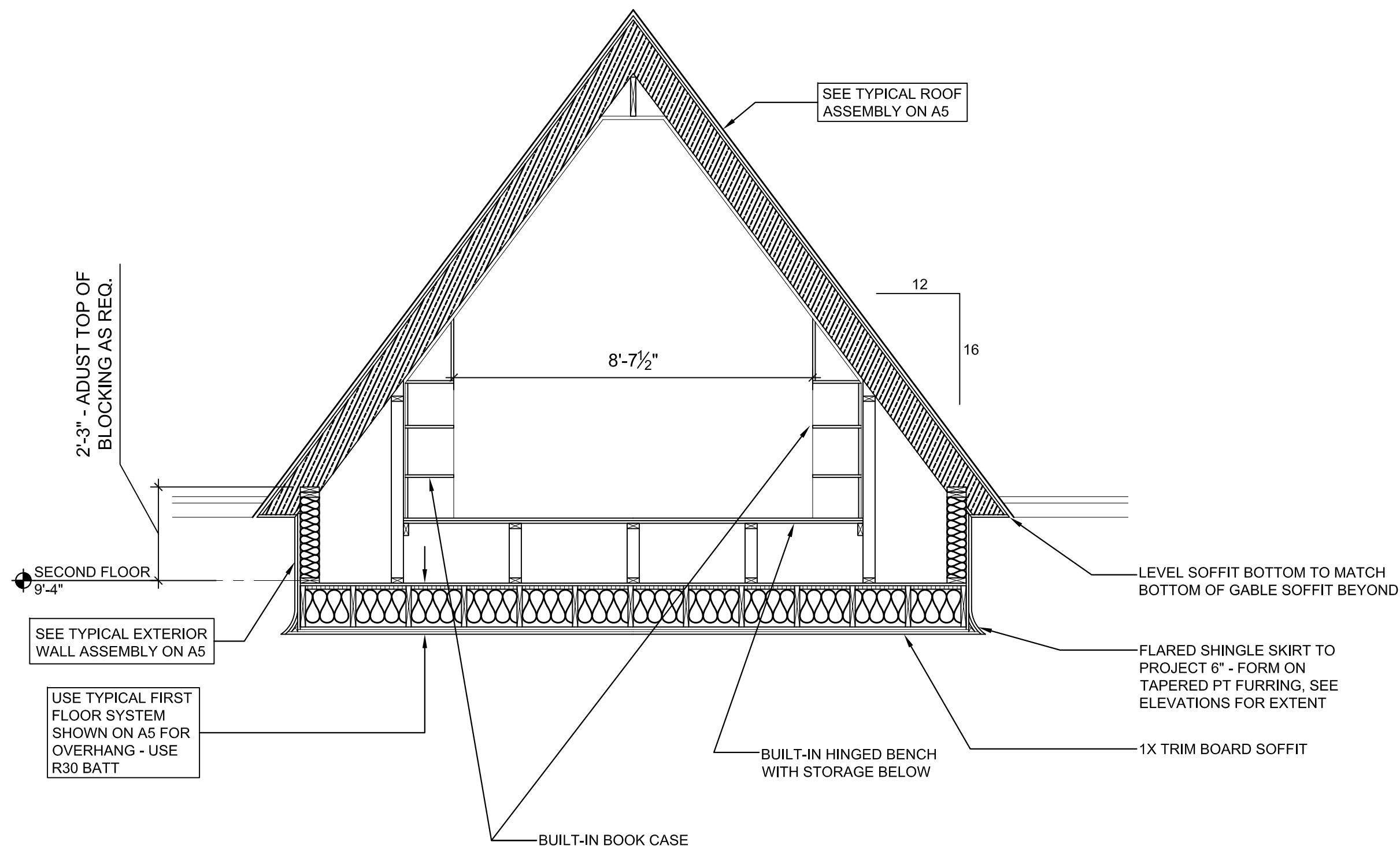
PERMIT
DRAWINGS

August 18, 2011

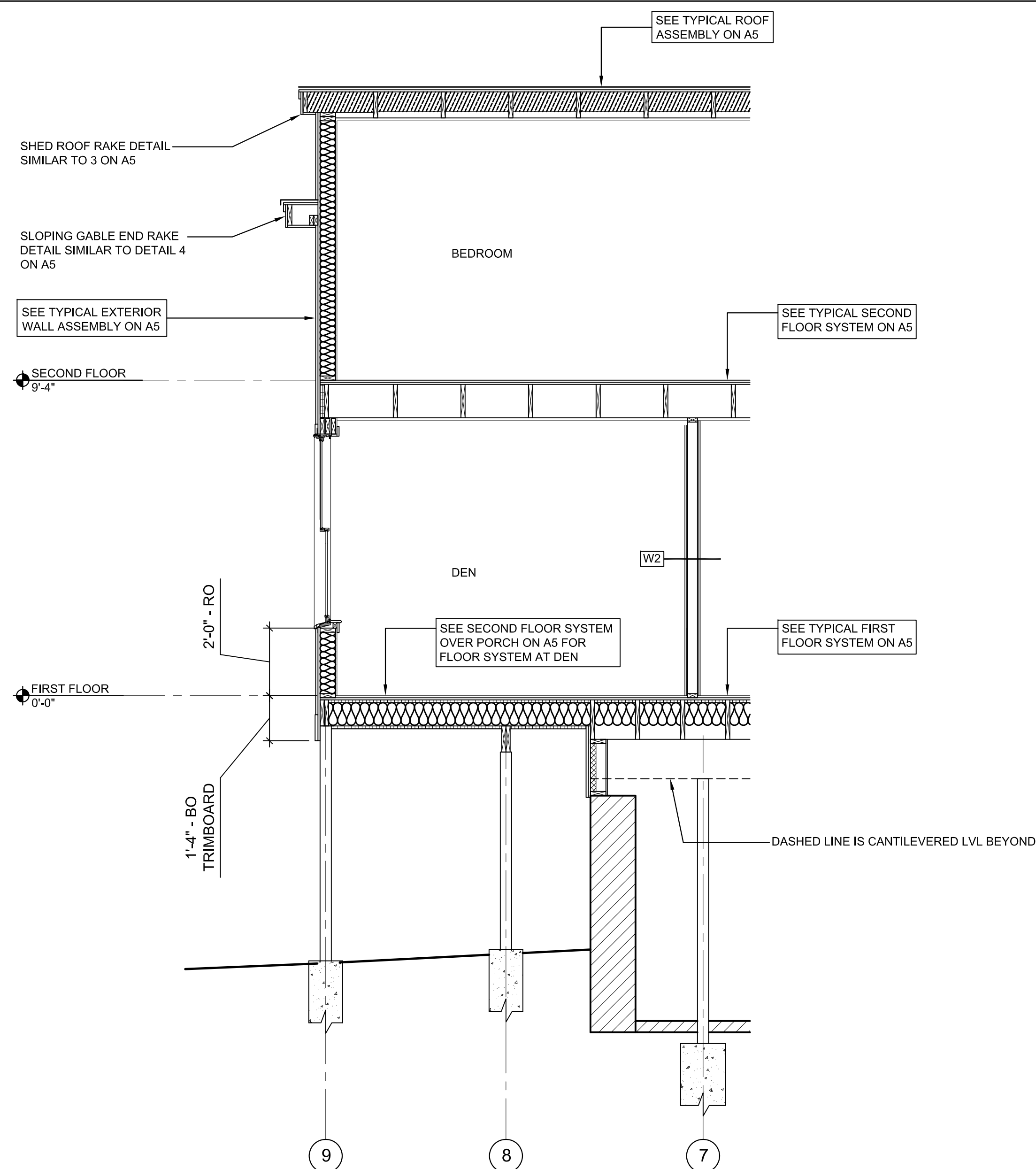
SCALE:
as noted

SECTIONS

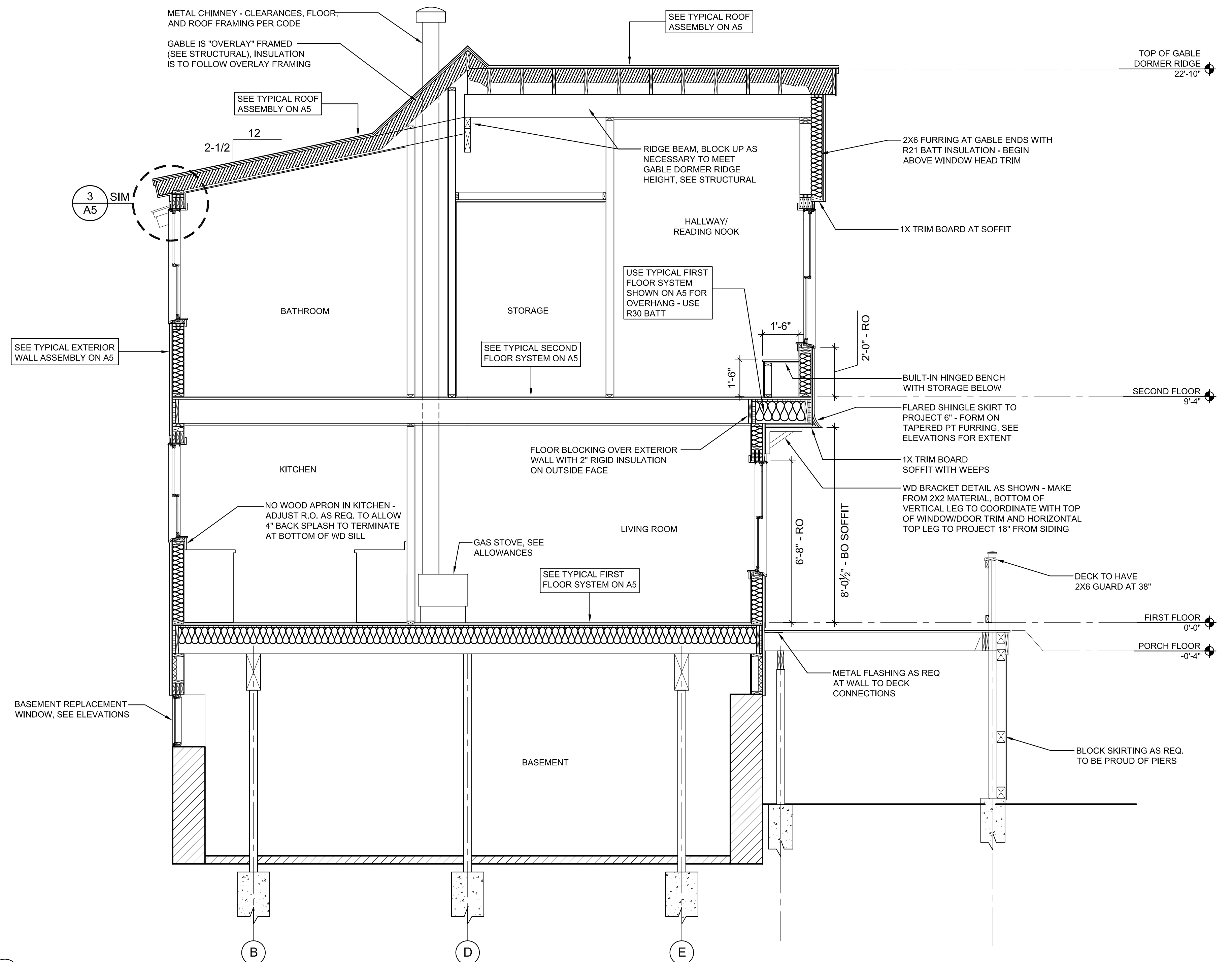
A6



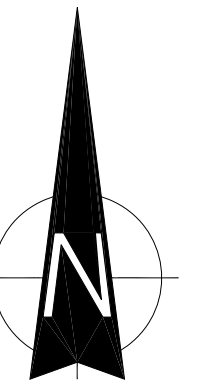
3 SECTION
SCALE: 3/8" = 1'-0"



2 SECTION
SCALE: 3/8" = 1'-0"



1 SECTION
SCALE: 3/8" = 1'-0"



160 Upper A Street
Peaks Island, Maine

PERMIT
DRAWINGS

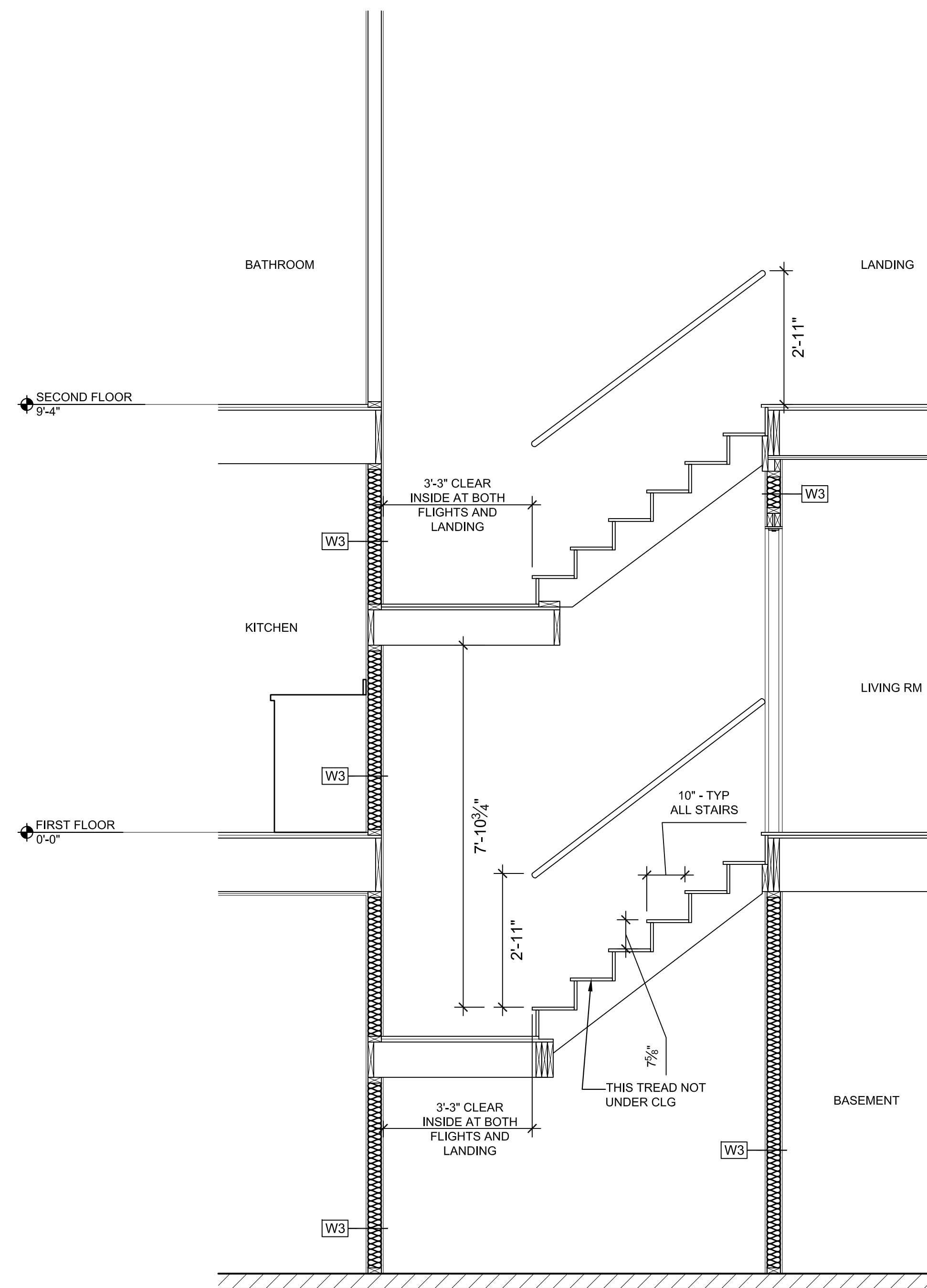
August 18, 2011

SCALE:
as noted

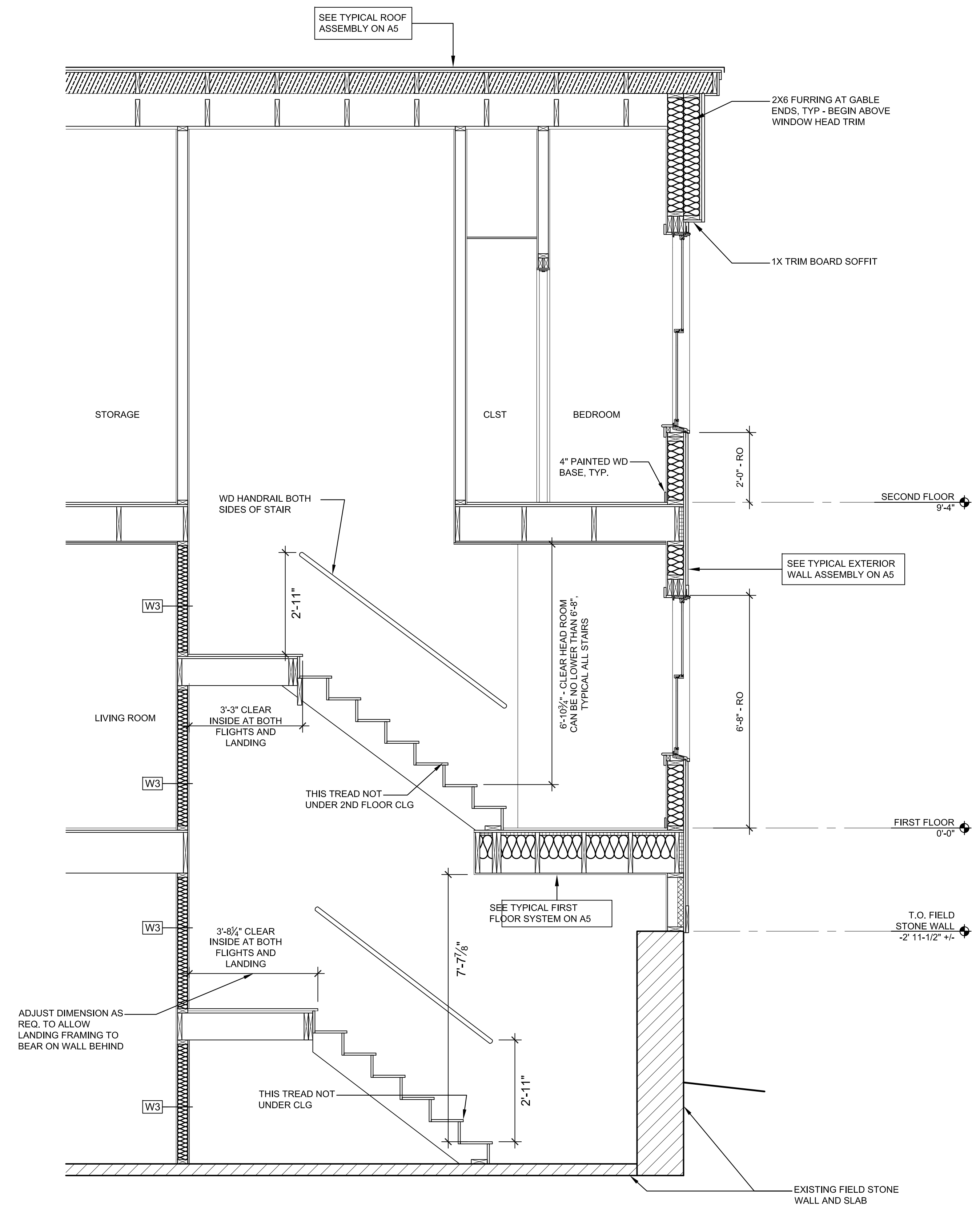
SECTIONS,
STAIRS

A7

STAIR NOTES: ALL STAIRS TO HAVE MAXIMUM 7-3/4" RISER, 10" TREADS, AND 1" NOSING. PROVIDE HANDRAILS ON BOTH SIDES OF ALL STAIRS AT 2'-10". RETURN HANDRAILS AT BOTH TOP AND BOTTOM. MINIMUM HEAD HEIGHT CLEARANCE ABOVE TREADS IS 6'-8". DECK STAIRS TO HAVE BALUSTERS THAT ARE FULL HEIGHT AND SPACED TO PREVENT THE PASSAGE OF A SPHERE 4" IN DIAMETER. DECK STAIRS TO HAVE A 2X6 GUARD AT 38".



2 STAIR SECTION
SCALE: 1/2" = 1'-0"



1 STAIR SECTION
SCALE: 1/2" = 1'-0"

THE FOLLOWING BUILDING CODES AND STANDARDS SHALL BE REFERENCED DURING CONSTRUCTION:

Table listing building codes and standards: IBC 2009, ASCE 7, ACI 301, ACI 308, ASTM, NDS.

REFERENCE ARCHITECTURAL PLANS FOR DIMENSIONS NOT SHOWN. REFERENCE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL PLANS FOR SIZES AND LOCATIONS OF WALL AND SLAB OPENINGS, DUCTS, PIPING, CURBS, AND EQUIPMENT PADS.

EXISTING DIMENSIONS AND CONDITIONS ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL EXISTING CONSTRUCTION AND DIMENSIONS IN THE FIELD PRIOR TO CONSTRUCTION OR FABRICATION.

THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF DEVIATIONS OR CHANGES ARE REQUIRED TO THE CONTRACT DOCUMENTS OR APPROVED SHOP DRAWINGS DUE TO INTERFERENCES, FABRICATION ERRORS, OR OTHER CAUSES.

THE STRUCTURE IS SELF-SUPPORTING AND STABLE AFTER THE ENTIRE BUILDING IS COMPLETELY CONSTRUCTED. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR ERECTION PROCEDURES AND SEQUENCING DURING CONSTRUCTION AND ERECTION TO PROVIDE AND ENSURE LOCAL AND OVERALL STABILITY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION AND ERECTION.

GENERAL NOTES

SCALE: NTS

LIVE LOAD: SLEEPING AREAS = 30 PSF, LIVING AREAS = 40 PSF, EXTERIOR DECK = 50 PSF

SNOW LOADS: GROUND SNOW LOAD, Pg = 35 PSF, SNOW EXPOSURE FACTOR, Ce = 1.0, SNOW LOAD IMPORTANCE FACTOR, I = 1.0

WIND LOADS: BASIC WIND SPEED = 100 MPH, IMPORTANCE FACTOR, Iw = 1.0, WIND EXPOSURE C

MAIN WINDFORCE-RESISTING SYSTEM (INCLUDES WINDWARD + LEeward) = 20 PSF

SEISMIC CRITERIA: SOIL SITE CLASSIFICATION = D, DESIGN SPECTRAL RESPONSE ACCELERATION: Sds = .37, Sd1 = .16, SEISMIC USE GROUP I, SEISMIC DESIGN CATEGORY C, RESPONSE MODIFICATION COEFFICIENT, R = 6.5, OCCUPANCY IMPORTANCE FACTOR, Ipe = 1.0, BASE SHEAR, W = SEISMIC WEIGHT

DESIGN CRITERIA

SCALE: NTS

ALL CONCRETE WORK, INCLUDING MATERIAL SELECTION, ADMIXTURES, MIXING, AND PLACEMENT OF CONCRETE SHALL BE IN CONFORMANCE WITH APPLICABLE BUILDING CODES. IN ADDITION, REFERENCE THE FOLLOWING CONCRETE STANDARDS AND SPECIFICATIONS:

Table listing ACI 318, ACI 301, ACI 308, ACI 306, ACI 308 standards for reinforced concrete.

REQUIRED CONCRETE PARAMETERS ARE AS FOLLOWS:

Table with columns: LOCATION, MAX W/C RATIO, fc, AIR-ENTRAINMENT. Rows include INT. CONC./WALLS/SLABS, FOUNDATIONS, INT. SLAB-ON-GRADE, EXT. SLAB-ON-GRADE.

WHERE: W/C = WATER TO CEMENT RATIO AND fc = COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS

MAXIMUM AGGREGATE SIZE SHALL BE 3/4", IN CONFORMANCE WITH ASTM C33. USE PORTLAND CEMENT TYPE II, IN CONFORMANCE WITH ASTM 150. AIR ENTRAINING ADMIXTURES SHALL CONFORM TO ASTM C 260.

MAXIMUM SLUMP AFTER THE ADDITION OF A WATER-REDUCING ADMIXTURE IS 8 INCHES.

CONCRETE EXPOSED TO FREEZING AND THAWING, INCLUDING FOUNDATIONS, FOOTINGS, FOUNDATION WALLS, AND EXTERIOR WALKWAYS SHALL BE AIR ENTRAINED WITH AIR CONTENT BETWEEN 5% AND 6%.

CONTRACTOR SHALL SUBMIT PROPOSED CONCRETE MIX DESIGN AND LABORATORY TESTS OF FABRICATED CYLINDERS VERIFYING CONCRETE STRENGTH OR PERFORMANCE HISTORY OF MIX TO ENGINEER FOR ACCEPTANCE PRIOR TO PLACEMENT OF CONCRETE.

CONSTRUCTION JOINTS IN WALLS SHALL BE PERMITTED AS DETAILED ON THE STRUCTURAL DRAWINGS. SURFACES OF CONCRETE CONSTRUCTION JOINTS SHALL BE CLEANED AND LAITANCE REMOVED.

WHERE ELECTRICAL CONDUIT/ RADIANT HEATING TUBES RUN IN THE SLAB, THEY SHALL BE LOCATED AT MID-DEPTH OF THE SLAB.

ANCHOR BOLTS SHALL CONFORM TO ASTM F1554. ANCHOR BOLTS SHALL HAVE HEAVY HEX NUTS AND LOCK WASHERS.

CONCRETE NOTES

SCALE: NTS

USE DEFORMED BILLET-STEEL REINFORCING BARS, GRADE 60, IN CONFORMANCE WITH ASTM A615. REINFORCEMENT SHALL BE ACCURATELY PLACED AND SUPPORTED PRIOR TO CONCRETE PLACEMENT, AND SHALL BE SECURED AGAINST DISPLACEMENT.

THE CONTRACTOR SHALL SUBMIT REINFORCING SHOP DRAWINGS TO THE ENGINEER FOR REVIEW AND ACCEPTANCE PRIOR TO COMMENCING FABRICATION.

Table: MINIMUM CONCRETE COVER FOR REINFORCEMENT. Columns: CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH, CONCRETE EXPOSED TO EARTH OR WEATHER, CONCRETE NOT EXPOSED TO EARTH OR WEATHER IN SLABS AND WALLS, CONCRETE NOT EXPOSED TO EARTH OF WEATHER IN COLUMNS AND BEAMS.

CONTINUOUS REINFORCEMENT SHALL BE TENSION LAP SPICED PER LAP SPLICE LENGTH TABLE, U.N.O..

Table: LAP SPLICE LENGTH TABLE. Columns: BAR SIZE, MIN LAP SPLICE (INCHES). Rows: #3, #4, #5, #6, #7, #8, #9.

REINFORCEMENT HOOKS SHALL CONFORM TO STANDARD HOOKS ACCORDING TO ACI 318. WELDING OF REINFORCEMENT IS NOT PERMITTED, U.N.O.

CONCRETE REINFORCING NOTES

SCALE: NTS

SUBGRADE PREPARATION AND DETERMINATION (INCLUDING ALLOWABLE BEARING PRESSURE, STRUCTURAL FILL GRADATION REQUIREMENTS, COMPACTION REQUIREMENTS AND POST-CONSTRUCTION SETTLEMENT ANALYSIS) BENEATH FOOTINGS AND SLABS-ON-GRADE AND BEHIND FOUNDATION WALLS SHALL BE PROVIDED BY A GEOTECHNICAL ENGINEER.

PRESUMED ALLOWABLE SOIL BEARING PRESSURE USED IN DESIGN = 2,000 PSF. BEARING CAPACITIES SHALL BE VERIFIED BY GEOTECHNICAL ENGINEER.

FOUNDATIONS SHALL BEAR ON UNDISTURBED NATIVE SOIL, UNLESS NOTED OTHERWISE. BEARING ELEVATIONS SHALL BE LOWERED WHERE SUITABLE SOILS ARE NOT ENCOUNTERED.

FOUNDATION WALLS SHALL BE BACKFILLED SIMULTANEOUSLY ON BOTH SIDES OF THE WALL. FOUNDATION WALLS AND SLAB-ON-GRADES SHALL REACH THEIR FULL 28 DAY COMPRESSIVE STRENGTH PRIOR TO BACKFILLING.

PROTECT FOUNDATIONS FROM FROST AND KEEP BOTTOM OF TRENCH DRY DURING CONSTRUCTION. IF GROUNDWATER IS ENCOUNTERED NEAR OR ABOVE THE BASE OF THE FOOTINGS, EXCAVATIONS SHALL BE DEWATERED DURING CONSTRUCTION.

CONTRACTOR SHALL BE RESPONSIBLE FOR THE SHORING AND BRACING OF EXISTING STRUCTURES DURING EXCAVATION, BACKFILLING, AND CONSTRUCTION.

FOUNDATION NOTES

SCALE: NTS

ALL LUMBER SHALL BE VISUALLY GRADED AND STAMPED WITH GRADE DESIGNATION, SPECIES, AND ADDITIONAL INSPECTION INFORMATION, U.N.O..

CARE SHALL BE TAKEN TO PROTECT TIMBER FROM WEATHER AND DAMPNESS. DO NOT STACK IN SUCH A WAY AS TO CAUSE WARPING OR PREVENT ADEQUATE AIR CIRCULATION.

WOOD GRADES AND SPECIES: 1. SPRUCE-PINE-FIR, No.1/No.2 OR BETTER FOR TYPICAL LUMBER (JOISTS, WALLS, ETC) U.N.O. 2. USE SOUTHERN YELLOW PINE FOR EXTERIOR EXPOSURE APPLICATIONS AND WHERE SHOWN ON DRAWINGS AS PRESERVATIVE PRESSURE TREATED LUMBER (PT OR PPT).

A. LVL PROPERTIES: Fb = 3100 PSI, Fc = 2510 PSI (PARALLEL TO GRAIN), Fv = 285 PSI, Fc = 750 PSI (PERPENDICULAR TO GRAIN), Ft = 1955 PSI, E = 2,000,000 PSI

STRUCTURAL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 19%.

PROVIDE PRESSURE TREATED OR WOLVANIZED LUMBER FOR ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE. ALL CONNECTORS THAT ARE IN CONTACT WITH PRESSURE TREATED LUMBER SHALL BE HOT-DIP GALVANIZED, U.N.O.

NOMINAL SIZES ARE TYPICALLY REFERENCED ON THE DRAWINGS. PROVIDE ACTUAL SIZES AS SET FORTH IN U.S. DEPARTMENT OF COMMERCE VOLUNTARY PRODUCT STANDARD PS20-99.

ALL PLYWOOD SHALL BE APA RATED CDX SHEATHING: 1. USE 1/2" PLYWOOD WALL SHEATHING. ATTACH PLYWOOD WITH LONG SIDE PERPENDICULAR TO WALL STUDS. STAGGER PANEL ENDS AND BLOCK ALL PANEL EDGES.

PROVIDE FULL DEPTH BLOCKING AT ENDS AND INTERIOR SUPPORTS OF ALL JOISTS AND RAFTERS WHERE JOISTS AND RAFTERS FRAME OVER SUPPORTS. PROVIDE 1x3 DIAGONAL BRIDGING OR FULL DEPTH SOLID BLOCKING FOR EACH 8'-0" OF SPAN FOR ALL JOISTS AND RAFTERS.

WHERE BEAMS ARE LABELED ON PLAN, DO NOT SPLICE BEAM NOR ANY PLY OF BEAM BETWEEN SUPPORTS.

FASTENERS SHALL COMPLY WITH RECOMMENDED FASTENING SCHEDULE OF REFERENCED BUILDING CODE, U.N.O. ON DRAWINGS. SPIKE TOGETHER ALL FRAMING MEMBERS WHICH ARE BUILT-UP USING A MINIMUM OF 2-ROWS OF 16d NAILS AT 12" O.C. STAGGERED, UNLESS OTHERWISE NOTED IN BOCA OR ON THE DRAWINGS.

ALIGN COLUMNS SUCH THAT COLUMNS BEAR CONTINUOUSLY TO FOUNDATION SUPPORT.

PROVIDE HORIZONTAL BLOCKING FOR ALL LOAD BEARING WALLS AT 4'-0" O.C. VERTICAL, MAXIMUM.

SUBMIT SHOP DRAWINGS FOR ALL PREFABRICATED WOOD JOISTS AND WALL PANELS TO ENGINEER FOR REVIEW PRIOR TO CONSTRUCTION.

WOOD NOTES

SCALE: NTS

ALL STRUCTURAL STEEL WORK SHALL CONFORM TO:

AISC AMERICAN INSTITUTE OF STEEL CONSTRUCTION, MANUAL OF STEEL CONSTRUCTION, NINTH EDITION CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIGDES

STRUCTURAL STEEL MEMBERS SHALL BE IN CONFORMANCE WITH THE FOLLOWING:

ALL STEEL, U.N.O. ANGLES, PLATES STRUCTURAL TUBING STEEL PIPE

SHOP DRAWINGS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER FOR REVIEW PRIOR TO COMMENCING FABRICATION.

- SHOP DRAWINGS SUBMITTALS SHALL INCLUDE: 1. CERTIFIED MILL TEST REPORTS OF STRUCTURAL STEEL (INCLUDING NAMES AND LOCATIONS OF MILLS AND SHOPS). 2. CERTIFIED MILL TEST REPORTS OF BOLTS, NUTS AND WASHERS (INCLUDING NAMES AND LOCATIONS OF MILLS AND SHOPS).

- OWNER SHALL RETAIN A QUALIFIED TESTING AGENCY TO PERFORM AND VERIFY THE FOLLOWING: 1. VISUAL INSPECTION OF ALL WELDS. 2. ULTRASONIC TESTING, IN ACCORDANCE WITH ASTM E-164, ON 100% OF ALL FIELD FULL PENETRATION WELDS.

- BOLTED CONNECTIONS: 1. FIELD CONNECTIONS SHALL UTILIZE MINIMUM 3/4" DIAMETER A325 HIGH STRENGTH BOLTS, U.N.O.. BOLTED CONNECTION SHALL BE SUP CRITICAL (SC) AT ALL MOMENT FRAMES, BRACED FRAMES, AND AT ADDITIONAL LOCATIONS INDICATED IN THE DRAWINGS.

WELDED CONNECTIONS: 1. WELDING SHALL CONFORM TO AWS D1.1. USE LOW-HYDROGEN SMAW ELECTRODES WITH MINIMUM TENSILE STRENGTH OF 70 KSI.

- STRUCTURAL STEEL SHALL RECEIVE THE FOLLOWING PROTECTIVE COATINGS: 1. DO NOT PAINT SURFACES TO RECEIVE METAL DECK AND/ OR SHEAR CONNECTORS FASTENED BY WELDING, CONTACT SURFACES OF HIGH STRENGTH BOLTED CONNECTIONS, FINISHED BEARING SURFACES, AND SURFACES TO BE WELDED IN THE FIELD.

- SHEAR CONNECTOR STUDS: 1. SHEAR CONNECTOR STUDS SHALL BE NELSON, OR EQUIVALENT, 3/4" DIAMETER, U.N.O.. WELD STUDS PER STUD MANUFACTURER'S RECOMMENDATIONS THROUGH METAL DECKING.

STRUCTURAL STEEL NOTES

SCALE: NTS

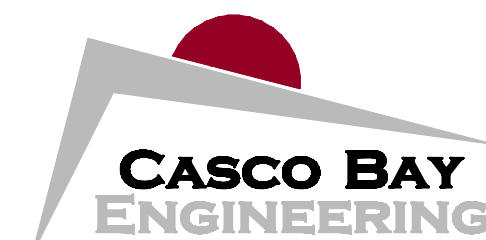
ABBREVIATIONS

SCALE: NTS

Table of abbreviations: SLOPE DESIGNATION, ELEVATION MARK, ROOF PITCH, SPAN DIRECTION, SECTION MARK. Includes symbols for SLOPE, ELEVATION, ROOF PITCH (12/8), SECTION MARK, and corresponding material types like UNDISTURBED EARTH, LEDGE, COMPACTED STRUCTURAL FILL, CONCRETE, GROUT, BRICK, CMU.

LEGEND

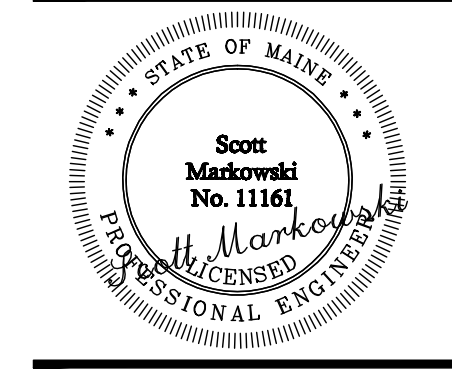
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424 Pine Street Portland, ME 04101 Phone 207.842.2890 Fax 207.842.2828 www.cascobayengineering.com

CLIENT:

SUSAN BERRY 3222 DESOTO STREET NEW ORLEANS, LA 70119



160 UPPER A STREET PEAKS ISLAND MAINE NEW BUILDING

ISSUED table with columns: No., DESCRIPTION, ISSUE FOR BID, DR, BY, TD, DATE. Row 1: No. 0, DESCRIPTION, ISSUE FOR BID, DR, BY, TD, DATE 8-18-11

SHEET TITLE:

STRUCTURAL NOTES

Table with columns: DESIGNED: TD, DRAWN: TD, DATE: 8-2-11, PROJECT NUMBER: 11-053

SO

PRINTED: Aug 17, 2011

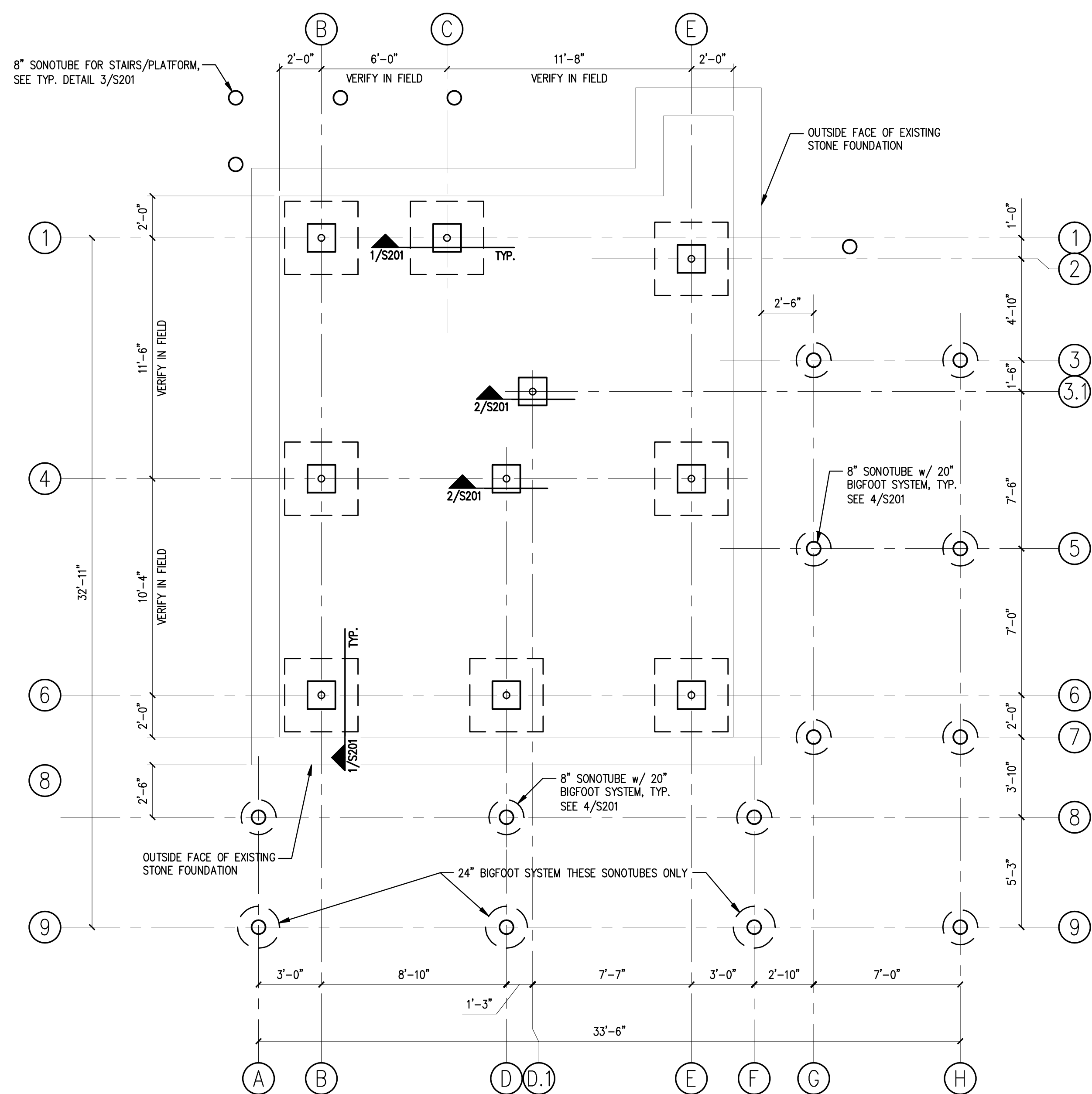
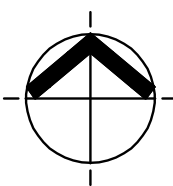


ISSUED	DR. NO.	DATE
ISSUE FOR BID	0	8-18-11

SHEET TITLE:
FOUNDATION & FIRST FLOOR FRAMING PLAN

DESIGNED:	TD
DRAWN:	TD
DATE:	8-2-11
PROJECT NUMBER:	11-053

S100

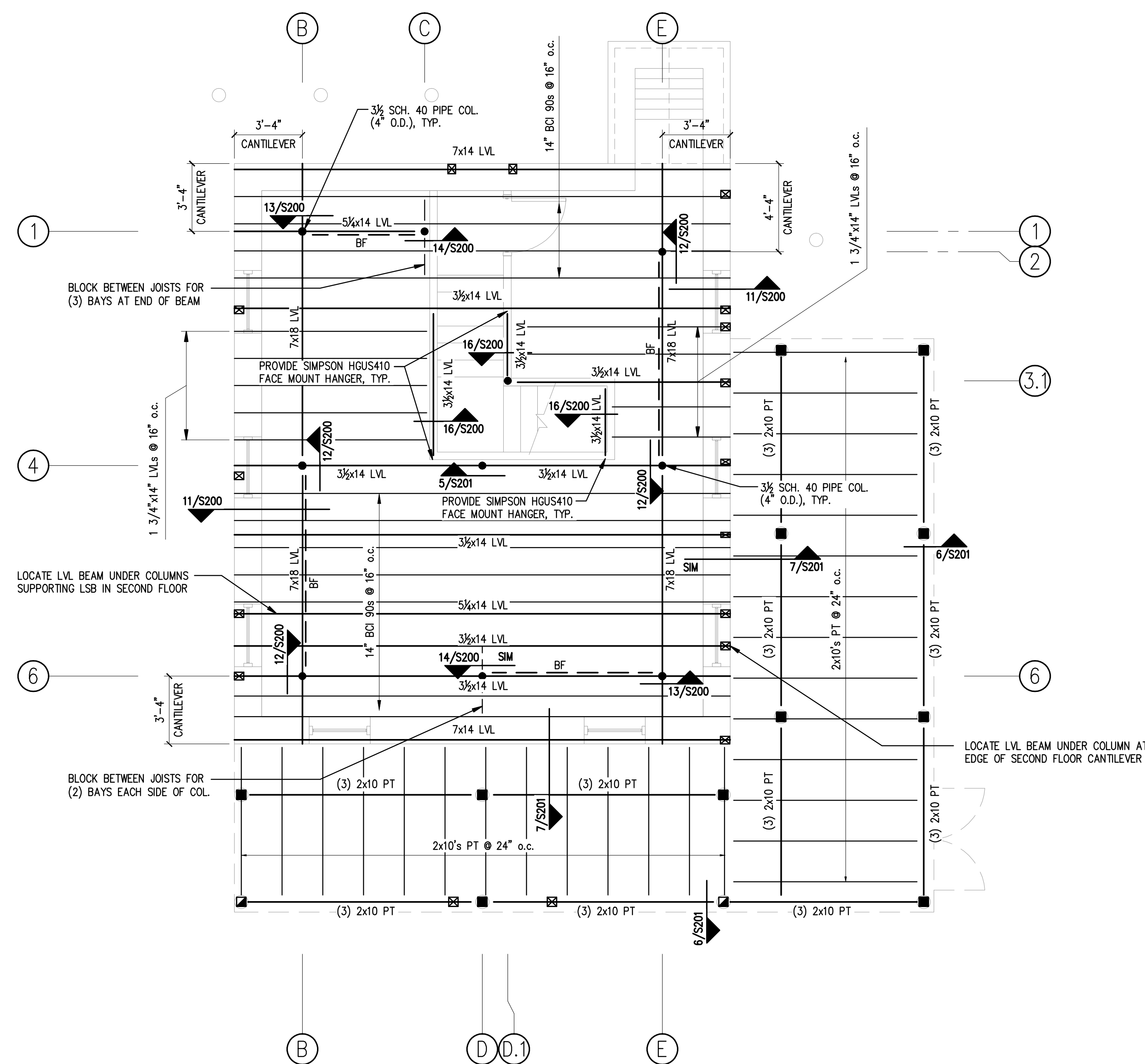


PLAN LEGEND

	SHEAR WALL
	BEAM
	BRACED FRAME
	PIPE COLUMN
	COLUMN FROM ABOVE
	COLUMN BELOW
	COLUMN ABOVE AND BELOW
	HOLD-DOWN

FOUNDATION PLAN

SCALE: 1/4"=1'-0" 1



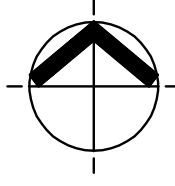
- NOTES:**
- PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 - WINDOW HEADERS SHALL BE (3)-2x8's w/ 1/2" PLYWOOD LAMS, U.N.O.
 - PROVIDE (3)-2x6 COLUMNS, U.N.O.
 - SEE TYPICAL FLOOR/ROOF SHEATHING DETAIL ON DWG S101.
 - "BF" DENOTES BRACED FRAME LOCATION. SEE BRACED FRAME ELEVATION 15/S200.

PLAN LEGEND

	SHEAR WALL
	BEAM
	BRACED FRAME
	PIPE COLUMN
	COLUMN FROM ABOVE
	COLUMN BELOW
	COLUMN ABOVE AND BELOW
	HOLD-DOWN

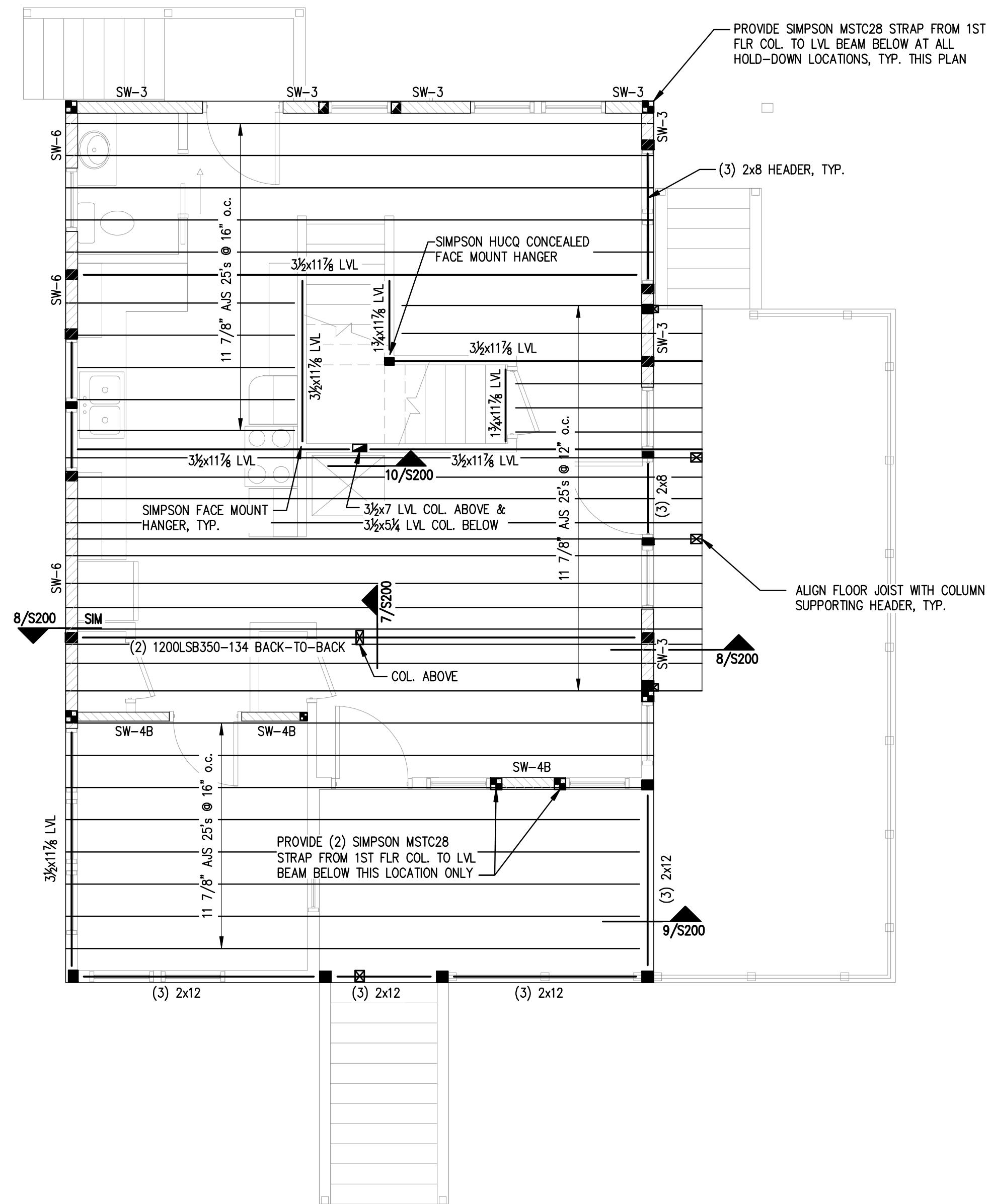
FIRST FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" 2



SHEAR WALL SCHEDULE BETWEEN FLOOR/ROOF DIAPHRAGMS			
GRID	SHEATHING REQUIREMENTS	NAILING AT PANEL EDGES	REMARKS
SW-3	ONE SIDE	3" o.c.	
SW-4B	BOTH SIDES	4" o.c.	
SW-6	ONE SIDE	6" o.c.	

- NOTES FOR SHEAR WALL SCHEDULES:
- PLYWOOD SHEATHING SHALL BE 1/2" APA RATED SHEATHING.
 - DO NOT COUNTERSINK NAILS INTO PLYWOOD SHEATHING.
 - BLOCK ALL PANEL EDGES
 - SPACE NAILS 12" o.c. AT INTERMEDIATE SUPPORTS.
 - SHEAR WALLS SHALL EXTEND UP TO DIAPHRAGM ABOVE.



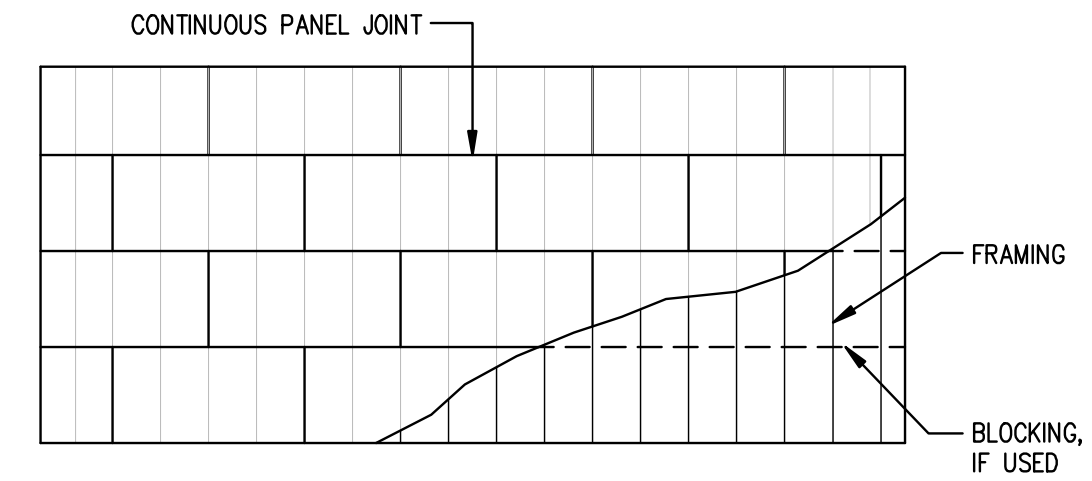
- NOTES:
- PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 - WINDOW HEADERS SHALL BE (3)-2x8's w/ 1/2" PLYWOOD LAMS, U.N.O.
 - PROVIDE (3)-2x6's AT ALL COLUMNS CORNERS AND HOLD-DOWN LOCATIONS, U.N.O.
 - SW-"X" DENOTES SHEAR WALL BETWEEN 2ND AND FIRST FLOOR DIAPHRAGMS. SEE SHEAR WALL SCHEDULE THIS DWG FOR NAILING REQUIREMENTS AND ADD'L INFO.
 - SEE TYPICAL FLOOR/ROOF SHEATHING DETAIL THIS DWG.

PLAN LEGEND

	SHEAR WALL
	BEAM
	BRACED FRAME
	PIPE COLUMN
	COLUMN FROM ABOVE
	COLUMN BELOW
	COLUMN ABOVE AND BELOW
	HOLD-DOWN

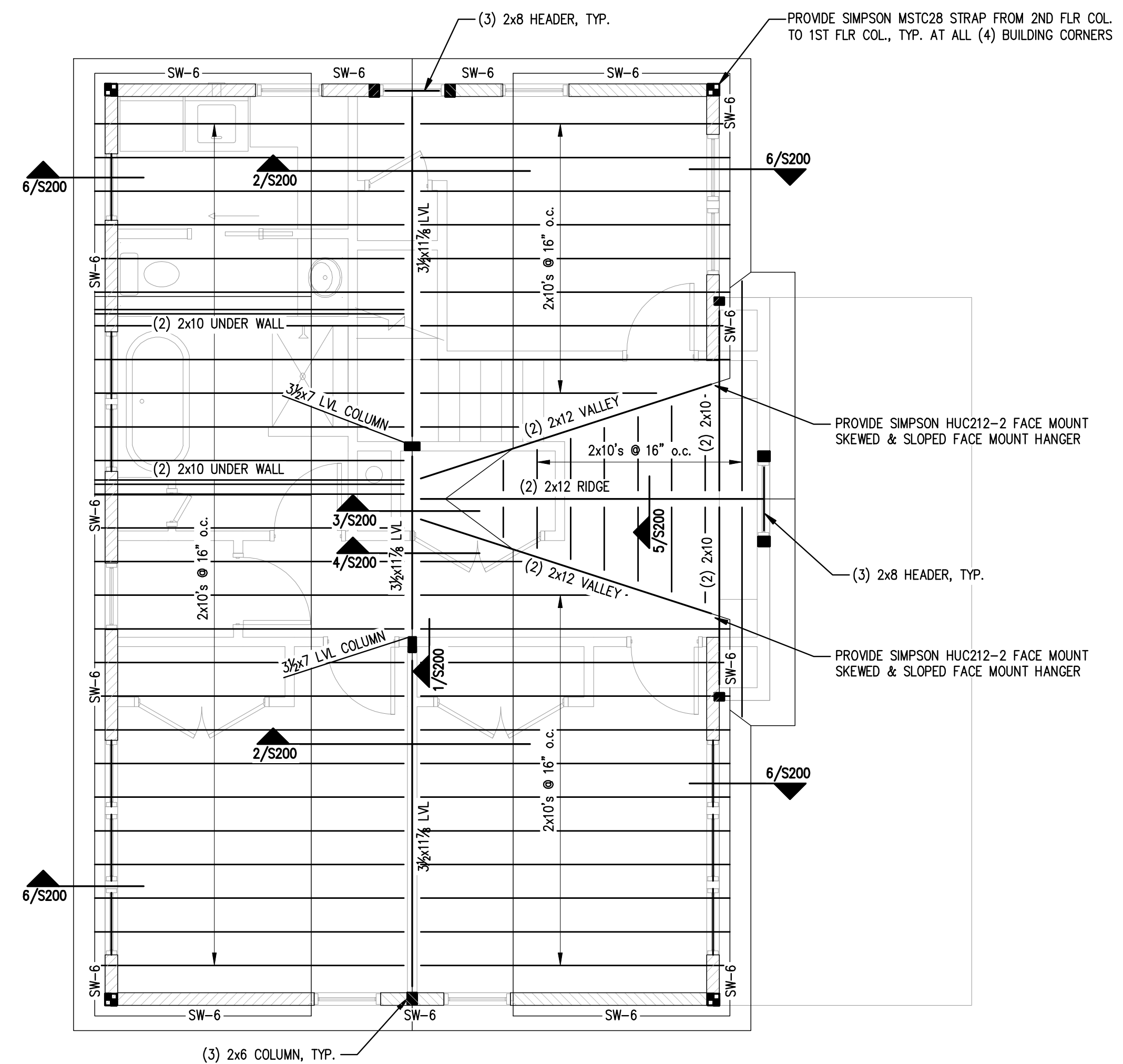
SECOND FLOOR FRAMING PLAN

SCALE: 1/4"=1'-0" 1



- NOTES FOR TYPICAL FLOOR/ROOF SHEATHING DETAIL:
- SEE 5000 FOR WOOD NOTES FOR SHEATHING REQUIREMENTS.
 - USE APA RATED 5/8" CDX PLYWOOD SHEATHING ON ROOF. USE APA RATED 3/4" PLYWOOD SHEATHING ON FLOOR.
 - ATTACH ROOF AND FLOOR DIAPHRAGMS W/5d NAILS SPACED 12" o.c. ALONG INTERMEDIATE FRAMING MEMBERS AND 6" o.c. AT SUPPORTED EDGES.
 - FLOOR AND ROOF DIAPHRAGMS ARE UNBLOCKED, EXCEPT AS NOTED ON ROOF FRAMING PLAN.
 - USE SHEATHING CLIPS BETWEEN SHEETS ON ROOF WHERE BLOCKING IS NOT REQUIRED.

TYPICAL FLOOR/ROOF SHEATHING DETAIL



- NOTES:
- PROVIDE SIMPSON JOIST HANGERS AT ALL JOIST ENDS, TYP.
 - WINDOW HEADERS SHALL BE (3)-2x8's w/ 1/2" PLYWOOD LAMS, U.N.O.
 - PROVIDE (3)-2x6's AT ALL COLUMNS AND CORNERS, U.N.O.
 - SW-"X" DENOTES SHEAR WALL BETWEEN ROOF AND SECOND FLOOR DIAPHRAGM. SEE SHEAR WALL SCHEDULE THIS DWG FOR NAILING REQUIREMENTS AND ADD'L INFO.
 - SEE TYPICAL FLOOR/ROOF SHEATHING DETAIL THIS DWG.

PLAN LEGEND

	SHEAR WALL
	BEAM
	BRACED FRAME
	PIPE COLUMN
	COLUMN FROM ABOVE
	COLUMN BELOW
	COLUMN ABOVE AND BELOW
	HOLD-DOWN

ROOF FRAMING PLAN

SCALE: 1/4"=1'-0" 2



PRINTED: Aug 17, 2011

MAINE
 160 UPPER A STREET
 PEAKS ISLAND
 NEW BUILDING

ISSUED	DR	CHKD	DATE
DESCRIPTION	BY	BY	
ISSUE FOR BID <td>TD</td> <td>SM</td> <td>8-18-11</td>	TD	SM	8-18-11
No.	0		

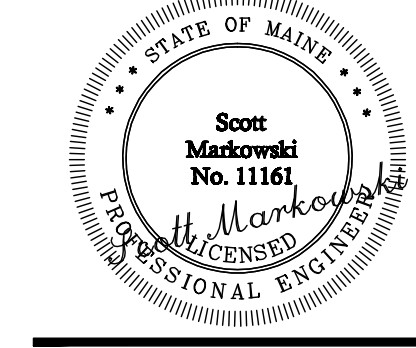
SHEET TITLE:
SECOND FLOOR & ROOF FRAMING PLAN

DESIGNED:	TD
DRAWN:	TD
DATE:	8-2-11
PROJECT NUMBER:	11-053

S101

PRINTED: Aug 17, 2011

CLIENT:
SUSAN BERRY
 3222 DESOTO STREET
 NEW ORLEANS, LA 70119



160 UPPER A STREET
 PEAKS ISLAND
 NEW BUILDING

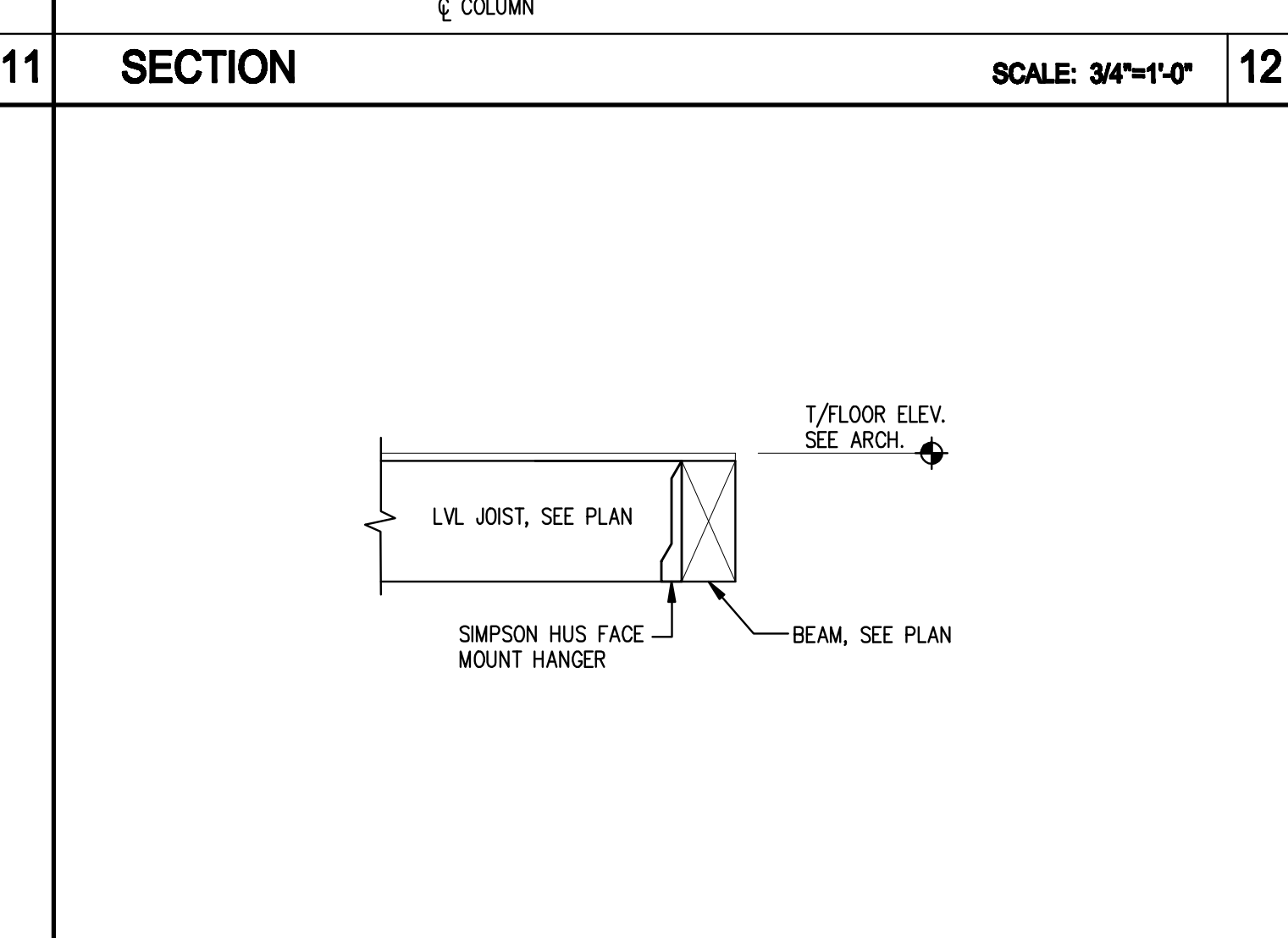
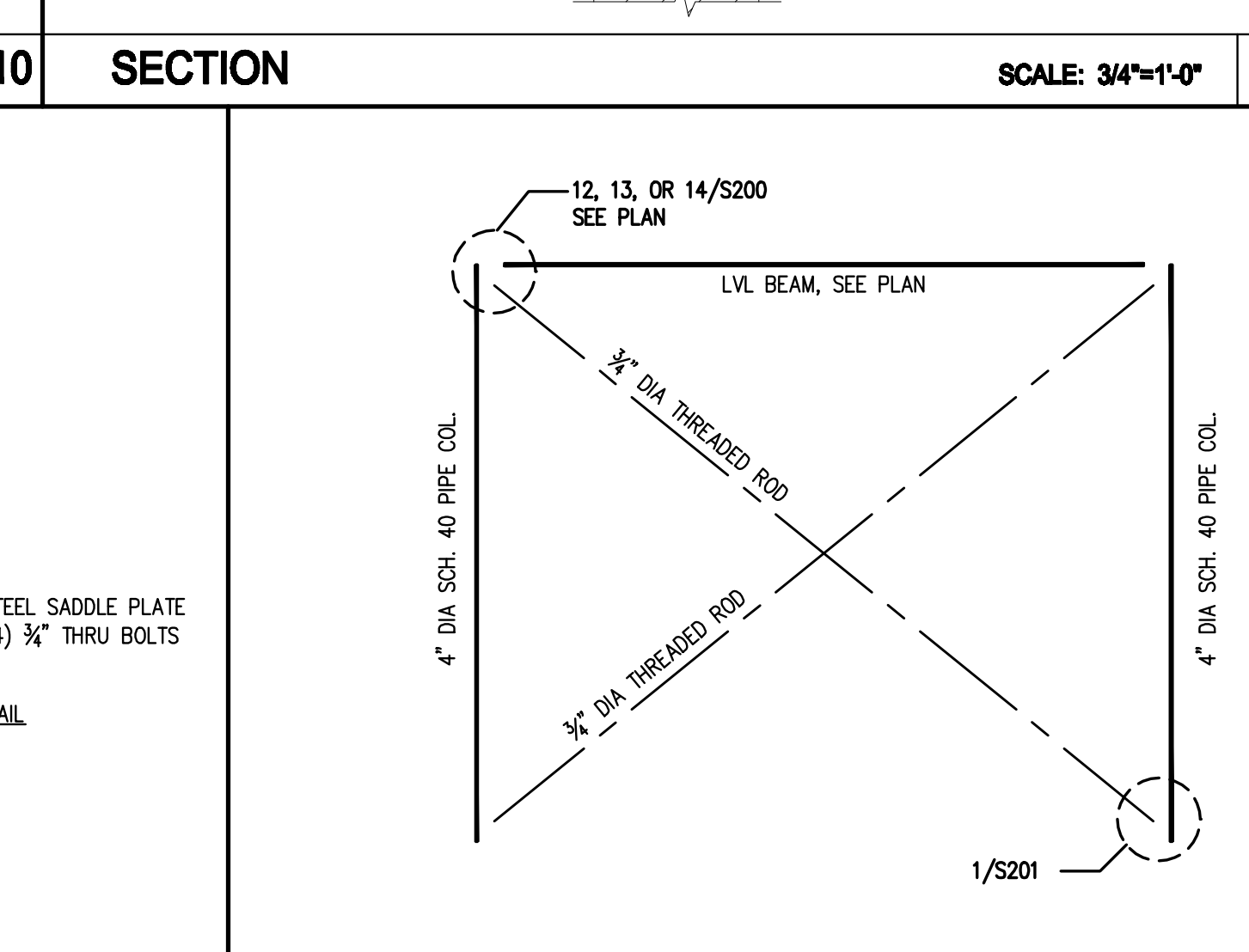
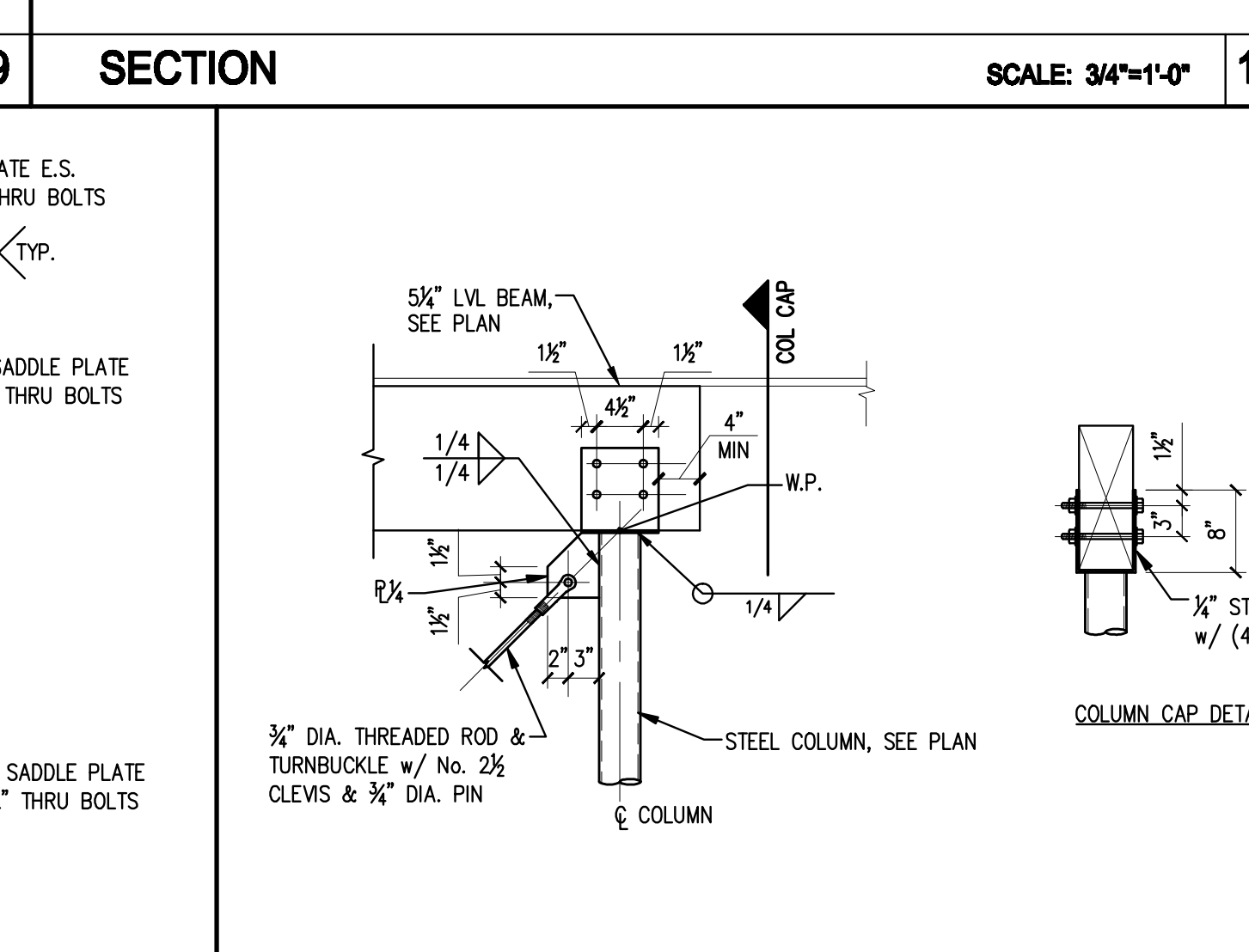
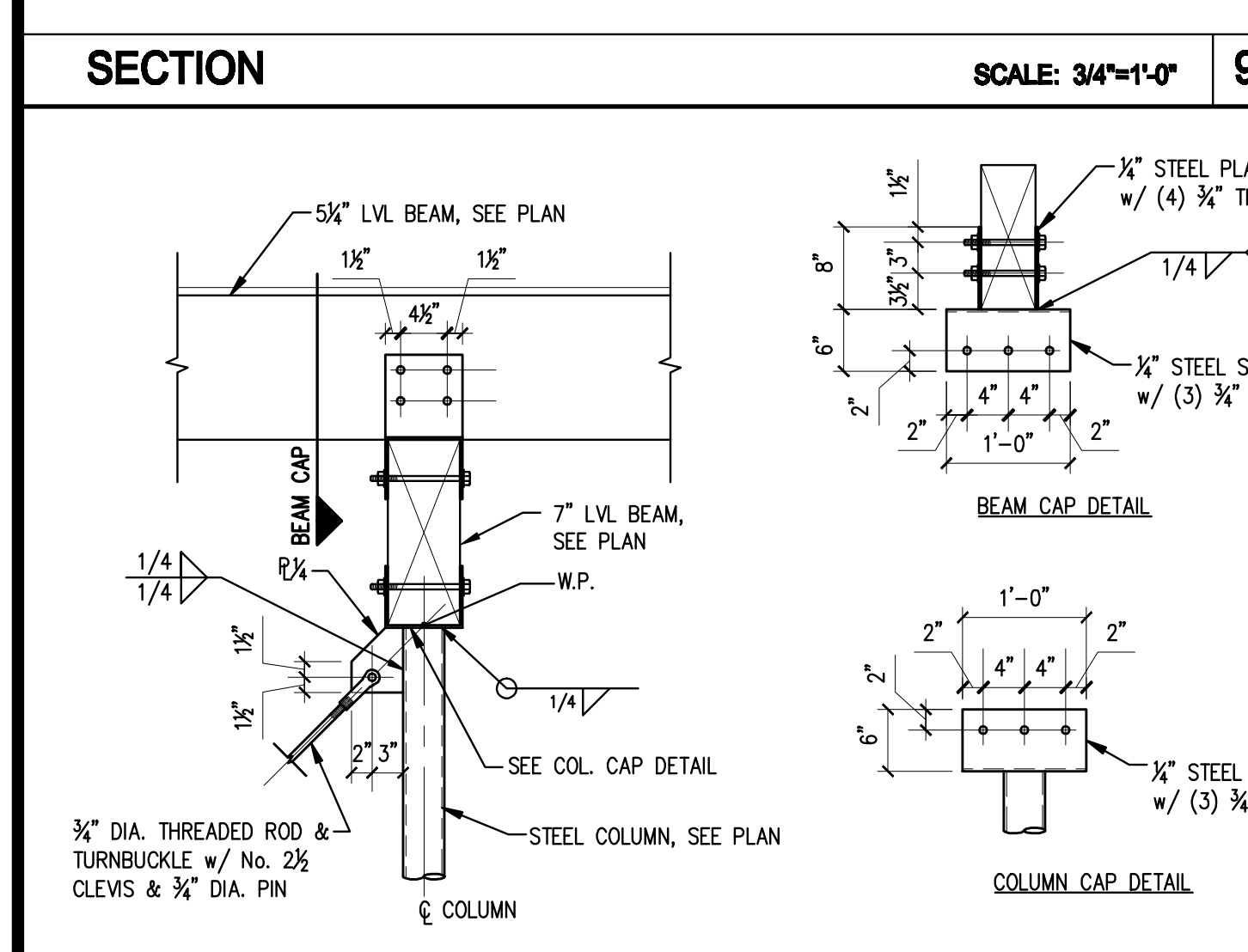
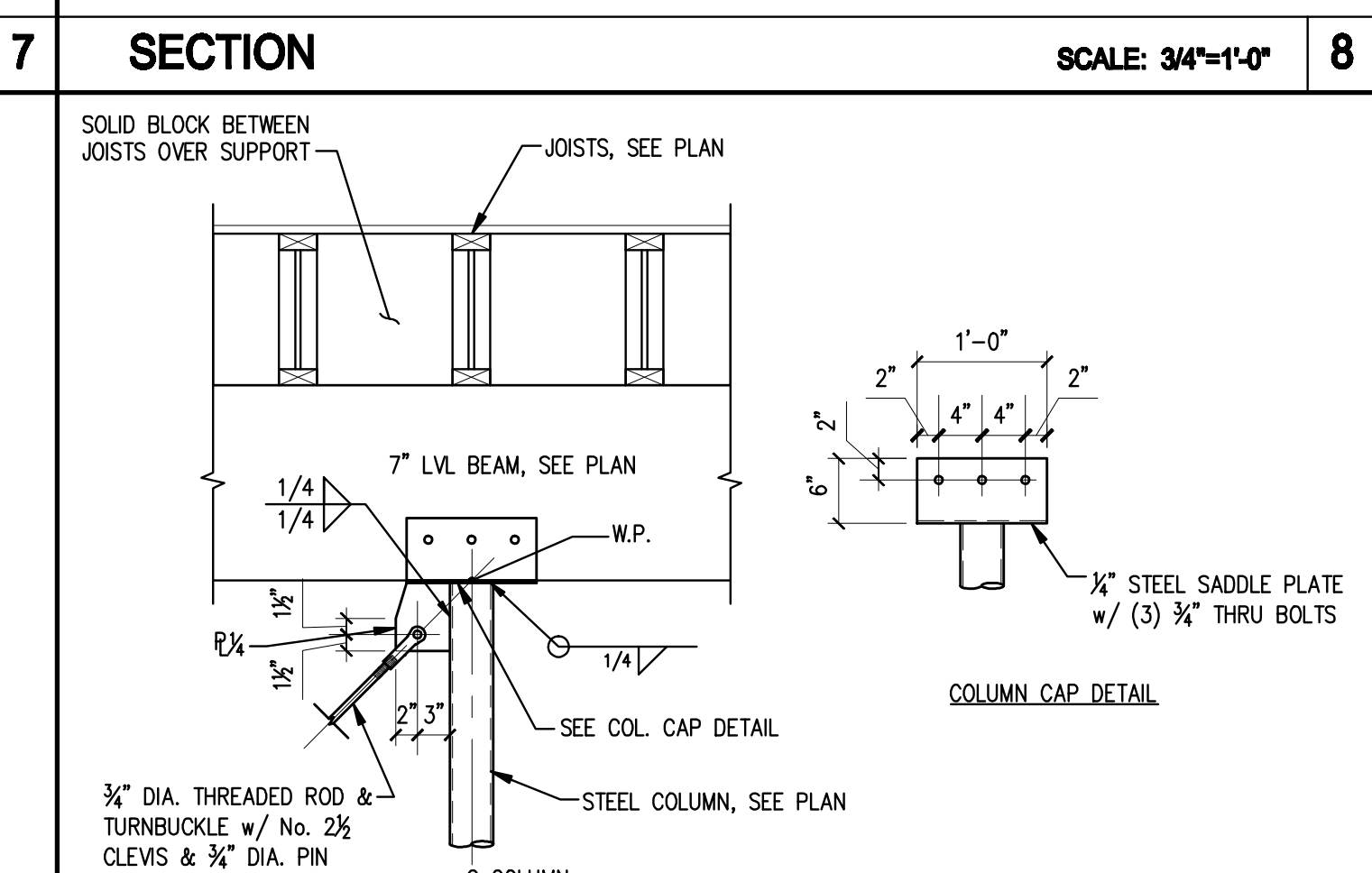
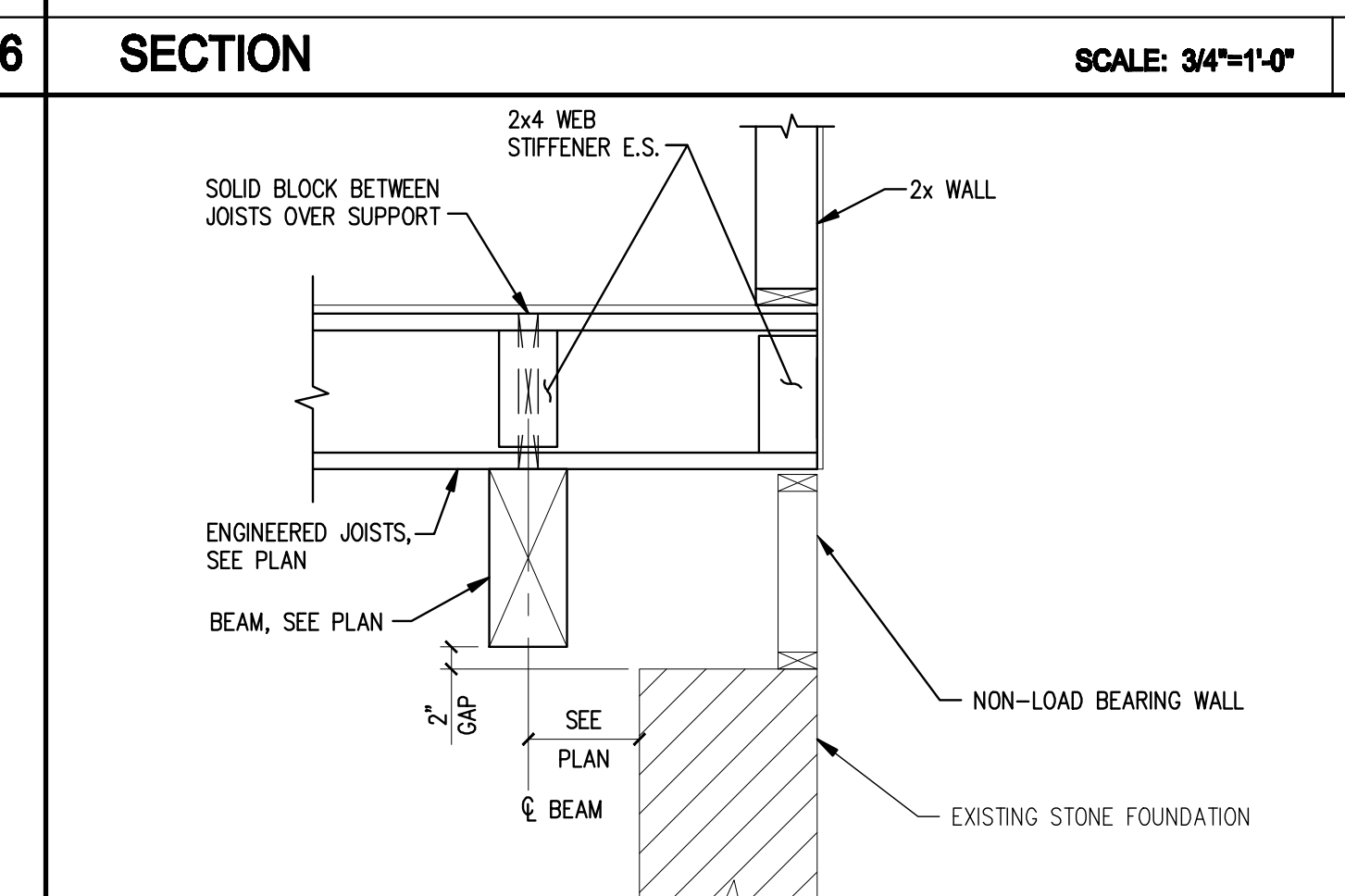
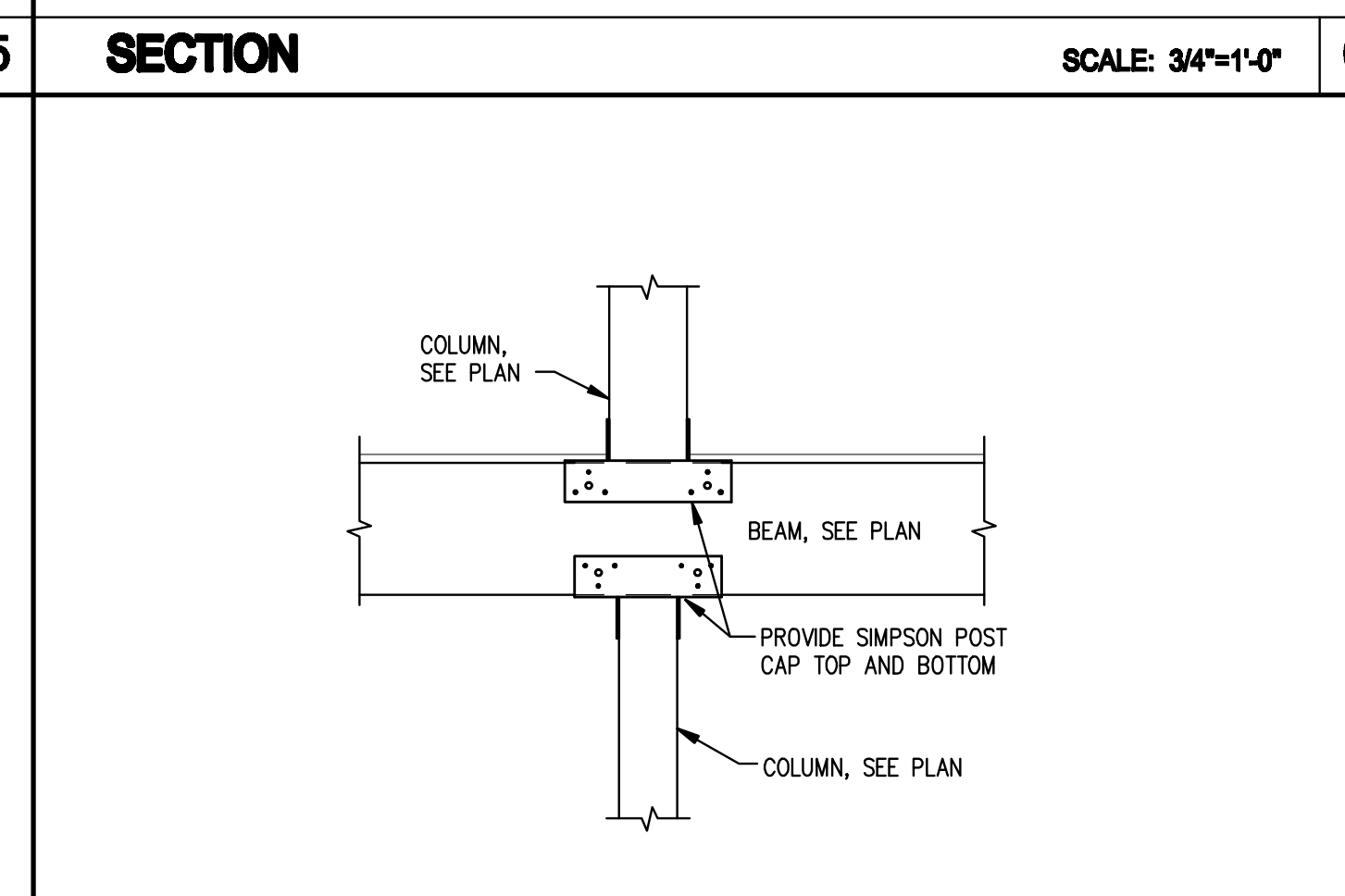
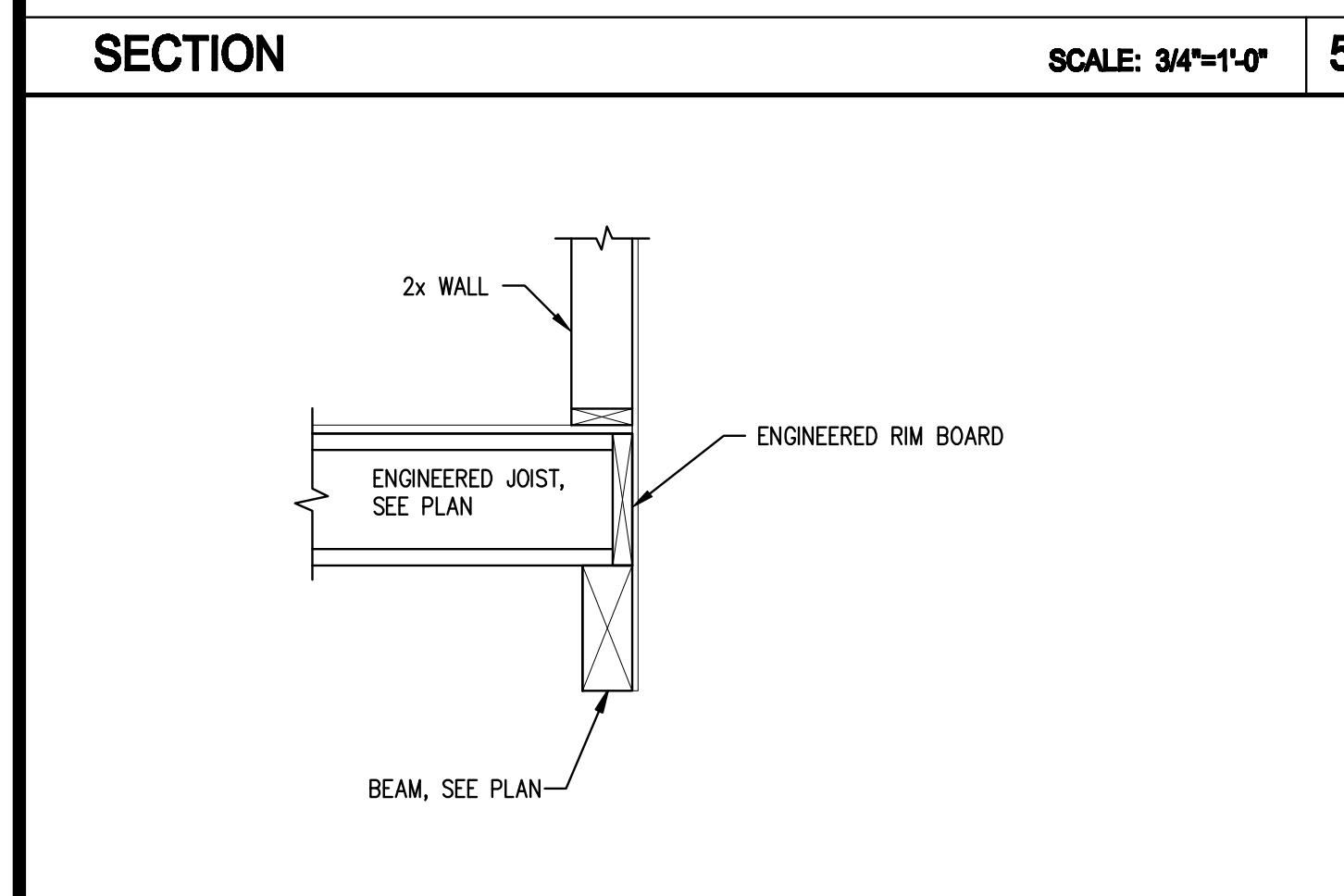
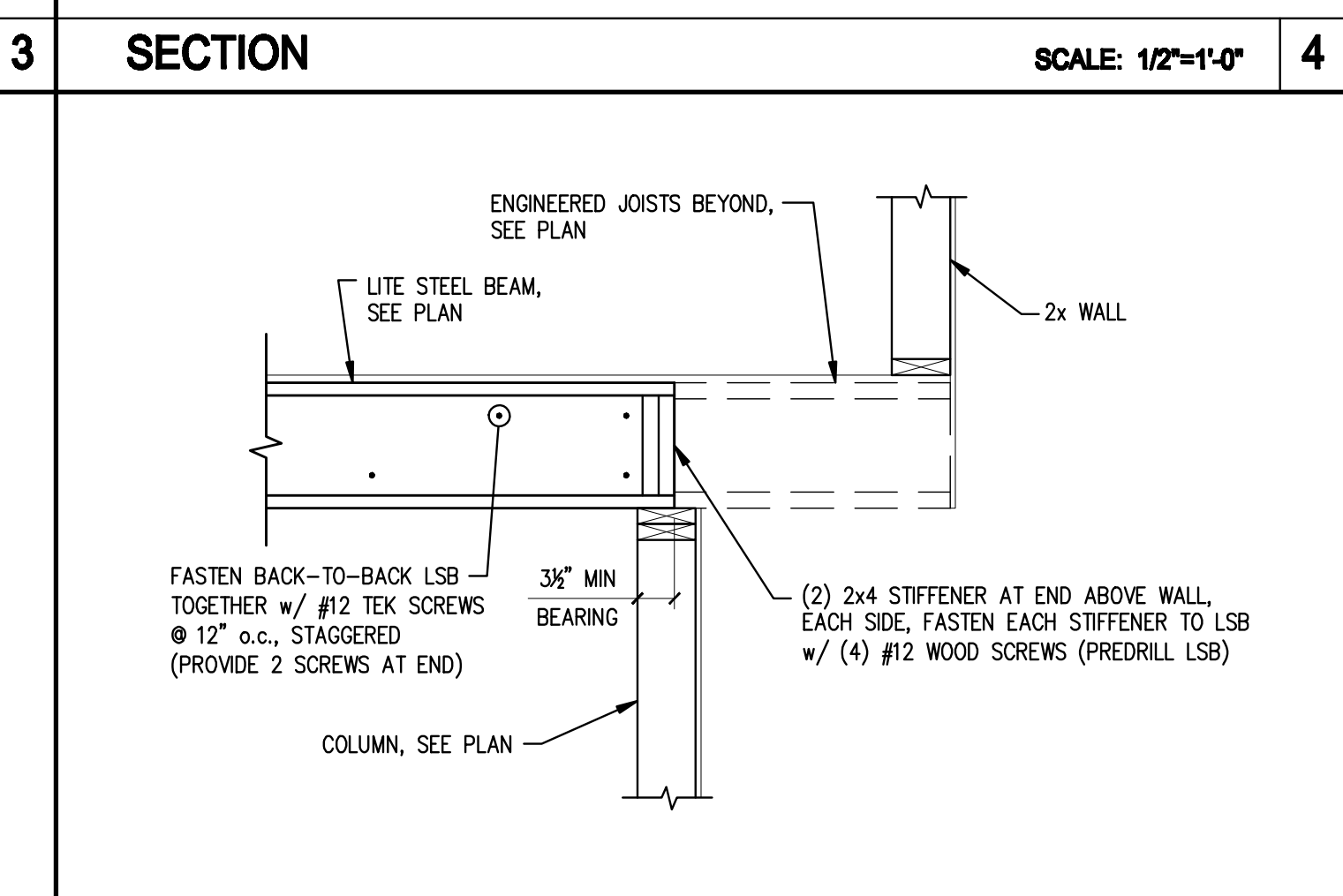
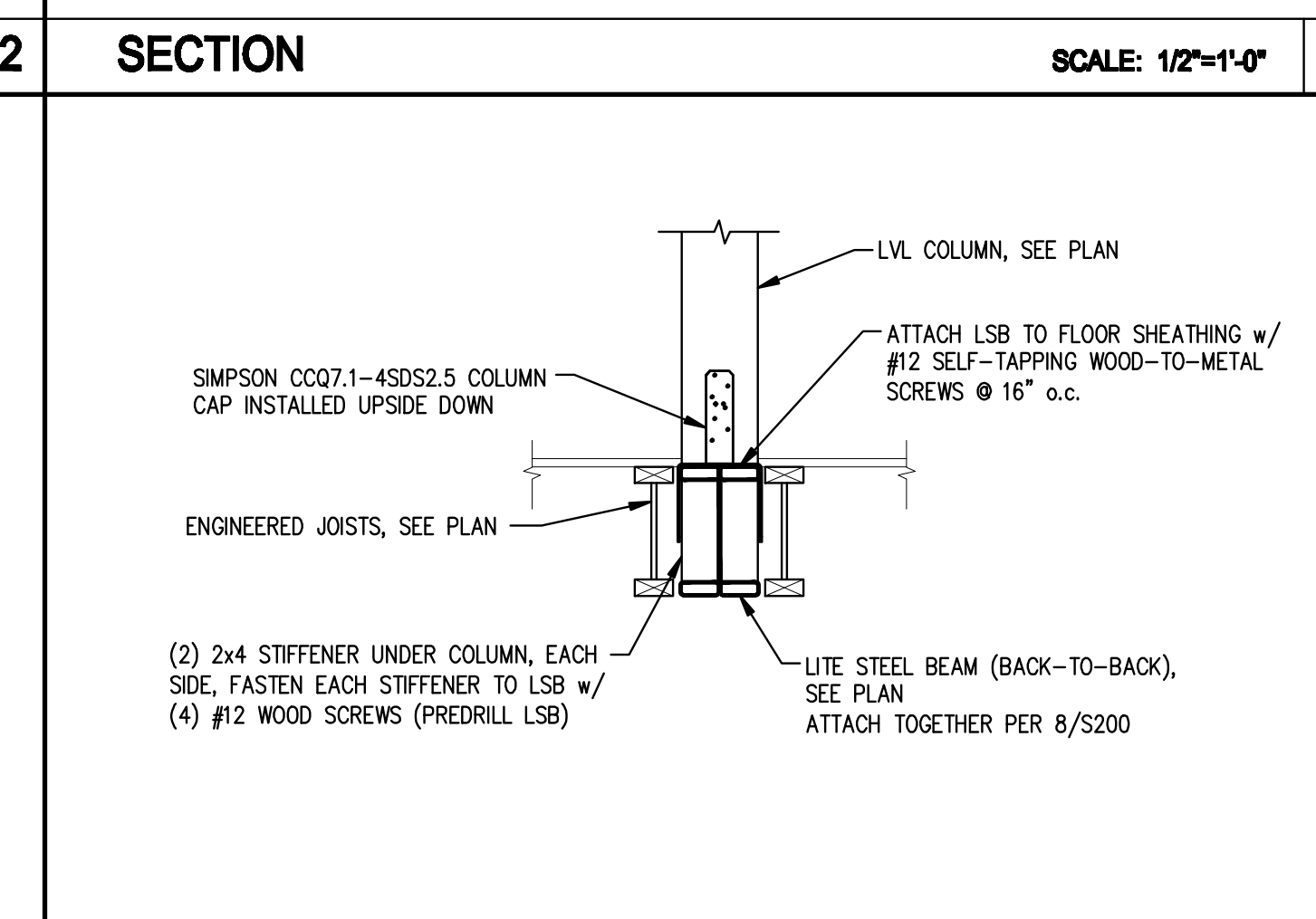
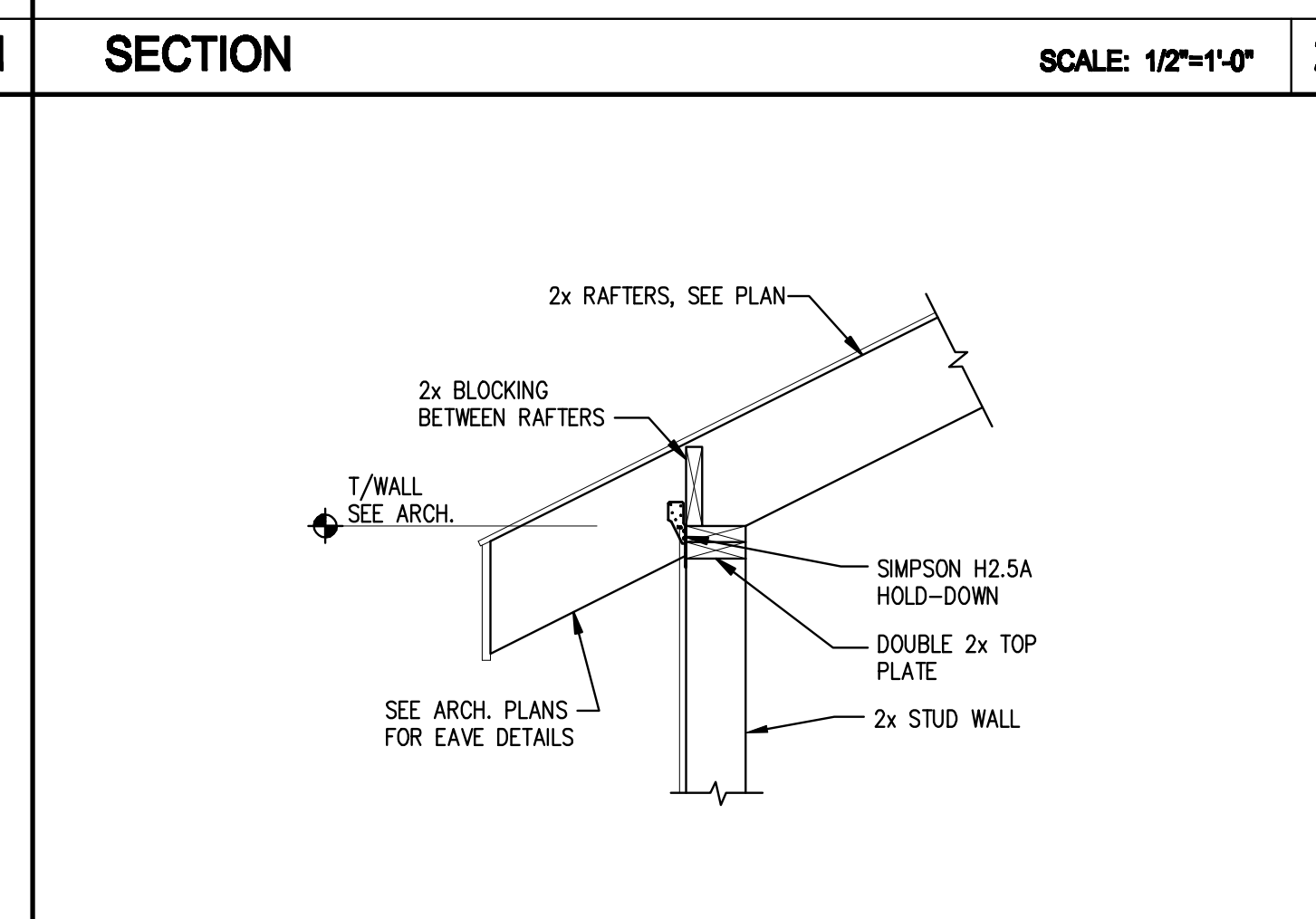
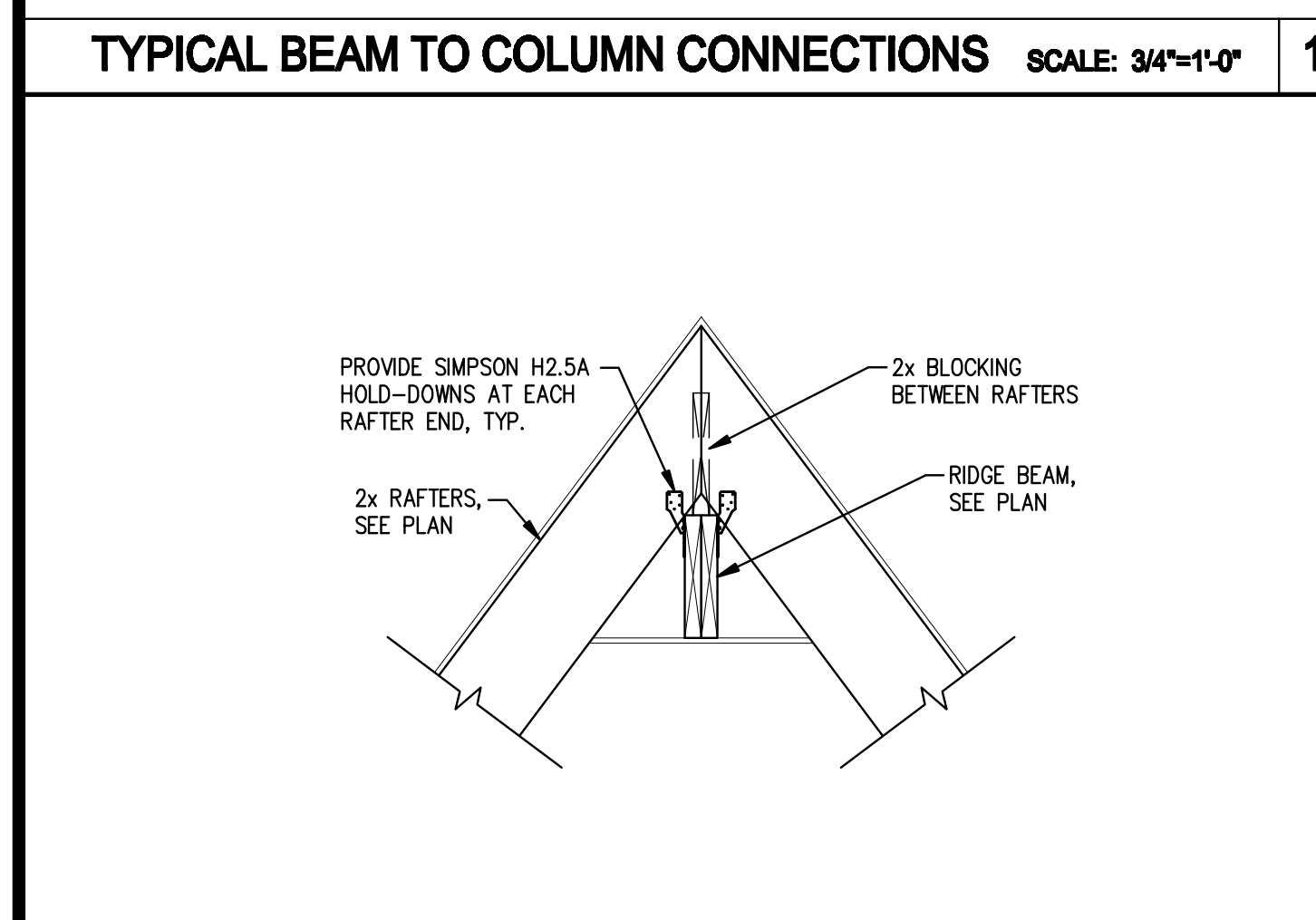
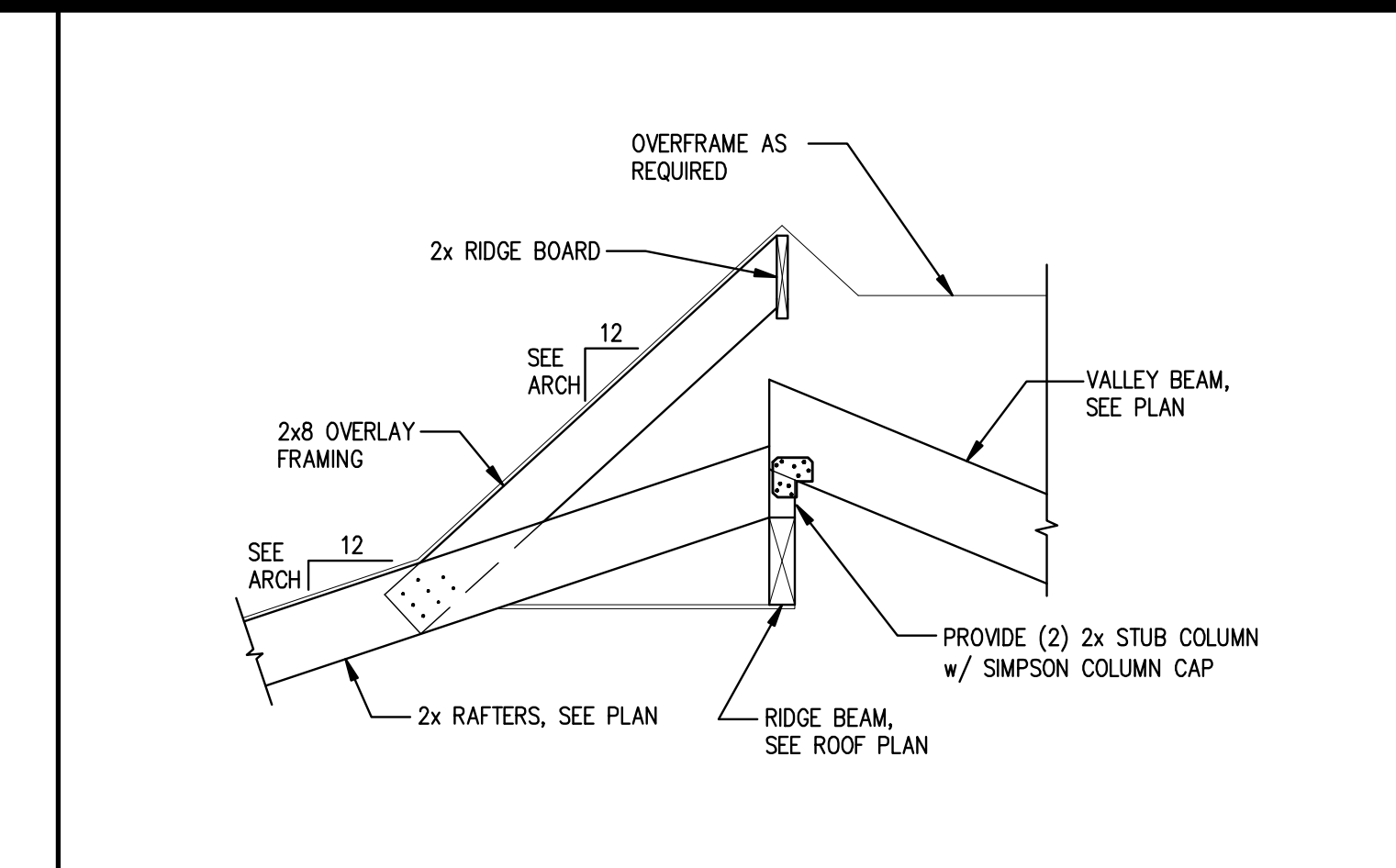
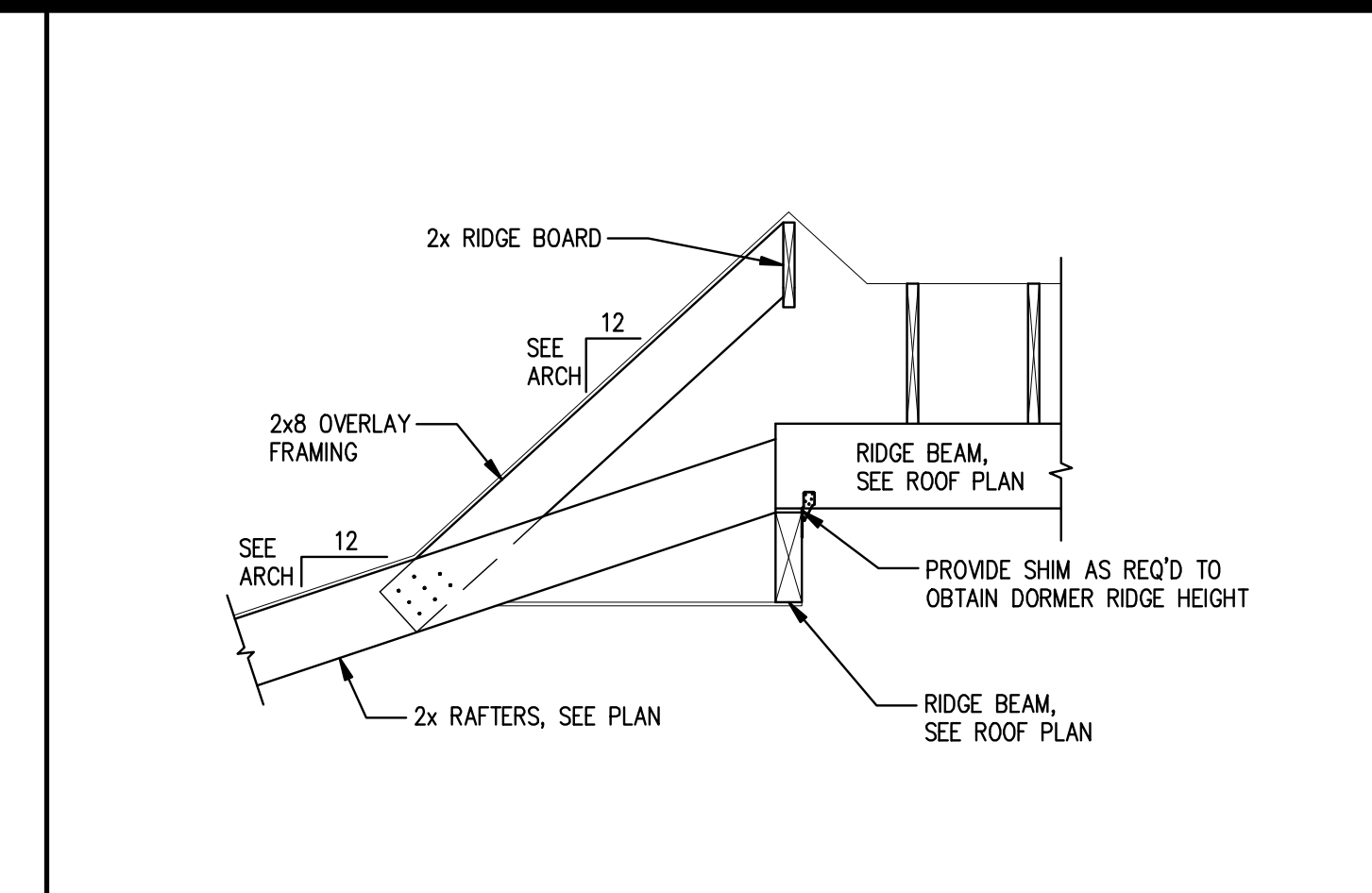
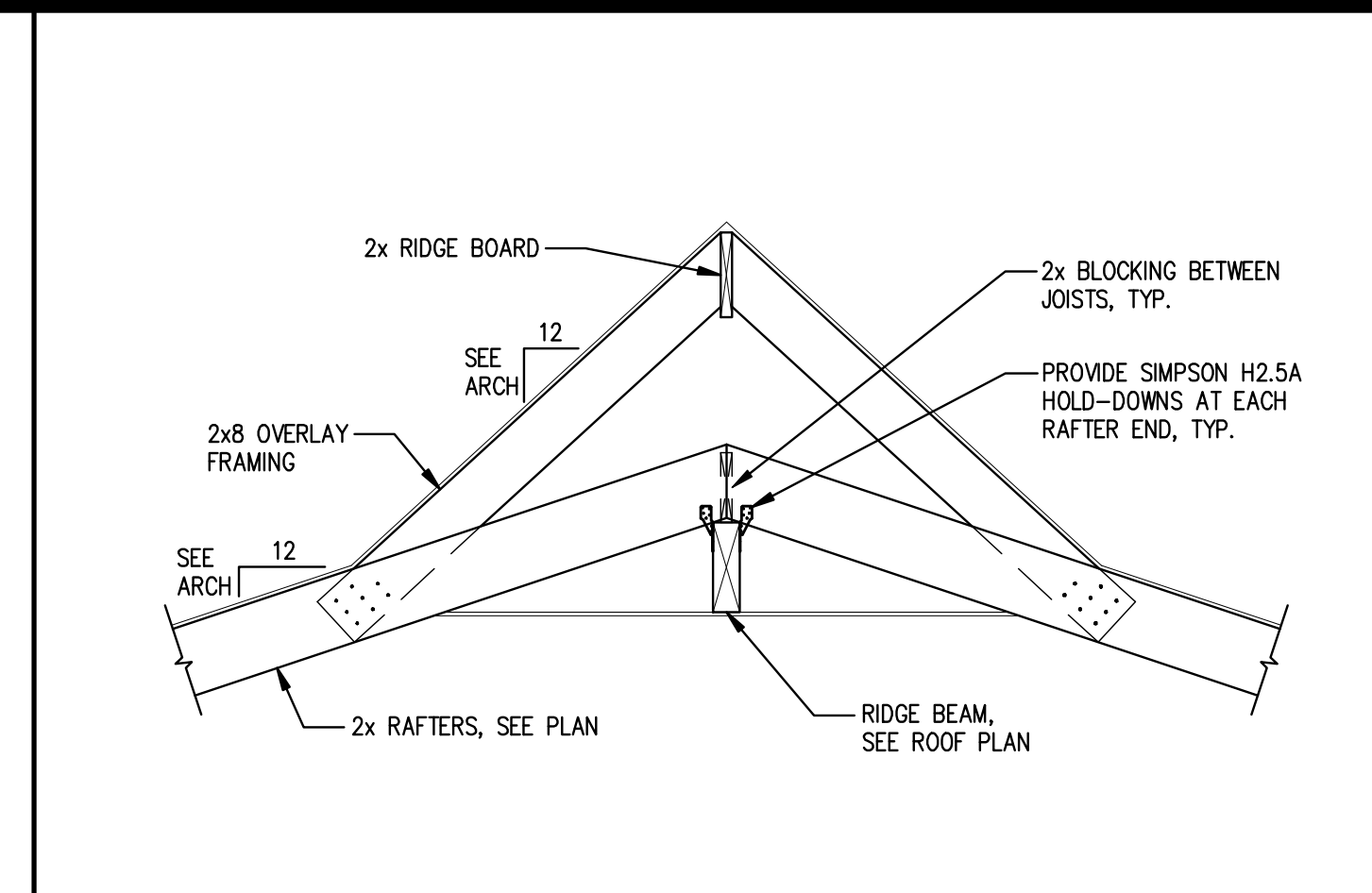
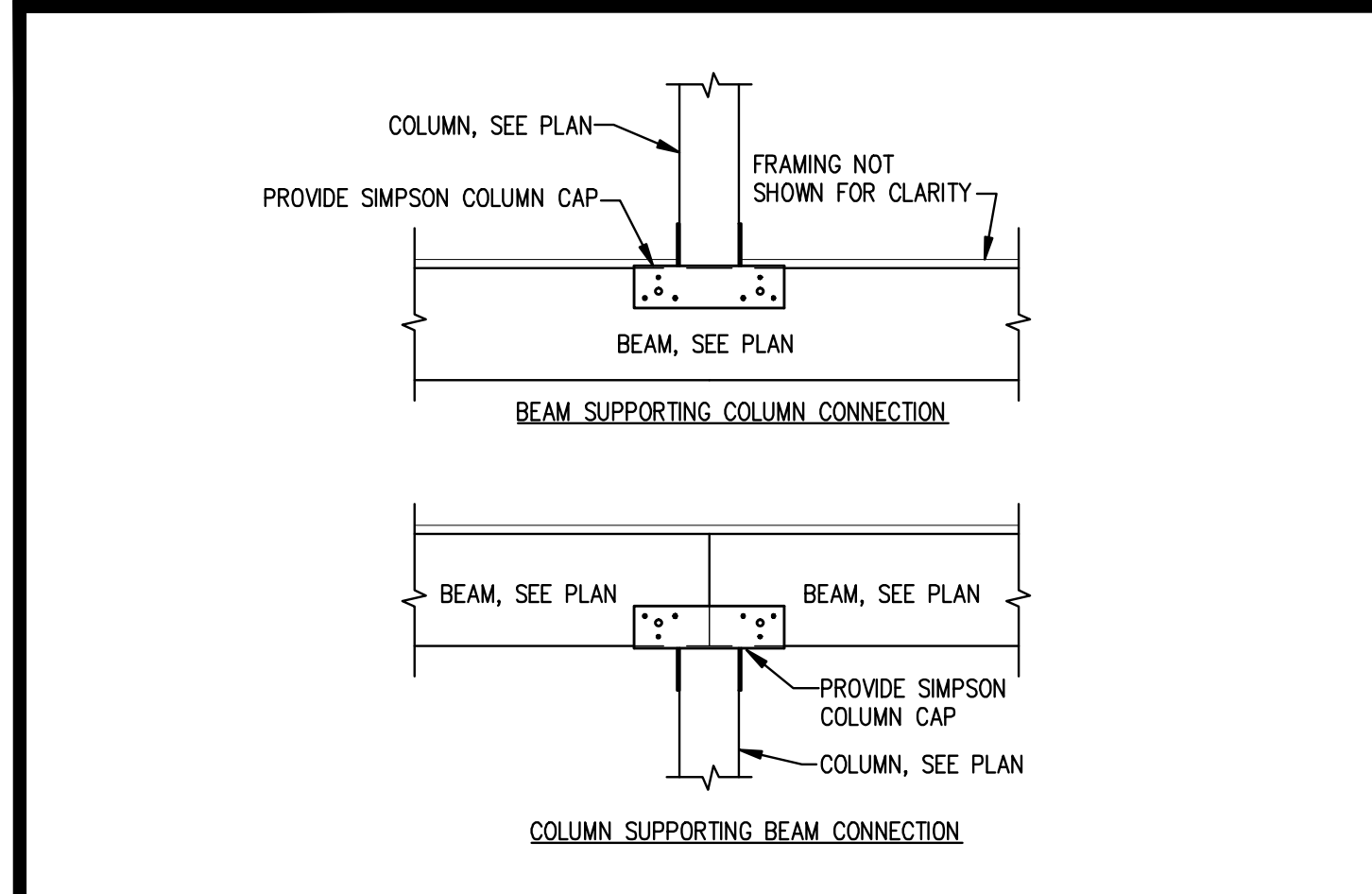
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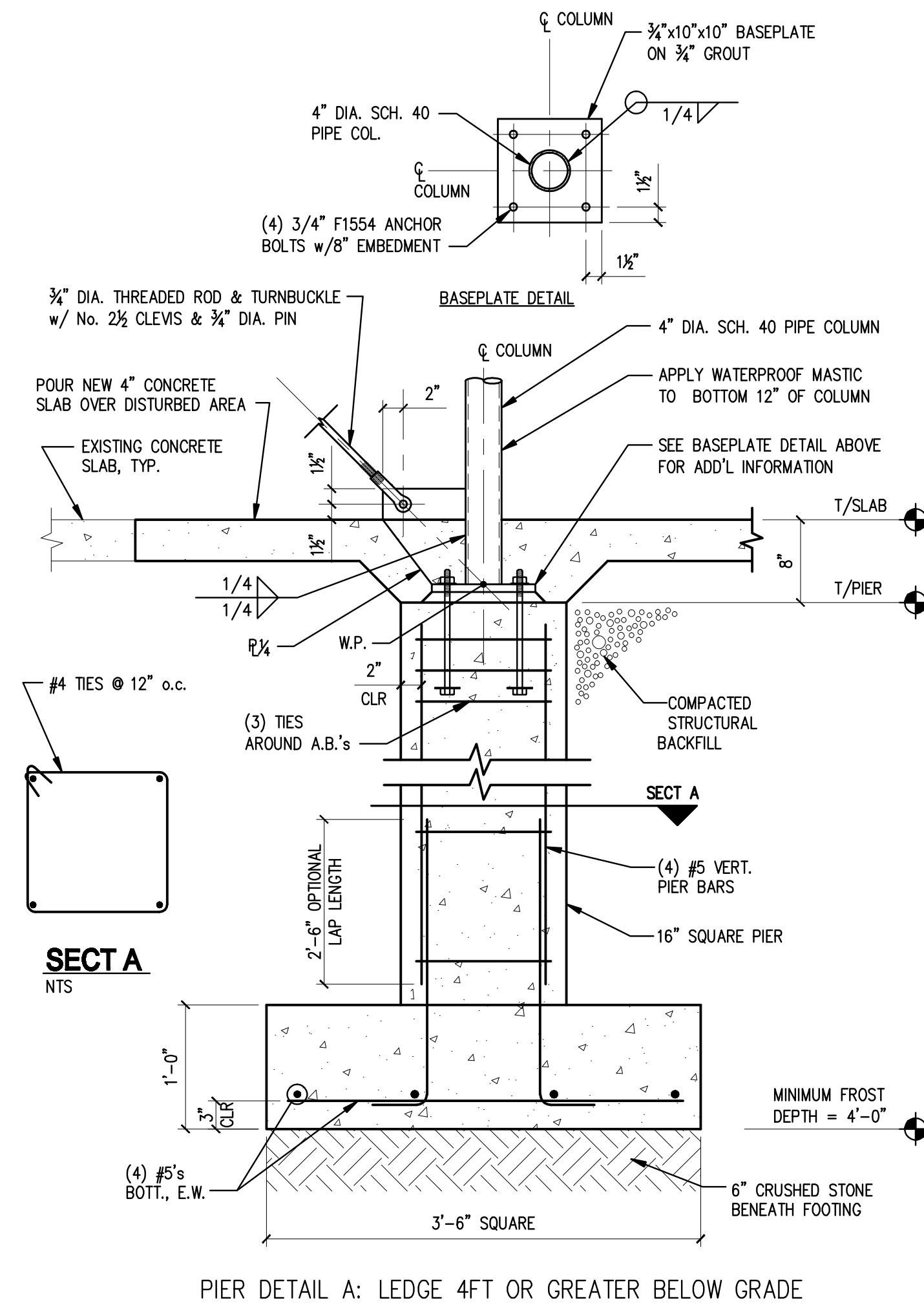
FRAMING DETAILS

DESIGNED: TD
 DRAWN: TD
 DATE: 8-2-11
 PROJECT NUMBER: 11-053

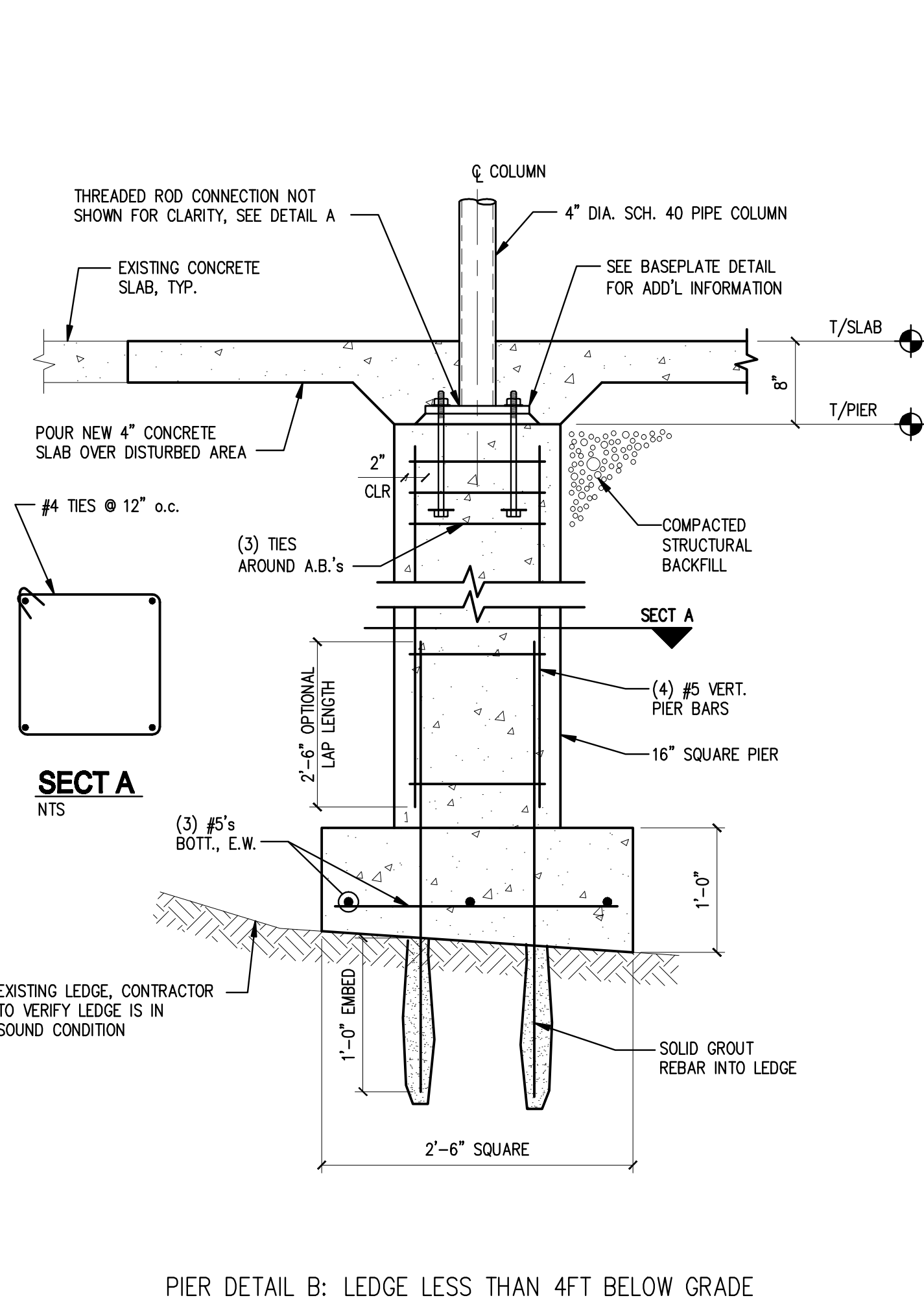
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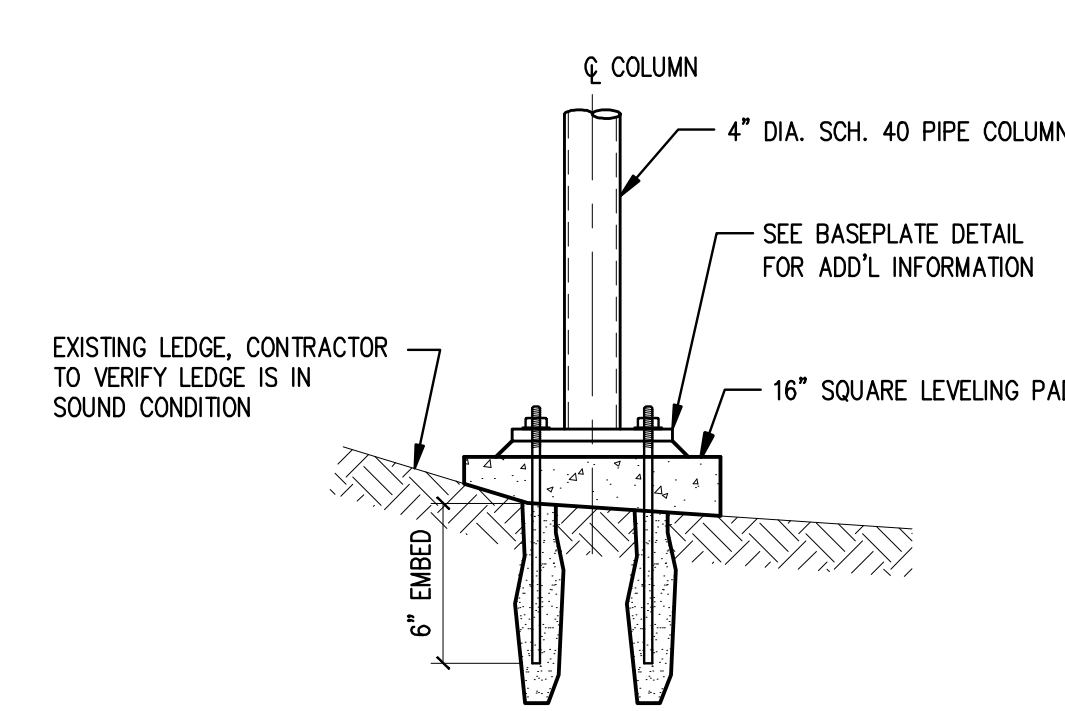
PRINTED: Aug 17, 2011



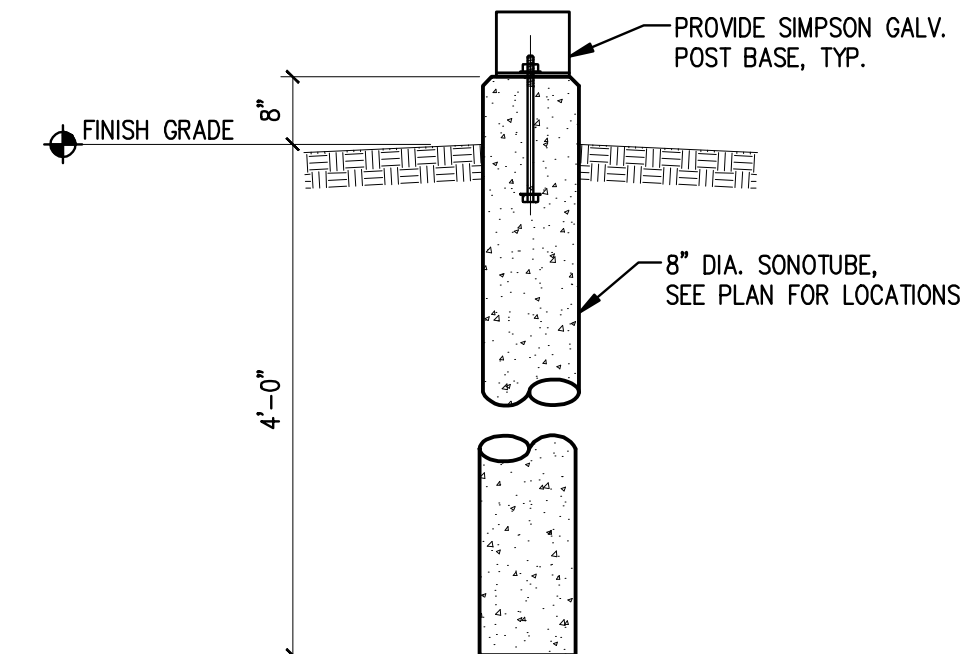
PIER DETAIL A: LEDGE 4FT OR GREATER BELOW GRADE



PIER DETAIL B: LEDGE LESS THAN 4FT BELOW GRADE



INT. COL. ON EXPOSED LEDGE SCALE: 3/4"-1'-0" 2



TYPICAL STAIR/PLATFORM SONOTUBE SCALE: 3/4"-1'-0" 3

TYPICAL INTERIOR PIER DETAIL

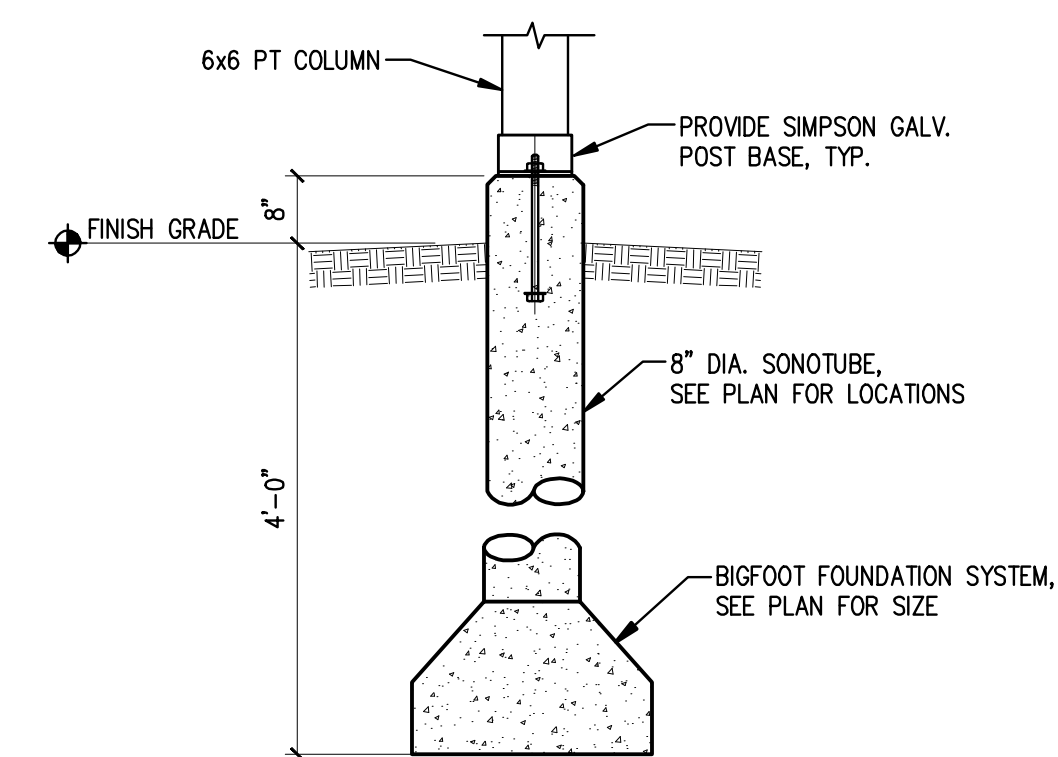
SCALE: 1"-1'-0" 1

INT. COL. ON EXPOSED LEDGE

SCALE: 3/4"-1'-0" 2

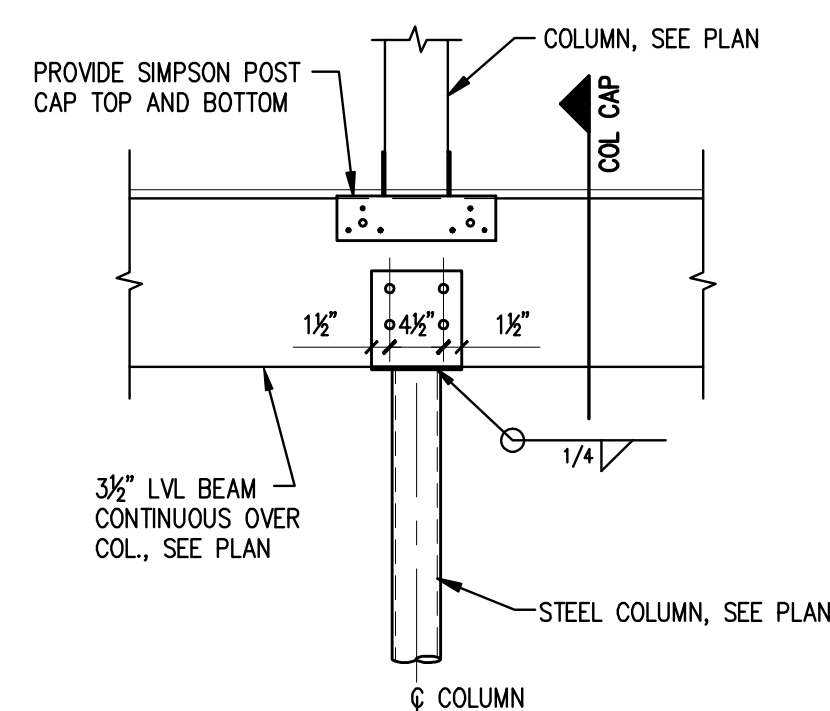
TYPICAL STAIR/PLATFORM SONOTUBE

SCALE: 3/4"-1'-0" 3



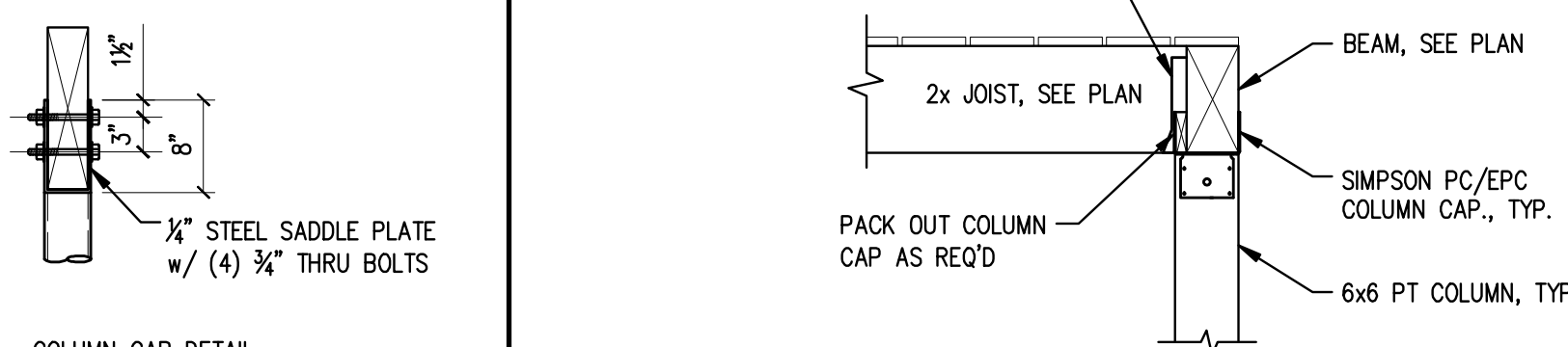
TYP. EXTERIOR PORCH SONOTUBE

SCALE: 3/4"-1'-0" 4



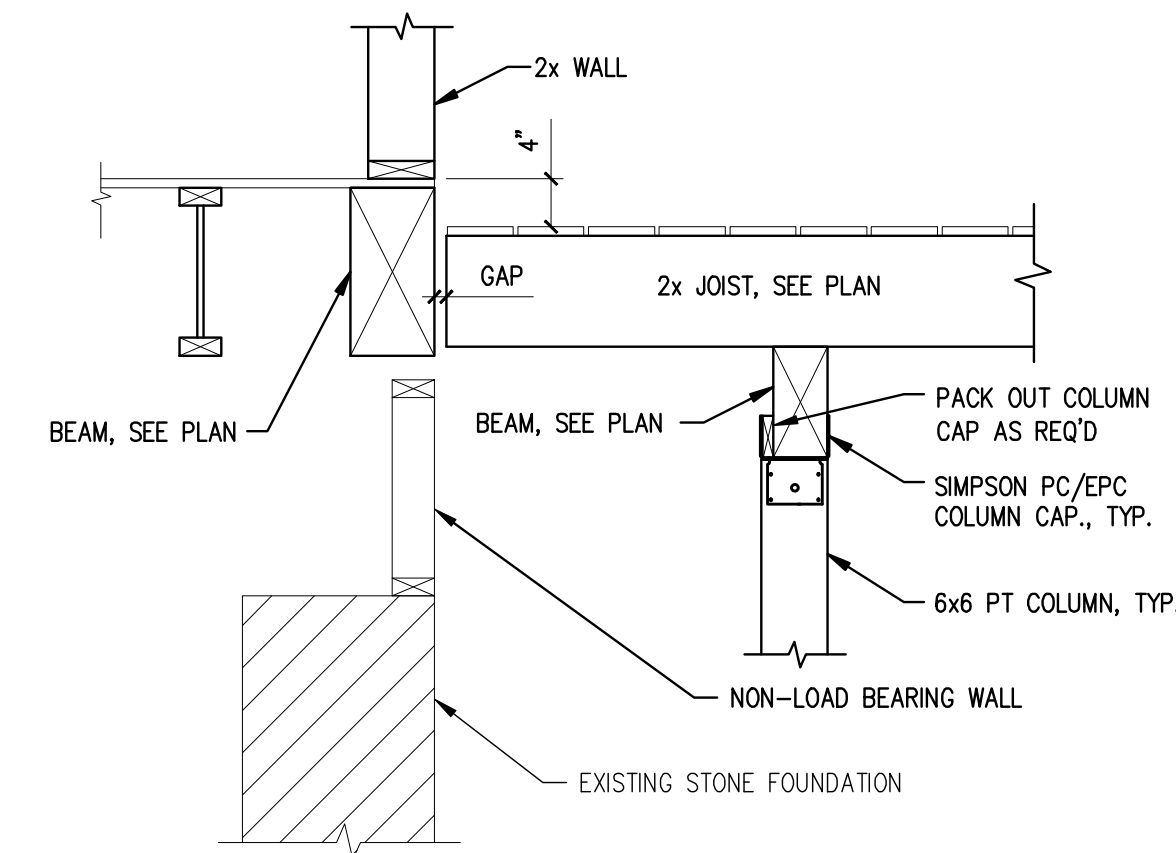
SECTION

SCALE: 3/4"-1'-0" 5



SECTION

SCALE: 3/4"-1'-0" 6

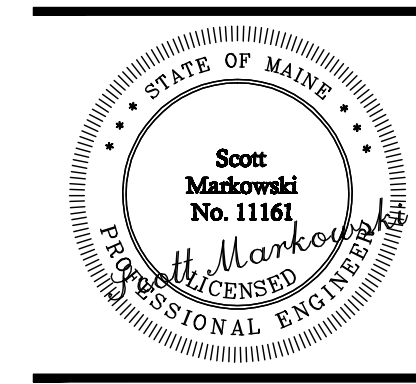


SECTION

SCALE: 3/4"-1'-0" 7

CLIENT:

SUSAN BERRY
 3222 DESOTO STREET
 NEW ORLEANS, LA 70119



MAINE

160 UPPER A STREET
 PEAKS ISLAND

NEW BUILDING

ISSUED	DR.	CHK.	DATE
DESCRIPTION	BY	BY	
ISSUE FOR BID <td>TD <td>SM <td>8-18-11</td> </td></td>	TD <td>SM <td>8-18-11</td> </td>	SM <td>8-18-11</td>	8-18-11
No.			

SHEET TITLE:

FRAMING DETAILS

DESIGNED: TD
 DRAWN: TD
 DATE: 8-2-11
 PROJECT NUMBER: 11-053

S201