

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0378	Issue Date: PERMIT ISSUED	CR#: 088 H001001
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Location of Construction: 0 Highland Ave; P.I.	Owner Name: Island Bay Services	Owner Address: Po Box 48	Phone:
Business Name:	Contractor Name: Steven MacIsaac	Contractor Address: Box 93 Peaks Island	Phone: 2077665514
Lessee/Buyer's Name:	Phone:	Permit Type: Single Family	Lot: FRI

Past Use: Vacant Land	Proposed Use: Single family home 34,800 sf 1,500 SF	Permit Fee: \$726.00	Cost of Work: \$70,000.00	CEO District: 2
FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied		INSPECTION: Use Group: R3 Type SB IRC-2003		

Proposed Project Description: Single family home 34,800 sf 1,500 SF	Signature:	Signature:
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input checked="" type="checkbox"/> Denied		
Signature: _____ Date: _____		

Permit Taken By: dmartin	Date Applied For: 04/08/2005	Zoning Approval	
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input checked="" type="checkbox"/> Site Plan #2005-0074 Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input checked="" type="checkbox"/> OK with conditions Date: 3/7/05	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date:
	1,500 SF Panel 15 Zone C	total of record	Signature: _____ Date: _____

CERTIFICATION

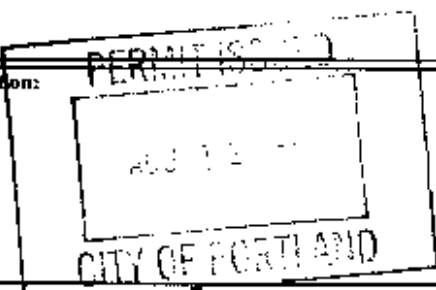
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0378	Date Applied For: 04/08/2005	CBI: 088 H001001
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Location of Construction: 0 Highland Ave	Owner Name: Island Bay Services	Owner Address: Po Box 48	Phone:
Business Name:	Contractor Name: Steven MacIsaac	Contractor Address: Box 93 Peaks Island	Phone: (207) 766-5514
Lessee/Buyer's Name	Phone:	Permit Type: Single Family	
Proposed Use: Single family home	Proposed Project Description: Single family home		



Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schmuckal Approval Date: 07/11/2005

Note: 4/26/05 denied - see letter - lacking a lot of required info
 5/19/05 - revised plans received

Ok to Issue:

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted on 5/19/05. Any deviations shall require a separate approval before starting that work.
- 3) Separate permits shall be required for future decks, sheds, pools, and/or garages.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 08/12/2005

Note: 7/14/05 spoke w/Steve MC. About review detail list. He will submit revisions

Ok to Issue:

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans
- 2) Separate permits are required for any electrical, plumbing, or heating.
- 3) A copy of the enclosed chimney disclosure must be submitted to this office upon completion of the permitted work or for the Certificate of Occupancy.
- 4) The design load spec sheets for any engineered beam(s) must be submitted to this office.

Dept: DRC Status: Approved with Conditions Reviewer: Jay Reynolds Approval Date: 05/20/2005

Note: Ok to Issue:

- 1) All Site work (final grading, landscaping, loam and seed) must be completed prior to issuance of a certificate of occupancy.
- 2) Two (2) City of Portland approved species and size trees must be planted on your street frontage prior to issuance of a Certificate of Occupancy.
- 3) Your new street address is now _____, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4) PROPOSED GRADING/CONTOURING SHALL NOT NEGATIVELY IMPACT THE NEIGHBORING PROPERTIES.
- 5) The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions

Dept: Planning Status: Not Applicable Reviewer: Jay Reynolds Approval Date: 05/20/2005

Note: Ok to Issue:

From: Steven MacIsaac <Steve1945@att.net>
To: <TMM@portlandmaine.gov>
Date: Fri, Aug 12, 2005 7:41 AM
Subject: Permit No. 05-0378 - Highland/Juno Aves Peaks Island

Tammy:

As per your request attached is door and window header schedule for the above referenced permit.

My wife will come in around 10:30 to pick it up. Call me at 766-5514 if you have questions

Thanks,
Steve MacIsaac

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit.

- | | | |
|-------------------------------------|--|---|
| <input checked="" type="checkbox"/> | <u>Footing/Building Location Inspection:</u> | <u>Prior to pouring concrete</u> |
| <input checked="" type="checkbox"/> | <u>Re-Bar Schedule Inspection:</u> | <u>Prior to pouring concrete</u> |
| <input checked="" type="checkbox"/> | <u>Foundation Inspection:</u> | <u>Prior to placing ANY backfill</u> |
| <input checked="" type="checkbox"/> | <u>Framing/Rough Plumbing/Electrical:</u> | <u>Prior to any insulating or drywalling</u> |
| <input checked="" type="checkbox"/> | <u>Final/Certificate of Occupancy:</u> | <u>Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point.</u> |

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

 If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

 CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED

X [Signature]
Signature of Applicant/Designee

2/10/05
Date

[Signature]
Signature of Inspections Official

2/14/05
Date

CAL: 088-11-1

Building Permit #: 05-0378

O Highland Ave. P.F

05-0378

88-H-1

Need 11x17 Survey

ONE AND TWO FAMILY	PLAN REVIEW	CHECKLIST
Soil type/Presumptive Load Value (Table R401.4.1)		
STRUCTURAL Footing Dimensions/Depth (Table R403.1 & R403.1(1), (Section R403.1 & R403.1.4.1)	20x10" 8" wall	OK
Foundation Drainage, Fabric, Damp proofing (Section R405 & R406)	ALL	OK
Ventilation/Access (Section R408.1 & R408.3) Crawls Space ONLY	Basement windows	OK
Anchor Bolts/Straps, spacing (Section R403.1.6)	1/2" 6' O.C. 12" corners	OK
Lally Column Type (Section R407)	3 1/2 Lally	
Girder & Header Spans (Table R 502.5(2))	7 1/2" one floor	ok - 7'10 allowed. OK
Built-Up Wood Center Girder Dimension/Type	3-2x12	OK
Sill/Band Joist Type & Dimensions	PT 2x6 2x10	OK
First Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 16" O.C	OK
Second Floor Joist Species Dimensions and Spacing (Table R502.3.1(1) & Table R502.3.1(2))	2x10 26" O.C.	OK
Attic or additional Floor Joist Species Dimensions and Spacing (Table R802.4(1) and R802.4(2))	2x6 collar ties	OK

Pitch, Span, Spacing & Dimension (Table R802.5.1(1) - R 802.5.1(8)) Roof Rafter; Framing & Connections (Section R802.3 & R802.3.1)	12:12 2x10 16" O.C.	
Sheathing; Floor, Wall and roof (Table R503.2.1.1(1))	3/4 T&G, 7/16 Insu, 1/2 Ply OK	OK OK
Fastener Schedule (Table R602.3(1) & (2))		
Private Garage (Section R309) Living Space? (Above or beside)	N/A	
Fire separation (Section R309.2)	N/A	
Opening Protection (Section R309.1)		
Emergency Escape and Rescue Openings (Section R310)	As DH 4060	
Roof Covering (Chapter 9)	Asphalt	OK
Safety Glazing (Section R308)	Stairwell?	OK (4)
Attic Access (Section R807)	?	need 22x30 OK (2)
Chimney Clearances/Fire Blocking (Chap. 10)	N/A	
Header Schedule (Section 502.5(1) & (2))	2nd FL beam? engineered	(3)
Energy Efficiency (N1101.2.1) R-Factors of Walls, Floors, Ceilings, Building Envelope, U-Factor Fenestration	? Roof 38 walls 19 floor - 21 U-0.37	OK (4)

Type of Heating System	FHW Oil Furnace	Direct vent (5)
Means of Egress (Sec R311 & R312)		
Basement	Bulkhead - egress	OK
Number of Stairways	2	
Interior	2	
Exterior		
Treads and Risers (Section R311.5.3)	9 ¹ / ₁₆ x 10" / 7 ³ / ₄ / 10"	OK
Width (Section R311.5.1)	38"	
Headroom (Section R311.5.2)	6'8"	
Guardrails and Handrails (Section R312 & R311.5.6 - R311.5.6.3)	36" - 38"	
Smoke Detectors (Section R313) Location and type/Interconnected	per code	OK
Dwelling Unit Separation (Section R317) and IBC - 2003 (Section 1207)	N/A	
Deck Construction (Section R502.2.1)	Big foot 8'6" & 6'6" span - OK 2x10 Joist 16" o.c. triple beam = 11' span	OK

Porch Roof? Beam

(6)

From: Steven MacIsaac <Steve1945@att.net>
To: <TMM@portlandmaine.gov>, <builder@maine.r.com>
Date: Fri, Jul 29, 2005 10:34 AM
Subject: [Fwd: PERMIT 05-0378]

Hi Tammy:

Prior to approving the above referenced permit Jeanie wanted the following information put on the building plans:

- o Window in stairwell must be designated as tempered glass
- o Indicate attic - not shown on original plan - scuttle specs is 22'x 30'
- o Second floors beams must be designated as engineered beams
- o Specifications must be provided for the porch roof rafters
- o Energy Efficiency Code items:
 - o Ufactor of windows is needed
 - o RFactor of walls and ceilings is needed
 - o Show insulation of basement walls (R11) or ceilings (R21) or both

The attached (forwarded) plans incorporate all of Jeanie's requirements. Could you please review our updates and approve the permit since Jeanie is on vacation for the next three weeks.

Call me at 706-5514 if you have any questions.

Thanks,
Steve MacIsaac

----- Original Message -----

Subject: PERMIT 05-0378
Date: Thu, 28 Jul 2005 17:00:42 -0400
From: Peter pelenza <builder@maine.r.com>
To: <JBM@PORTLANDMAINE.GOV>
CC: <STEVO1945@ATT.NET>



Generated by REScheck Package Generator

REScheck Inspection Checklist

Project Title: Highland Ave

Ceilings:

- Ceiling : R-38.0 cavity insulation

Comments: _____

Above-Grade Walls:

- Wall : R-19.0 cavity insulation

Comments: _____

Windows:

- Window : U-factor: 0.370

For windows without labeled U-factors, describe features:

#Panels _____ Frame Type _____ Thermal Break? _____ Yes _____ No

Comments: _____

Doors:

- Door : U-factor: 0.350

Comments: Front door exempt

Floors:

- Floor : R-21.0 cavity insulation

Comments: _____

Heating and Cooling Equipment:

- Other Boiler : 85 AFUE or higher

Make and Model Number: _____

Air Leakage:

- Joints, penetrations, and all other such openings in the building envelope that are sources of air leakage must be sealed.
 Recessed lights must be 1) Type IC rated, or 2) installed inside an appropriate air-tight assembly with a 3/5" clearance from combustible materials. If non-IC rated, the fixture must be installed with a 3" clearance from insulation.

Skylights:

- Minimum insulation requirement for skylight shafts equal to or greater than 12 inches is R-19.

Vapor Retarder:

- Required on the warm-in-winter side of all non-vented framed ceilings, walls, and floors.

Materials Identification:

- Materials and equipment must be installed (per IRC/2015/20 in accordance with the manufacturer's installation instructions.
 Materials and equipment must be identified so that compliance can be determined.
 Manufacturer manuals for all installed heating and cooling equipment and service water heating equipment must be provided.
 Insulation R-values, glazing U-factors, and heating equipment efficiency must be clearly marked on the building plans or specifications.

Duct Insulation:

- Supply ducts in unconditioned attics or outside the building must be insulated to R-6.

- Return ducts in unconditioned attics or outside the building must be insulated to R-4.
- Supply ducts in unconditioned spaces must be insulated to R-8.
- Return ducts in unconditioned spaces (except basements) must be insulated to R-2.
- Where exterior walls are used as plenums, the wall must be insulated to R-8.
- Insulation is not required on return ducts in basements.

Duct Construction:

- Duct connections to flanges of air distribution system equipment must be sealed and mechanically fastened.
- All joints, seams, and connections must be securely fastened with welds, gaskets, mastics (adhesives), mastic-plus-embedded-fabric, or tapes. Tapes and mastics must be rated UL 181A or UL 181B.
Exception: Continuously welded and locking-type longitudinal joints and seams on ducts operating at less than 2 in. w.g. (500 Pa).
- The HVAC system must provide a means for balancing air and water systems.

Temperature Controls:

- Thermostats are required for each separate HVAC system. A manual or automatic means to partially restrict or shut off the heating and/or cooling input to each zone or floor shall be provided.

Service Water Heating:

- Water heaters with vertical pipe risers must have a heat trap on both the inlet and outlet unless the water heater has an integral heat trap or is part of a circulating system.
- Insulate circulating hot water pipes to the levels in Table 1.

Circulating Hot Water Systems:

- Insulate circulating hot water pipes to the levels in Table 1

Swimming Pools:

- All heated swimming pools must have an on/off heater switch and require a cover unless over 20% of the heating energy is from non-depletable sources. Pool pumps require a time clock.

Heating and Cooling Piping Insulation:

- HVAC piping conveying fluids above 105°F or chilled fluids below 55°F must be insulated to the levels in Table 2.

Table 1: Minimum Insulation Thickness for Circulating Hot Water Pipes

Heated Water Temperature (°F)	Insulation Thickness in Inches by Pipe Sizes			
	Non-Circulating Runouts		Circulating Mains and Runouts	
	Up to 1"	Up to 1.25"	1.5" to 2.0"	Over 2"
170-180	0.5	1.0	1.5	2.0
140-160	0.5	0.5	1.0	1.5
100-130	0.5	0.5	0.5	1.0

Table 2: Minimum Insulation Thickness for HVAC Pipes, Hot Water Pipes

Piping System Types	Fluid Temp. Range(°F)	Insulation Thickness in Inches by Pipe Sizes			
		2" Runouts	1" and Less	1.25" to 2.0"	2.5" to 4"
Heating Systems					
Low Pressure/Temperature	201-250	1.0	1.5	1.5	2.0
Low Temperature	100-200	0.5	1.0	1.0	1.5
Steam Condensate (for feed water)	Any	1.0	1.0	1.5	2.0
Cooling Systems					
Chilled Water, Refrigerant and Brine	40-55	0.5	0.5	0.75	1.0
	Below 40	1.0	1.0	1.5	1.5

NOTES TO FIELD: (Building Department Use Only)

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

DEPARTMENT OF BUILDING INSPECTION
PERMIT

Permit Number: 050378

PERMIT ISSUED

AUG 12 2005

This is to certify that Island Bay Services / Steven J. Isaac

has permission to Single family home 34,800 sq ft

AT 0 Highland Ave, PI

088 H001001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of the State of Oregon and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and work on permit in progress before this building or part thereof is leased or otherwise occupied. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____

Department Memo

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

All Purpose Building Permit Application

If you or the property owner owns real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>JUNO AVE, PEAKS ISLAND (Highland Ave)</u>		
Total Square Footage of Proposed Structure <u>1560SF WITH 936SF BASEMENT</u>	Square Footage of Lot <u>3#, 800 SF</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>88</u> Block# <u>H</u> Lot# <u>345</u>	Owner: <u>C. JOHNSON/Island</u> <u>BOX 49</u> <u>BAU SERVICES</u> <u>PEAKS ISLAND ME 04108</u>	Telephone: <u>766-3375</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>STEVEN MAC ISAAC</u> <u>766- BOX 93</u> <u>5514 PEAKS ISLAND</u>	Cost Of Work: \$ <u>70,000</u> Fee: \$ <u>671.00</u> <u>EX</u>
Current use: <u>VACANT LAND</u>		
If the location is currently vacant, what was prior use: <u>VACANT LAND</u>		
Approximately how long has it been vacant: <u>FOREVER</u>		
Proposed use: <u>RESIDENTIAL SINGLE FAMILY HOME</u> Project description:		
Contractor's name, address & telephone: <u>STEVEN MAC ISAAC, BOX 93 PEAKS ISLAND ME 04108</u>		
Who should we contact when the permit is ready: <u>STEVEN MAC ISAAC</u>		
Mailing address: <u>712-6994</u> <u>766-5514</u> <i>Try this # first</i>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>712-6994</u>		

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Steven G. Mac Isaac</u>	Date: <u>April 8, 2005</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued.
If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

Outdoor swimming pools accessory to dwellings, apartment houses, hotels or motels shall be permitted on lots, provided the following conditions are met:

- (a) No swimming pool shall be sited in the front yard.
 - (b) No part of any swimming pool shall be located closer than ten (10) feet from the principal structure, nor closer than ten (10) feet from the side or rear lot lines.
- (Code 1968, § 602.19.K; Ord. No. 271-77, 5-16-77; Ord. No. 90-88, 7-19-88)

*Editor's note--Ord. No. 90-88, adopted July 19, 1988, amended § 14-432 to read as herein set out. See also the editor's note to Art. III of this chapter for additional provisions relative to Ord. No. 90-88.

Sec. 14-433. Lots of record and accessory structure setbacks for existing buildings.

Any lot of record as of June 5, 1957, and held under separate and distinct ownership from adjacent lots and having a street frontage of forty (40) feet, or to which a means of access has been previously approved by the city council as provided elsewhere in this article, may be considered a buildable lot in any residential zone except as provided below for island residential zones, with a minimum lot size of five thousand (5,000) square feet, except that a lot in the R-6 zone may have a minimum lot size of three thousand (3,000) square feet, provided that the applicable yard dimensions can be met.

A lot in the R-1, R-2, R-3, R-4, R-5, R-5A or R-6 zones that was described in a subdivision plat approved by the Planning Board after June 5, 1981, or a lot of record that conformed to the applicable lot size requirement, lot width and street frontage as of June 5, 1984, shall be considered a buildable lot, provided that the applicable yard dimensions can be met.

Where such a lot has a principal structure which existed as of July 19, 1988, an accessory structure or building addition may be located within the following side and rear yards, provided that the normal applicable yard requirements cannot be met provided, however, that less restrictive zoning requirements which meet the requirements contained within 14-139(2) for residential small lot

See Next page

**CITY OF PORTLAND, MAINE
DEVELOPMENT REVIEW APPLICATION
PLANNING DEPARTMENT PROCESSING FORM
Zoning Copy**

2005-0074
Application I. D. Number
4/8/2005
Application Date
Johnson House
Project Name/Description

Marge Schmuckal

Island Bay Services
Applicant
Po Box 48, Peaks Island, ME 04106
Applicant's Mailing Address
Steve MacLean
Consultant/Agent
Agent Ph: (207)768-5514 Agent Fax:
Applicant or Agent Daytime Telephone, Fax

Highland Ave, Portland, Maine
Address of Proposed Site
088 H001001
Assessor's Reference: Char-Block-Lot

Proposed Development (check all that apply): New Building Building Addition Change Of Use Residential Office Retail
 Manufacturing Warehouse/Distribution Parking Lot Other (specify) _____
1660 Proposed Building square Feet or # of Units 34800 Average of Site Zoning

Check Review Required:
 Site Plan (major/minor) Subdivision # of lots _____ FAD Review 14-403 Streets Review
 Flood Hazard Showcard Historic Preservation DEP Local Certification
 Zoning Conditional Use (ZBA/PB) Zoning Variance Other _____
Fees Paid: Site Pla \$50.00 Subdivision Engineer Review \$250.00 Date 4/8/2005

Zoning Approval Status: Reviewer _____
 Approved Approved w/Conditions See Attached Denied
Approval Date _____ Approval Expiration _____ Extension to _____ Additional Sheets Attached
 Condition Compliance _____ signature _____ date _____

Performance Guarantee Required Not Required
* No building permit may be issued until a performance guarantee has been submitted as indicated below
 Performance Guarantee Accepted _____ date _____ amount _____ expiration date _____
 Inspection Fee Paid _____ date _____ amount _____
 Building Permit Issue _____ date _____
 Performance Guarantee Reduced _____ date _____ remaining balance _____ signature _____
 Temporary Certificate of Occupancy _____ date _____ Conditions (See Attached) _____ expiration date _____
 Final Inspection _____ date _____ signature _____
 Certificate Of Occupancy _____ date _____
 Performance Guarantee Released _____ date _____ signature _____
 Defect Guarantee Submitted _____ submitted date _____ amount _____ expiration date _____
 Defect Guarantee Released _____ date _____ signature _____

May 19, 2005

Ms. Marge Schmuckel
Zoning Administrator
Portland City Hall
Room 315
389 Congress St.
Portland, ME 04101

RE: Juno Avenue/Highland Avenue
88-H-1,4 & 5
Zone Application #05-0378

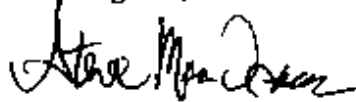
Dear Ms. Schmuckel:

Per your April 26, 2005 letter on the above referenced single family home building permit application I am providing the following requested materials:

1. Ownership records to show that all three (3) 88-H lots have been held under separate and distinct ownership since 1985
2. A scalable boundary/site plan that matches the building plan showing all projections from the main structure
3. A site plan that shows pre and post development grades
4. A site plan that shows two 9' x19' parking spaces, two new street trees and slit fences

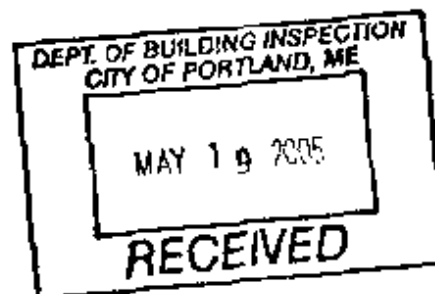
Please let me know if the above information serves your needs and if you have additional requirements. A telephone call to 766-5514 or an email to steve1945@att.net prior to a final letter would be appreciated.

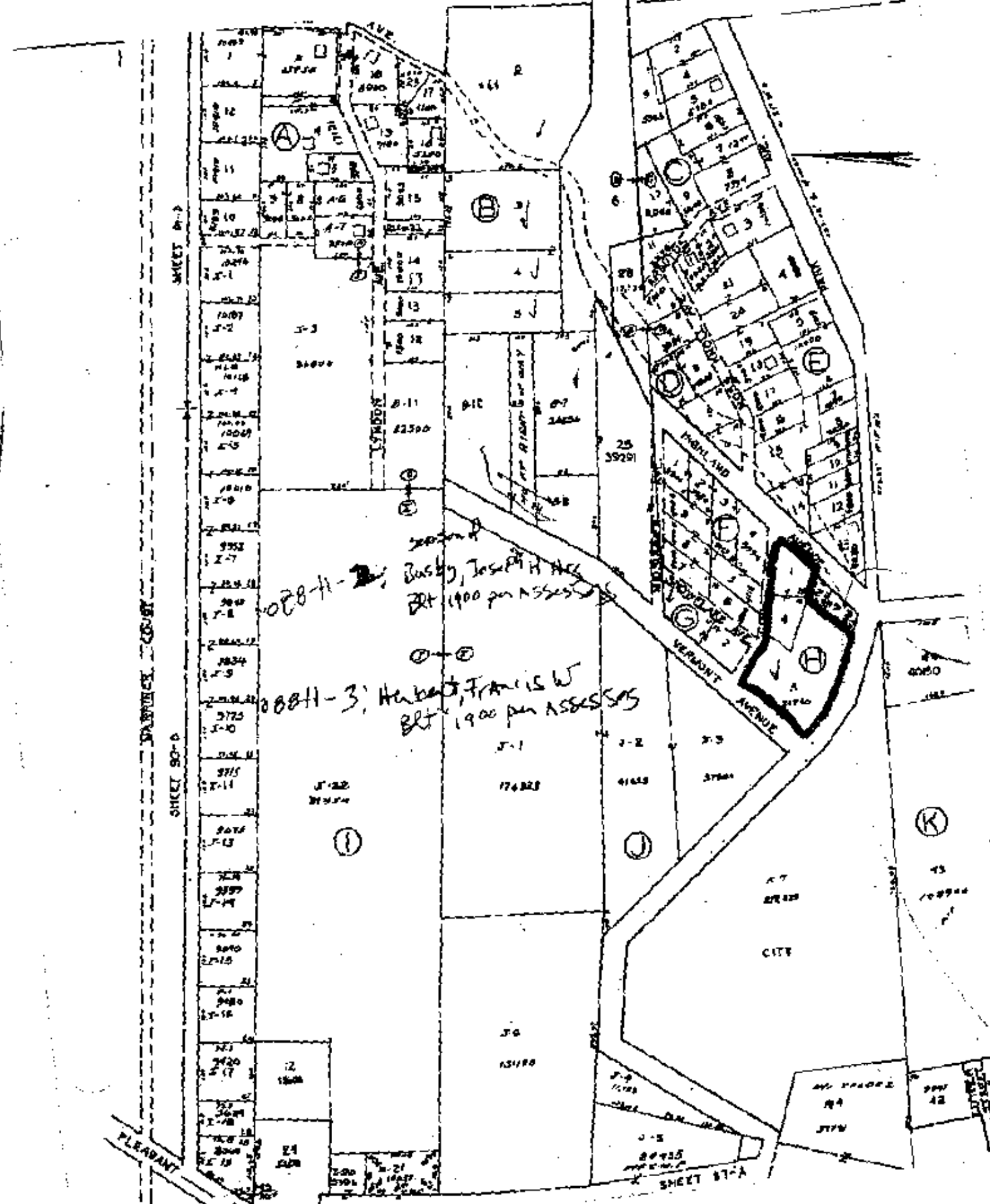
Best Regards,




Steve MacLennan

PS Actual lot size is 33,252 sq ft - size determined by surveyor.





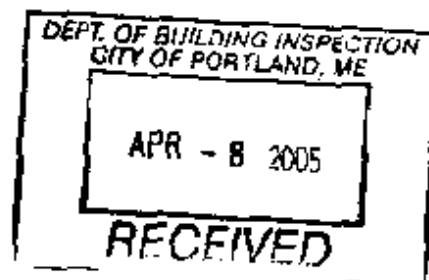
To: Marge Schmuckle
From: Steve MacIsaac 
Subject: Peaks Island Lots Nos. 88 -H - 1, 4 and 5 Ownership Data
Date: November 15, 2004

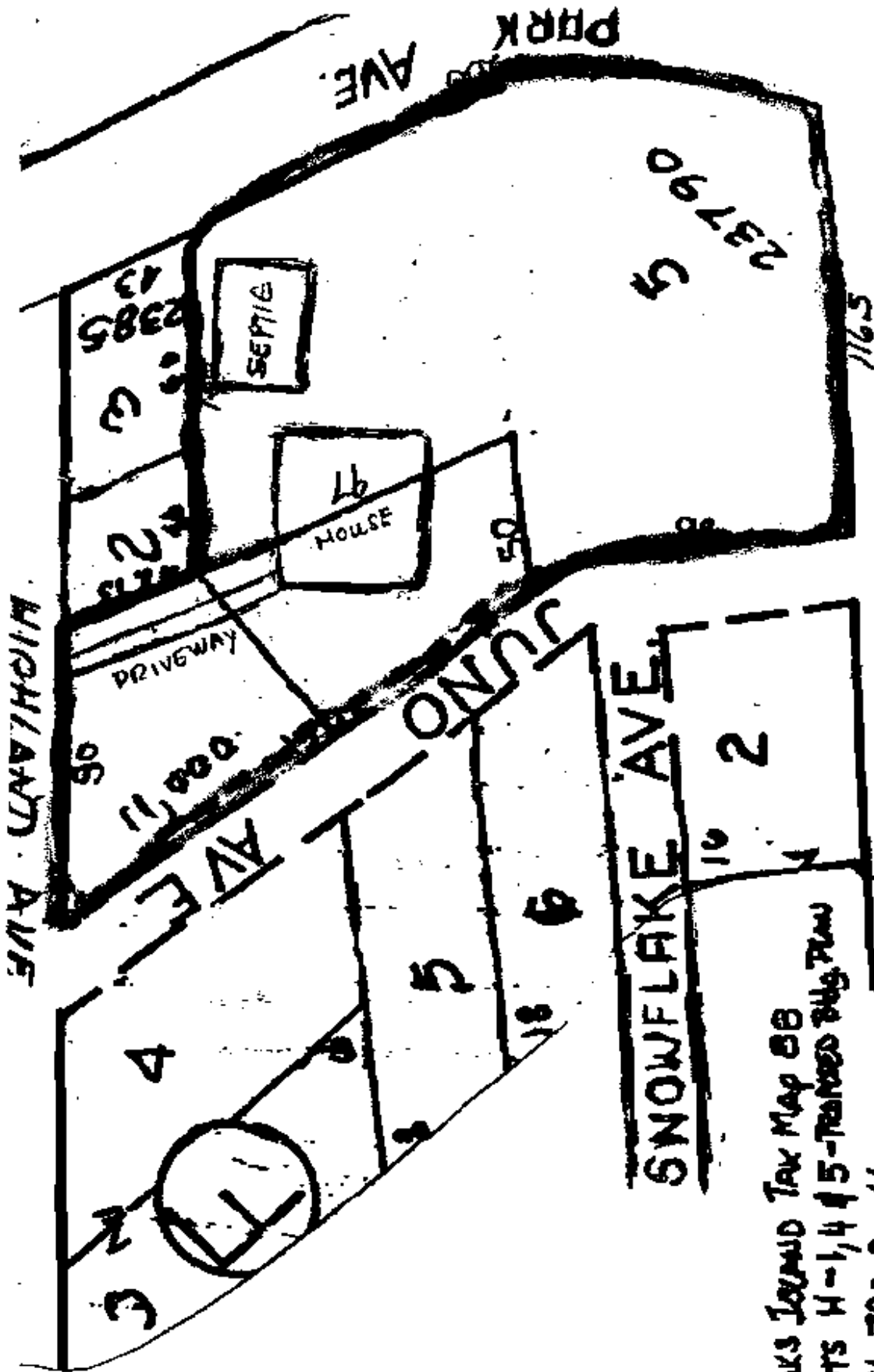
Attached is paperwork documenting the ownership status of the above referenced lots:

- Enlarged tax map locating lots and providing footnoted ownership history as follows:
 - o Pre 1985 - E. Casey
 - o 1985-1992 - S and K MacIsaac
 - o 1992 - Present - C and L Johnson/Island Bay Services

Ownership passed from S and K MacIsaac to C and L Johnson/Island Bay Services in 1992 as a result of a Purchase and Sale Contract (attached) between the two parties wherein C. Johnson/Island Bay Services agreed to perform building site preparation work on two other island building lot parcels owned by the MacIsaac's (one on Wood's Road; the other on Elizabeth Street). Two deeds were issued to C and L. Johnson/Island Bay Services under the provisions of the July, 1992 Purchase and Sale agreement for the work provided. The first deed (attached) for lots 88-H-1 and 4 was given on July 9, 1992 as a the first payment for the work included in the P and C agreement; the second (attached) provided eleven weeks later on Sept 30th 1992 for lot 88-H-5 represented the final payment for the work provided.

C. Johnson/Island Bay Services and myself ^{I figured 33,115⁺ per Assessor's} plan to build one single family house on lots 88 - H - 1, 4 and 5 (34,790 square feet) and wanted to provide you with a record of the ownership history of the parcels as described herein as part of the permitting process.





Peaks Island Tax Map 88
 Lots H-1, 4 & 5 - TRAINED BLDG. PLAN
 34,790 Sq. Ft.
 Lot 88-H-2 - BUSZY-RA 88
 Lot 88-H-3 - HENNER-88 81
 LOTS 88-H-1, 4 & 5 - CASSY PLOTS
 H - MAC ISAAC 85-88
 H - ISLAND BAY SALES - 88 - PRESENT

1
 2
 3
 4
 5
 6

Agreement of Sale - Agreement of Work

This contract is between Island Bay Services, Inc. (hereinafter Contractor) and Steven and Kimberly MacIsaac (hereinafter Seller), and is dated this 9th day of July, 1992.

Whereas, Contractor wishes to purchase a parcel of land from Seller known as Lots 88-H-1, 4, & 5 on the City of Portland Tax Maps; and

Whereas, said land is agreed by both parties to be valued at \$20,000.00 as of the date of this contract, as is; and

Whereas, Seller agrees to sell each land to Contractor under the terms and arrangements set forth herein; and

Whereas, Seller desires to have Contractor perform certain services to Seller to benefit other properties of Seller, said work to be utilized as credit towards purchase of the above Lots 88-H-1,4, & 5; and

Whereas, it is the desire of the parties to set out the obligations, valuations, timeframes and work service specifications of the matters and parties of this agreement,

It is agreed as follows:

SELLER'S OBLIGATIONS

1. Seller agrees to execute a Warranty Deed to Island Bay Services, Inc. for Lots 88-H-1,4, & 5 following the signing of this Agreement, together with a Transfer Tax Declaration Form as required by the State of Maine. Said executed deed shall be held in escrow until all work called for under a thirty day time limit in this contract is completed. The escrow agent shall be any agent that both Seller and Contractor may agree upon at the signing of this document. Seller specifically authorizes and consents to have said escrow agent release the executed deed to Contractor upon timely completion of the Contractor's 40 day obligations herein.
2. Seller shall provide to Contractor a site plan, a topographical plan, and a building permit and septic permit in the name of Island Bay Services, Inc., within thirty days of the signing of this agreement.
3. Seller represents that title to the property is free and clear, and can be conveyed by a Warranty Deed. Seller represents that a building permit for this parcel has been obtained and may be transferred to Contractor.
4. Seller shall pay to Contractor under this agreement those amounts currently outstanding as follows: Stumping woods Road: \$100.00; One load of fill for Woods Road: \$75.00.

CONTRACTOR'S OBLIGATIONS:

1. Contractor agrees to provide the following services and construction as outline below. In each instance, a timeframe for performance, a materials list, and a value for that particular instance of service and/or construction is listed and by incorporation herein, is agreed to by all parties. Time and materials are estimated to the best ability of the parties.

A. **Elizabeth St. Disposal:** Contractor agrees to remove two truckloads of debris from Seller's lot on Elizabeth St., Peaks Island. Contractor will provide a vehicle on the site for up to two days for each truckload removed, upon 24 hours request of Seller to locate the truck onsite. Seller shall have the responsibility to load the truck. Contractor shall remove the truckloads and be responsible for all transportation costs, dumping fees, and liability from the transporting of same. Contractor shall have no liability for any part of the loading by Seller or Seller's guests, agents or employees. Seller warrants that they shall not load or cause to be loaded any hazardous materials, including but not limited to asbestos, mercury or other chemicals, nor load any paper or plastic onto the trucks. The value for this item is ~~\$4,000.00~~ ¹⁶⁷ ~~3,850.00~~. This item shall be completed within 30 days of the signing of this agreement.

B. **Woods Road Site Drainage:** Contractor agrees to dig, grade, provide and install a 12" culvert for Seller's site off of Woods Road, Peaks Island, also known on the City Assessor's Map as 92-G-31, for the purpose of aiding drainage off the site, which is approximately half an acre. Materials to be supplied include 40' of 12" plastic solid pipe, 40' of 12" plastic perforated pipe with sock, 12" tees as needed, a roll of 4" drain guard, miscellaneous fittings, a maximum of 42 yards of 3/4" crushed stone, a maximum of 15 yards of sandy fill, and machine work and labor as required. The value for this item is \$4,635.00. This item shall be completed within thirty days of the signing of this agreement.

C. **Woods Road Site Foundation Work:** Contractor agrees to remove soil on the above site in a 38'x 30' size, down to ledge or 4', whichever is less. Said soil shall be stockpiled on site. Contractor shall backfill with up to 45 yards of stony fill. Seller shall be responsible for the provision and placement of sauna tubes for a foundation, and shall apprise Contractor of the schedule for such as is appropriate, without causing unreasonable delay in allowing Contractor to fulfill his obligations herein. Materials to be provided include a maximum of 45 yards of stony fill, and machine work and labor as required. The value for this item is \$2,500.00. This item shall be completed within thirty days of the signing of this agreement.

D. **Woods Road Site Driveway:** Contractor agrees to construct a driveway on the above site of approximately 10' x 40' in the following manner: dredge out existing soil material and stockpile such on the right (far) side of the driveway; remove any large stones obstructing driveway away; install a 12" culvert of sufficient length as needed; refill driveway with rocky fill and crushed stone. Materials to be provided include a 12" culvert, 2.5 yards of crushed stone and a maximum of 54 yards of rocky fill. The value for this item is \$1,297.50. This item shall be completed within thirty days of the signing of this agreement.

E. Woods Road Site Septic System: Contractor shall install a septic system at the above site as specified on a plan by Bill Goodwin, and based on heights provided by Seller. Contractor shall provide all materials and labor for the installation of the system, provided, however, that such installation does not include materials and/or labor for the installation of a septic pump if necessary.

Contractor reserves the right to, at its expenses, hire an engineer to review the septic system plan for the purpose of recommending changes or revisions. Should said engineer recommend changes, Seller shall have the option of accepting said changes, together with specific additional costs for construction if necessary, or of indicating in writing his acceptance of the original plan, and releasing Contractor from any liability resulting from failure of the system as a result of the design or installation of the system per the original design.

The value for this item is \$8,965.00. This item shall be completed within forty days of the signing of this agreement.

F. Woods Road Site Leveling: Contractor will, upon completion of the above items, level and grade the Woods Road site, which shall include utilizing all stockpiled materials from the driveway and foundation items. Contractor shall provide up to 20 hours of machine work for this item. Contractor shall supply hay and seed for the area, but shall not be responsible for watering or germination. The value for this item is \$1,000.00. This item shall be completed within 90 days of the signing of this agreement, as conditions must be dry enough for grading soil.

G. Woods Road Ledge Removal, Culvert Installation: Contractor shall remove the existing culvert across Woods Road, drill out the underlying ledge, replace the culvert at the lower level and backfill, to better assist and aid in drainage through said culvert. Contractor shall utilize whatever materials, labor and machine work is required for this item. The value of this item is \$2,500.00. This item shall be completed within forty days of the signing of this agreement. *on both sides of area*

*RM
8.6.9* THE CONTRACTOR WILL MAINTAIN A RECORD OF EXPENSES FOR THIS COMPONENT. IF THIS COMPONENT IS COMPLETED FOR LESS MATERIAL OR LABOR, THE BALANCE WILL BE REFUNDED TO THE SELLER.

H. Road Damage - Woods Road: Contractor agrees to provide adequate labor and machine work to grade Woods Road subsequent to completion of the above items of construction. No value shall be added for this work. Any fill required or requested shall be paid for by Seller.

OBLIGATIONS OF SELLER AND CONTRACTOR:

1. Contractor and Seller agree that should any dispute arise as to completion of work, timeliness of performance, adequacy of performance, or other dispute regarding performance of either party under the terms of this Agreement, that both shall submit to arbitration on the matter as follows: the parties shall select an arbitrator to determine the items of dispute. If the parties cannot agree on an arbitrator, both shall choose one arbitrator, and those two shall together pick a third arbitrator. The three arbitrators shall examine the dispute and the majority shall make a finding, which in all respects shall be

binding upon both Seller and Contractor, as if judgment were made in a court of law. The escrow agent shall be bound by the findings as well. Seller and Contractor shall equally share in the costs of any arbitration, including the payment of fees to the arbitrators.

2. Should additional items, materials or machine time be necessary, Contractor agrees to provide written notice of such to Seller, who may accept or reject additional costs. Should Seller reject additional costs, Contractor shall be obligated to provide solely as is enumerated herein materials and labor, and shall complete the items as well as he is able to within the confines of this contract. Should additional charges be added, they shall be at the following rates: 3/4" crushed stone shall be provided at \$45.00 per cubic yard; sandy fill shall be provided at \$20.00 per cubic yard; rocky fill shall be provided at \$20.00 per cubic yard; additional machine time shall be provided at \$45.00 per hour. Additional truck loads for item 1 of Contractor's Obligations shall be at \$500.00 per truckload.

3. Total value for the itemized work and materials provided is \$21,897.50. Prior amounts due total \$175.00. Seller shall provide to Contractor at completion of grading and seeding the Woods Road site the amount of \$2,072.50.

The undersigned have read and understand all the terms of the above agreement. We agree that the date of our signatures indicates the start date of this contract, and agree to be bound by all terms and conditions herein.

Witness

Steven Mac Isaac 7-14-92
Seller - Steven MacIsaac Date

Witness

Kimberly MacIsaac 7-14-92
Seller - Kimberly MacIsaac Date

Linda K. Carlson
Witness

J. [Signature] 7/14/92
Contractor - Island Boy Services, Inc. Date

QUITCLAIM DEED

WE, Steven J. and Kimberly A. MacIsaac, of 140 Reed Avenue, Peaks Island, City of Portland, County of Cumberland, State of Maine, for consideration paid, grant to Island Bay Services, a Maine corporation with a place of business at Portland, County of Cumberland, State of Maine, with Quitclaim Covenants, the land described as follows:

A parcel of land located on Peaks Island, Maine, identified on the City of Portland Tax Assessor's Map as Lots 88-11-1&4.

Said lots being part of a parcel of land conveyed to the Grantors herein by Jackson & Casey, Inc. by deed dated September 30, 1985 and recorded in book 7472, Page 133 in the Cumberland County Registry of Deeds on November 10, 1985.

IN WITNESS WHEREOF, Steven J. MacIsaac and Kimberly A. MacIsaac, as Grantors, do release all rights by deed and all other rights in the above described premises, have hereto set our hands and seals this 9th day of July, 1992

MAINE REAL ESTATE TAX PAID

[Handwritten signature]
Witness

[Handwritten signature]
Steven J. MacIsaac

[Handwritten signature]
Kimberly A. MacIsaac

Commonwealth of Massachusetts,
Suffolk, SS

Personally appeared before me, the above named Steven J. MacIsaac and Kimberly A. MacIsaac, acknowledged the foregoing instrument to be their free act and deed, and subscribed same.

Before me,

Date: JULY 9, 1992

[Handwritten signature]
George M. Sabinson
Notary Public

My Commission Expires
March 21, 1993

SEAL

Recorded
Deed of Conveyance of Land
to 20,504 (11/1/92)
Cumberland County
John P. Brown

6/26/10

KNOW ALL MEN BY THESE PRESENTS

That We, Steven J. MacIsaac and Kimberly A. MacIsaac of Peaks Island, City of Portland, County of Cumberland, State of Maine

In consideration of One (\$1.00) and Other Valuable Consideration

paid by T. Covington Johnson, and Laurie Jean Johnson of Peaks Island, City of Portland, County of Cumberland, State of Maine, as joint tenants and not as tenants in common

9

the receipt whereof we hereby acknowledge, hereby remise, release, bargain, sell and convey, and forever Quitclaim unto the said T. Covington Johnson and Laurie Jean Johnson, their heirs and assigns forever,

certain lots or parcels of land situated on Peaks Island, City of Portland, County of Cumberland, State of Maine and being more particularly described as follows:

Parcel #1: A lot of land consisting of 7585 square feet; being bounded on the westerly side by Vermont Avenue, on the northerly side by Midsummer Avenue, on the easterly side by Snowflake Avenue, and on the southerly side by Juno Avenue; and being shown on the City of Portland Tax Map 88 as Lots G-1 & 2.

Parcel #2: A lot of land consisting of 21,790 square feet and described as follows: beginning at a stake at the junction of the northern boundary line of Park Avenue and the eastern boundary line of Vermont Avenue; thence on said line of Vermont Avenue, northerly one hundred and fifty (150) feet to a stake; thence easterly on a line one hundred and fifty (150) feet from and parallel with said line of Park Avenue one hundred (100) feet to a stake; thence southerly on a line one hundred (100) feet from and parallel with said line of Vermont Avenue fifty (50) feet to a stake; thence easterly on a line parallel with and one hundred (100) feet from said line of Park Avenue one hundred (100) feet to a stake; thence southerly about one hundred (100) feet to a stake on said Park Avenue; thence westerly on the line of said Park Avenue about two hundred (200) feet to the point of beginning.

Being the same parcels of land conveyed in the deed to the Grantors herein from Jackson and Casey, Inc. dated September 30, 1986 and recorded in the Cumberland County Registry of Deeds Book 7472, Page 137.

To have and to hold the same, together with all the privileges and appurtenances thereunto belonging, to the said T. Covington Johnson and Laurie Jean Johnson, their heirs and assigns forever.

Bl
Cl
Th
Xl
fr

In Witness Whereof, We, the said Steven J. MacIsaac and Kimberly A. MacIsaac joining in this deed as Grantors, and relinquishing and conveying our rights by descent and all other rights in the above described premises, have hereunto set our hands and seals this 30th day of September, 1992.

Richard C. Brun
Witness

Steven J. MacIsaac
Steven J. MacIsaac

Kimberly A. MacIsaac
Kimberly A. MacIsaac

State of Maine
Cumberland, Me

September 30, 1992

SEAL

Then personally appeared the above named, Steven J. MacIsaac and Kimberly A. MacIsaac, and acknowledged the foregoing to be their free act and deed.

Before me,

Richard C. Brun
Attorney/Notary Public
Maine, U.S.A.
in compliance with the Statute of this State

Printed Name

Recorded
Cumberland County
Register of Deeds
10-05-92 11:05:12AM
Robert P. Titcomb
Register

TAX RECEIPT
City of Portland, Maine
P O Box 544
Portland ME 041120544
207-874-8856

Paid by: MACISAAC STEVEN J &
KIMBERLY A JTS
PO BOX 93
PEAKS ISLAND ME 04108

Receipt#: 56975 / 488843
Batch: TONYAM 4/08/2005 00
Date paid: 4/08/2005

Account ID: 14194 Parcel Id
HIGHLAND AVE
Owner: MACISAAC STEVEN J &
ACCOUNT # M01913
PEAKS ISLAND

088 - H-001-001
REAL ESTATE TAX
88-H-1-4
HIGHLAND AVE
JUNO AVE
PEAKS ISLAND 9325 SF

Year	Value	Rate	Base	Pen & Int	Coll fee	Total paid
2005 1 RE TAX	1370	26.53000	18.18	.69		18.86
2005 2 RE TAX	1370	26.53000	18.18	.11		18.29
Year total:			36.36	.79		37.15

Printed: 4/08/05 11:55:28

Receipt total: 37.15

Tender: CASH

40.00

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	088 H001001
Location	HIGHLAND AVE
Land Use	VACANT LAND
Owner Address	ISLAND BAY SERVICES PO BOX 48 PEAKS ISLAND ME 04108
Book/Page	21190/086
Legal	88-H-1-4 HIGHLAND AVE JUMB AVE PEAKS ISLAND 9325 SF

Current Valuation Information

Land	Building	Total
\$1,370	\$0	\$1,370

New Estimated Valuation Information

Land	Building	Total	Phase-2a Value
\$2,100	\$0	\$2,100	\$1,735

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.214	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
------	----------	------------	------	-------	-----------

Sales Information

Date	Type	Price	Book/Page
04/29/2004	LAND	\$5,000	21190-86

Picture and Sketch

[Picture](#) [Sketch](#) [Year Map](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

[Click here](#) to view comparable sales or below to view by:

[Map](#)

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	088 H005001
Location	152 PARK AVE
Land Use	VACANT LAND
Owner Address	JOHNSON T COVINGTON & LAURIE JEAN JTS PLEASANT AVE PEAKS ISLAND ME 04108
Book/Page	10319/70
Legal	88-H-5 VERMONT AVE PARK AVE & JUNO AVE PKS IS 23790SF

Current Valuation Information

Land	Building	Total
\$3,570	\$0	\$3,570

New Estimated Valuation Information

Land	Building	Total	Phase-In Value
\$5,500	\$0	\$5,500	\$4,533

Property Information

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
				0.546	
Bedrooms	Full Baths	Half Baths	Total Rooms	Attic	Basement

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition

Sales Information

Date	Type	Price	Book/Page

Picture and Sketch

Picture	Sketch	Tax Map
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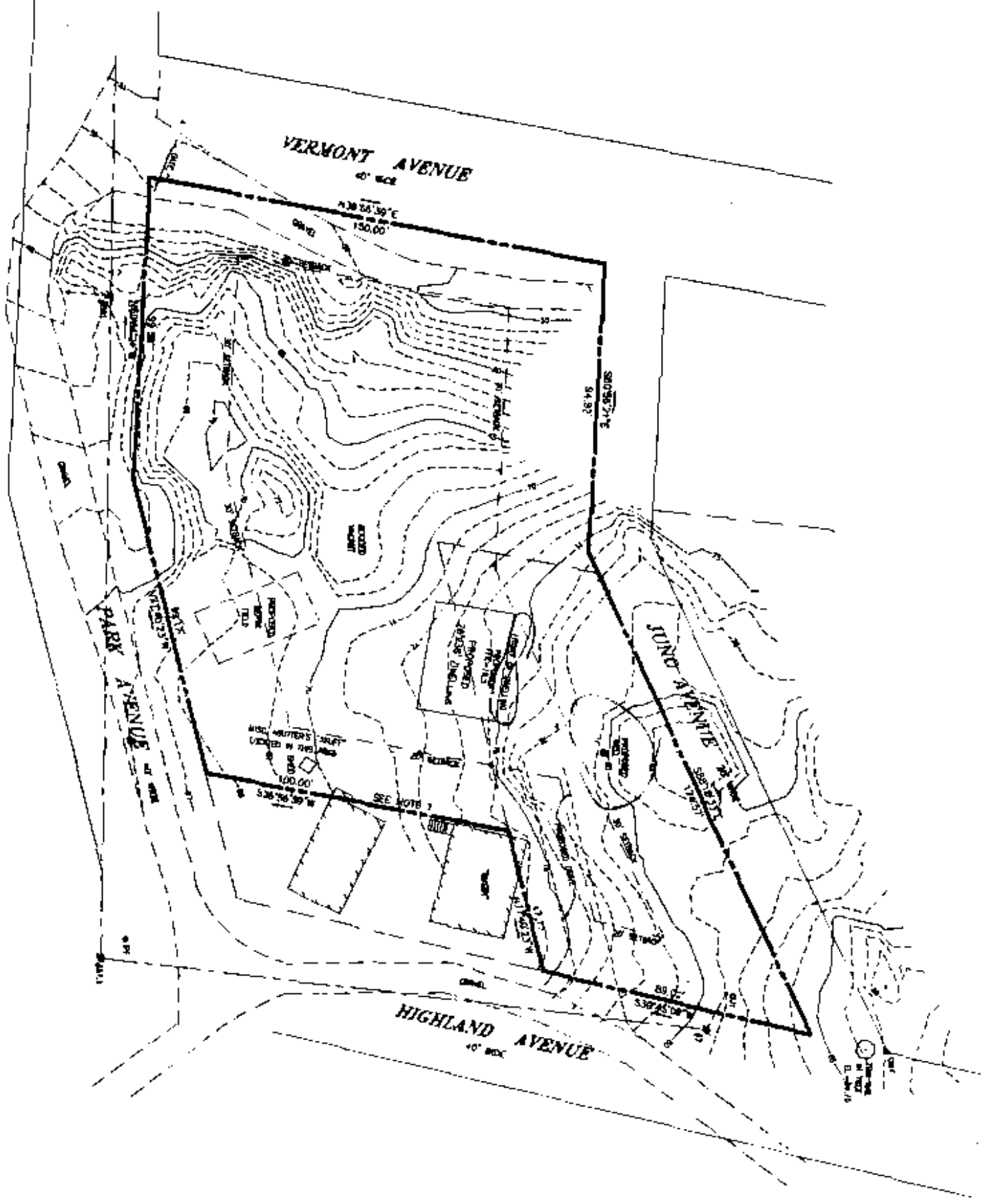
[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[Click here](#) to view comparable sales or below to view by:
[Map](#)



- NOTES:**
1. CORNER OF RECORD 1 CORNER OF RECORD 2
 2. PLAT IS BEING MADE ON THE BASIS OF THE PLAN AS SHOWN ON THE CITY OF PORTLAND RECORDS MAP NO. 1000
 3. BEARING AND DISTANCE ON BOUNDARY LINES AS SHOWN ON THE PLAN ARE AS SHOWN ON THE PLAN
 4. ALL DISTANCES ARE GIVEN IN FEET AND DECIMALS THEREOF
 5. THE PLAN IS BEING MADE ON THE BASIS OF THE PLAN AS SHOWN ON THE CITY OF PORTLAND RECORDS MAP NO. 1000
 6. THE DISTANCE FROM THE CORNER OF RECORD 1 TO THE CORNER OF RECORD 2 IS 150.00 FEET
 7. THE DISTANCE FROM THE CORNER OF RECORD 1 TO THE CORNER OF RECORD 3 IS 100.00 FEET
 8. THE DISTANCE FROM THE CORNER OF RECORD 1 TO THE CORNER OF RECORD 4 IS 100.00 FEET
 9. THE DISTANCE FROM THE CORNER OF RECORD 1 TO THE CORNER OF RECORD 5 IS 100.00 FEET
 10. THE DISTANCE FROM THE CORNER OF RECORD 1 TO THE CORNER OF RECORD 6 IS 100.00 FEET



- LEGEND:**
- CORNER MARK AND FOUND
 - UNFIT POINT
 - OBSERVED MARK
 - COMPUTED

GRAPHIC SCALE

0 10 20 30 40 50

DATA REFERENCES:

1. RECORDS AND VOUCHERS OF THE CITY OF PORTLAND
2. CITY OF PORTLAND RECORDS MAP NO. 1000
3. CITY OF PORTLAND RECORDS MAP NO. 1000



CERTIFICATE:

I, WILLIAM C. SARGENT, LAND SURVEYOR, DO HEREBY CERTIFY THAT THE PLAN IS BASED ON THE RESULTS OF A SURVEY MADE BY ME AND THAT THE PLAN IS CORRECT AND ACCURATE AND THAT I AM A LICENSED LAND SURVEYOR IN THE STATE OF MAINE.

W. C. Sargent



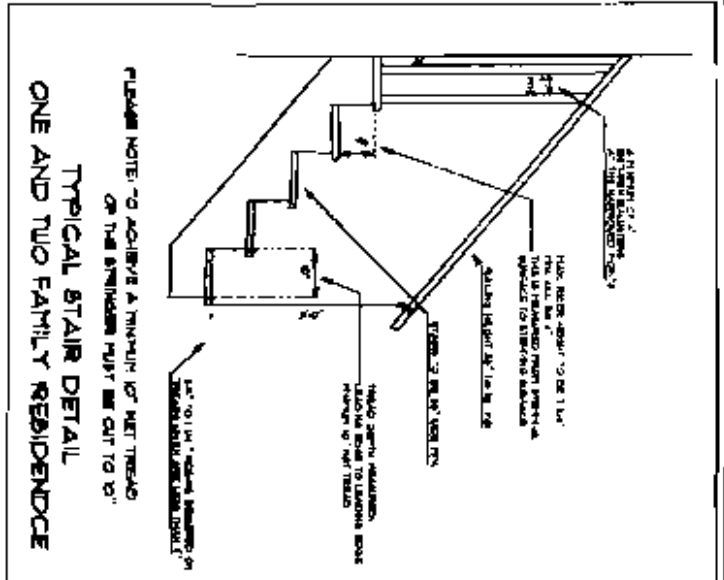
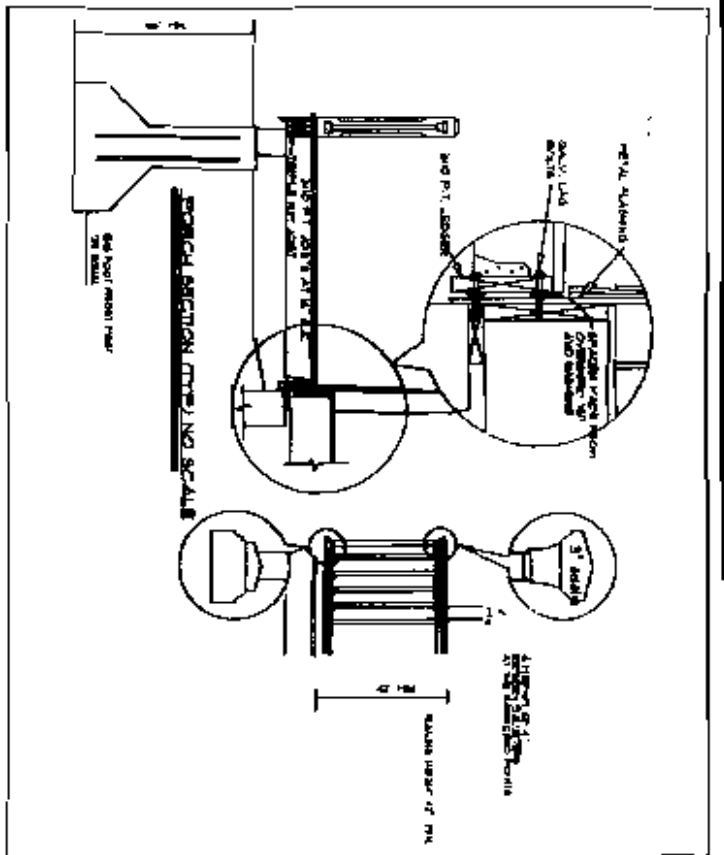
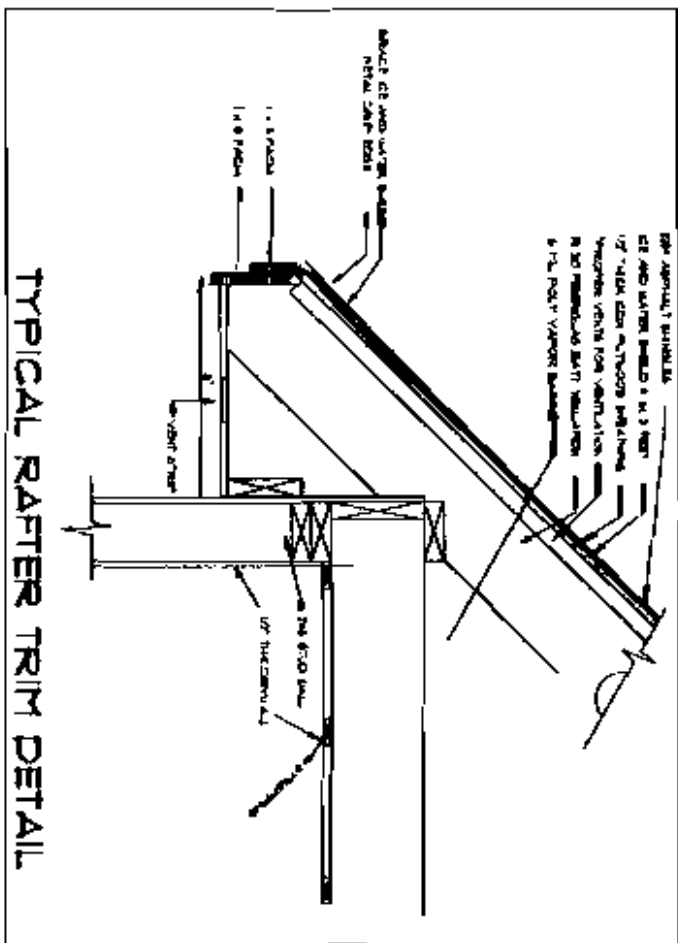
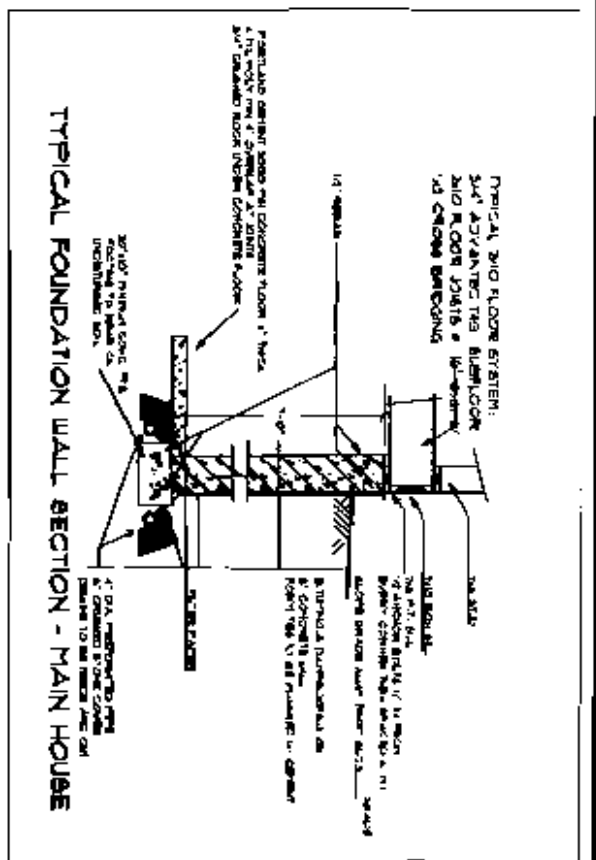
Not As Shown

BOUNDARY & TOPOGRAPHIC SURVEY
ON
PARK WYCKE - PEAKS ISLAND
PORTLAND, MAINE

FOR
STEVEN J. MAC ISAAC

OWEN HASKELL, INC.
16 CORNER ST., PORTLAND, ME 04101 (603) 774-4444

Drawn By: NCS	Date: 1/11/05	Scale: 1" = 20'
Checked By: ASB	Date: 1/11/05	Scale: 1" = 20'
Field Book: 1000		
Drawn No. 1000		



FASTENING SCHEDULE (SEE TABLE 2304.9.1 ME.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

GENERAL NOTES:
 1. ALL FASTENERS SHALL BE AS SHOWN.
 2. ALL FASTENERS SHALL BE GALVANNEAL.
 3. ALL FASTENERS SHALL BE 1/2\"/>

NO.	DESCRIPTION	QUANTITY	UNIT	REMARKS
1	2x4	10	LINEAL FEET	FOR RAOFFERS
2	2x6	5	LINEAL FEET	FOR RAOFFERS
3	2x8	3	LINEAL FEET	FOR RAOFFERS
4	2x10	2	LINEAL FEET	FOR RAOFFERS
5	2x12	1	LINEAL FEET	FOR RAOFFERS
6	2x14	1	LINEAL FEET	FOR RAOFFERS
7	2x16	1	LINEAL FEET	FOR RAOFFERS
8	2x18	1	LINEAL FEET	FOR RAOFFERS
9	2x20	1	LINEAL FEET	FOR RAOFFERS
10	2x22	1	LINEAL FEET	FOR RAOFFERS
11	2x24	1	LINEAL FEET	FOR RAOFFERS
12	2x26	1	LINEAL FEET	FOR RAOFFERS
13	2x28	1	LINEAL FEET	FOR RAOFFERS
14	2x30	1	LINEAL FEET	FOR RAOFFERS
15	2x32	1	LINEAL FEET	FOR RAOFFERS
16	2x34	1	LINEAL FEET	FOR RAOFFERS
17	2x36	1	LINEAL FEET	FOR RAOFFERS
18	2x38	1	LINEAL FEET	FOR RAOFFERS
19	2x40	1	LINEAL FEET	FOR RAOFFERS
20	2x42	1	LINEAL FEET	FOR RAOFFERS
21	2x44	1	LINEAL FEET	FOR RAOFFERS
22	2x46	1	LINEAL FEET	FOR RAOFFERS
23	2x48	1	LINEAL FEET	FOR RAOFFERS
24	2x50	1	LINEAL FEET	FOR RAOFFERS
25	2x52	1	LINEAL FEET	FOR RAOFFERS
26	2x54	1	LINEAL FEET	FOR RAOFFERS
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28	2x58	1	LINEAL FEET	FOR RAOFFERS
29	2x60	1	LINEAL FEET	FOR RAOFFERS
30	2x62	1	LINEAL FEET	FOR RAOFFERS
31	2x64	1	LINEAL FEET	FOR RAOFFERS
32	2x66	1	LINEAL FEET	FOR RAOFFERS
33	2x68	1	LINEAL FEET	FOR RAOFFERS
34	2x70	1	LINEAL FEET	FOR RAOFFERS
35	2x72	1	LINEAL FEET	FOR RAOFFERS
36	2x74	1	LINEAL FEET	FOR RAOFFERS
37	2x76	1	LINEAL FEET	FOR RAOFFERS
38	2x78	1	LINEAL FEET	FOR RAOFFERS
39	2x80	1	LINEAL FEET	FOR RAOFFERS
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44	2x90	1	LINEAL FEET	FOR RAOFFERS
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52	2x106	1	LINEAL FEET	FOR RAOFFERS
53	2x108	1	LINEAL FEET	FOR RAOFFERS
54	2x110	1	LINEAL FEET	FOR RAOFFERS
55	2x112	1	LINEAL FEET	FOR RAOFFERS
56	2x114	1	LINEAL FEET	FOR RAOFFERS
57	2x116	1	LINEAL FEET	FOR RAOFFERS
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63	2x128	1	LINEAL FEET	FOR RAOFFERS
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65	2x132	1	LINEAL FEET	FOR RAOFFERS
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67	2x136	1	LINEAL FEET	FOR RAOFFERS
68	2x138	1	LINEAL FEET	FOR RAOFFERS
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71	2x144	1	LINEAL FEET	FOR RAOFFERS
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77	2x156	1	LINEAL FEET	FOR RAOFFERS
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79	2x160	1	LINEAL FEET	FOR RAOFFERS
80	2x162	1	LINEAL FEET	FOR RAOFFERS
81	2x164	1	LINEAL FEET	FOR RAOFFERS
82	2x166	1	LINEAL FEET	FOR RAOFFERS
83	2x168	1	LINEAL FEET	FOR RAOFFERS
84	2x170	1	LINEAL FEET	FOR RAOFFERS
85	2x172	1	LINEAL FEET	FOR RAOFFERS
86	2x174	1	LINEAL FEET	FOR RAOFFERS
87	2x176	1	LINEAL FEET	FOR RAOFFERS
88	2x178	1	LINEAL FEET	FOR RAOFFERS
89	2x180	1	LINEAL FEET	FOR RAOFFERS
90	2x182	1	LINEAL FEET	FOR RAOFFERS
91	2x184	1	LINEAL FEET	FOR RAOFFERS
92	2x186	1	LINEAL FEET	FOR RAOFFERS
93	2x188	1	LINEAL FEET	FOR RAOFFERS
94	2x190	1	LINEAL FEET	FOR RAOFFERS
95	2x192	1	LINEAL FEET	FOR RAOFFERS
96	2x194	1	LINEAL FEET	FOR RAOFFERS
97	2x196	1	LINEAL FEET	FOR RAOFFERS
98	2x198	1	LINEAL FEET	FOR RAOFFERS
99	2x200	1	LINEAL FEET	FOR RAOFFERS
100	2x202	1	LINEAL FEET	FOR RAOFFERS

PROJECT NAME: **Covey Johnson Highland Ave. Peaks Island, ME 04108**

DATE: **April 01, 2008**

SCALE: **AS NOTED**

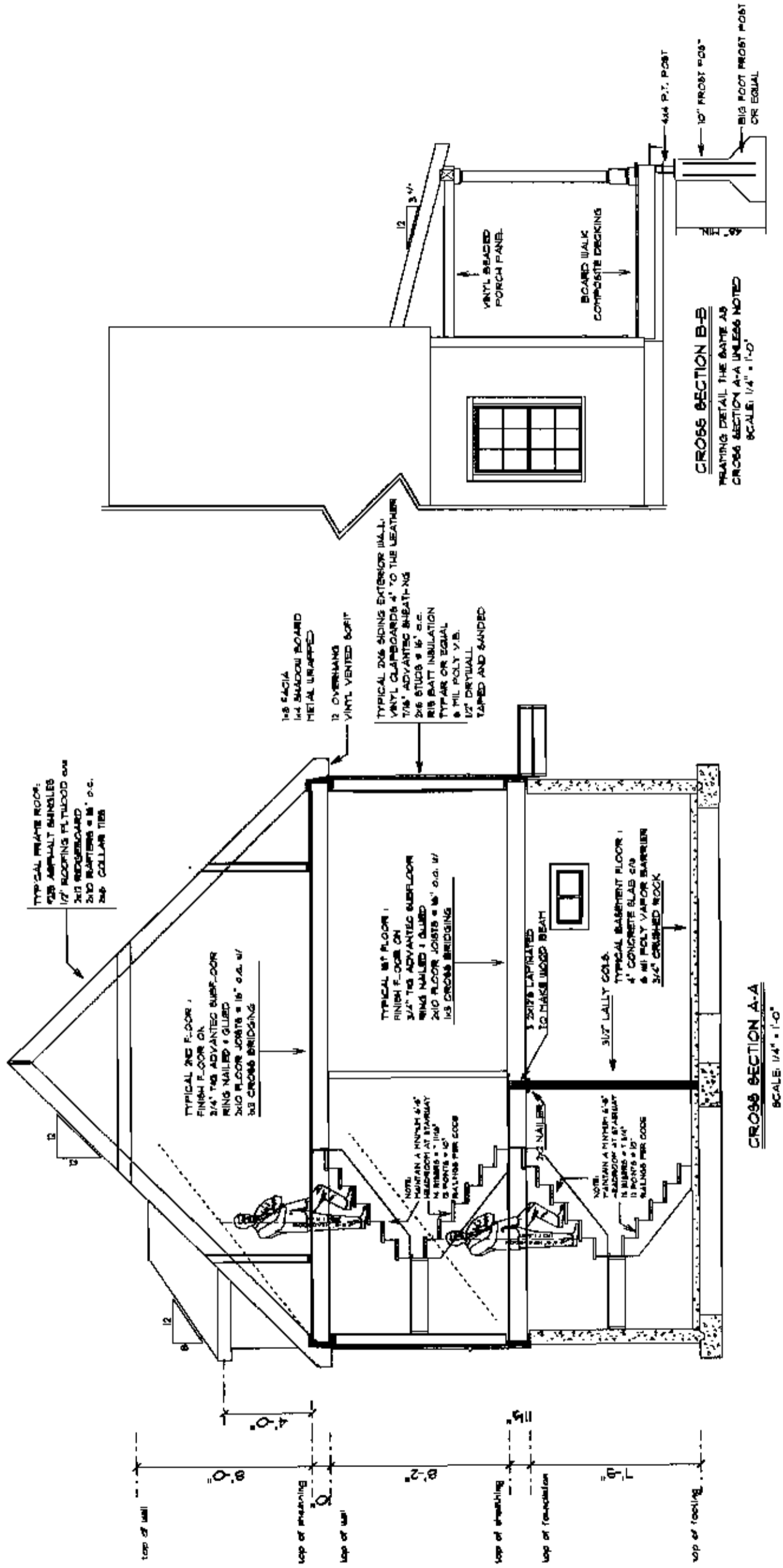
DESIGNER: **[Signature]**

CLIENT: **[Signature]**

REVISIONS:

NO.	DESCRIPTION
1	ISSUED FOR PERMITS
2	ISSUED FOR CONSTRUCTION

THIS PLAN AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. THEY ARE PROVIDED AS A SERVICE AND IN NO WAY CONSTITUTE A GUARANTEE TO THE ACCURACY AND SUITABILITY OF THE INFORMATION PROVIDED. ALL ORDERS AND SPECIFICATIONS TO BE OBSERVED FOR ACCURACY AND STRUCTURAL INTEGRITY BY A REGISTERED ARCHITECT OR ENGINEER AND CONFORM TO THE ACTUAL CONSTRUCTION CONTRACT SPECIFICATIONS OR PERMITS - CLUB PLANS.



CROSS SECTION B-B
 FINISHING DETAIL THE SAME AS
 CROSS SECTION A-A UNLESS NOTED
 SCALE: 1/4" = 1'-0"

CROSS SECTION A-A
 SCALE: 1/4" = 1'-0"

TYPICAL PRIME ROOF:
 1/2" ASPHALT BUILT-UP ON
 1/2" ROOFING FELT/WOOD ON
 2x12 DECKBOARD
 2x12 RAFTERS @ 16" O.C.
 2x6 COLLAR TIES

TYPICAL 2ND FLOOR:
 FINISH FLOOR ON
 3/4" 7/8 ADVANTAGE SUB-FLOOR
 RING NAILLED & GULFED
 2x10 FLOOR JOISTS @ 16" O.C. w/
 1x8 CROSS BRIDGING

TYPICAL 1ST FLOOR:
 FINISH FLOOR ON
 3/4" 7/8 ADVANTAGE SUB-FLOOR
 RING NAILLED & GULFED
 2x10 FLOOR JOISTS @ 16" O.C. w/
 1x8 CROSS BRIDGING

NOTE:
 FINISH AN 4" MINIMUM 4x4
 BRACKET AT STAIRWAY
 12 MONTHS @ 10"
 12 MONTHS @ 10"
 12 MONTHS PER CODE

NOTE:
 FINISH AN 4" MINIMUM 4x4
 BRACKET AT STAIRWAY
 12 MONTHS @ 10"
 12 MONTHS @ 10"
 12 MONTHS PER CODE

1x8 S4S
 1x4 SHADOW BOARD
 METAL WRAPPED
 12 OVERHANG
 VINYL VENTED SOFFIT

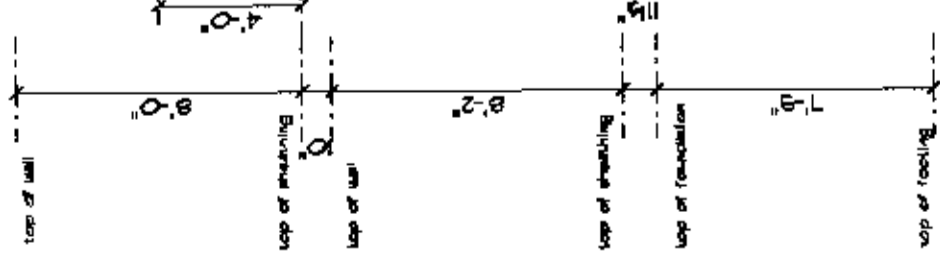
TYPICAL 2x6 SIDING EXTERIOR WALL:
 VINYL CLAMBOARDS 4" TO THE LEATHER
 7/8" ADVANTAGE SHEATHING
 2x6 STUDS @ 16" o.c.
 R15 BATT INSULATION
 TYPAR OR EQUAL
 6 MIL POLY V.B.
 1/2" DRYWALL
 TAPED AND SANDED

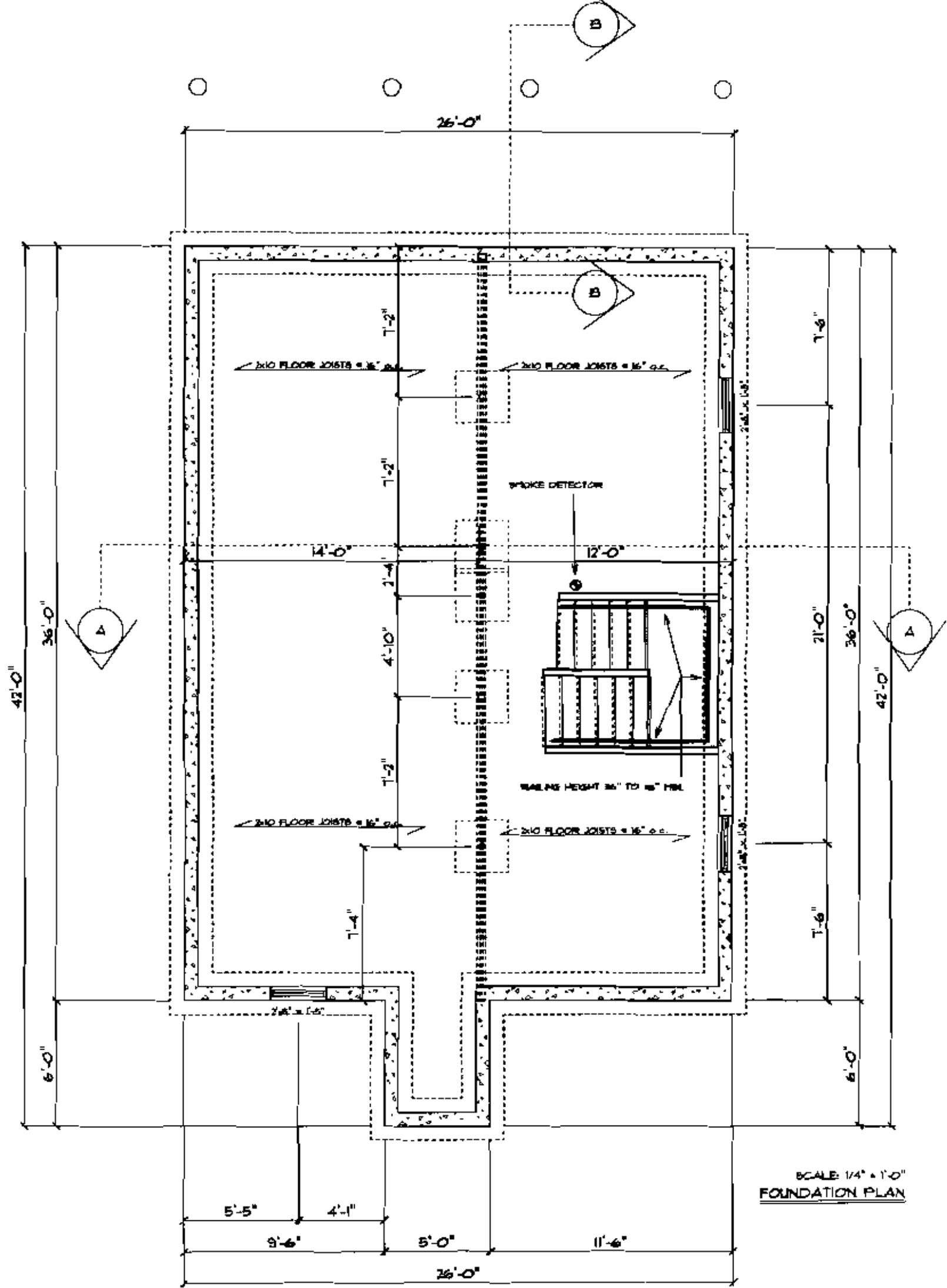
VINYL BRACED
 PORCH PANEL
 BOARD WALK
 COMPOSITE DECKING

4x4 P.T. POST

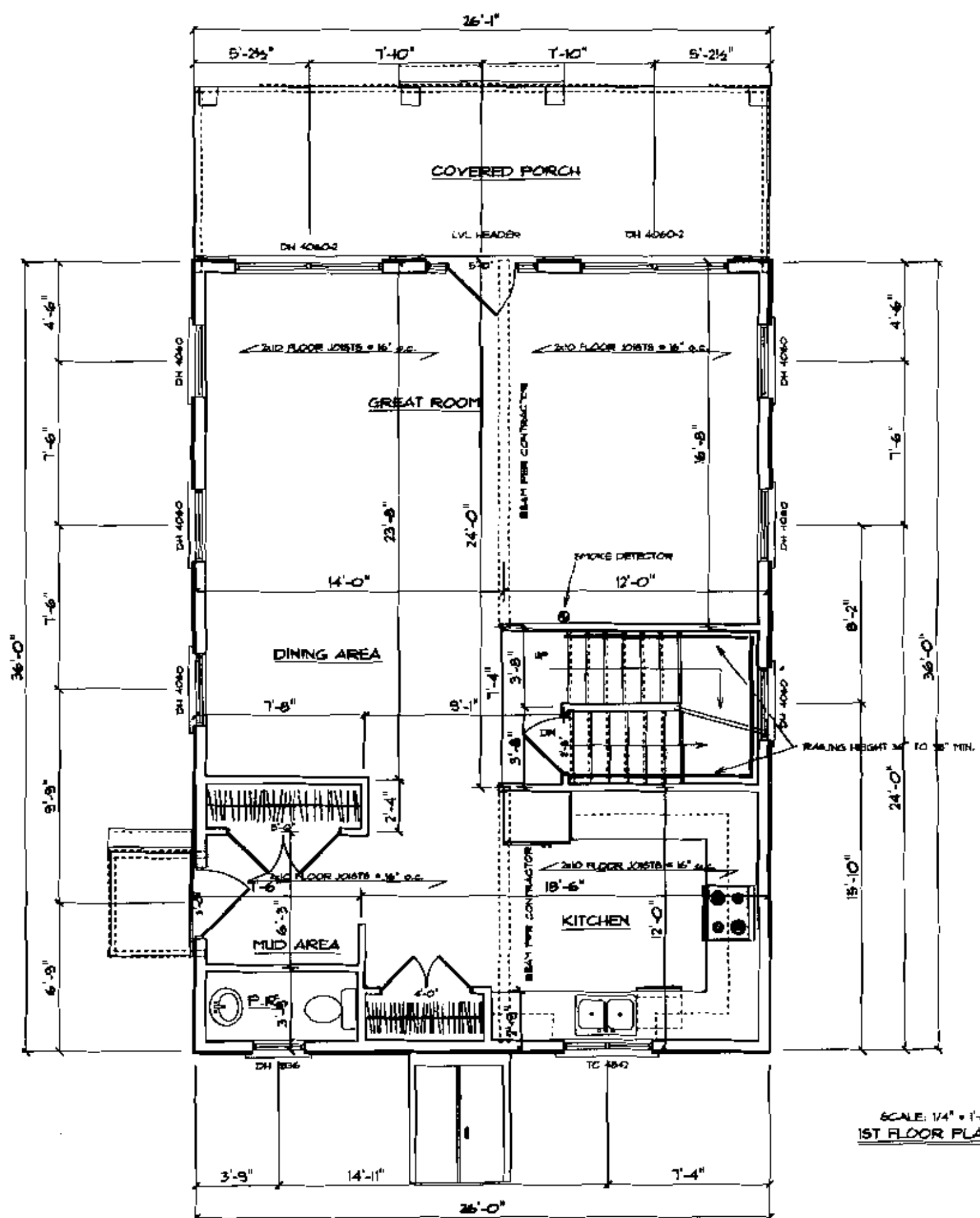
12" POST POST

BIG FOOT POST POST
 OR EQUAL

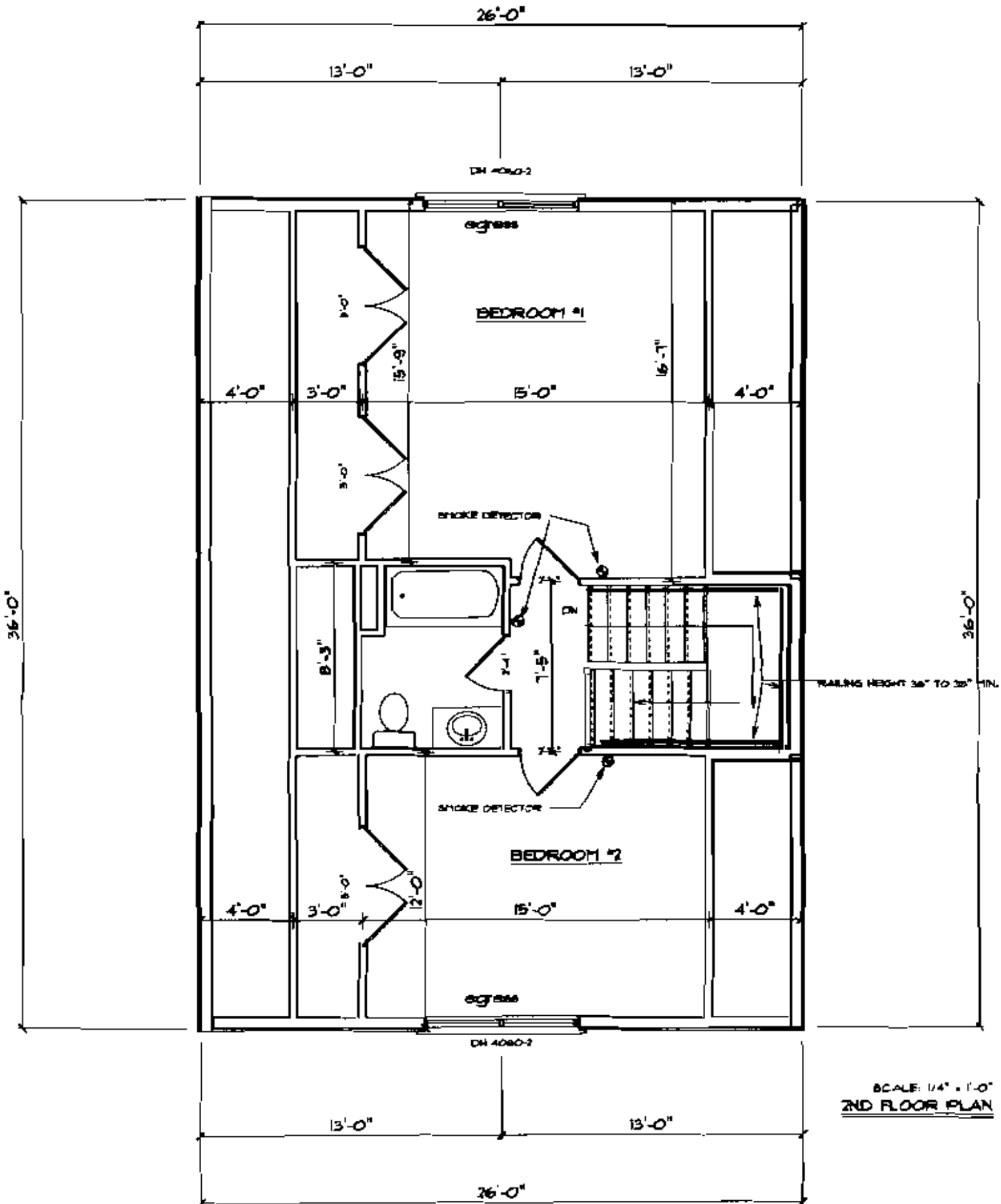




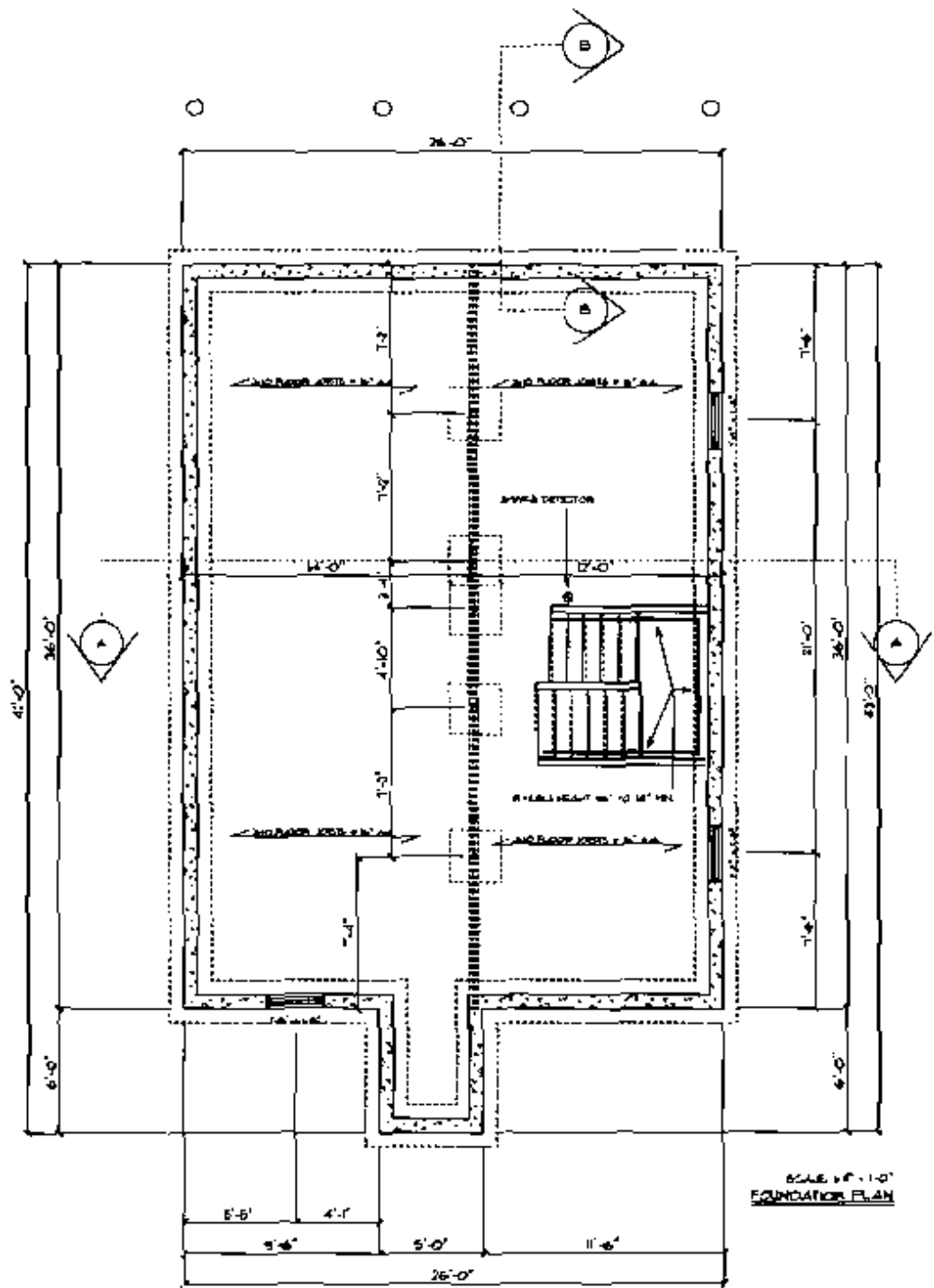
SCALE: 1/4" = 1'-0"
 FOUNDATION PLAN



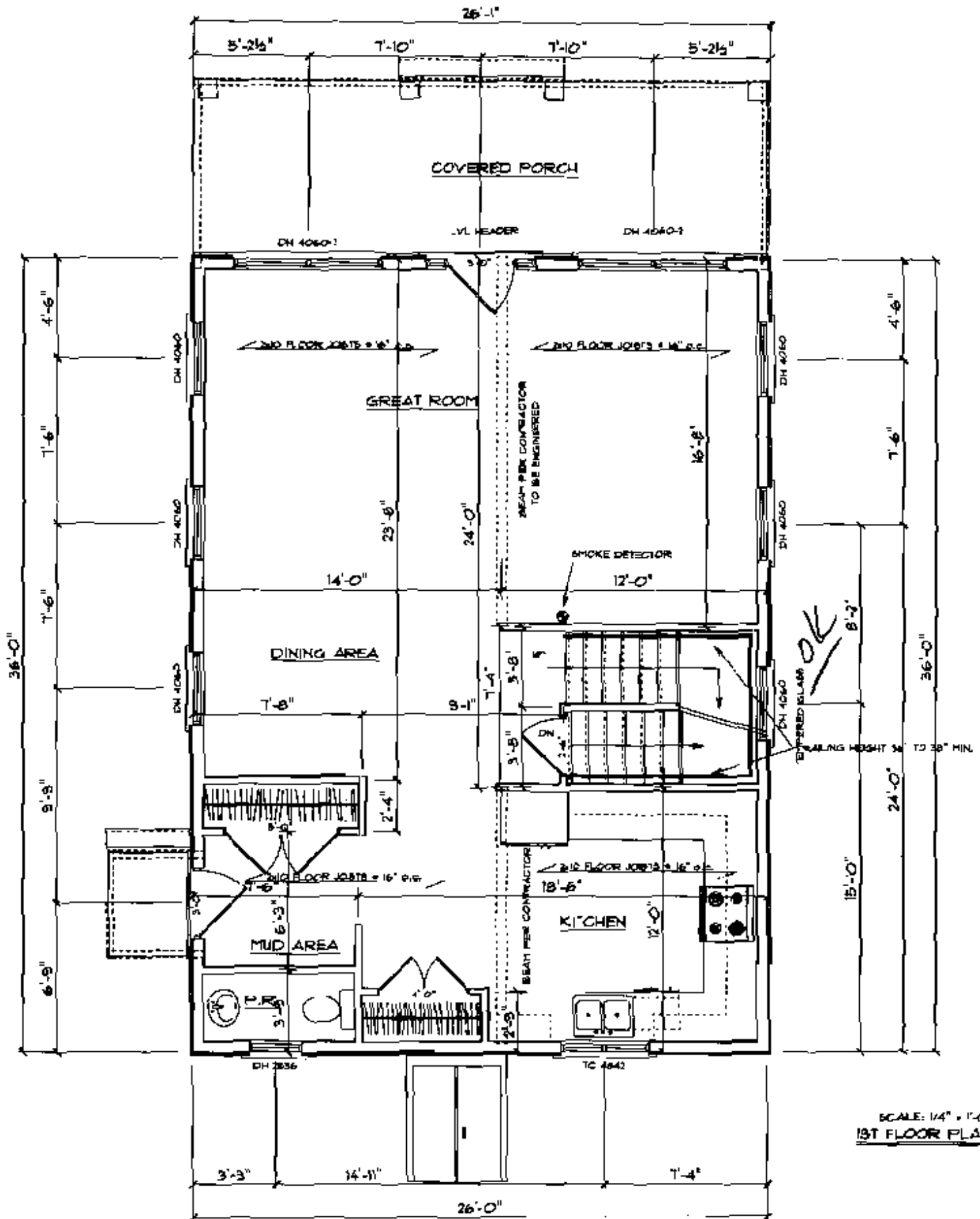
SCALE: 1/4" = 1'-0"
 1ST FLOOR PLAN



SCALE: 1/4" = 1'-0"
2ND FLOOR PLAN



SCALE 1/4" = 1'-0"
FOUNDATION PLAN



NOTE: ALL DF WINDOWS
U-FACTOR IS .37

SCALE: 1/4" = 1'-0"
1ST FLOOR PLAN

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	FASTENING TYPE	FASTENING SIZE	FASTENING SPACING	FASTENING LOCATION	FASTENING DETAIL
1	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
2	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
3	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
4	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
5	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
6	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
7	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
8	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
9	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
10	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

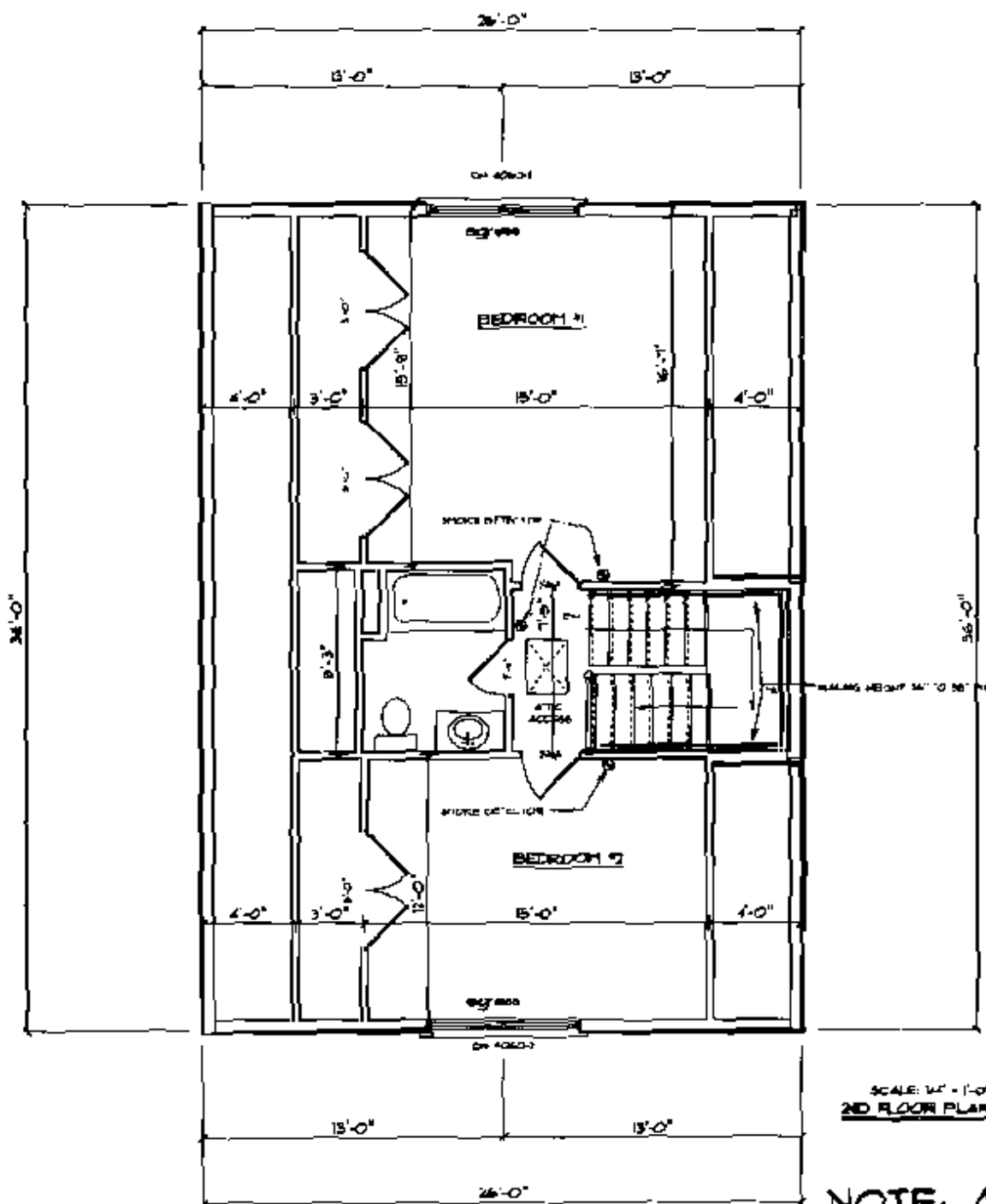
ITEM NO.	DESCRIPTION	QUANTITY	UNIT	FASTENING TYPE	FASTENING SIZE	FASTENING SPACING	FASTENING LOCATION	FASTENING DETAIL
11	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
12	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
13	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
14	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
15	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
16	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
17	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
18	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
19	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
20	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)

ITEM NO.	DESCRIPTION	QUANTITY	UNIT	FASTENING TYPE	FASTENING SIZE	FASTENING SPACING	FASTENING LOCATION	FASTENING DETAIL
21	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
22	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
23	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
24	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
25	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
26	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
27	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
28	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
29	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1
30	WOOD STUDS	1	EA	1/2" X 6"	16" O.C.	16" O.C.	WALL STUDS	SEE DETAIL 1

FASTENING SCHEDULE (SEE TABLE 2304.9.1 M.E.S. RESIDENTIAL CONSTRUCTION CODE FOR COMPLETE DETAILS)



SCALE: 1/4" = 1'-0"
 2ND FLOOR PLAN

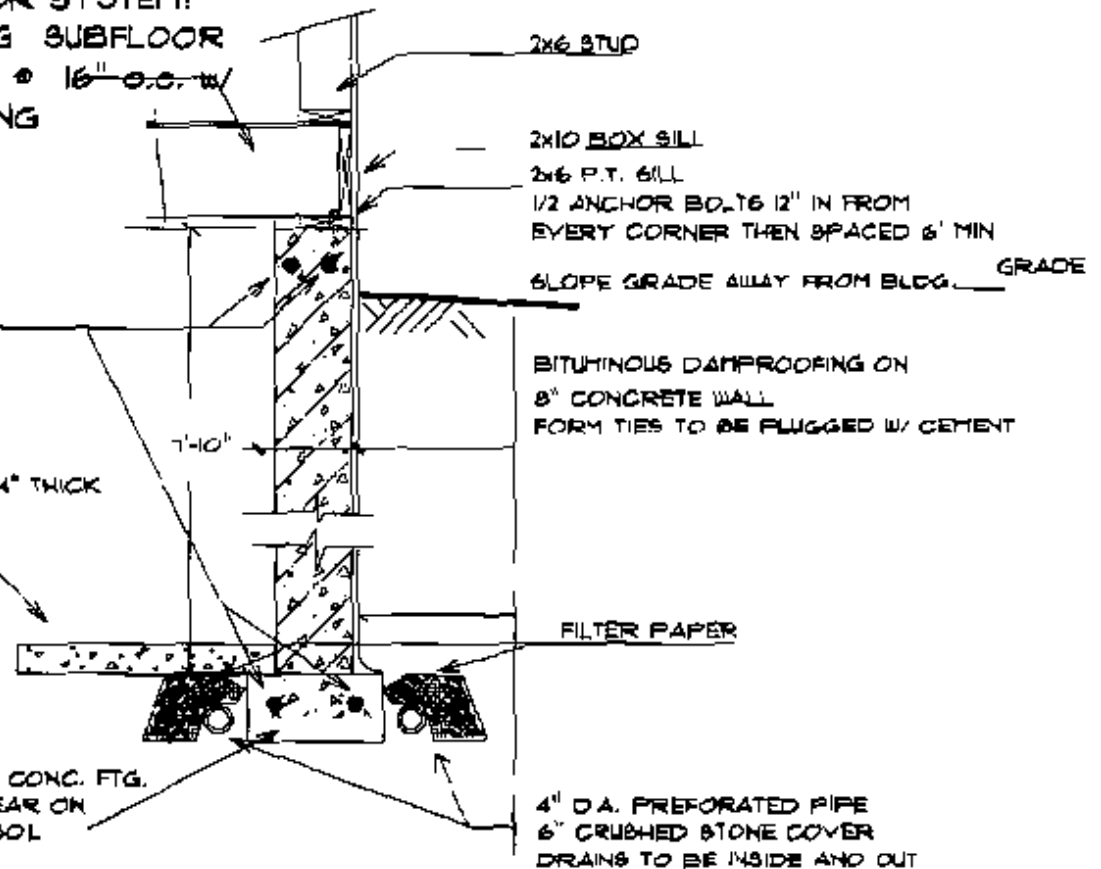
NOTE: ALL OF WINDOWS
 U-FACTOR IS .37

TYPICAL 2x10 FLOOR SYSTEM:
 3/4" ADVANTEC T4G SUBFLOOR
 2x10 FLOOR JOISTS @ 16" o.c. w/
 1x3 CROSS BRIDGING

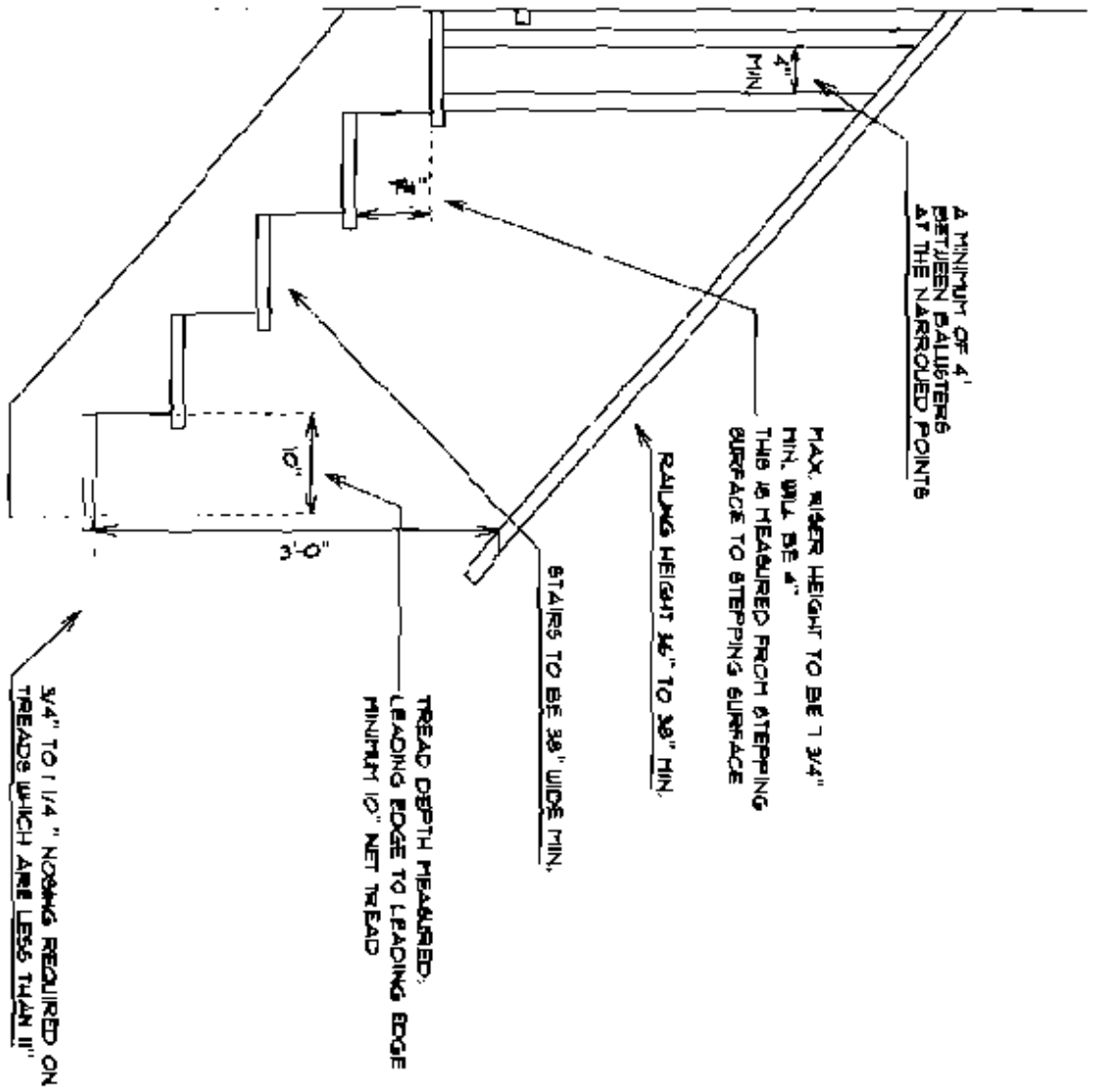
1/2" REBAR

PORTLAND CEMENT 3000 PSI CONCRETE FLOOR 4" THICK
 4 MIL FOLY MIN 4" OVERLAP AT JOINTS
 3/4" CRUSHED ROCK UNDER CONCRETE FLOOR

20"x10" MINIMUM CONC. FTG.
 FOOTING TO BEAR ON
 UNDISTURBED SOL



TYPICAL FOUNDATION WALL SECTION - MAIN HOUSE



PLEASE NOTE: TO ACHIEVE A MINIMUM 10" NET TREAD
 OF THE STRINGER MUST BE CUT TO 10"

**TYPICAL STAIR DETAIL
 ONE AND TWO FAMILY RESIDENCE**

THESE PLANS AND SPECIFICATIONS HAVE NOT BEEN PREPARED BY A REGISTERED ARCHITECT OR ENGINEER. PETER PALANZA AND JOHNSON CONST INC. ARE NOT ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING, NOR DO THEY HOLD THEMSELVES OUT AS SUCH. THESE PLANS ARE PROVIDED AS A SERVICE, AND IN NO WAY CONSTITUTE A GUARANTEE TO THE SOUNDNESS AND SUITABILITY OF THE INFORMATION PROVIDED. ALL DIMENSION AND SPECIFICATIONS

3/25" ASPHALT SHINGLES
ICE AND WATER SHIELD • 1st 3 FEET
1/2" THICK CDX PLYWOOD SHEATHING
*PROPER VENTS FOR VENTILATION
R 30 FIBERGLAS BATT INSULATION
6 MIL POLY VAPOR BARRIER

GRACE ICE AND WATER SHIELD
METAL DRIP EDGE

1 x 3 FACIA

1 x 6 FACIA

6"

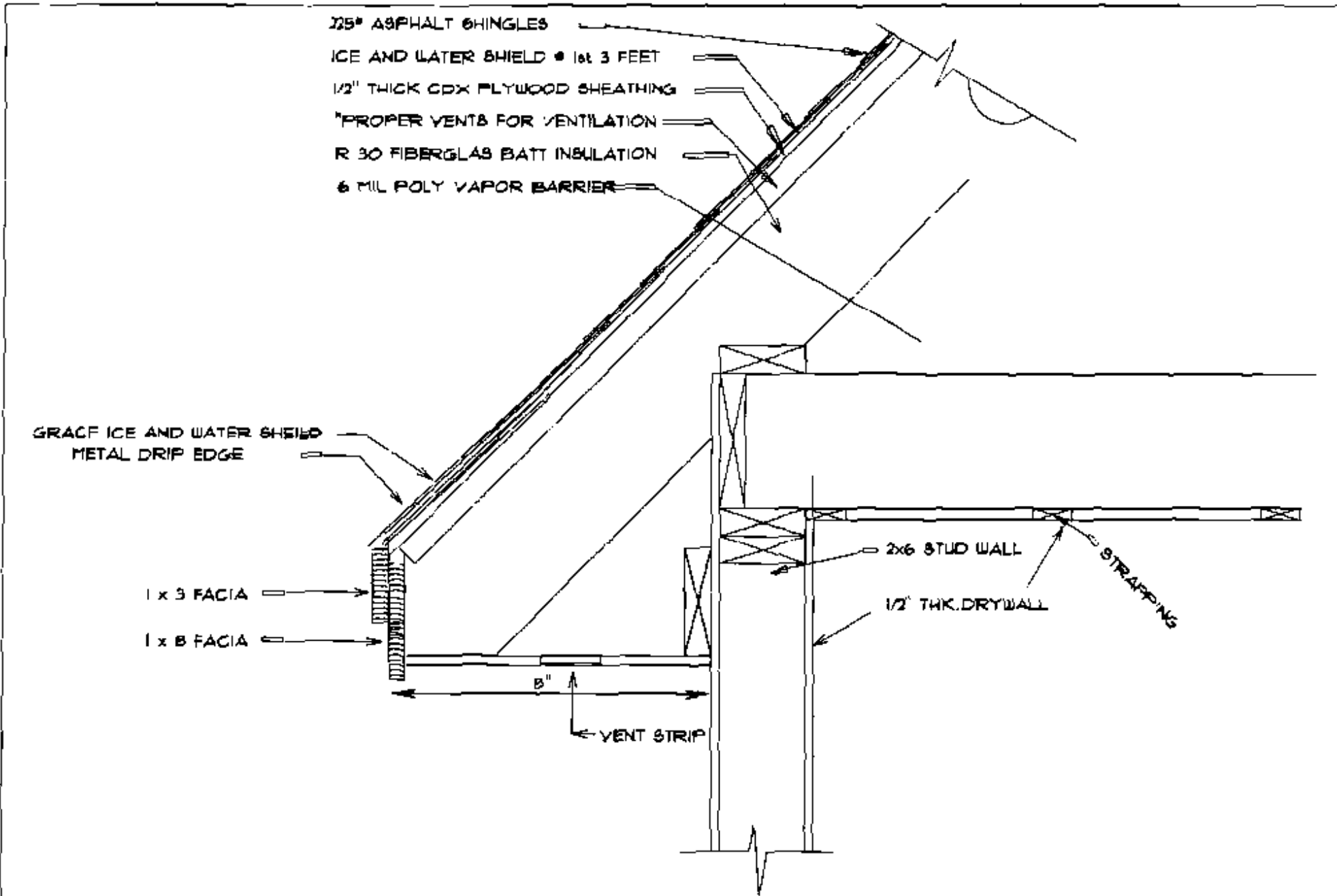
← VENT STRIP

2x6 STUD WALL

1/2" THK. DRYWALL

← STRAPPING

TYPICAL RAFTER TRIM DETAIL

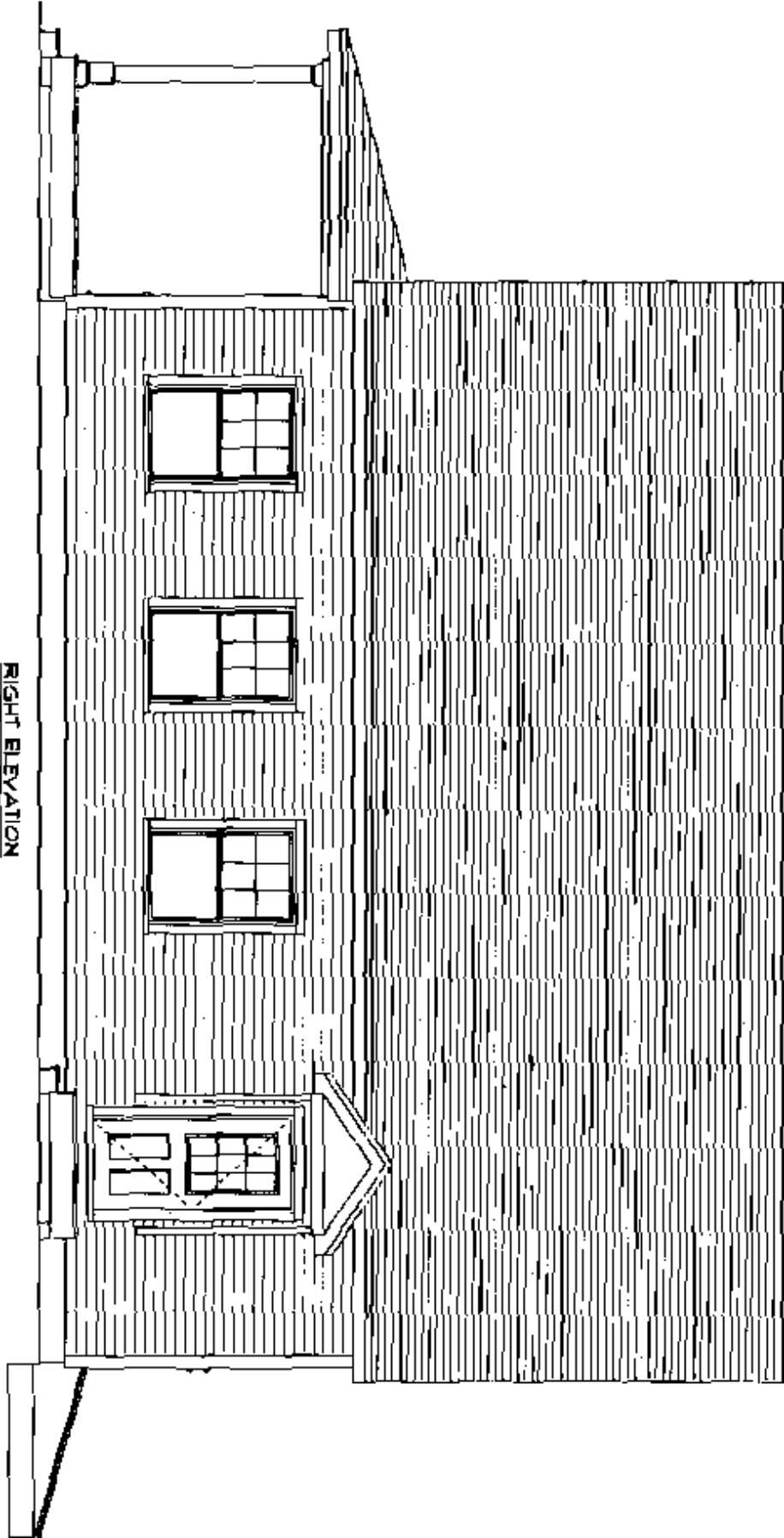


ONE AND TWO FAMILY RESIDENCE

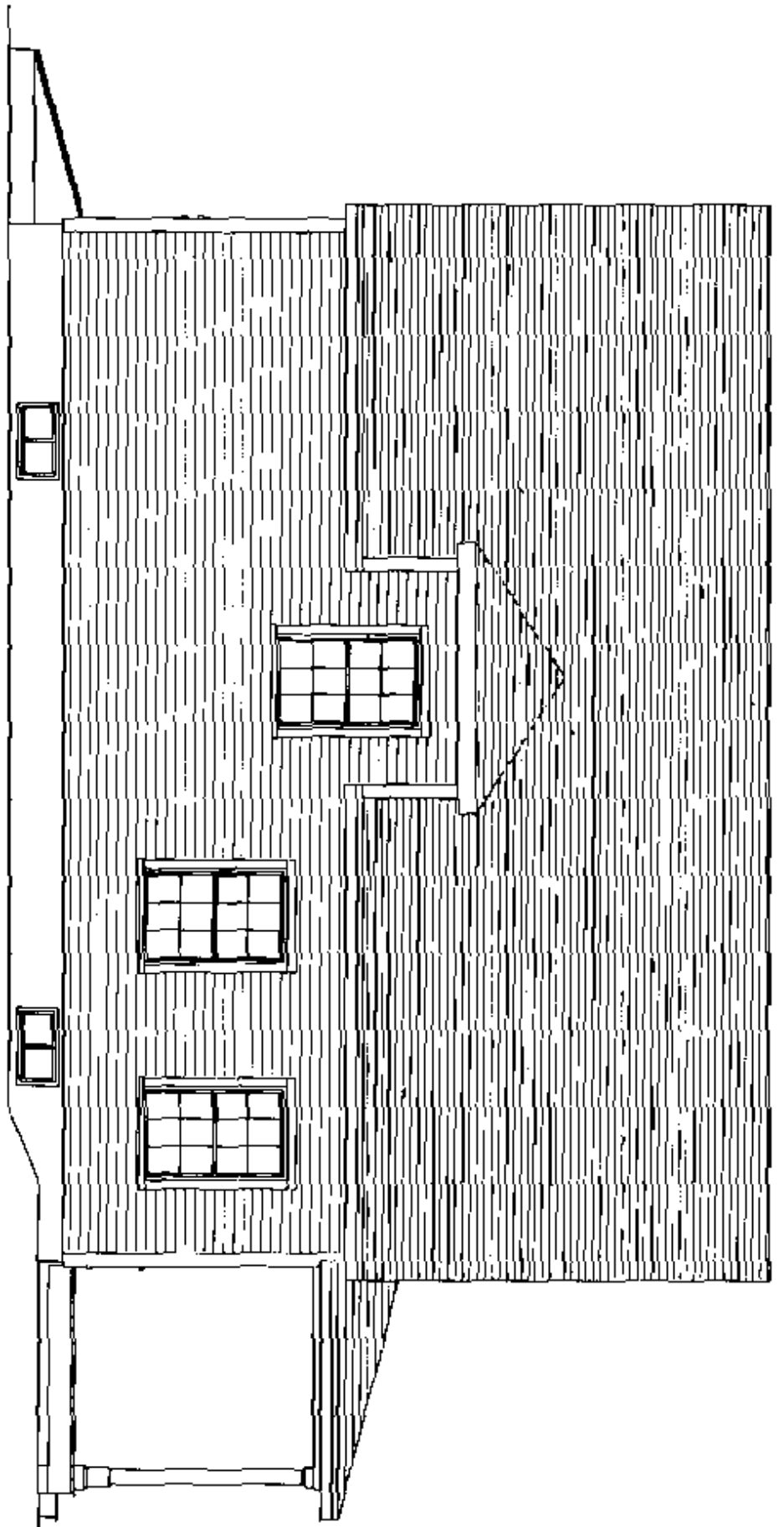
FOUNDATION NOTES:

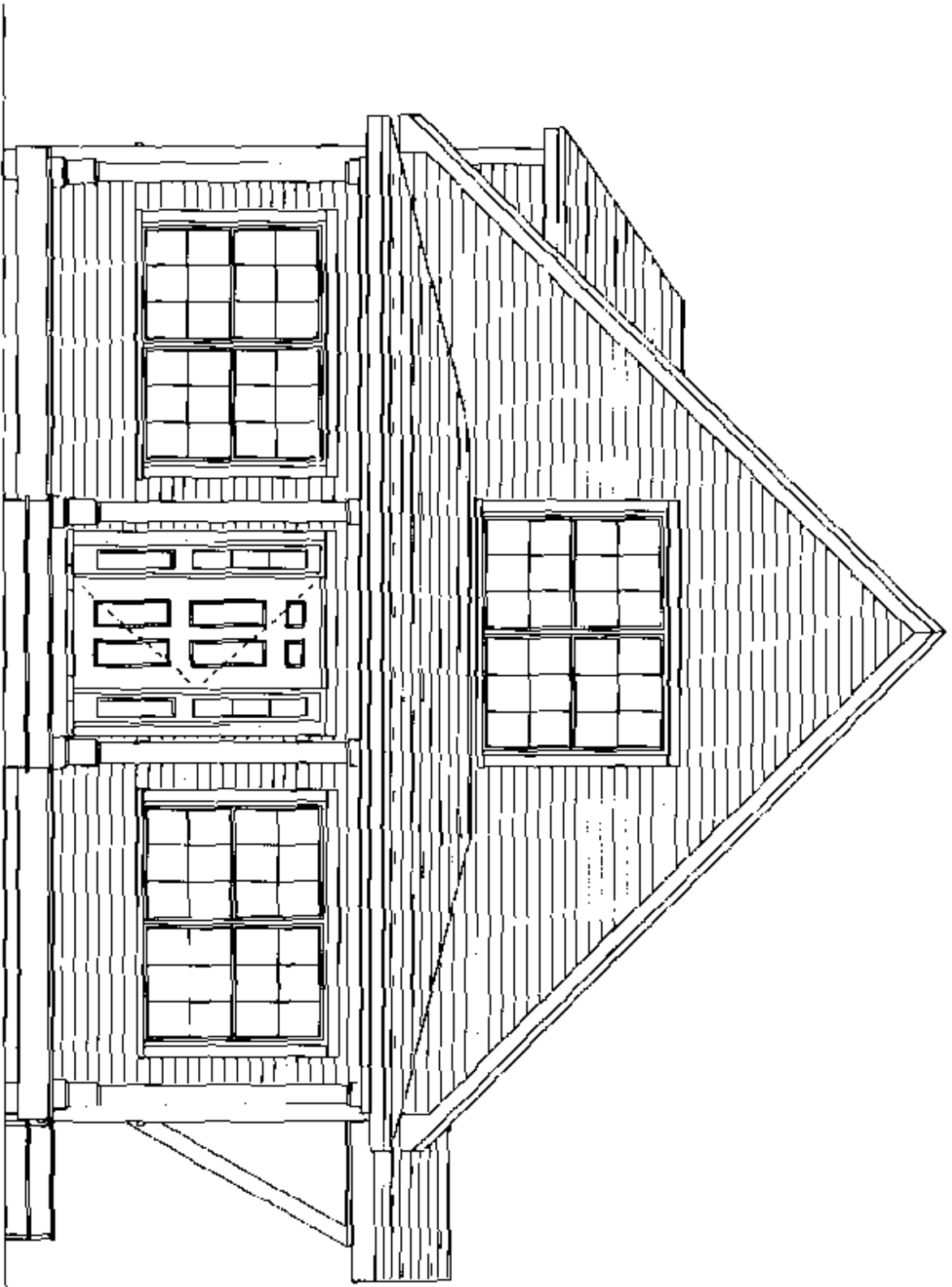
1. ALL FINISH WALL & FOOTING HEIGHTS SHALL BE DETERMINED IN THE FIELD WITH CONTRACTOR.
2. BASEMENT WINDOW LOCATIONS & AND ROUGH OPNGS. SHALL BE CHECKED & VERIFIED IN FIELD WITH CONTRACTOR. OTHERWISE IF NOT SHOWN SHALL BE DETERMINED IN FIELD BY CONTRACTOR.
3. ALL ANCHOR BOLTS SHALL BE 1/2"X1'-0" HOOKED OR EQUIVALENT. 4'-0" MAX. OC. & 1'-0" MIN. FROM ALL CORNERS.
4. ALL LALLY COLUMNS, FOOTINGS, WALLS & BEAMS SHALL BE CHECKED & ENGINEERED BY CONTRACTOR BEFORE FORMS HAVE BEEN SET.
5. ALL DAYLIGHT BASEMENT CONSIDERATIONS TO BE DETERMINED IN FIELD BY CONTRACTOR IF APPLICABLE.
6. ALL CONSIDERATIONS FOR UTILITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
7. CONTRACTOR SHALL CHECK ALL DIMENSIONS WITH FLOOR PLAN OR ANY ADDITIONAL EQUIP. (IE. BULKHEAD ETC.) OR PRODUCT DIMENSIONS OR SPECS. ALSO MUST CHECK ALL STRUCTURAL FRAMING FOR LOAD BEARING @ FOUNDATION BEFORE FORMS ARE SET.
8. CONTRACTOR SHALL ADJUST WALL AND FOOTINGS SIZES TO SOIL BEARING CAPACITIES AS REQ'D.
9. (DO NOT) BACKFILL MORE THAN 3'-0" BEFORE 1ST FLR. FRAMING- JOIST & SUBFLOOR IS COMPLETE.
10. DRAIN TILE SHALL BE PLACED ON INTERIOR AND EXTERIOR OF FOUNDATION. ALL DRAIN TILE PIPE SHALL BE WRAPPED IN FILTER FABRIC.
11. SEE BUILDING SECTIONS FOR ADDITIONAL REINFORCING REQUIREMENTS.

RIGHT ELEVATION

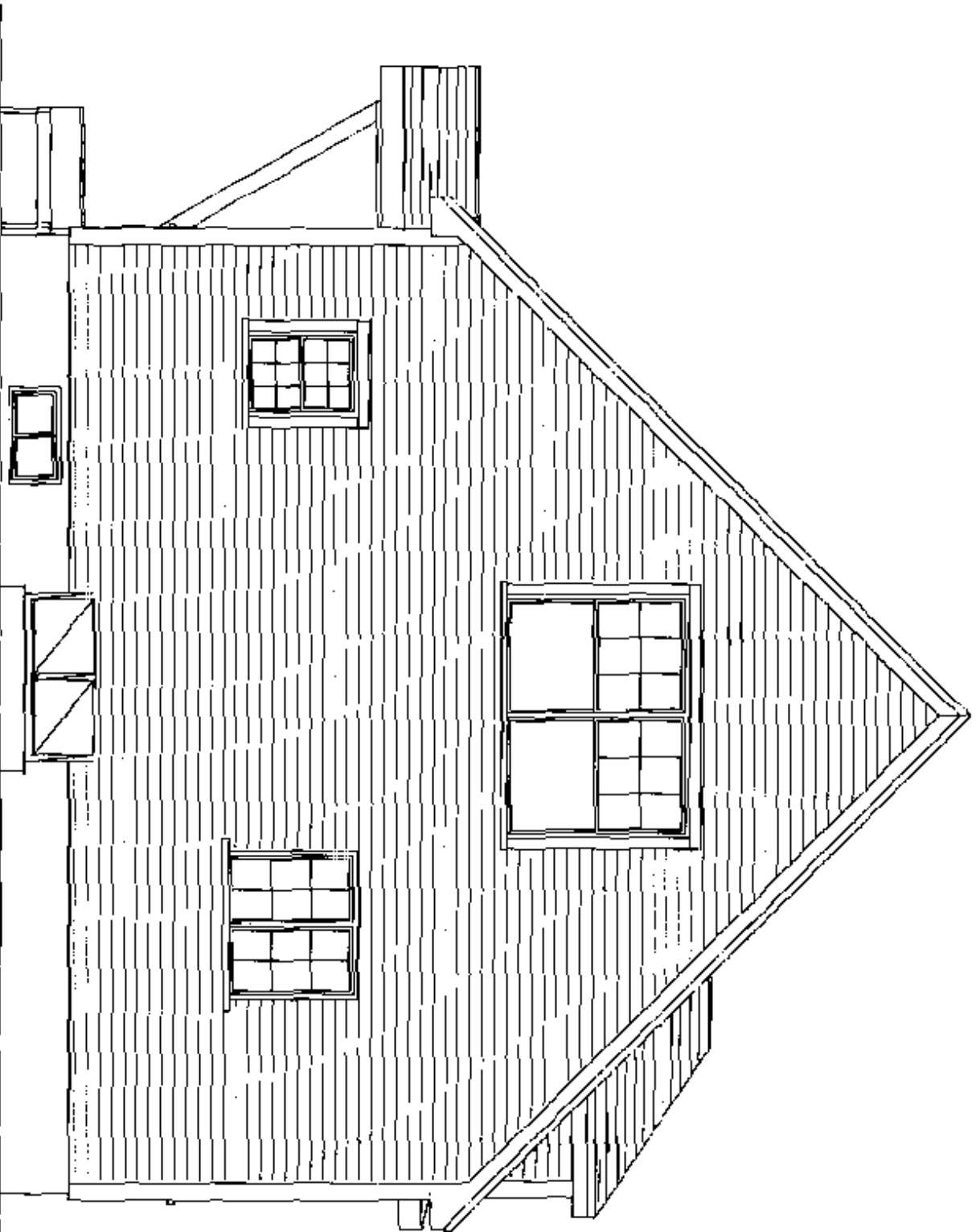


LEFT ELEVATION





FRONT ELEVATION



REAR ELEVATION