

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING INSPECTION

PERMIT

Permit Number: 100595

Please Read Application And Notes, If Any, Attached

This is to certify that EASTMAN DEAN E & ELLA MAE EASTMAN TRUSTEES/Prop

has permission to addition of studio w/stairs up to main house

AT 170 ISLAND AVE PEAKS ISLAND CBL 087 00014001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

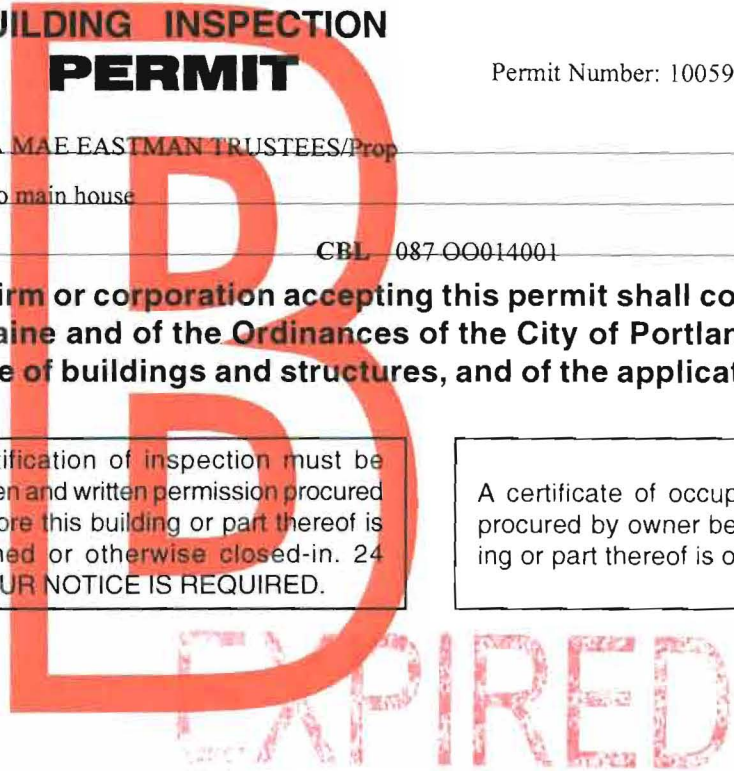
Appeal Board _____

Other _____

Department Name

Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD



City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0595	Issue Date:	CBL: 087 00014001
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Location of Construction: 170 ISLAND AVE PEAKS ISLAN	Owner Name: EASTMAN DEAN E & ELLA MA	Owner Address: 281 BLOOMINGBANK RD	Phone:
Business Name:	Contractor Name: Property Owner	Contractor Address:	Phone:
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IB

Past Use: Single Family Home	Proposed Use: Single Family Home - addition of studio w/stairs up to main house	Permit Fee: \$180.00	Cost of Work: \$16,000.00	CEO District: 1
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: Type:	

Proposed Project Description: addition of studio w/stairs up to main house	Signature:	Signature:
EXPIRED		
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)		
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied		
Signature:	Date:	

Permit Taken By: Idobson	Date Applied For: 05/28/2010	Zoning Approval
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<ol style="list-style-type: none"> This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules. Building permits do not include plumbing, septic or electrical work. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.. 	Special Zone or Reviews <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date:	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date:	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <i>ASU</i>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

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Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - addition of studio w/stairs up to main house	Proposed Project Description: addition of studio w/stairs up to main house
--	---

EXPIRED

Dept: Zoning	Status: 7	Reviewer: Ann Machado	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				
Dept: Building	Status: Pending	Reviewer:	Approval Date:	Ok to Issue: <input type="checkbox"/>
Note:				

Comments:

6/2/2010-amachado: Left vcm for Dean Eastman. Need to know what he means by "studio". A residential use in the I-B zone needs to meet the requirements of the abutting residential zone. Rear setback in IR-2 zone is 25'. Although can build within 75' in the I-B zone, still need siteplan exemption.

6/7/2010-amachado: Spoke to Dean Estman on June 3, 2010. I told him he needed to do a siteplan exemption since it is in shoreland. Received application today. Asked him what he meant by studio. Both his wife and he are writers and artists. He is using section 14-223(j) - studio for artiss as aan I-B zone use. I told him he needs to let us know in writing how the use meets the definition of an artist studio. I emailed him the flood plain permit application.

6/7/2010-amachado: Gave site plan exemption applciation to planning.

6/25/2010-amachado: Left vcm for Dean Eastman. Need more information regarding the flood zone. Marge said that it is a new building and needs to follow the guidelines for new construction. Need a professional to locate the Flood zone for the property to see if the proposed structure is in the flood zone. Also the structure needs to be set back 10' from the rear property line. The owner has rights to the tidal flats but they are not part of the actual property that he owns. Needs a survey to show this.

7/15/2010-amachado: Left vcm for Dean Eastman. Need a siteplan done buy a professional showing the property boundaries, floodplain lines, lot dimensions & dimensions and location of existing & proposed development.

12/27/2011-AMACHADO: Been more than 6 months. Permit expired.

6/29/2010-AMACHADO: Spoke to Dean Eastman. Told him that we need a professional to locate the A-2 zone.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>170 ISLAND AV, PEAKS IS, ME</u>		
Total Square Footage of Proposed Structure/Area <u>192 SQUARE FEET</u>	Square Footage of Lot <u>16,140</u>	Number of Stories <u>1 (NEW)</u>
Tax Assessor's Chart, Block & Lot Chart# <u>087</u> Block# <u>00</u> Lot# <u>14</u>	Applicant * <u>must</u> be owner, Lessee or Buyer* Name <u>DEAN EASTMAN</u> Address <u>281 BLOOMINGBANK RD.</u> City, State & Zip <u>RIVERSIDE, IL 60546</u>	Telephone: <u>708-650,5533</u>
Lessee/DBA (If Applicable) EXPIRED	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>16,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>STUDIO</u> Is property part of a subdivision? <u>NO</u> If yes, please name _____ Project description: <u>ADDITION OF STUDIO WITH STAIRS UP TO MAIN HOUSE</u>		
Contractor's name: <u>DEAN EASTMAN</u> <u>Do Not Mail Call</u> Address: <u>170 ISLAND AVE</u> City, State & Zip <u>PEAKS IS, ME 04108</u> Telephone: <u>708-650,5533</u> Who should we contact when the permit is ready: <u>DEAN EASTMAN</u> Telephone: <u>SAME</u> Mailing address: <u>CALL AND ILL PICK IT UP</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division On-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

RECEIVED

I hereby certify that I am the Owner of record of the named property, or MAY 28, 2010 the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Dean Eastman Date: 5/27/10

This is not a permit; you may not commence ANY work until the permit is issued

- (h) Handicapped family unit, as defined in section 14-47, for handicapped persons plus staff.
- (i) Peaks Island only: Bed and breakfast, subject to the standards of article V (site plan).
- (j) Studios for artists and craftspeople, provided that the area of such studios does not exceed one thousand (1,000) square feet for each studio space.

(Ord. No. 30-85, § 1, 7-15-85; Ord. No. 33-91, § 13, 1-23-91; Ord. No. 125-97, § 8, 3-3-97; Ord. No. 164-97, § 3, 12-1-97)

Sec. 14-224. Conditional uses.

The following uses are permitted only upon the issuance of a conditional use permit, subject to the provisions of section 14-474 (conditional uses) of this article and any special provisions, standards or requirements specified below:

- (a) Two-, three- or four-family dwelling, provided that:
 - 1. No open outside stairways or fire escapes above ground floor shall be constructed or have been constructed in the immediately preceding five (5) years;
 - 2. A below-grade dwelling unit shall be permitted only if access is provided directly to the outside of the building;
 - 3. Density shall be determined by the most restrictive abutting residential zone, except for those lots which are served by public water and sewer, where density shall be determined by the least restrictive abutting residential zone. If no residential zone is abutting, density shall be determined by the nearest residential zone. Residential uses shall meet the requirements of such abutting or nearest residential zone;
 - 4. Any additions or exterior alterations shall be compatible with the original architecture of the building. The exterior design of new construction, including the architectural style, facade materials, roof pitch, building form, and height

Ann Machado - Studio project: 170 Iland Av Peaks

From: "Dean E. Eastman" <d-eastman@uchicago.edu>
To: <amachado@portlandmaine.gov>
Date: 6/15/2010 10:33 AM
Subject: Studio project: 170 Iland Av Peaks

Ann,

Just a note to let you know that we're now on Peaks Island for the summer. I trust that you received my 6/7/10 email with attachments. Please let me know if further information is needed, I believe you mentioned that I should meet with your building construction counterpart. My cell is 708.650.5533 and our land phone is 207.766.5049.

Thanks,
Dean Eastman

Ann Machado - Studio application process,170 Island av ,Peaks Is

From: "Dean E. Eastman" <d-eastman@uchicago.edu>
To: <amachado@portlandmaine.gov>
Date: 6/5/2010 12:30 PM
Subject: Studio application process,170 Island av ,Peaks Is
Attachments: File0464.jpg; File0465.jpg; File0466.jpg

Ann,

Attached are a copy of our 1983 warranty deed and the Application for exemption from site plan review which I have nearly completed.

The latter needs a copy of my site plan, and possibly other of my submitted drawings if you think so. I didn't fill in the chart/block/lot line; could you fill it in, I found map 087 and lot 14 on the assessor's map which might be the needed information. As you mentioned, my project appears to be exempt.

The warranty deed description of the property boundaries is consistent with my site plan and it mentions the rights in and to the adjoining tidal flat.

I couldn't find the flood plain form and could you email it to me.

Please contact me if you have further questions and I appreciate your assistance in this process.

Sincerely,
Dean Eastman

Ann Machado - Re: 170 Island Avenue - Studio

From: Barbara Barhydt
To: Machado, Ann
Date: 6/16/2010 8:43 AM
Subject: Re: 170 Island Avenue - Studio

Later today, I will give him a call. Thanks.

Barbara

>>> Ann Machado Wednesday, June 16, 2010 8:40 AM >>>
Will you notify him?

I just got an email from him yesterday. He is now at Peaks for the summer. His cell is 708.650.5533 and the land line is 207.766.5049.

Thanks.

Ann

>>> Barbara Barhydt 6/16/2010 8:32 AM >>>
Hi Ann:

It is new construction in the shoreland zone, so it is a new minor site plan application. I have not had the opportunity to tell them that. How do you want to proceed?

Barbara

>>> Ann Machado Wednesday, June 16, 2010 8:28 AM >>>
Barbara -

Have you had a chance to look at it? Will it be site plan or site plan exemption?

Thanks.

Ann

TO: Ann Machado
Building Permit Office
Portland, Me

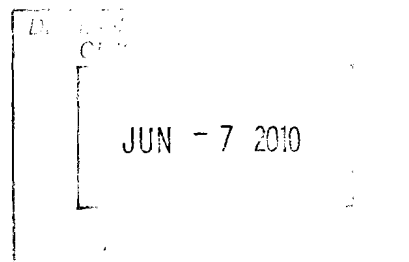
JUNE 7, 2011

SUBJECT: STUDIO WITH STAIRS AND DECK

Ann:

My wife Ella Mae Eastman and I are both writers, and the proposed Studio is a small space of privacy and quiet for our writing. This fits the definition of permitted Studios on Peaks Island as we discussed,

Sincerely,
Dean Eastman



RECEIVED

JUN - 7 2010

301

WARRANTY DEED

Joint Tenancy

29572

Know all Men by these Presents, Dept. of Building Inspections
City of Portland Maine

That RICHARD C. MEECH and MILDRED L. MEECH, both of the
City of Portland, County of Cumberland and State of Maine,
in consideration of One Dollar and other valuable consideration

paid by DEAN E. EASTMAN and ELLA MAE EASTMAN,

whose mailing address is 806 Pines Bridge Road, Ossining, New York 10562,

the receipt whereof we do hereby acknowledge, do hereby give, grant, bargain, sell and
convey unto the said

Dean E. Eastman and Ella Mae Eastman,

as joint tenants and not as tenants in common, their heirs and assigns forever.

A certain lot or parcel of land with the buildings thereon
situated on the westerly side of Island Avenue on Peaks Island
in the City of Portland, County of Cumberland and State of Maine,
bounded and described as follows:

Beginning at a stake in the westerly side of said Island
Avenue at the northerly corner of land of the heirs of the late
Luther Sterling; thence running westerly by said Sterling land
one hundred (100) feet, more or less, to the shore; thence running
northerly by the shore, one hundred thirty-one and eight tenths
(131.8) feet, more or less, to land conveyed by William M. Trefethen
et al. to Henry A. Sargent by deed dated May 9, 1891, and recorded
in Cumberland County Registry of Deeds in Book 874, Page 475;
thence easterly by said Sargent land one hundred (100) feet, more
or less, to the westerly side of Island Avenue; thence southerly
by said westerly side of Island Avenue one hundred thirty-one and
eight tenths (131.8) feet, more or less, to said Sterling land and
point of beginning.

Together with all rights in and to the flats adjoining the
above described parcel of land and subject to such rights of way
as are now held in and to a strip of land ten (10) feet wide running
from said Island Avenue to the shore and adjoining said Sterling
land.

Meaning and intending to convey and hereby conveying the same
premises conveyed to the Grantors herein by Glenn Richmond by deed
dated October 10, 1980 and recorded in Cumberland County Registry
of Deeds in Book 4679, Page 295.

This conveyance is made subject to current real estate taxes
which the Grantees, by their acceptance of this deed, hereby assume
and agree to pay.

We have and to hold the aforegranted and bargained premises, with all the privileges and appurtenances thereof, to the said Dean E. Eastman and Ella Mae Eastman, as joint tenants and not as tenants in common, their heirs and assigns, to their own use and behoof forever.

And we do covenant with the said Grantees, their heirs and assigns, that we are lawfully seized in fee of the premises, that they are free of all encumbrances, except as aforesaid; that we have good right to sell and convey the same to the said Grantees to hold as aforesaid; and that we and our heirs shall and will warrant and defend the same to the said Grantees, their heirs and assigns forever, against the lawful claims and demands of all persons except as aforesaid.

In Witness Whereof, we, the said Richard C. Meech and Mildred L. Meech, being husband and wife,

x

~~husband/wife: acknowledge~~

joining in this deed as Grantors, and relinquishing and conveying all rights by descent and all other rights to the above described premises, have hereunto set our hands and seals this 19th day of the month of August, A.D. 19 83

Signed, Sealed and Delivered in presence of

June M. Spiller
to both

Richard C. Meech
Richard C. Meech
Mildred L. Meech
Mildred L. Meech

State of Maine, County of Cumberland ss. August 19, 19 83

Then personally appeared the above named Richard C. Meech

and acknowledged the foregoing instrument to be his free act and deed.

Before me,

AUG 22 1983

June M. Spiller
June M. Spiller
Notary Public

RECORDS OF DEEDS (CUMBERLAND COUNTY, MAINE)
Recorded at 3-50-P
6251-3017

James J. Walsh
Registrar

Notary Public

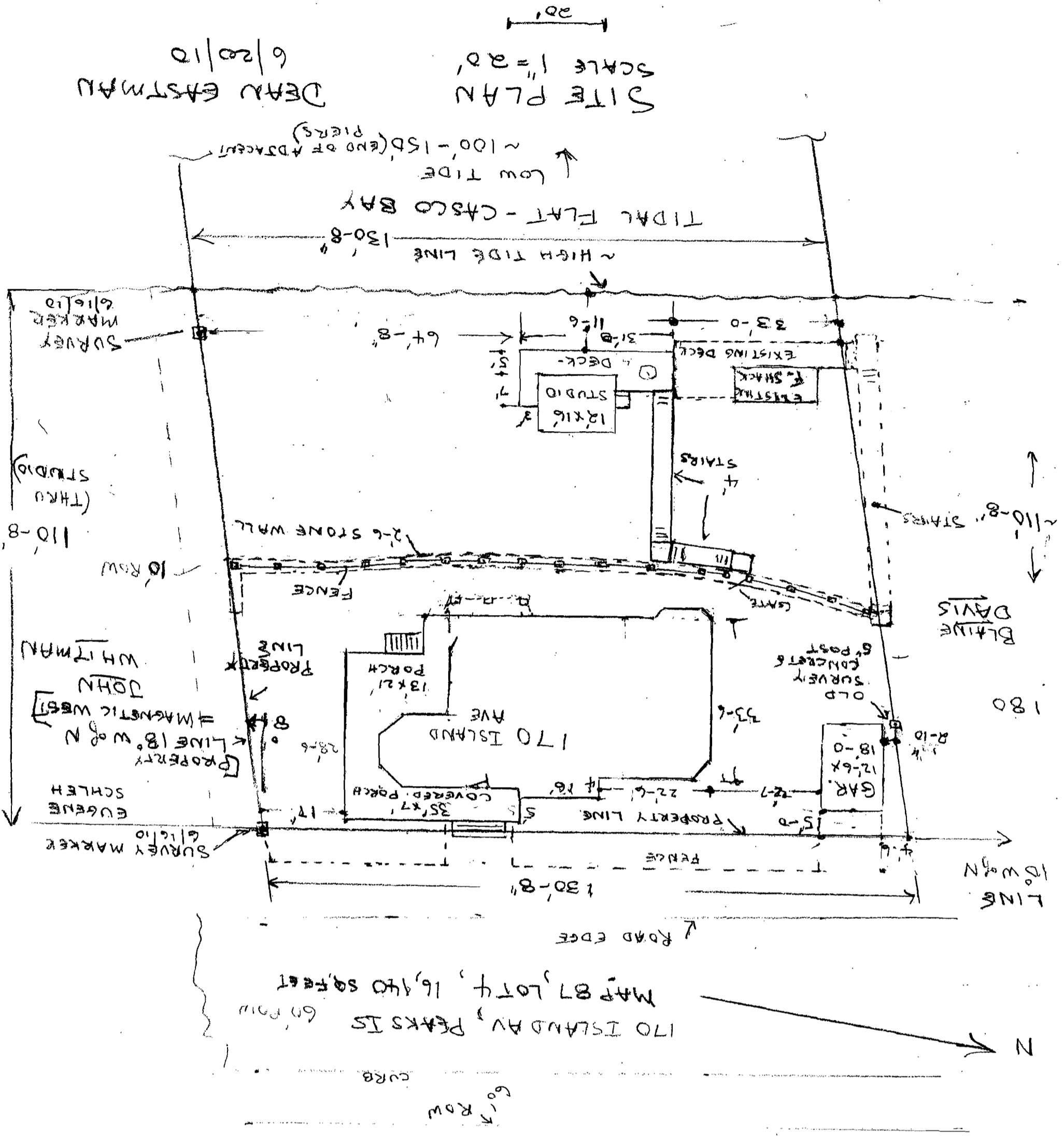
SEAL

RECEIVED

JUN 21 2010

Dept. of Building Inspections
City of Portland Maine

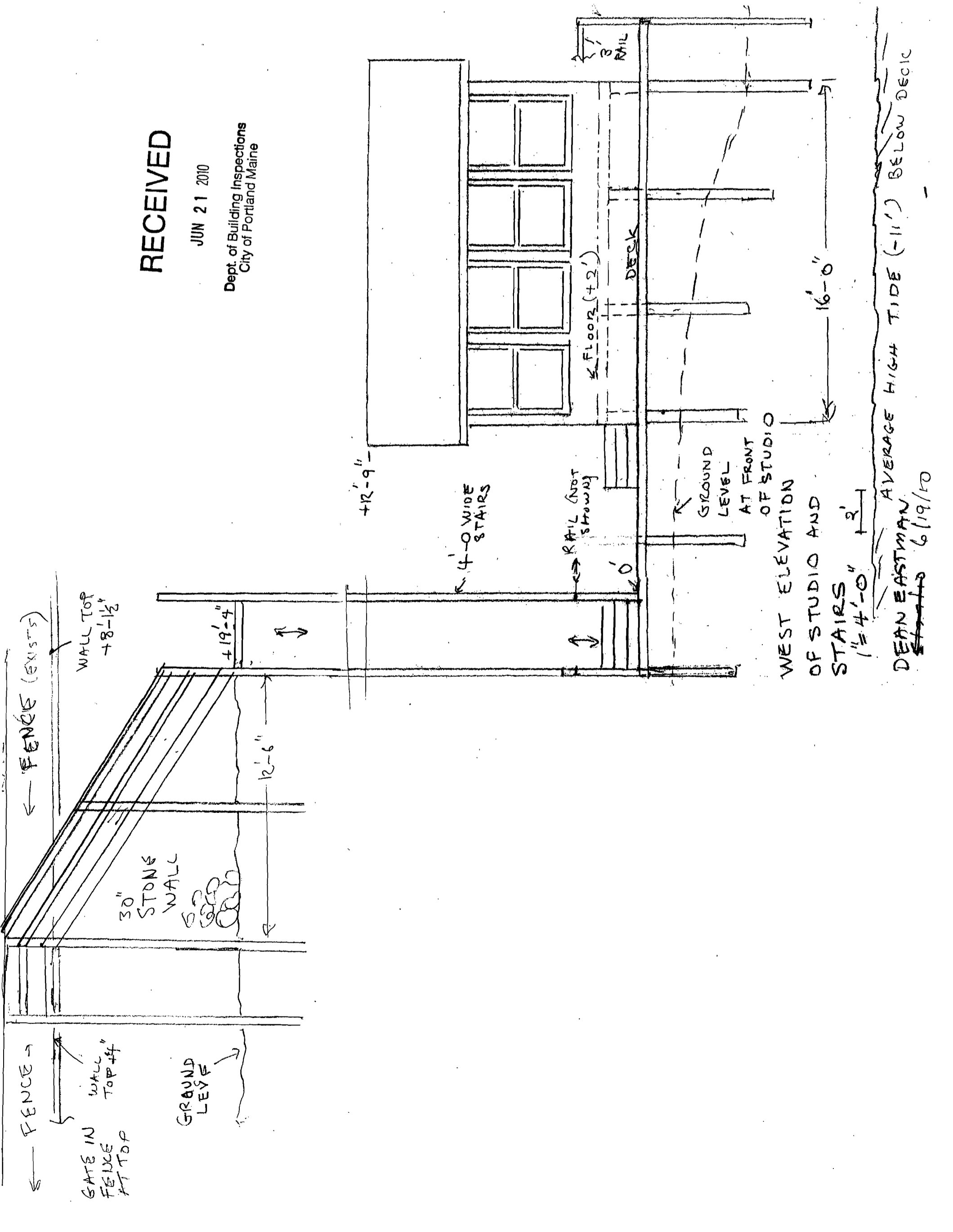
SITE PLAN
SCALE 1" = 20'
DEAN EASTMAN
6/20/10



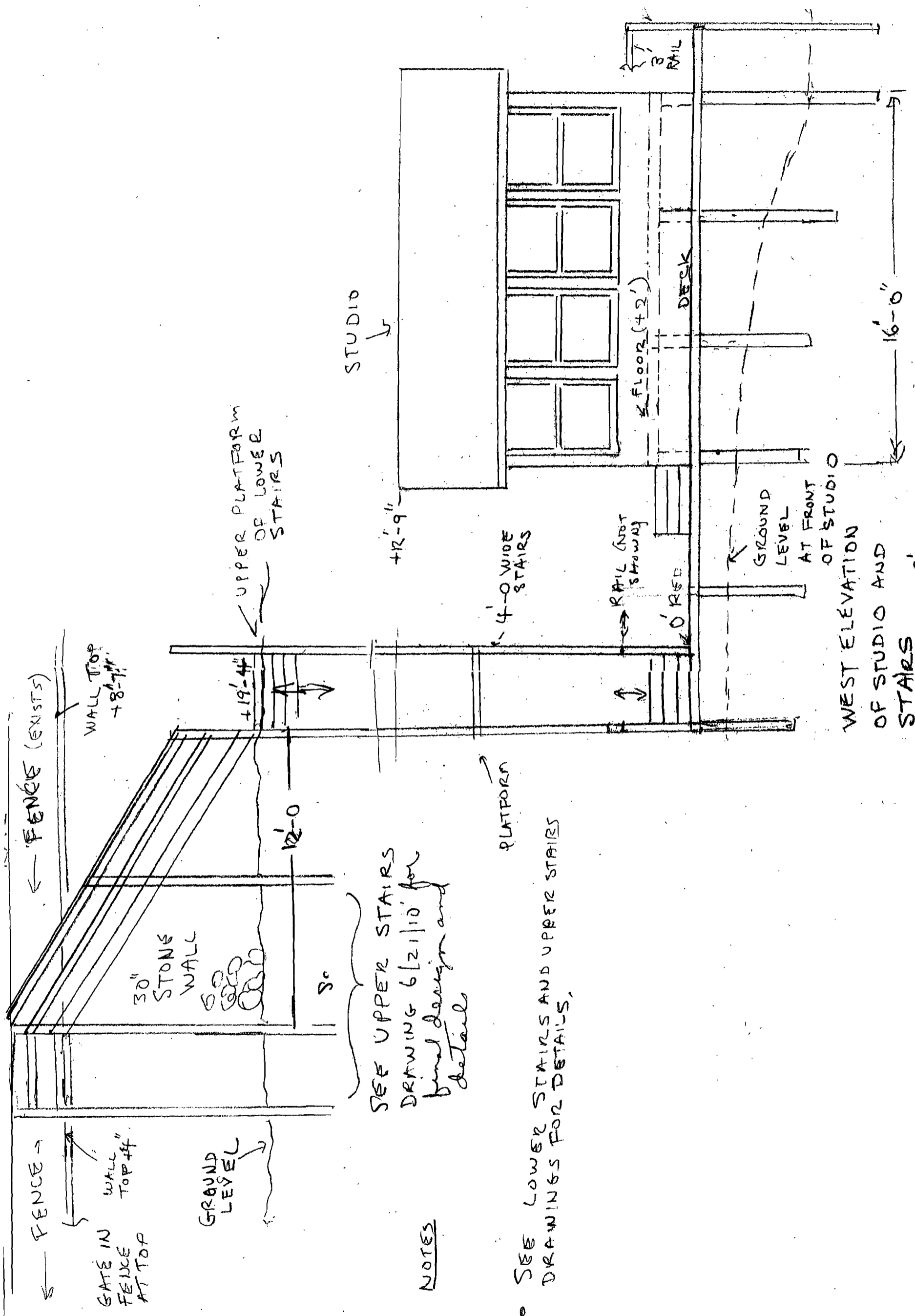
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JUN 21 2010

Dept. of Building Inspections
City of Portland Maine



WEST ELEVATION
OF STUDIO AND
STAIRS
(#4'-0" x 3'
AVERAGE HIGH TIDE (-11') BELOW DEC
DEAN EASTMAN
6/19/10



STUDIO

UPPER PLATFORM OF LOWER STAIRS

4'-0" WIDE STAIRS

RAIL (NOT SHOWN)

DECK

GROUND LEVEL AT FRONT OF STUDIO

WEST ELEVATION OF STUDIO AND STAIRS

1'-4'-0" + 2'

16'-0"

AVERAGE HIGH TIDE (-11') BELOW DECK
DEAN EASTMAN 1/20/10

FENCE (EXISTS)

WALL TOP +8'-7 1/2"

+19'-4"

12'-0"

30" STONE WALL

8"

PLATFORM

SEE UPPER STAIRS DRAWING 6/21/10 for final design and detail

NOTES

SEE LOWER STAIRS AND UPPER STAIRS DRAWINGS FOR DETAILS.

FENCE

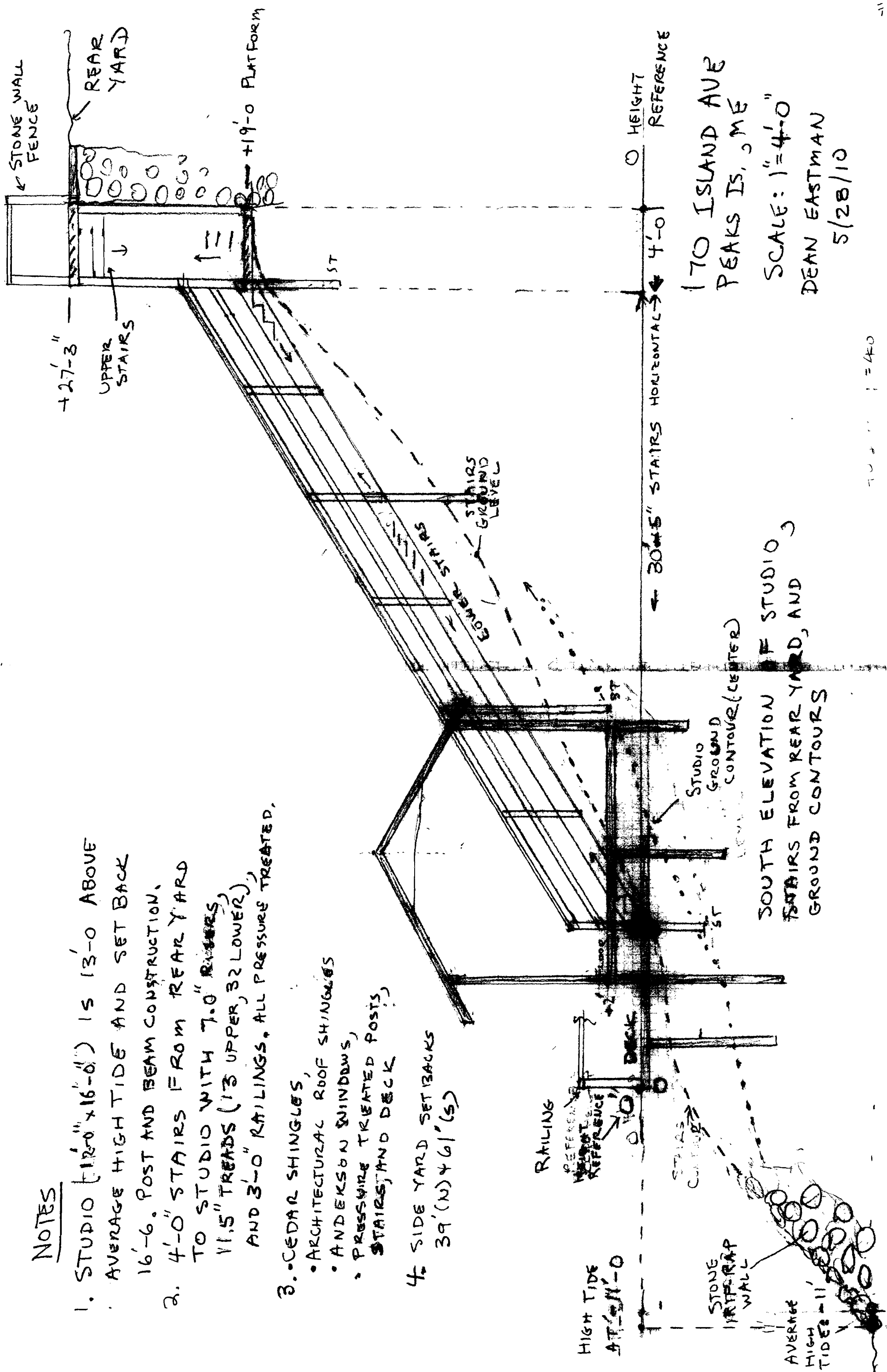
GATE IN FENCE AT TOP

WALL TOP #4

GROUND LEVEL

NOTES

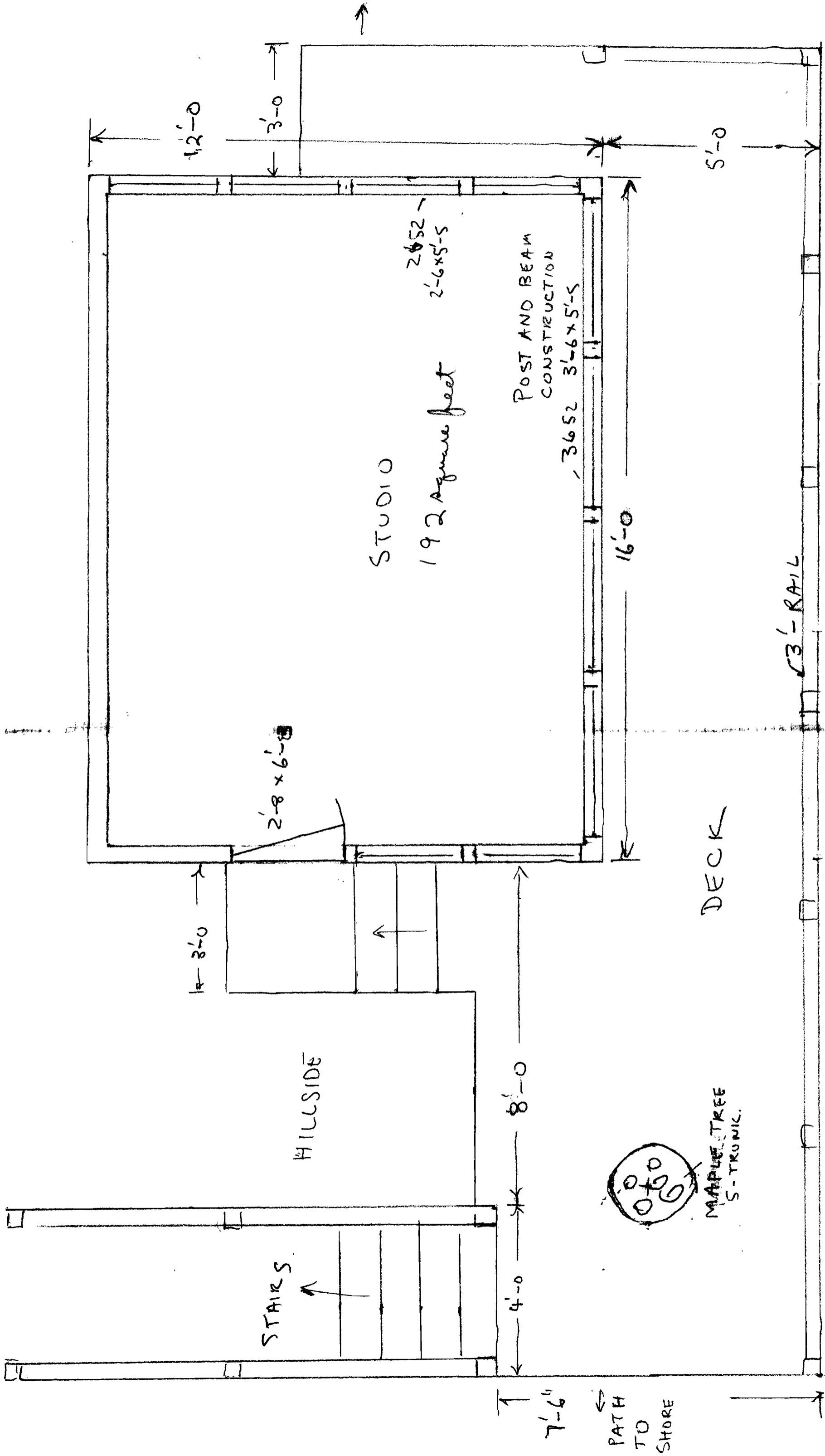
1. STUDIO (12'-0" x 16'-0") IS 13'-0" ABOVE AVERAGE HIGH TIDE AND SET BACK 16'-6". POST AND BEAM CONSTRUCTION.
2. 4'-0" STAIRS FROM REAR YARD TO STUDIO WITH 7.0" RISES, 11.5" TREADS (13 UPPER, 32 LOWER), AND 3'-0" RAILINGS. ALL PRESSURE TREATED.
3. CEDAR SHINGLES,
 - ARCHITECTURAL ROOF SHINGLES
 - ANDEKSON WINDOWS,
 - PRESSURE TREATED POSTS, STAIRS, AND DECK
4. SIDE YARD SETBACKS 39'(N) & 61'(S)



170 ISLAND AVE
 PEAKS IS., ME
 SCALE: 1"=4'-0"
 DEAN EASTMAN
 5/28/10

SOUTH ELEVATION OF STUDIO,
 STAIRS FROM REAR YARD, AND
 GROUND CONTOURS

TOTAL = 40



PLAN OF STUDIO, DECK, AND LOWER STAIRS
 SCALE: 1" = 2'-0"
 DEA

+12'-9"

WINDOWS & DOORS

ANDERSON NARROWLINE

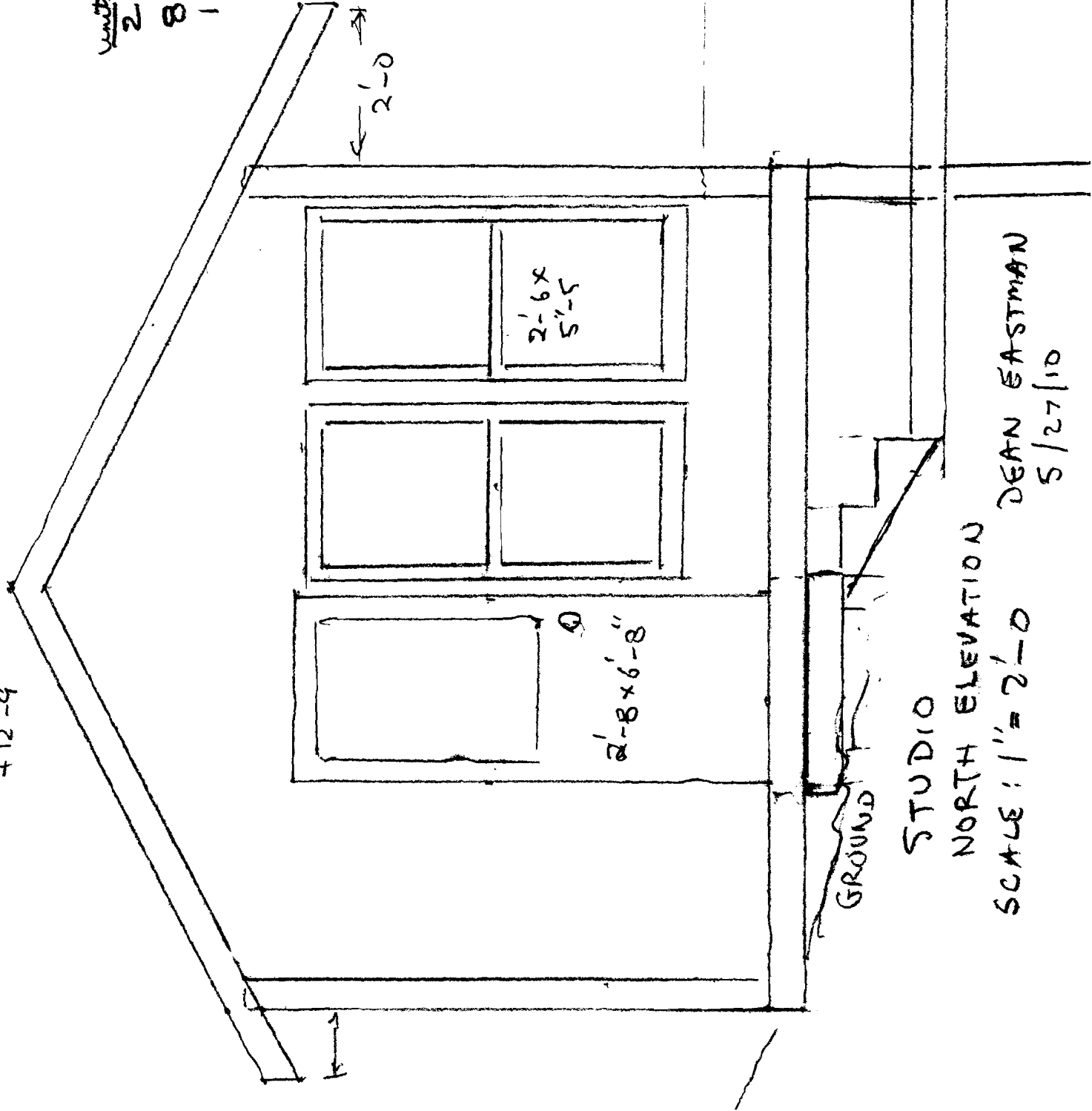
DOUBLE HUNG WINDOWS

units

2 2652 (2'-6" x 5'-5")

8 3652 (3'-6" x 5'-5")

1 2'-8" x 6'-8" EXT DOOR



STUDIO

NORTH ELEVATION

SCALE: 1" = 2'-0"

DEAN EASTMAN

5/27/10



CURB

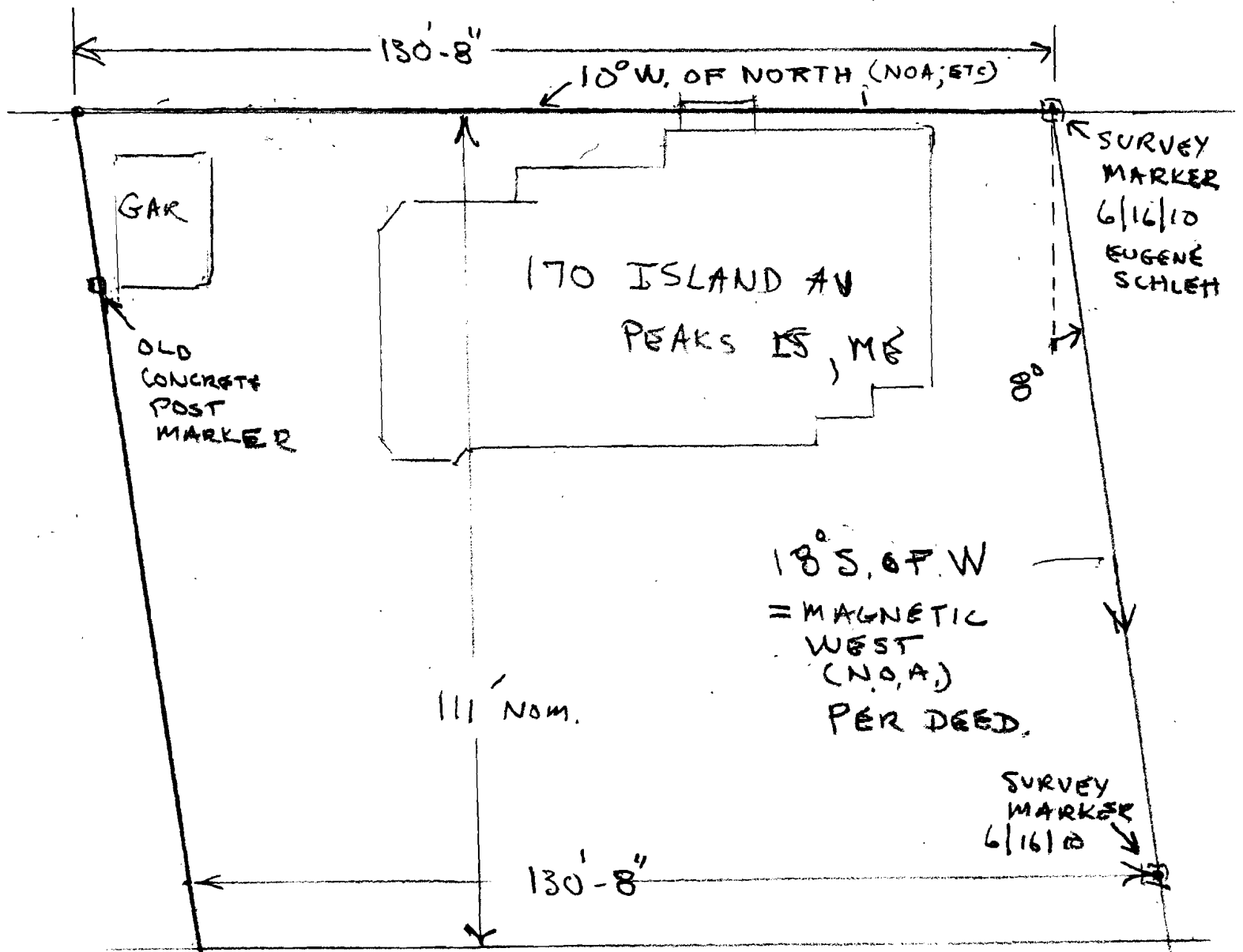
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ISLAND AV
~32' WIDE
60' ROW

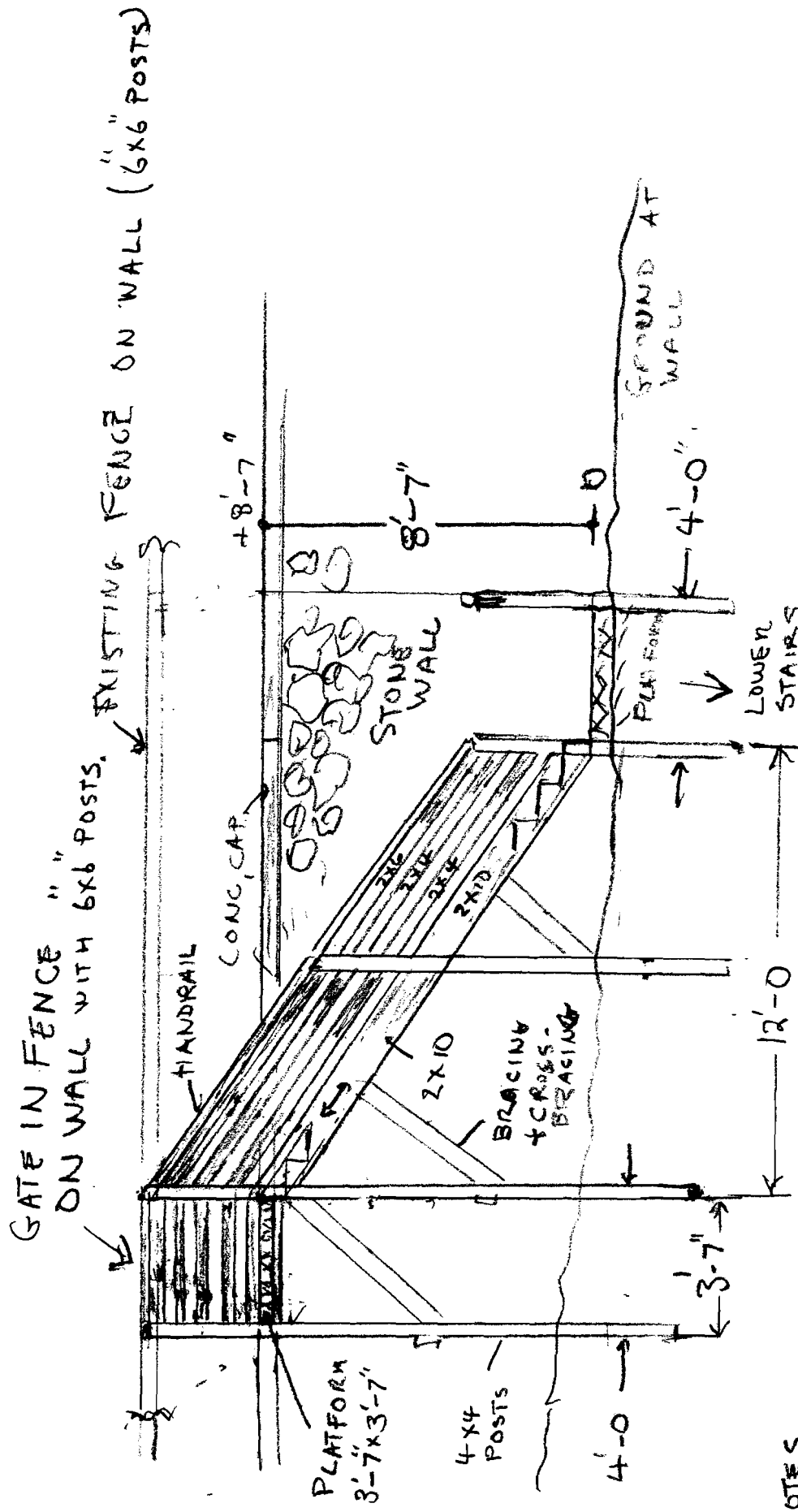
JUN 21 2010

Dept. of Building Inspections
City of Portland Maine



HIGH TIDE (L9')

SITE PLAN WITH SURVEY MARKERS
SCALE 1" = 20'
DEAN EASTMAN (6/19/10)
TIDAL FLAT



GATE IN FENCE " " ON WALL WITH 6x6 POSTS. EXISTING FENCE ON WALL (6x6 POSTS)

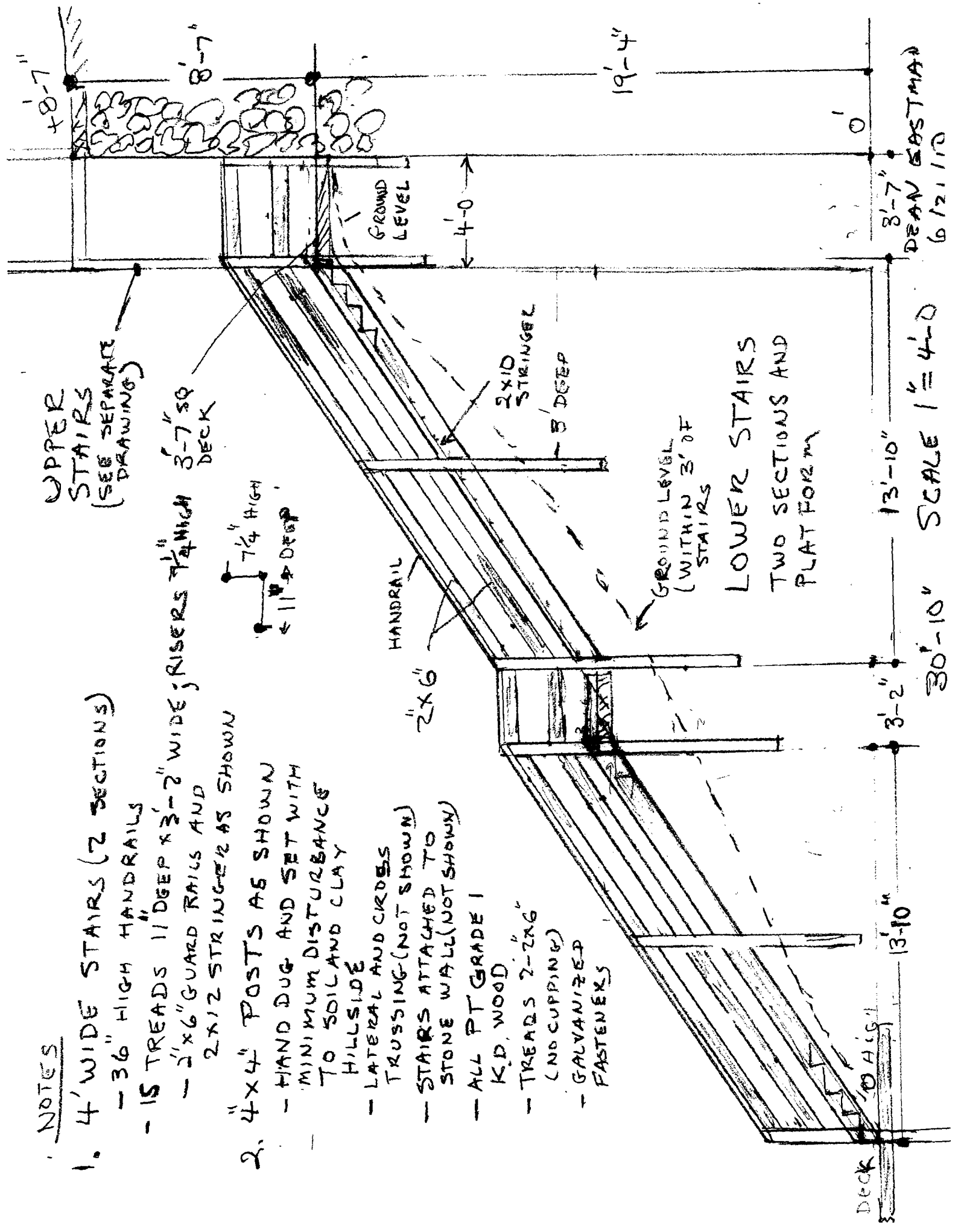
TREADS: 11.1" x 7.35" RISER (TR-TD)
 13 TREADS (2-2'x6")
 RISERS TO HAVE 5 4" OPEN
 MAX 4" OPENING ON GUARD RAILS

UPPER STAIRS
 (W. ELEVATION)
 SCALE: 1 1/2" = 4'-0"
 DEAN EASTMAN
 6/21/10

- NOTES
- SAME MATERIALS AS LOWER STAIRS
 - BOTH PLATFORMS AND 2x10 STRINGER FASTENED TO STONE WALL
 - HAND-DUG POST-HOLDS WITH MINIMUM DISTURBANCE TO HILLSIDE.

NOTES

1. 4' WIDE STAIRS (2 SECTIONS)
 - 36" HIGH HANDRAILS
 - 15 TREADS 11" DEEP X 3'-2" WIDE; RISERS 7 1/4" HIGH
 - 2' X 6" GUARD RAILS AND 2' X 2" STRINGER AS SHOWN
2. 4' X 4" POSTS AS SHOWN
 - HAND DUG AND SET WITH MINIMUM DISTURBANCE TO SOIL AND CLAY HILLSIDE
 - LATERAL AND CROSS TRUSSING (NOT SHOWN)
 - STAIRS ATTACHED TO STONE WALL (NOT SHOWN)
 - ALL PT GRADE 1 K.D. WOOD
 - TREADS 2'-2 1/2" (NO CUPPING)
 - GALVANIZED FASTENERS



UPPER STAIRS (SEE SEPARATE DRAWING)

3'-7" SQ DECK

7 1/4" HIGH
11" DEEP

HANDRAIL

2' X 6"

2' X 6" STRINGER

3" DEEP

GROUND LEVEL (WITHIN 3' OF STAIRS)

LOWER STAIRS
TWO SECTIONS AND PLATFORM

DECK

13'-10"

3'-2"

13'-10"

4'-0"

30'-10" SCALE 1" = 4'-0"

8'-7"
DEAN EASTMAN
6/12/10

Dept. of Building Inspections
City of Portland Maine

JUN 21 2010

RECEIVED

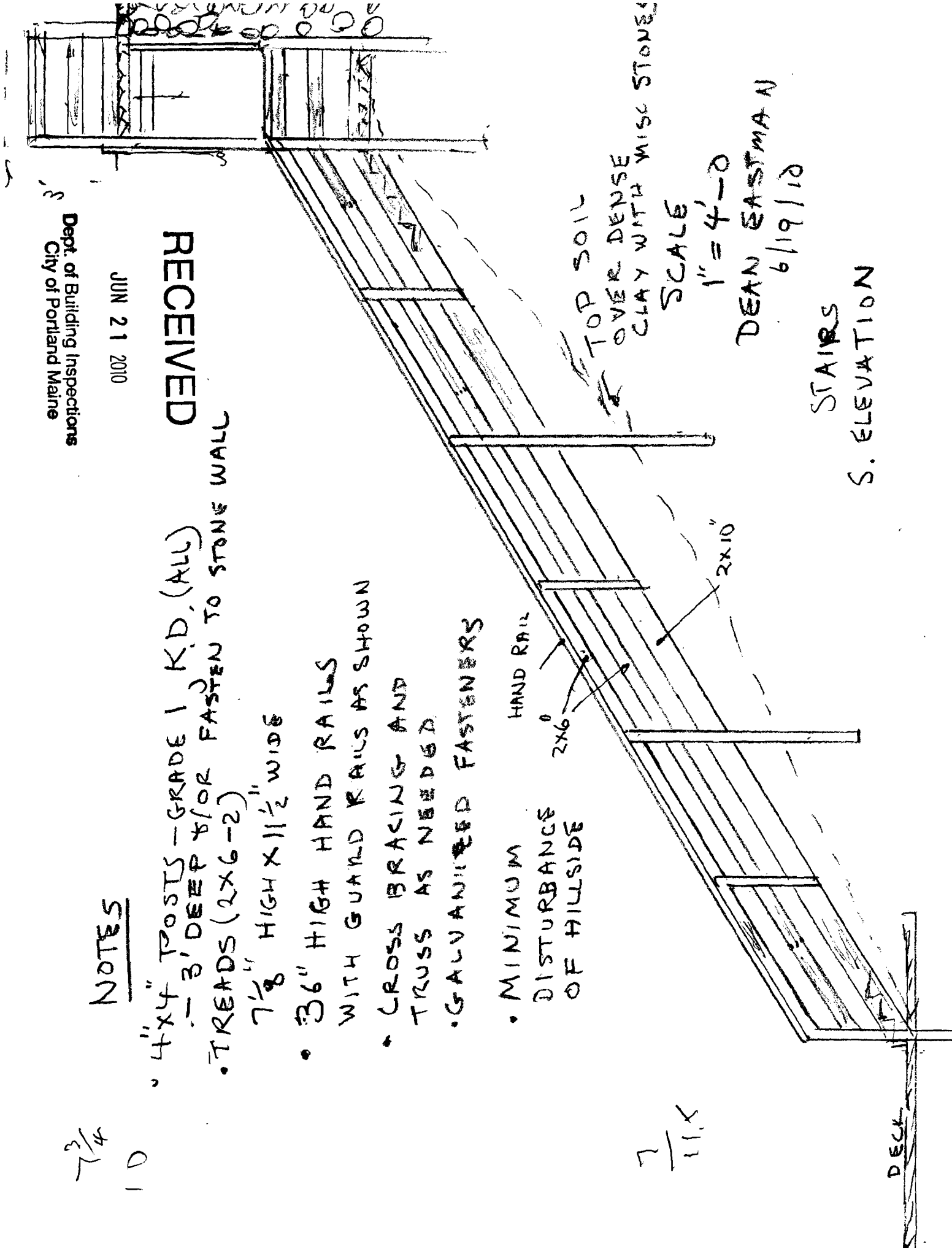
NOTES

- 4" x 4" POSTS - GRADE 1 K.D. (ALL)
- - 3' DEEP (OR FASTER TO STONE WALL)
- TREADS (2x6-2)
- 7 1/8" HIGH x 1 1/2" WIDE
- 36" HIGH HAND RAILS WITH GUARD RAILS AS SHOWN
- CROSS BRACING AND TRUSS AS NEEDED
- GALVANIZED FASTENERS

- MINIMUM DISTURBANCE OF HILLSIDE

TOP SOIL OVER DENSE CLAY WITH STONES
SCALE 1" = 4'-0"
DEAN EASTMAN
6/19/10

STAIRS
S. ELEVATION



7 3/4

10

7 1/4

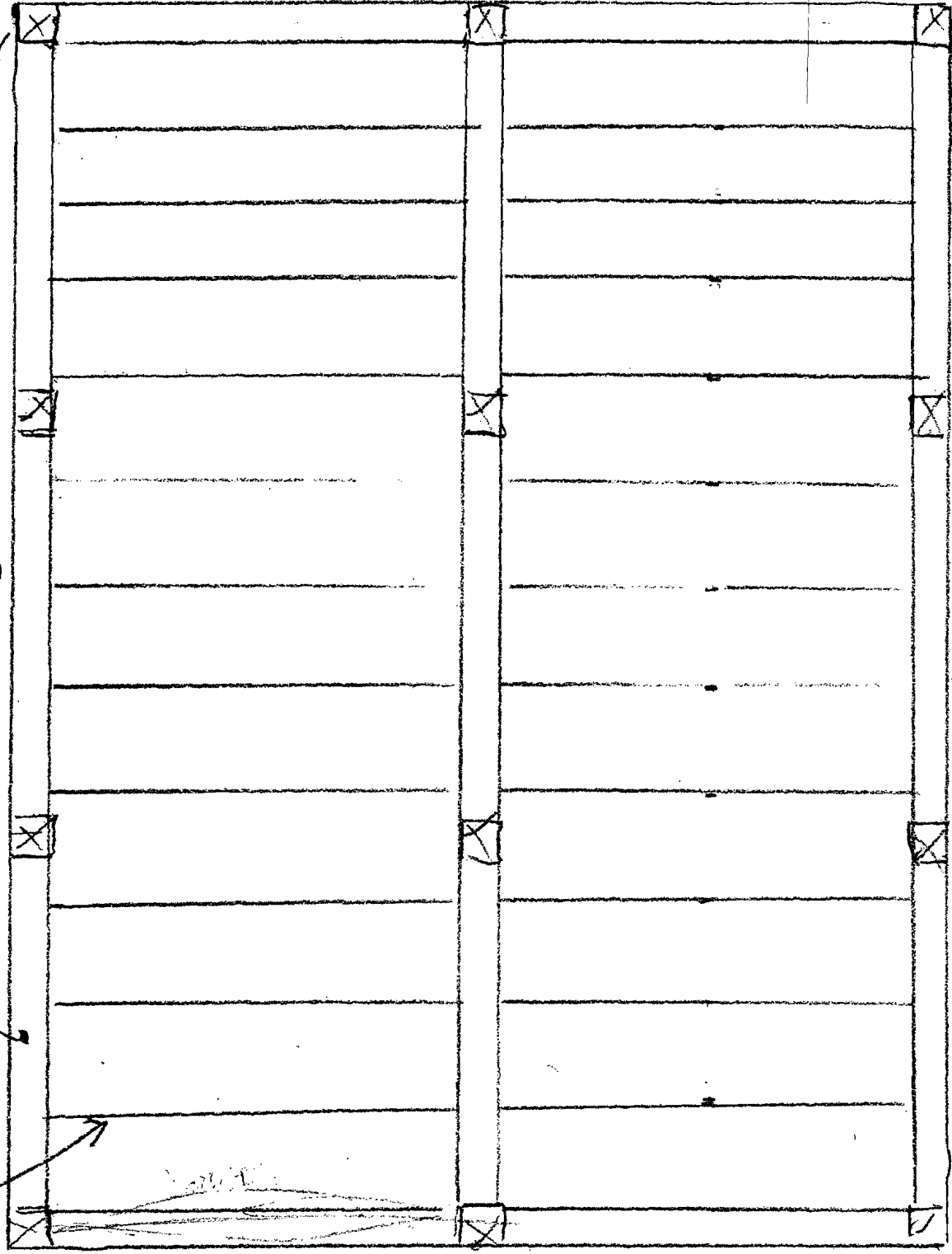
DECK

FLUSH 2X6 JOISTS
16" OC

3/4 SUBFLOOR SHEATHING

POSTS 3' DEEP
AND BRACED.

GIRDERS ON POSTS (4X6)



12'-0

16'-0

STUDIO FLOOR FRAMING PLAN

DEAN EASTMAN
5/27/10

SCALE: 1" = 2'-0

N ←









Marla











CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

_____ 20 10

Received from _____

Location of Work _____

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 130

Building (IL) _____ Plumbing (I5) _____ Electrical (I2) _____ Site Plan (U2) _____

Other _____

CBL: 197 00 14

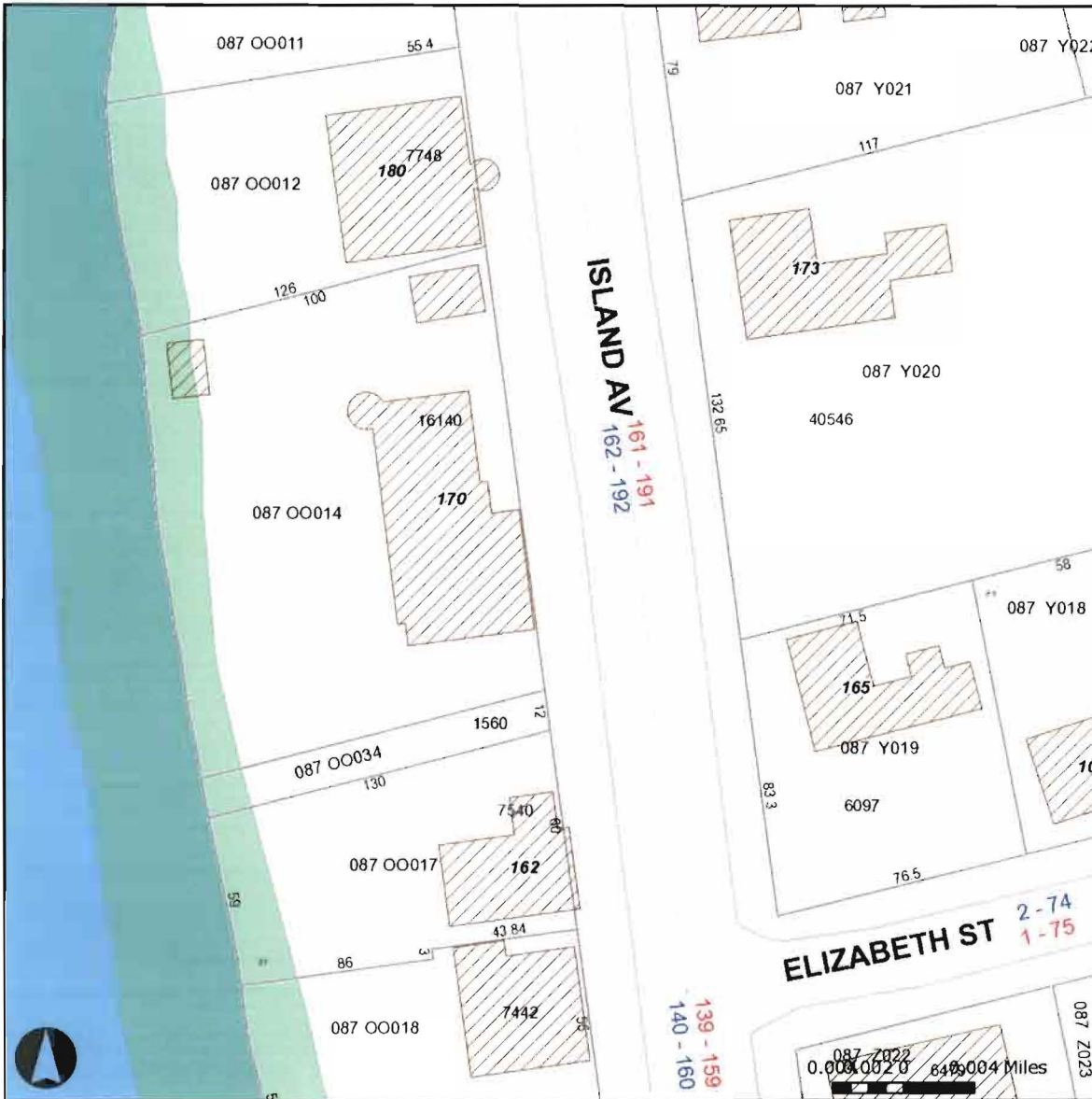
Check #: CC Disc **Total Collected \$** 130

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: _____

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

Map



Interstate



Streets

Buildings



Parcels



Traveled Ways

Stream



Wetland



Lake/Pond



Jetport



FEMA Flood Zones



County Streets



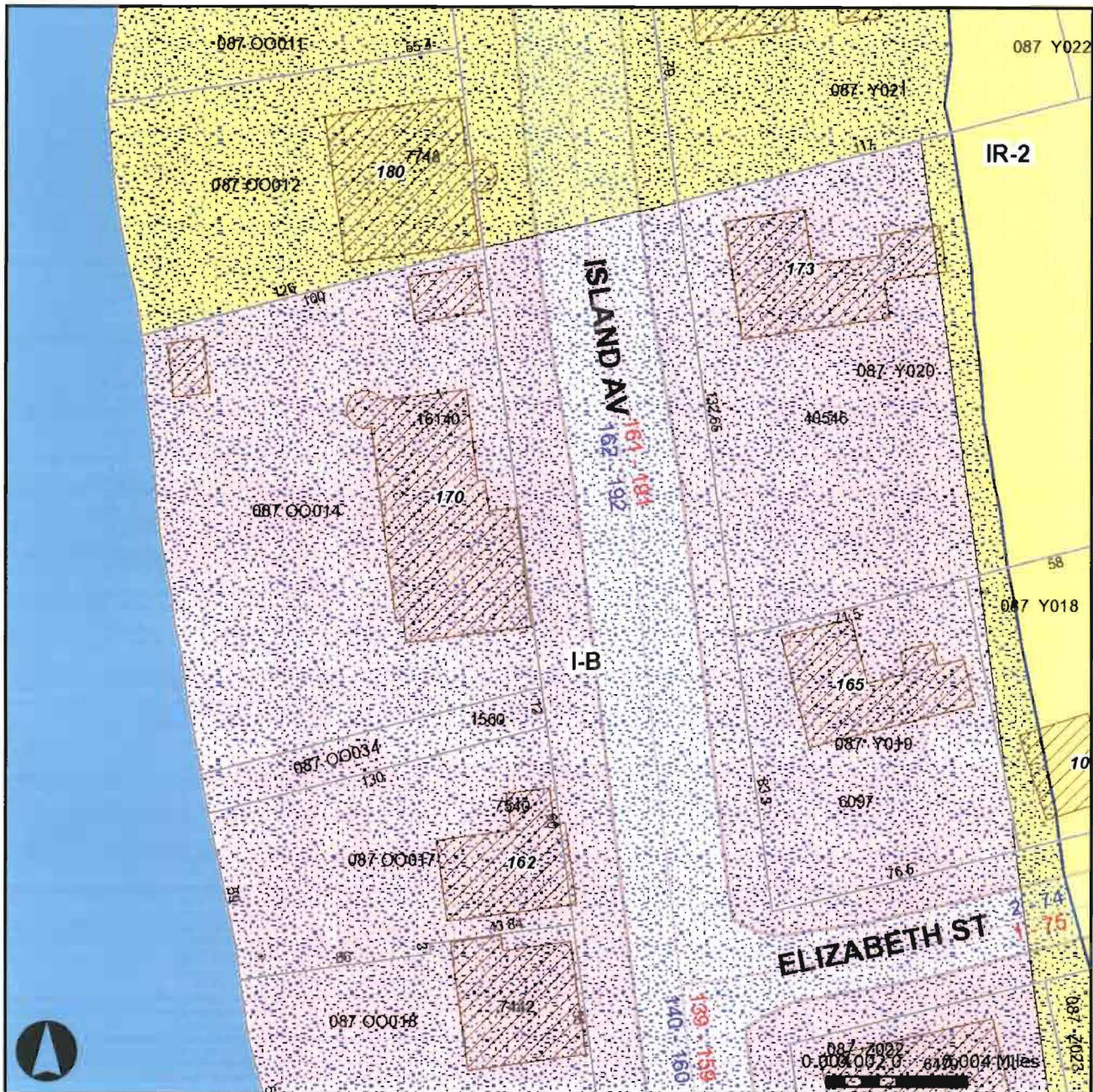
ME Towns



Ocean



Map



Interstate	Stream Overlay Zone	Zoning (continued)	Zoning (continued)	Ocean
	Stream_protection	R1 Residential	C23	
Streets	Island Zoning	R2 Residential	C24	
Buildings	C43	R3 Residential	C25	
Building	I-B	R4 Residential	C26	
Out Building	I-TS	R5 Residential	C27	
Parcels	I-R1	R6 Residential	C28	
	I-R2	ROS Recreation	C29	

Maine Floodplain Management
Decision Tree for
Flood Hazard Development
Permits

Please check appropriate boxes.

Is the development in the floodplain
as shown on the Community's flood
map? yes no

If yes, go to page 2.

If no, no flood hazard permit
required.

(A completed copy of this form should accompany each
Flood Hazard Development Permit Application file)

Are other permits required (i.e., federal or state)?

- If yes, advise applicant of what additional permits are needed.
- Request copy for attachment to Flood Hazard Development Permit Application.
[Application may be made but permit shall not be issued until other permits are provided.]
Go to section 2.
- If no, proceed with Flood Hazard Development Permit Application.
Go to section 2.
-

Section 2

Is the development in a Special Flood Hazard Zone A, A1-30, AE, or AH but not in the floodway¹?

yes no

If yes, go to page 3. If no, continue.

Is the development in Zone AO?

yes no

If yes, go to page 4. If no, continue.

Is the development in the Floodway?

yes no

If yes, go to page 5. If no, continue.

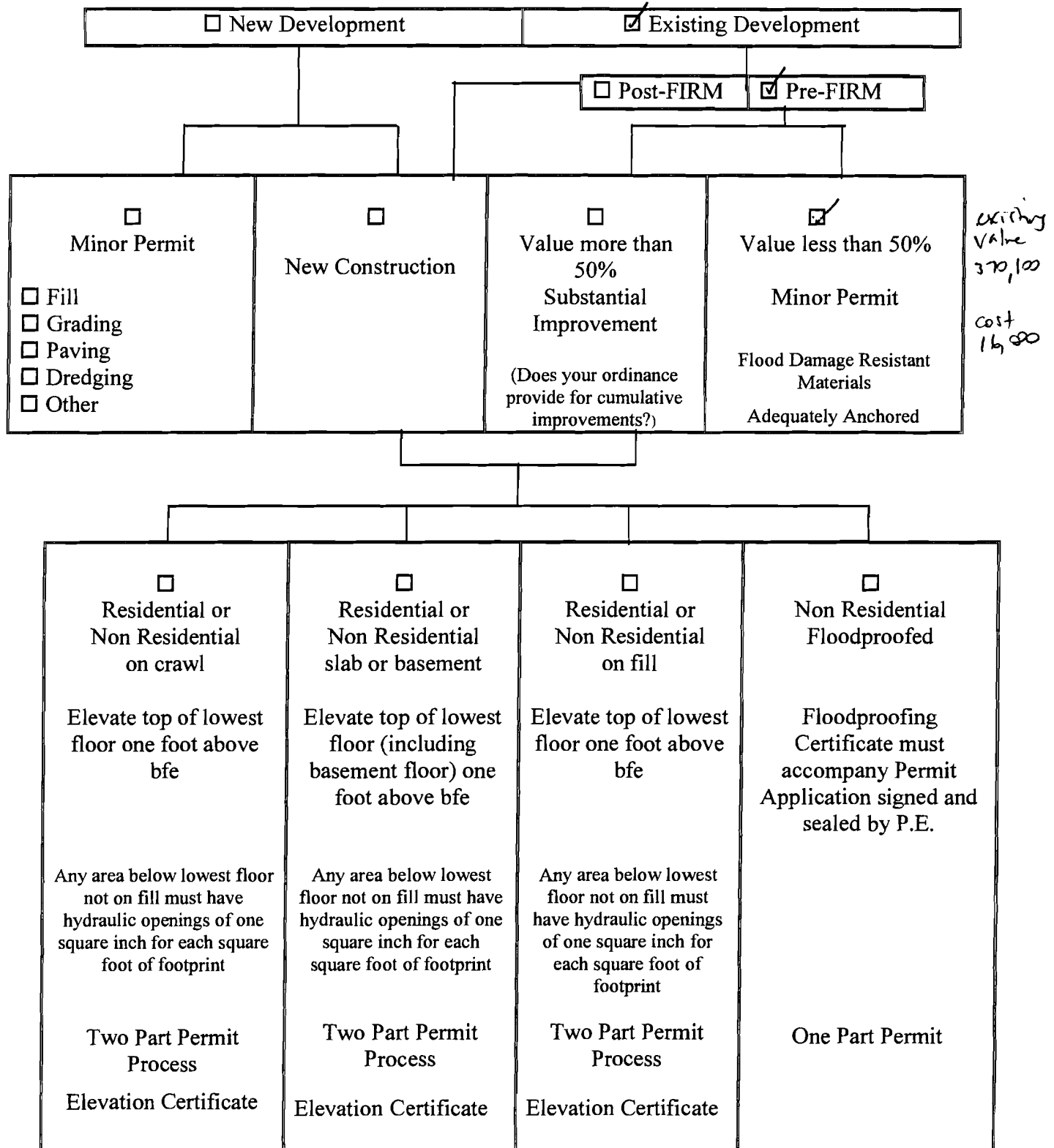
Is the development in Zone V1-30 or VE?

yes no

If yes, go to page 6. If no, start over.

¹ In Unnumbered A-Zones for riverine areas, the floodway is considered to be ½ the width of the floodplain as measured from the water's edge to the upland limit of the floodplain measured perpendicular to the stream or river.

A, A1-30, AE and AH Zones [Not in Floodway]

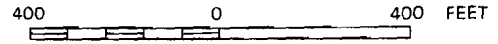


structures in the zones where elevations or depths have been established.

To determine if flood insurance is available in this community, contact your insurance agent, or call the National Flood Insurance Program, at (800) 638-6620.



APPROXIMATE SCALE



NATIONAL FLOOD INSURANCE PROGRAM

**FIRM
FLOOD INSURANCE RATE MAP**

**CITY OF
PORTLAND, MAINE
CUMBERLAND COUNTY**

PANEL 15 OF 17

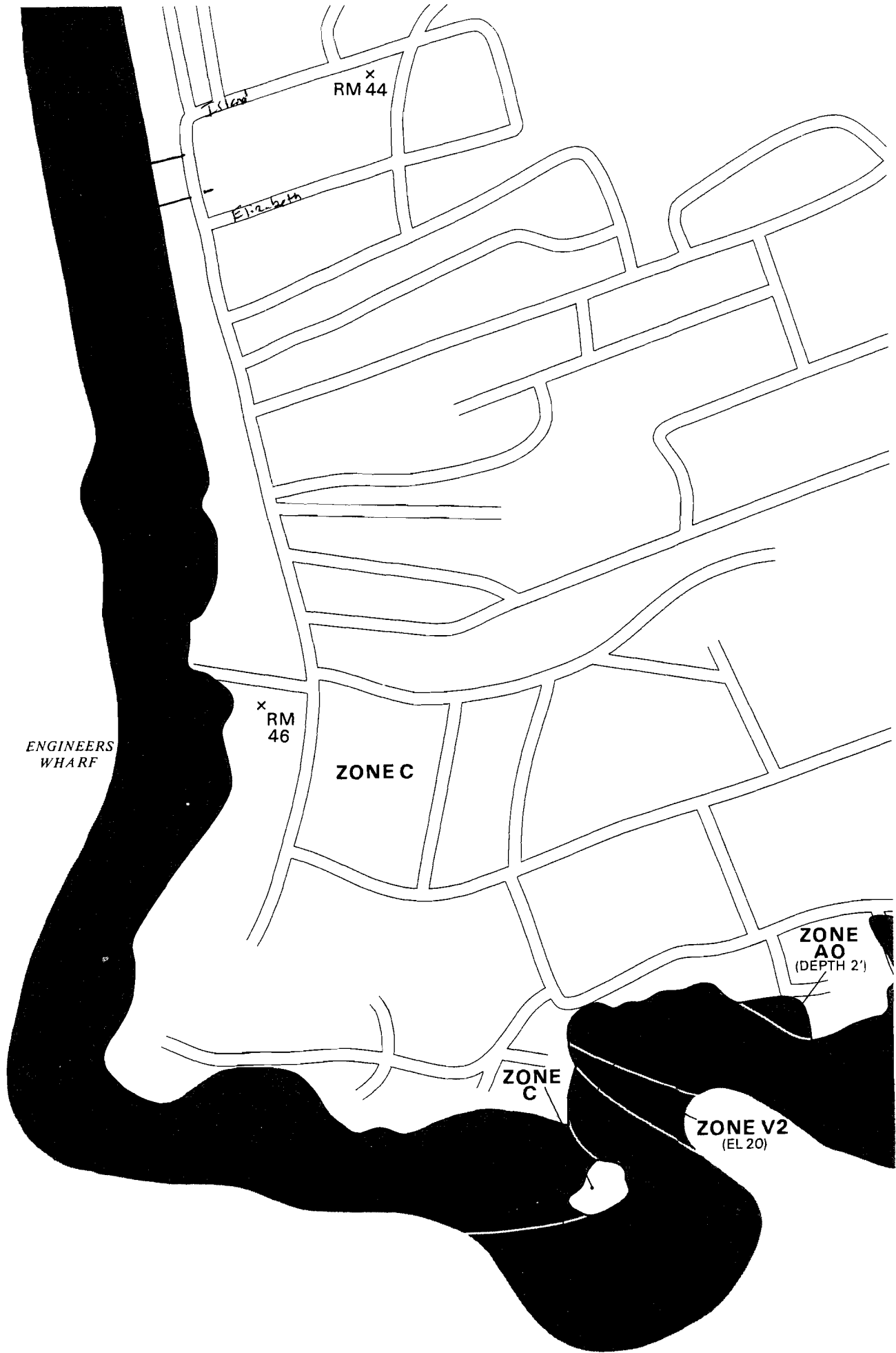
(SEE MAP INDEX FOR PANELS NOT PRINTED)

**COMMUNITY-PANEL NUMBER
230051 0015 B**

**EFFECTIVE DATE:
JULY 17, 1986**



Federal Emergency Management Agency



ENGINEERS
WHARF

x
RM 44

Elizabeth

x
RM
46

ZONE C

ZONE
AO
(DEPTH 2')

ZONE
C

ZONE V2
(EL 20)

JUN -7

FLOOD HAZARD DEVELOPMENT APPLICATION

Portland, Maine

(All applicants must complete entire application)
[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: DEAN EASTMAN Address: 170 ISLAND AVE,
 Phone No: (207) 766-5049 PEAKS IS, ME 04108
 Applicant: DEAN EASTMAN Address: SAME
 Phone No.: SAME
 Contractor: DEAN EASTMAN Address: SAME
 Phone No.: SAME

LEGAL DESCRIPTION

Is this part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____
 Tax Map: 087 Block 00 Lot #: 014
 Address: 170 ISLAND AVE,
Street/Road Name
 Zip Code: PEAKS IS, ME 04108
Town/Zip Code

General explanation of proposed development: (SMALL) STUDIO WITH STAIRS AND DECK

Estimated Value of Proposed Development: MINOR IMPROVEMENT, \$16,000

Proposed Lowest Floor elevation [for new or substantially improved structure]: 11 FEET ABOVE BASE FLOOD ELEVATION FOR MINOR IMPROVEMENT TO EXISTING STRUCTURE

OTHER PERMITS
Are other permits required from State or Federal jurisdictions? Yes No
If yes, are these other permits attached? Yes No Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private Existing Proposed Not Applicable Type NOT APPLICABLE
 Water Supply: Public Private B-9

(This section to be completed by Municipal Official)

LOCATION

Flooding Source (name of river, pond, ocean, etc.): Ocean

- V1-30 Zone
- VE Zone
- AE Zone
- A1-30 Zone
- A Zone
- AO Zone
- AH Zone
- FRINGE
- FLOODWAY (1/2 width of floodplain in A Zone)

Base Flood Elevation (bfe) at the site _____ NGVD [Required for New Construction or Substantial Improvement]

Lowest floor elevation of proposed or existing structure 11' NGVD [Required for New Construction or Substantial Improvement]

If proposed development is in an AE or A1-30 Zone and cross section data is available in the Flood Insurance Study, please note the nearest cross section reference letter and elevation of base flood at nearest cross section above and below the site.

Cross Section Letter	Base Flood Elevation
Above Site _____	Above Site <u>9'</u>
Below Site _____	Below Site <u>9'</u>

Basis of unnumbered A Zone bfe determination:

- From a Federal Agency: USGS USDA/NRCS USACE Other _____
- From a State Agency: MDOT Other _____
- Established by Professional Land Surveyor
- Established by Professional Engineer HEC/RAS HEC II HY 7 TR20 TR55 Quick-2 Other _____
- Highest Known Water Level
- Other (Explain) _____

VALUE

If the development involves work on an existing structure, enter the Market Value of existing structure before improvements:

\$16,000 (MINOR ADDITION)

- New Construction or Substantial Improvement
- Minor improvement or minor addition to existing development

TYPE OF DEVELOPMENT

Check the appropriate box to the left of the type(s) of development requested and complete information for each applicable line:

- | | | | |
|---|------------------------|---|-----------------------|
| <input type="checkbox"/> 1. Residential Structure | Dimensions _____ | <input type="checkbox"/> 7. Filling ³ | Cubic Yards _____ |
| <input type="checkbox"/> 1a. New Structure | _____ | <input type="checkbox"/> 8. Dredging | _____ |
| <input type="checkbox"/> 1b. Add to Structure | _____ | <input type="checkbox"/> 9. Excavation | _____ |
| <input type="checkbox"/> 1c. Renovations/repairs/maintenance | _____ | <input type="checkbox"/> 10. Levee | _____ |
| <input type="checkbox"/> 2. Non-Residential Structure | | <input type="checkbox"/> 11. Drilling | Number of Acres _____ |
| <input type="checkbox"/> 2a. New Structure | _____ | <input type="checkbox"/> 12. Mining | _____ |
| <input type="checkbox"/> 2b. Add to Structure | _____ | <input type="checkbox"/> 13. Dam: Water surface to be created | _____ |
| <input type="checkbox"/> 2c. Renovations/repairs/maintenance | _____ | <input type="checkbox"/> 14. Water Course Alteration | _____ |
| <input type="checkbox"/> 2d. Floodproofing | _____ | Note: Detailed description must be attached with copies of all applicable notifications, state and federal permits. | |
| <input checked="" type="checkbox"/> 3. Accessory Structure | <u>STUDIO</u> | <input type="checkbox"/> 15. Storage of equipment or materials | _____ |
| <input type="checkbox"/> 4. Functionally Dependent Use: | | <input type="checkbox"/> 16. Sewage Disposal System | _____ |
| <input type="checkbox"/> 4a. Dock | _____ | <input type="checkbox"/> 17. Water Supply System | _____ |
| <input type="checkbox"/> 4b. Pier | _____ | <input type="checkbox"/> 18. Other: Explain _____ | _____ |
| <input type="checkbox"/> 4c. Boat Ramp | _____ | | |
| <input checked="" type="checkbox"/> 4d. Other | <u>WRITER'S STUDIO</u> | | |
| <input type="checkbox"/> 5. Paving | _____ | | |
| <input type="checkbox"/> 6. Conditional Use (Lobster/Fish Shed seaward of mean high tide) | _____ | | |

Note: Conditional Use requires add'l. information due to specific standards, public hearing, and Planning Board review.

³ Certain prohibitions apply in Velocity Zone

Attach a Site Plan – Drawn to scale with north arrow.

- Show property boundaries, floodway, and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled. **NONE**

Attach Statement – describing in detail how each applicable development standard in Article VI will be met.

For New Construction or Substantial Improvement also show:

- Existing and proposed grade elevations adjacent to the walls of the structure done by a Professional land Surveyor, Architect, or Engineer.
- Location and elevation of temporary elevation reference marks on the site.

Special Note:

Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIV, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VI.L.3. of the floodplain management ordinance.

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or sue any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view; and,
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this application are a true description of the existing property and the proposed development project.

Owner: Dean Eastman Signature Date: JUNE 7, 2010

or
Authorized Agent: SAME Signature Date: SAME

(This section to be completed by Municipal Official)			
Date: Submitted _____;	Fee Paid _____;	Reviewed by CEO _____;	Reviewed by Planning Board _____
Permit # _____	Issued by _____	Date _____	

JUN - 7 2010

FLOOD HAZARD DEVELOPMENT PERMIT For Minor Development

Portland, Maine
(For Development not considered a Substantial Improvement)

This Flood Hazard Development Permit allows minor development as provided in Article V.F.3. of the Floodplain Management Ordinance of Portland, Maine, for development in a Special Flood Hazard Area as defined in said ordinance. Development authorized by this permit must be adequately anchored to prevent flotation, collapse, or lateral movement resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, be constructed with materials resistant to flood damage and be constructed by methods and practices that minimize flood damage. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance.

Tax Map: 087 Block 00 Lot #: 014

Project Description: STUDIO WITH STAIRS AND DECK

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

Owner: Dean Eastman Date: JUNE 7, 2010
Signature

or
Authorized Agent: SAME Date: SAME
Signature

Issued by: _____ Date: _____

Permit #: _____



Development Review Application
PORTLAND, MAINE
 Department of Planning and Urban Development,
 Planning Division and Planning Board

PROJECT NAME: STUDIO WITH STAIRS AND DECK

PROPOSED DEVELOPMENT ADDRESS:

170 ISLAND AVE, PEAKS IS, ME 04108

PROJECT DESCRIPTION:

ADDITION OF 12'x16' STUDIO WITH STAIRS
UP TO WALL IN BACK YARD OF EXISTING RESIDENCE

CHART/BLOCK/LOT: 187/00/14

CONTACT INFORMATION:

APPLICANT

Name: DEAN EASTMAN
 Address: 281 BLOOMINGDALE RD
RIVERSIDE, IL 60544
 Zip Code: 60546
 Work #: (708) NA
 Cell #: (708) 650-5533
 Fax #: ---
 Home: (708) 443-5533
 E-mail: d-eastman@
uchicago.edu

PROPERTY OWNER

Name: DEAN EASTMAN
 Address: 170 ISLAND AVE
PEAKS IS, ME
 Zip Code: 04108
 Work #: NA
 Cell #: SAME
 Fax #: ---
 Home: (207) 766-5049
 E-mail: SAME

BILLING ADDRESS

Name: SAME AS
 Address: APPLICANT
INFORMATION
 Zip: ABOVE
 Work #: _____
 Cell #: _____
 Fax #: _____
 Home: _____
 E-mail: _____

EXPIRED

~As applicable, please include additional contact information on the next page~

Planning Development Review Application
Environmental Management of the Shoreline Hillside
of 170 Island Avenue Peaks Island

My policy is to continue good environmental management and minimal disturbance of the shoreland hillside of this property at 170 Island Avenue Peaks Island, Maine.

The shoreland hillside extends from the large stone retaining wall just west of the residence down to the shoreline and the tidal flat beyond, as seen in the Site Plan.

Good environmental management includes all the 9 standards set forth in section 14-526 of the Planning Development Code of Ordinances, except #6 which is not relevant. Currently, the hillside is in a stable, safe and attractive visual condition. This has required continuous maintenance, and on occasion, major repairs.

This hillside consists of a hard, deep, clay bank covered with a thin (~12") layer of topsoil. The north half of the hillside also has strewn rocks and concrete debris that occurred with a collapse of the stone wall and adjacent dirt about mid-century. This half was rebuilt by Plante Associates in the 1960's. The upper steep area and parts of the lower area are covered with crown vetch for erosion control. Shrubs include sumac, roses, and patches of blackberries. Trees include soft maples, "junk" maples, poplar, white birch and some unknown small miscellaneous trees.

When we acquired the property in 1983, the hillside was in an extremely bad condition which had stimulated its sale. The cause was said to be runoff from spring rains. The old south half of the wall had deteriorated with a washed out base. A major earthslide had occurred due to a large tree. An area of roots and soil of about 15' in diameter had ripped out near the stone wall. An old concrete and stone retaining wall near the high tide line was also totally deteriorated and evidence of earlier slides was present.

From 1983 to 1986 I stabilized the stone wall with reinforced footings and by making stone wall repairs. Top soil was brought in to fill sinkholes above the wall and to raise the rear yard so that surface water would be directed over the concrete cap on the wall and not through the wall. Topsoil was also added to the hillside below the wall to fill in old mudslides. The topsoil was then stabilized with landscaping methods used for steep banks along public roads. A biodegradable mesh and "blanket" was placed on the hillside and crown vetch was planted. At the base of the hillside at the high tide line, a riprap retaining wall of large granite boulders was built along the 130'-6" front. The wall measures 6' high by 6' wide

RECEIVED

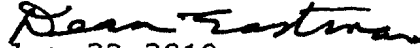
JUN 23 2010

Dept. of Building Inspections
City of Portland Maine

and was constructed with 225 tons of stone. With continual maintenance such as pruning and with ongoing removal of bittersweet vines, a stable and attractive hillside with minimal erosion, sedimentation and no visual water pollution or adverse effect on aquatic wildlife has been maintained.

The proposed studio and stairs project will continue my policy of good environmental management and minimal disturbance of the hillside shoreline. The proposed studio, stairs and small deck will be supported on pressure treated posts (25 total) using standard practices with hand-dug holes that will disturb only about 6 to 11 square feet of actual ground area; none of the proposed structures will disturb their underlying ground areas. Thus all water runoff, including that from large rains, will not be altered and minimal disturbance of the hillside is achieved. Only two small junk trees in the footprint of the deck and studio and about 4 sumacs and small maple trees in the footprint of the stairs will be removed. The visual appearance of the hillside from the water will be only slightly altered. Existing trees shield the stairs from view from the water.

Dean Eastman



June 22, 2010

170 Island Avenue

Peaks Island

The Site Plan Survey

The attached Warranty Deed description defines the lot, including its usual public access easement. On this site plan, geographic North is marked, and the Southwest corner of the lot is marked with a new survey marker (6/16/2010, Eugene Schleh, surveyor). (picture #1) The East property line of this residence and adjacent residences along Island Avenue lie along the 60' Right-of-Way of Island Avenue, with building fronts parallel to the property line; this line is 10° West of North, per various maps (such as NOAA). The South property line is established by a new survey marker (cited above, see picture #2) that is about 10 feet above high tide. The West hillside property line is determined by measuring as per deed. The North property line then runs parallel to the South line and North 130'-8" from this survey marker parallel to the East line and back to the Northeast corner near the garage, as shown. Confirmation of this North line is given by the existence of an old concrete survey post that is 2'-10" North of the corner of the garage, as shown (picture#3).

This South property line is 8° South of the east property line and is thus 18° South of geographic west. This is equal to the 18° magnetic declination W of N as seen in a NOAA chart of Peaks Island thus confirming the magnetic West property line direction.

The depth of the lot from the East line to the observed average high tide line shown on the site plan was measured by surveying from the high water line up the hillside and on through the residence to the East line. This measured distance of 111' +/- 1" is "100' more or less" when the 6'6" riprap wall (picture #4) installed about 26 years ago on top of the earlier smashed old stone and concrete wall which had been pushed west by mudslides is taken into account.

In summary, we have a site plan which is fully consistent with the Warranty Deed and its sketchy site plan as well as with all recent and earlier survey markers.

Dean Eastman

June 22, 2010