

**City of Portland, Maine – Building or Use Permit Application** 389 Congress Street, 04101, Tel: (207) 874-8703, FAX: 874-8716

|  |  |   |  |  |  |
|--|--|---|--|--|--|
| Location of Construction:<br><b>97 Bracket Ave, Peaks Island</b>   |  | Owner:<br><b>Robert McTigue</b>                   |  | Phone:<br><b>766-2676</b>  |  |
| Owner Address:   |  | Lessee/Buyer's Name:                              |  | Phone:   |  |
| Contractor Name:<br><b>Self</b>  |  | Address:  |  | BusinessName:  |  |
| Past Use:<br><b>2-fam dwelling</b>   |  | Proposed Use:<br><b>2-fam dwelling w/addition</b> |  | COST OF WORK:<br><b>\$ 10,000</b>  |  |
|  |  |   |  | PERMIT FEE:<br><b>\$ 70.00</b>   |  |
|  |  |   |  | FIRE DEPT. <input type="checkbox"/> Approved<br><input type="checkbox"/> Denied  |  |
|  |  |   |  | INSPECTION:<br>Use Group <b>A3</b> Type: <b>5B</b>   |  |
|  |  |   |  | Signature: <i>[Signature]</i>  |  |
| Proposed Project Description:<br><br><b>Building addition (1st floor 22' x 12') (2nd floor 30' x 12') (per plans)</b><br><br><b>Not to exceed existing footprint</b> |  |   |  | PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)<br>Action: <input type="checkbox"/> Approved<br><input type="checkbox"/> Approved with Conditions<br><input type="checkbox"/> Denied |  |
| Permit Taken By: <b>Sherry Pinard</b>  |  | Date Applied For: <b>January 23, 1998</b>         |  |  |  |

Permit No: **980103**

**PERMIT ISSUED**

Permit Issued:  
**FEB 17 1998**

**CITY OF PORTLAND**

Zone: **CBL** CBL: **087-21-009**  
UB: **001**

Zoning Approval: *[Signature]*

**Special Zone or Reviews:**  
 Shoreland  
 Wetland  
 Flood Zone  
 Subdivision  
 Site Plan maj  minor  mm

**Zoning Appeal**  
 Variance  
 Miscellaneous  
 Conditional Use  
 Interpretation  
 Approved  
 Denied

**Historic Preservation**  
 Not in District or Landmark  
 Does Not Require Review  
 Requires Review

Action:  
 Approved  
 Approved with Conditions  
 Denied

Date: 1/24/98

**PERMIT ISSUED WITH REQUIREMENTS**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) applicable to such permit

|  |  |          |                                  |        |
|--|--|----------|----------------------------------|--------|
| SIGNATURE OF APPLICANT<br><i>Robert McTigue</i><br><b>Robert McTigue</b> |  | ADDRESS: | DATE:<br><b>January 23, 1998</b> | PHONE: |
| RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE                              |  |          | PHONE:                           |        |

CEO DISTRICT **6**

*M. L. A. 12*

## BUILDING PERMIT REPORT

DATE: 13 Feb 98 ADDRESS: 97 Bracket Ave. (Ø87-LL-ØØ9)  
 REASON FOR PERMIT: To Construct a 12'x22' 1st Story & 12'x30' 2nd Floor  
 BUILDING OWNER: Robert McTigue  
 CONTRACTOR: Owner  
 PERMIT APPLICANT: Ø  
 USE GROUP R-3 BOCA 1996 CONSTRUCTION TYPE 5B

### CONDITION(S) OF APPROVAL

This Permit is being issued with the understanding that the following conditions are met:

Approved with the following conditions: 12'x22' 1st, 12'x30' 2nd, 24'x25' 26' 29'x30' -

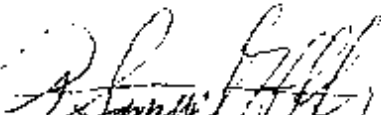
- \* 1. This permit does not excuse the applicant from meeting applicable State and Federal rules and laws.
- \* 2. Before concrete for foundation is placed, approvals from the Development Review Coordinator and Inspection Services must be obtained. (A 24 hour notice is required prior to inspection)
- < 3. Precaution must be taken to protect concrete from freezing
4. It is strongly recommended that a registered land surveyor check all foundation forms before concrete is placed. This is done to verify that the proper setbacks are maintained.
5. Private garages located beneath habitable rooms in occupancies in Use Group R-1, R-2, R-3 or I-1 shall be separated from adjacent interior spaces by fire partitions and floor/ceiling assembly which are constructed with not less than 1-hour fire resisting rating. Private garages attached side-by-side to rooms in the above occupancies shall be completely separated from the interior spaces and the attic area by means of ½ inch gypsum board or the equivalent applied to the garage means of ¾ inch gypsum board or the equivalent applied to the garage side. (Chapter 4 Section 407.0 of the BOCA/1996)
- \* 6. All chimneys and vents shall be installed and maintained as per Chapter 12 of the City's Mechanical Code. (The BOCA National Mechanical Code/1993).
7. Sound transmission control in residential building shall be done in accordance with Chapter 12 section 1214.0 of the city's building code
- \* 8. **Guardrails & Handrails.** A guardrail system is a system of building components located near the open sides of elevated walking surfaces for the purpose of minimizing the possibility of an accidental fall from the walking surface to the lower level. Minimum height (all Use Groups) 42", except Use Group R which is 36". In occupancies in Use Group A, B, H-4, I-1, I-2 M and R and public garages and open parking structures, open guards shall have balusters or be of solid material such that a sphere with a diameter of 4" cannot pass through any opening. Guards shall not have an ornamental pattern that would provide a ladder effect. (Handrails shall be a minimum of 34" but not more than 38". Use Group R-3 shall not be less than 30", but not more than 38".) Handrail grip size shall have a circular cross section with an outside diameter of at least 1 1/4" and not greater than 2".
- \* 9. Headroom in habitable space is a minimum of 7'6".
- < 10. Stair construction in Use Group R-3 & R-4 is a minimum of 10" tread and 7 3/4" maximum rise. All other Use group minimum 11" tread 7" maximum rise.
- \* 11. The minimum headroom in all parts of a stairway shall not be less than 80 inches. (6'8")
12. Every sleeping room below the fourth story in buildings of use Groups R and I-1 shall have at least one operable window or exterior door approved for emergency egress or rescue. The units must be operable from the inside without the use of special knowledge or separate tools. Where windows are provided as means of egress or rescue they shall have a sill height not more than 44 inches (1118mm) above the floor. All egress or rescue windows from sleeping rooms shall have a minimum net clear opening height dimension of 24 inches (610mm). The minimum net clear opening width dimension shall be 20 inches (508mm), and a minimum net clear opening of 5.7 sq. ft.
13. Each apartment shall have access to two (?) separate, remote and approved means of egress. A single exit is acceptable when it exits directly from the apartment to the building exterior with no communications to other apartment units.
- \* 14. All vertical openings shall be enclosed with construction having a fire rating of at least one (1) hour, including fire doors with self closers. (Over 3 stories in height requirements for fire rating is two (2) hours.)
15. The boiler shall be protected by enclosing with (1) hour fire-rated construction including fire doors and ceiling, or by providing automatic extinguishment.
- \* 16. All single and multiple station smoke detectors shall be of an approved type and shall be installed in accordance with the

provisions of the City's Building Code Chapter 9, Section 19, 920 3.2 (BOCA National Building Code/1996), and NFPA 101 Chapter 18 & 19. (Smoke detectors shall be installed and maintained at the following locations):

- In the immediate vicinity of bedrooms
- In all bedrooms
- In each story within a dwelling unit, including basements

In addition to the required AC primary power source, required smoke detectors in occupancies in Use Groups R-2, R-3 and I-1 shall receive power from a battery when the AC primary power source is interrupted. (Interconnection is required)

- 17. A portable fire extinguisher shall be located as per NFPA #10. They shall bear the label of an approved agency and be of an approved type.
- 18. The Fire Alarm System shall be maintained to NFPA #72 Standard.
- 19. The Sprinkler System shall maintained to NFPA #13 Standard.
- 20. All exit signs, lights, and means of egress lighting shall be done in accordance with Chapter 10 Section & Subsections 1023. & 1024 Of the City's building code. (The BOCA National Building Code/1996)
- 21. Section 25-135 of the Municipal Code for the City of Portland states, "No person or utility shall be granted a permit to excavate or open any street or sidewalk from the time of November 15 of each year to April 15 of the following year".
- 22. The builder of a facility to which Section 4594-C of the Maine State Human Rights Act Title 5 MRSA refers, shall obtain a certification from a design professional that the plans commencing construction of the facility, the builder shall submit the certification to the Division of Inspection Services.
- 23. Ventilation shall meet the requirements of Chapter 12 Section 1210. Of the City's Building Code.
- 24. All electrical, plumbing and HVAC permits must be obtained by a Master Licensed holders of their trade.
- 25. All requirements must be met before a final Certificate of Occupancy is issued.
- 26. All building elements shall meet the fastening schedule as per Table 2505.2 of the City's Building Code. (The BOCA National Building Code/1996).
- 27. Ventilation of spaces within a building shall be done in accordance with the City's Mechanical Code (The BOCA National Mechanical Code/1993).
- 28. Please read and implement the attached Land Use-Zoning report requirements.
- 29. The proposed second floor joists must be a minimum of 2x8 @ 16" OC.
- 30. This permit is being issued with the understanding that the foundation is 8" Frost wall with Easting.
- 31. Fbe
- 32. \_\_\_\_\_

  
 P. Samuel Hoffman, Code Enforcement  
 cc: Lt. McDougall, PFD  
 Marge Schumackal

$2 \times 8 \times 16 \times 12 =$   
 $1.33 \times 12 \times 42 = 670.32 \text{ ft}^2$   
 931

Applicant: Robert McTigue

Date: 2/2/88

Address: 97 Bracket Ave, P.I

C-B-L: 87-LL-009

CHECK-LIST AGAINST ZONING ORDINANCE

Date - Existing - 1900 - 2 unit ok -  
Appealed & allowed 1/20/82

Zone Location - IF-2

Interior or corner lot -

Proposed Use/Work - bldg Addition ① 1st floor - 22' x 12' - Not exceeding existing footprint  
② 2nd floor - 30' x 12'

→ Sewage Disposal - ON City Sewer

Lot Street Frontage - 100' deep - 105' show

Front Yard - N/A

Rear Yard - 25' - 50' shown

Side Yard - 20' - 50' shown for Deck (other side not impacted)  
2nd floor → 50' in rear - 50' on one side ~ 3' from existing roof line then 6' to lot line.

Projections -

Width of Lot -

Height -

Lot Area - 20,000 sq ft 14,175 sq ft

Lot Coverage/ Impervious Surface -

Area per Family -

14-436 ~~2/1~~ for bldgs lawfully now conforming  
AS to Land use per dwelling unit as of  
July 19, 1988. No more than 50% of the  
1st floor footprint

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning/ Stream Protection -

Flood Plains -

Existing 14 x 12 = 528 ÷ 2 = 264  
30 x 12 = 360 → 264

Does not apply - This is not impacting the upper most floor - There is a third floor existing

Existing 3rd Fl

Loft to Building

Rubber Roof

2x8 Plywood Decking

2x8 Rafter 16' OC

2nd Fl.

Existing 2nd Fl

Proposed  
Partition

12' 5 1/2"

Existing 1st Fl

1st Fl

2x8 Plywood Siding

2x8 Fl Joist 16' OC

Base Mount

Existing 8" Frost Wall

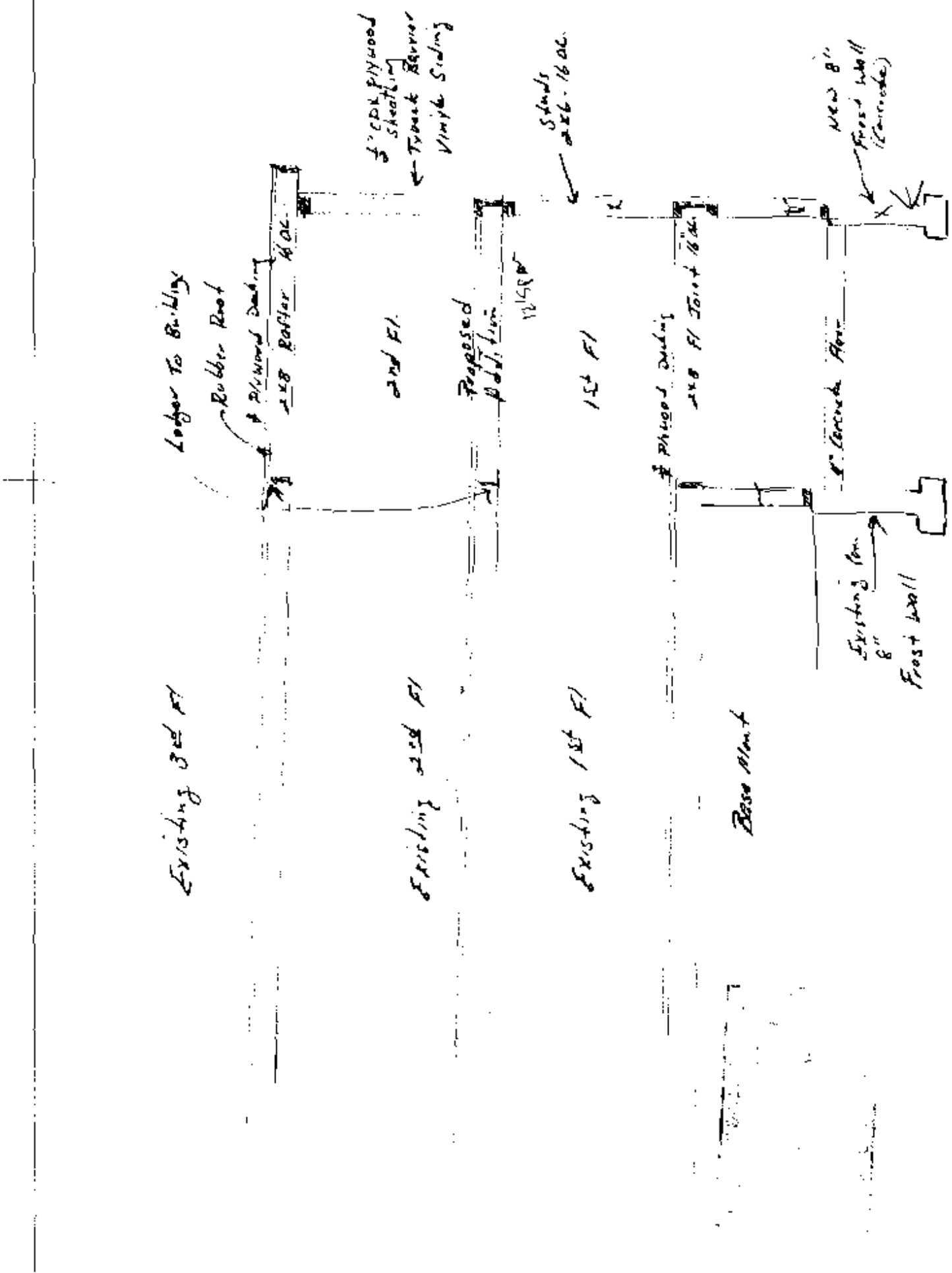
Frost Wall

8" Concrete Floor

New 8" Frost Wall (Concrete)

Studs 2x6 - 16' OC

5/8" CDX Plywood Sheathing  
← Truss Barrier  
Vinyl Siding



17-22-9

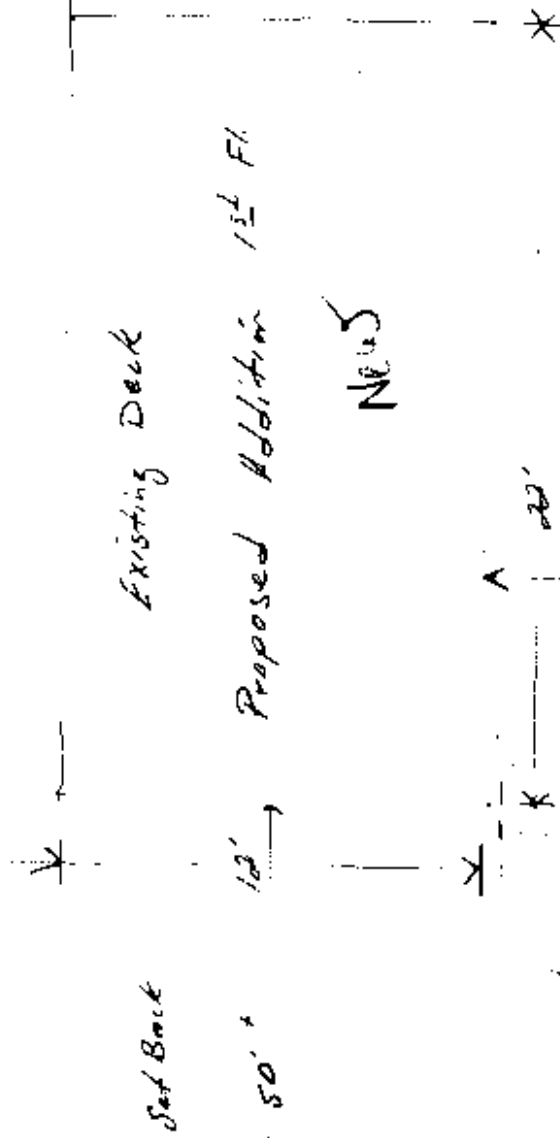
X

Covered  
Porch

22'

Existing House  
1st Fl

Rear  
Entry



Set Back

50'

Existing Deck

12' Proposed Addition 1st Fl

NEWS

20'

X

X

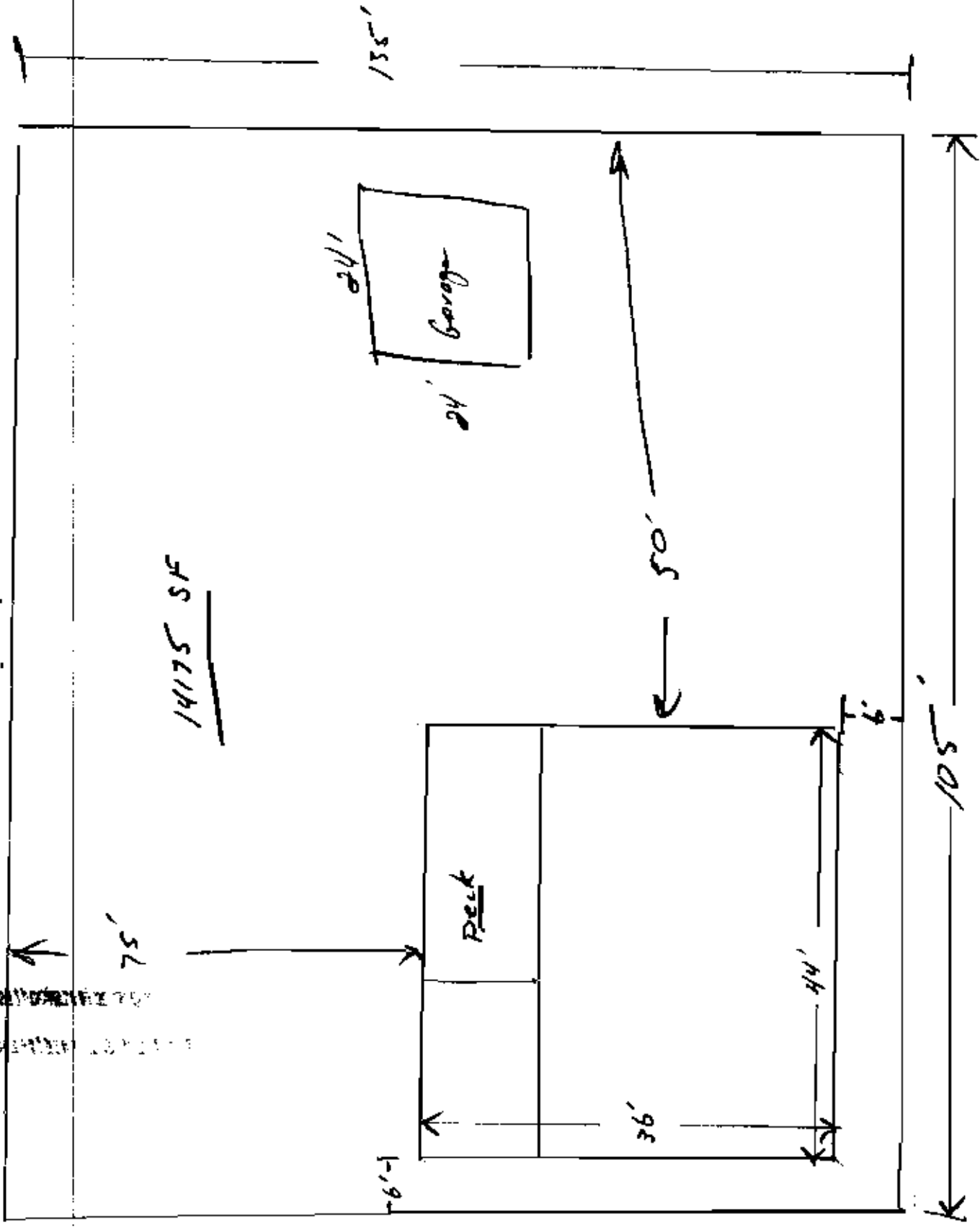
14'

6'

X

50' + ? Shows 75' on plot plan

87-44-9

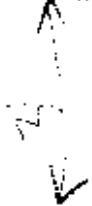


97 Brackett Ave Pecks MS.

87-26-9

wyd 10' d vod  
50' ←  
per plot plan

1st Fl.  
Roof



~~44 x 12 = 528 - 50% = 264'~~

360'

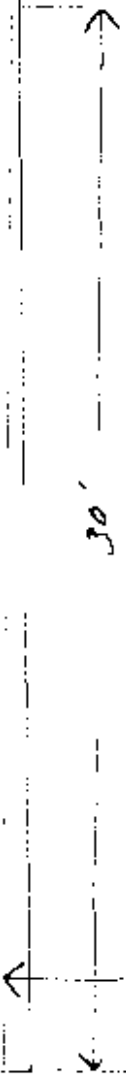
12 x 30 =

lawfully permanent  
for building  
NS-10 land  
per city rules

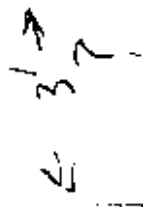


1st Fl.  
Roof

Existing 2nd Fl.  
30'



1st Fl.  
Roof



Proposed 2nd Fl. Addition

12'

Existing 1st Fl.  
Roof





6-77-29

8' Plywood Decking

2x8 Floor Joist 16" oc.

Double 2x6  
Plates

2x10 Header

2x6 Wall Studs  
16" oc.

2x6 Plate

