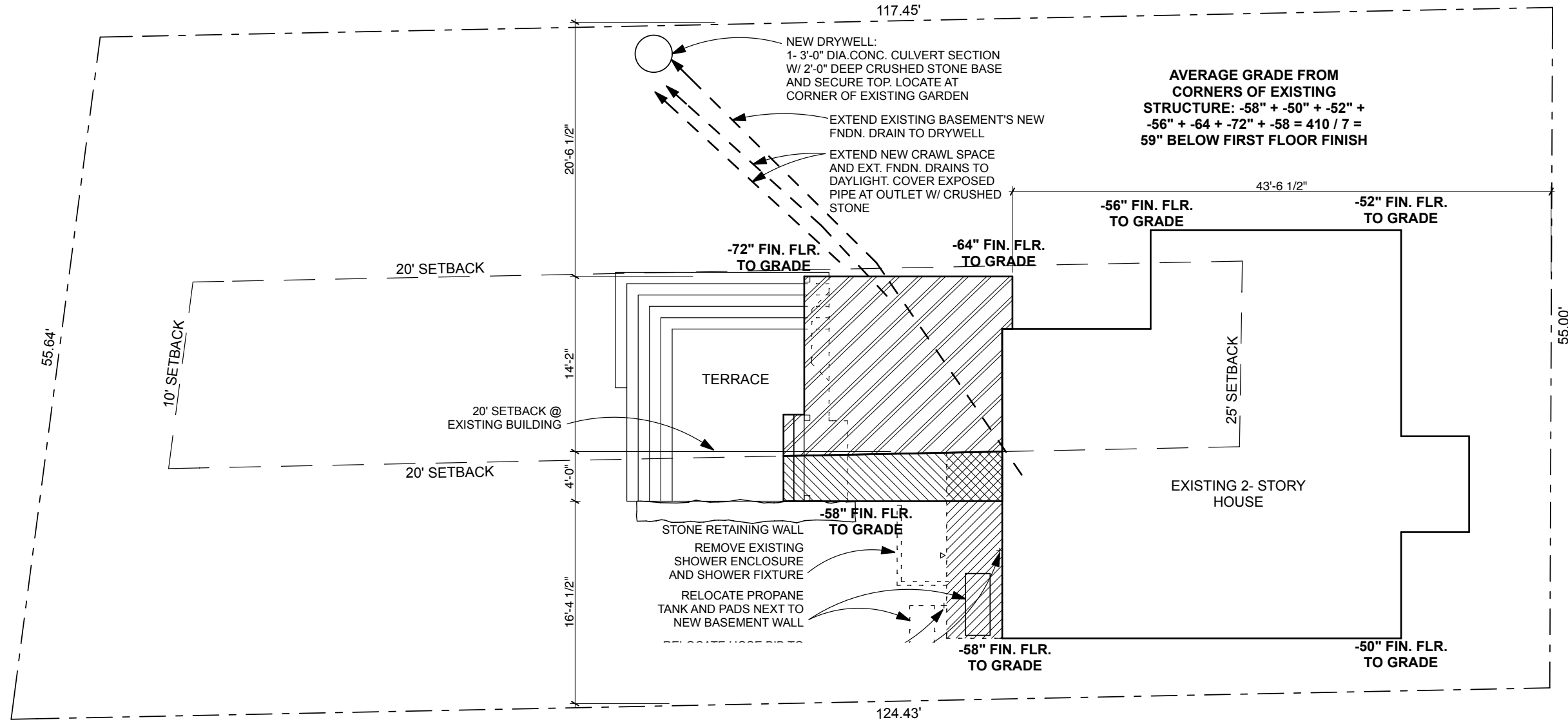


1

Site Plan

SCALE: 1" = 10'



ALLOWABLE LOT COVERAGE:

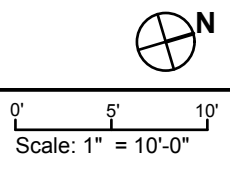
6,649 sq.ft.	AREA OF LOT
1,330 sq.ft.	ALLOWABLE COVERAGE- 20%
1,091 sq.ft.	CURRENT COVERAGE
239 sq.ft.	REMAINING COVERAGE ALLOWED
68 sq.ft.	EXISTING NON-CONFORMING 1-STORY BATH, PORCH AND STAIR TO BE REMOVED
307 sq.ft.	TOTAL CONFORMING AND NON-CONFORMING COVERAGE ALLOWED

PROPOSED LOT COVERAGE:

238 sq.ft.	NEW CONFORMING 2- STORY ADDITION.
68 sq.ft.	NEW IMPROVED NON-CONFORMING 1- STORY ADDITION
306 sq.ft.	TOTAL ADDITION PROPOSED

KEY:

- EXISTING NON-CONFORMING 1- STORY BATH, PORCH AND STAIR TO BE REMOVED
- NEW IMPROVED NON-CONFORMING 1- STORY ADDITION
- OVERLAP OF EXISTING NON-CONFORMING TO BE REMOVED AND NEW IMPROVED NON-CONFORMING 1-STORY ADDITION
- NEW CONFORMING 2- STORY ADDITION



PERMIT SET

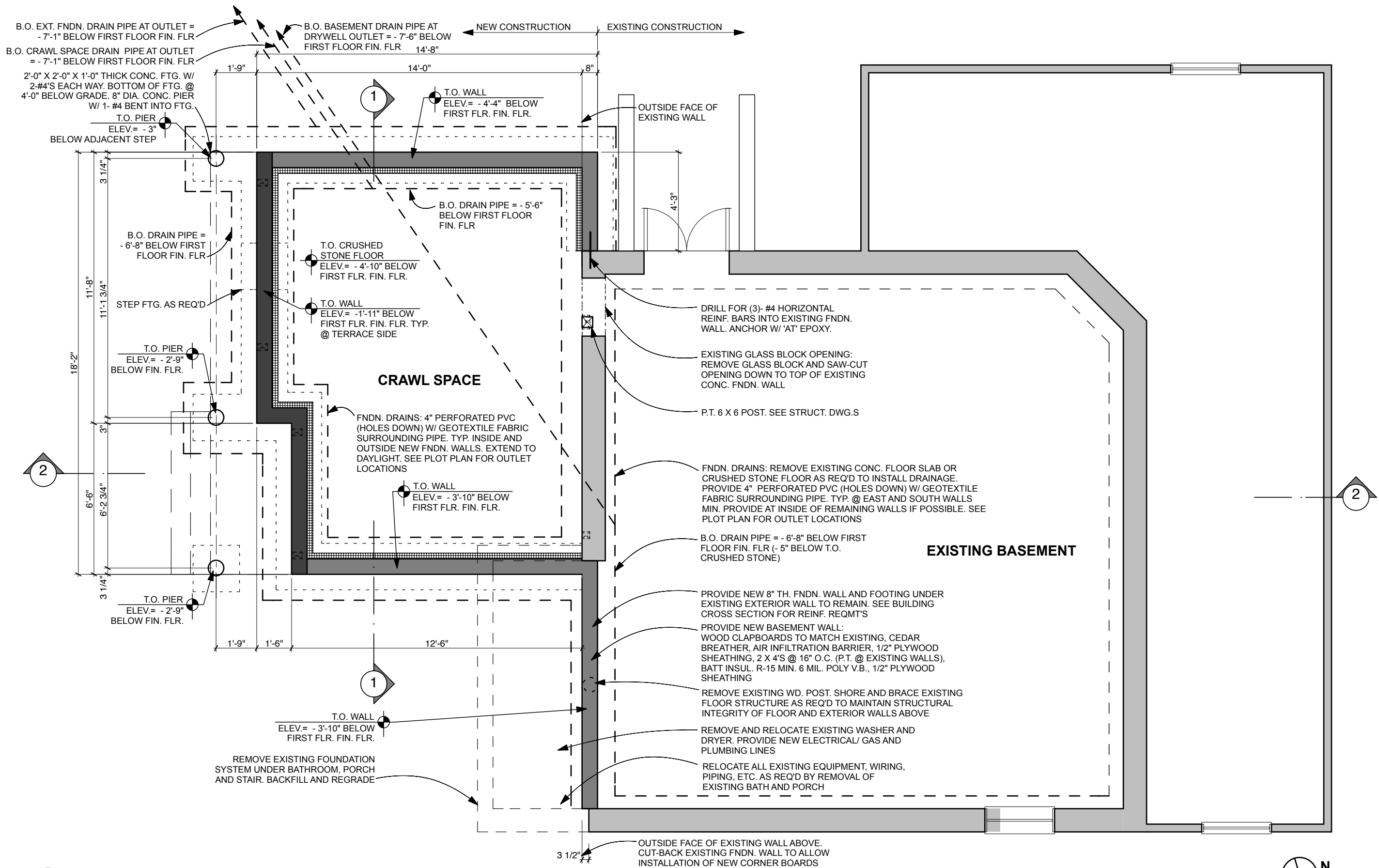
Site Plan

SP-100

WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

SCALE: VARIES - AS NOTED
DATE: 8/16/11

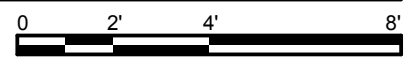
WINKELMAN ARCHITECTURE
41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998



1

Foundation Plan

SCALE: 1/4" = 1'-0"



PERMIT SET

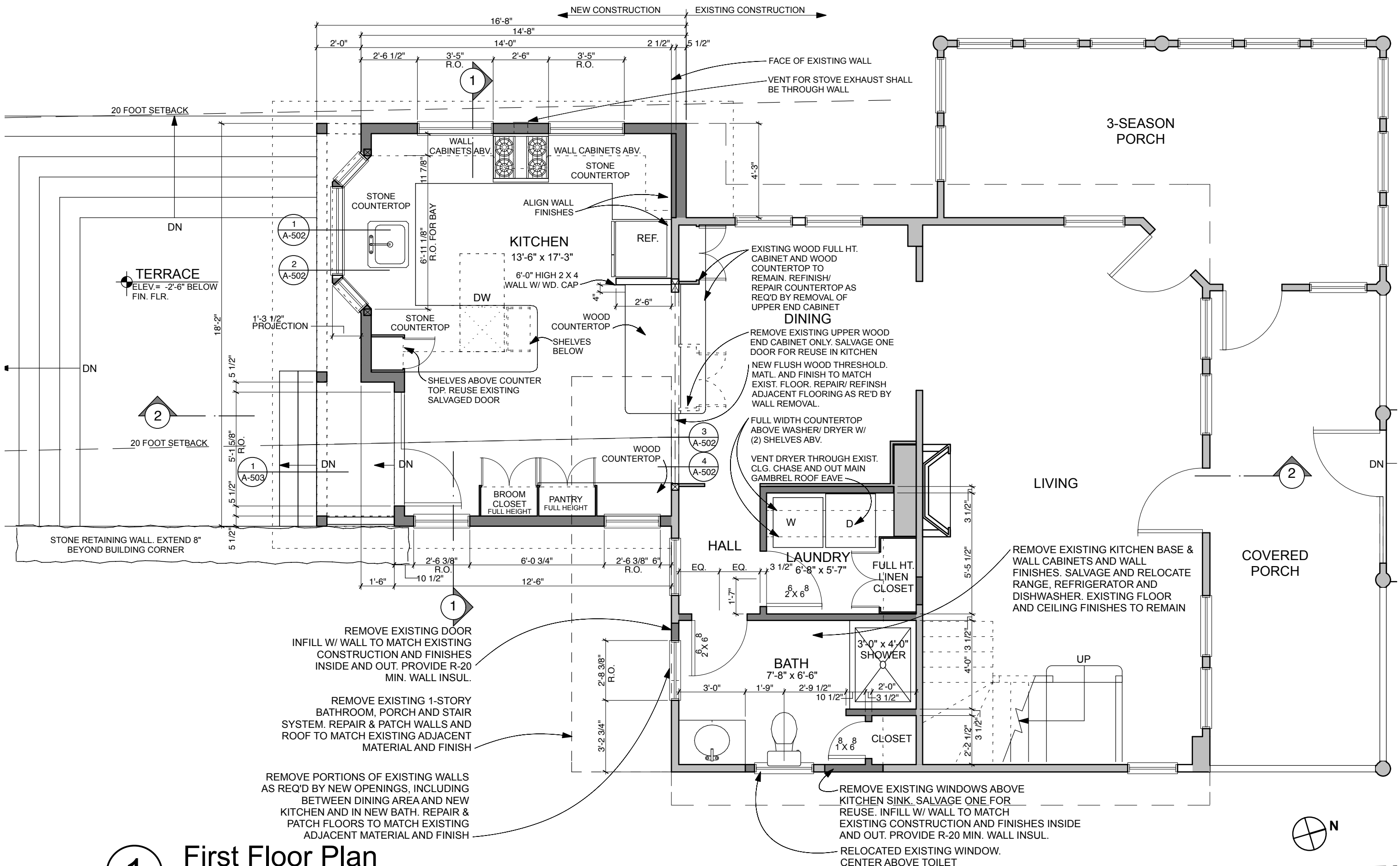
Foundation Plan

F-100

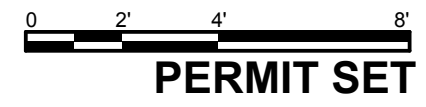
WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

SCALE: VARIES - AS NOTED
DATE: 8/16/11

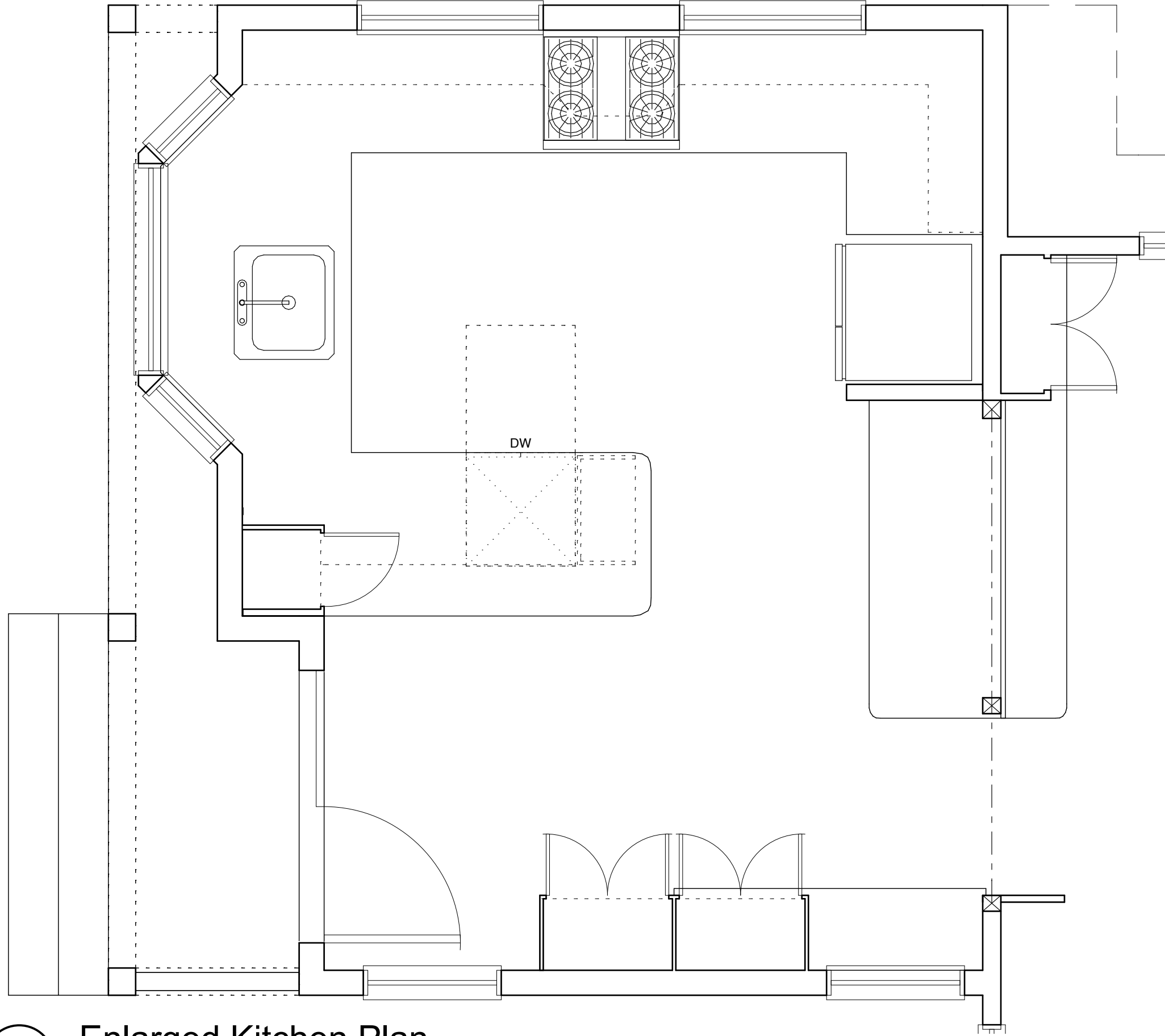
WINKELMAN ARCHITECTURE
41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998



1 First Floor Plan
 SCALE: 1/4" = 1'-0"



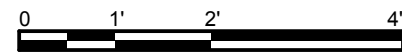
WINKELMAN ARCHITECTURE
 41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
 PH: 207.699.2998
 SCALE: VARIES - AS NOTED
 DATE: 8/16/11
 WILLOW STREET ADDITION
 47 WILLOW STREET
 PEAKS ISLAND, MAINE
A-101



1

Enlarged Kitchen Plan

SCALE: 1/2" = 1'-0"



PERMIT SET

A-102

Enlarged Kitchen Plan

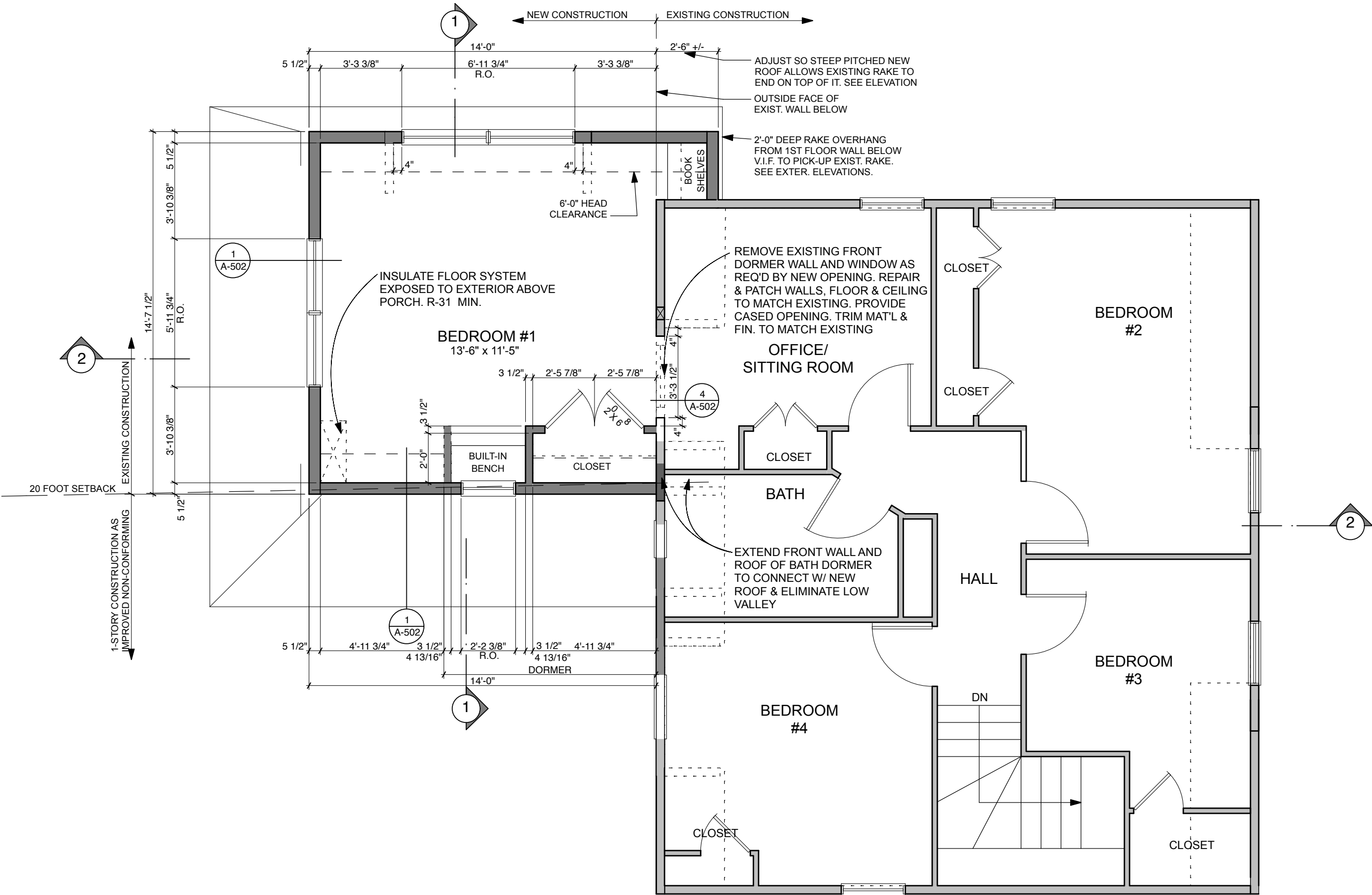
WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

SCALE: VARIES - AS NOTED

DATE: 8/16/11

WINKELMAN ARCHITECTURE

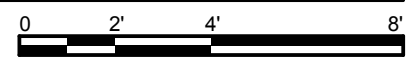
41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998



1

Second Floor Plan

SCALE: 1/4" = 1'-0"



PERMIT SET

Second Floor Plan

WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

A-103

WINKELMAN ARCHITECTURE

SCALE: VARIES - AS NOTED
DATE: 8/16/11

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998

1



Roof Plan

PERMIT SET

A-104

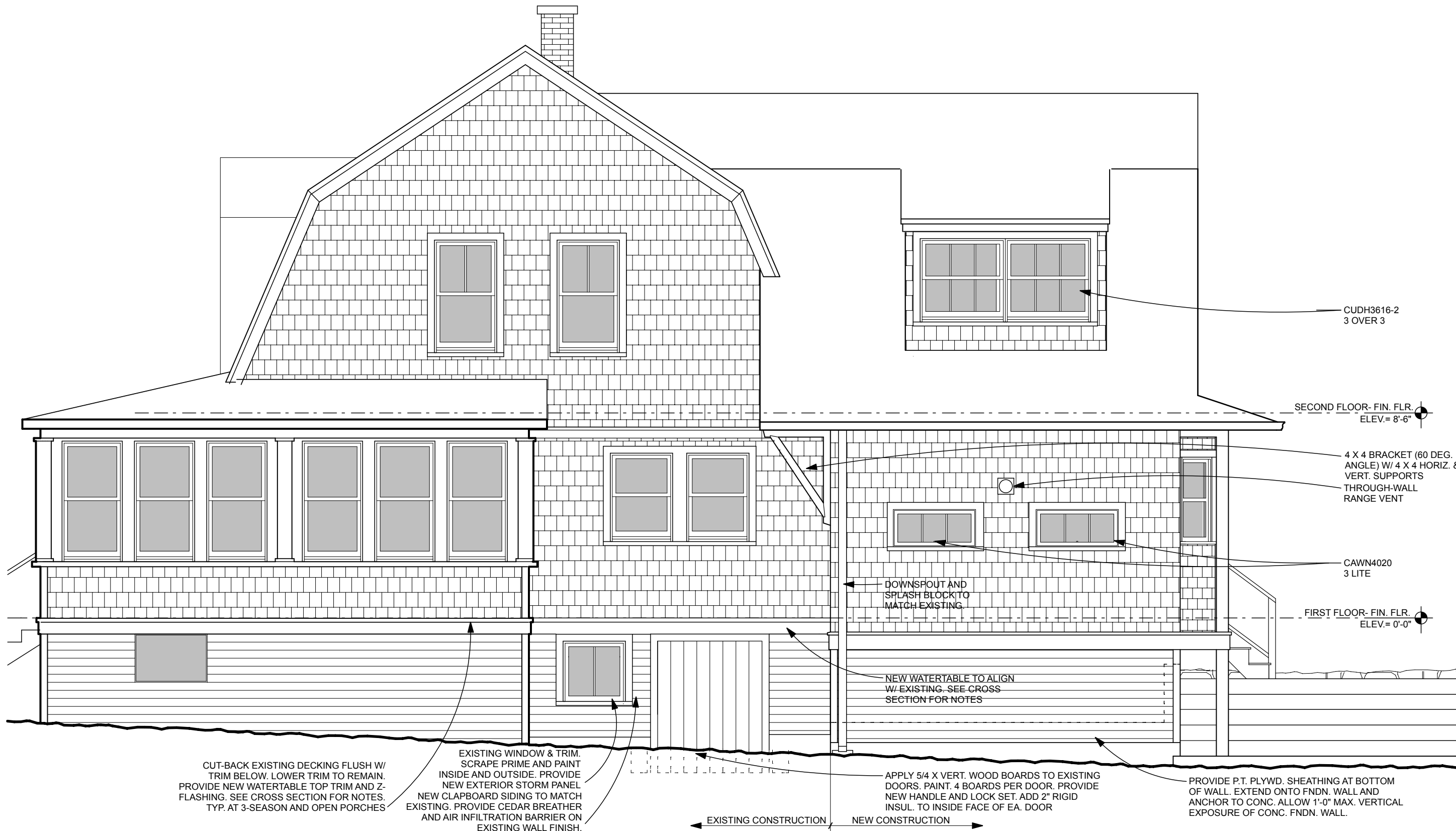
Roof Plan

WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

SCALE: VARIES - AS NOTED
DATE: 8/16/11

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998



CUT-BACK EXISTING DECKING FLUSH W/ TRIM BELOW. LOWER TRIM TO REMAIN. PROVIDE NEW WATERTABLE TOP TRIM AND Z-FLASHING. SEE CROSS SECTION FOR NOTES. TYP. AT 3-SEASON AND OPEN PORCHES

EXISTING WINDOW & TRIM. SCRAPE PRIME AND PAINT INSIDE AND OUTSIDE. PROVIDE NEW EXTERIOR STORM PANEL. NEW CLAPBOARD SIDING TO MATCH EXISTING. PROVIDE CEDAR BREATHER AND AIR INFILTRATION BARRIER ON EXISTING WALL FINISH.

APPLY 5/4 X VERT. WOOD BOARDS TO EXISTING DOORS. PAINT. 4 BOARDS PER DOOR. PROVIDE NEW HANDLE AND LOCK SET. ADD 2" RIGID INSUL. TO INSIDE FACE OF EA. DOOR

PROVIDE P.T. PLYWD. SHEATHING AT BOTTOM OF WALL. EXTEND ONTO FNDN. WALL AND ANCHOR TO CONC. ALLOW 1'-0" MAX. VERTICAL EXPOSURE OF CONC. FNDN. WALL.

CUDH3616-2
3 OVER 3

SECOND FLOOR-FIN. FLR.
ELEV.= 8'-6"

4 X 4 BRACKET (60 DEG. ANGLE) W/ 4 X 4 HORIZ. & VERT. SUPPORTS THROUGH-WALL RANGE VENT

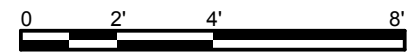
CAWN4020
3 LITE

FIRST FLOOR-FIN. FLR.
ELEV.= 0'-0"

DOWNSPOUT AND SPLASH BLOCK TO MATCH EXISTING.

NEW WATERTABLE TO ALIGN W/ EXISTING. SEE CROSS SECTION FOR NOTES

← EXISTING CONSTRUCTION NEW CONSTRUCTION →



1

West Elevation

SCALE: 1/4" = 1'-0"

PERMIT SET

West Elevation

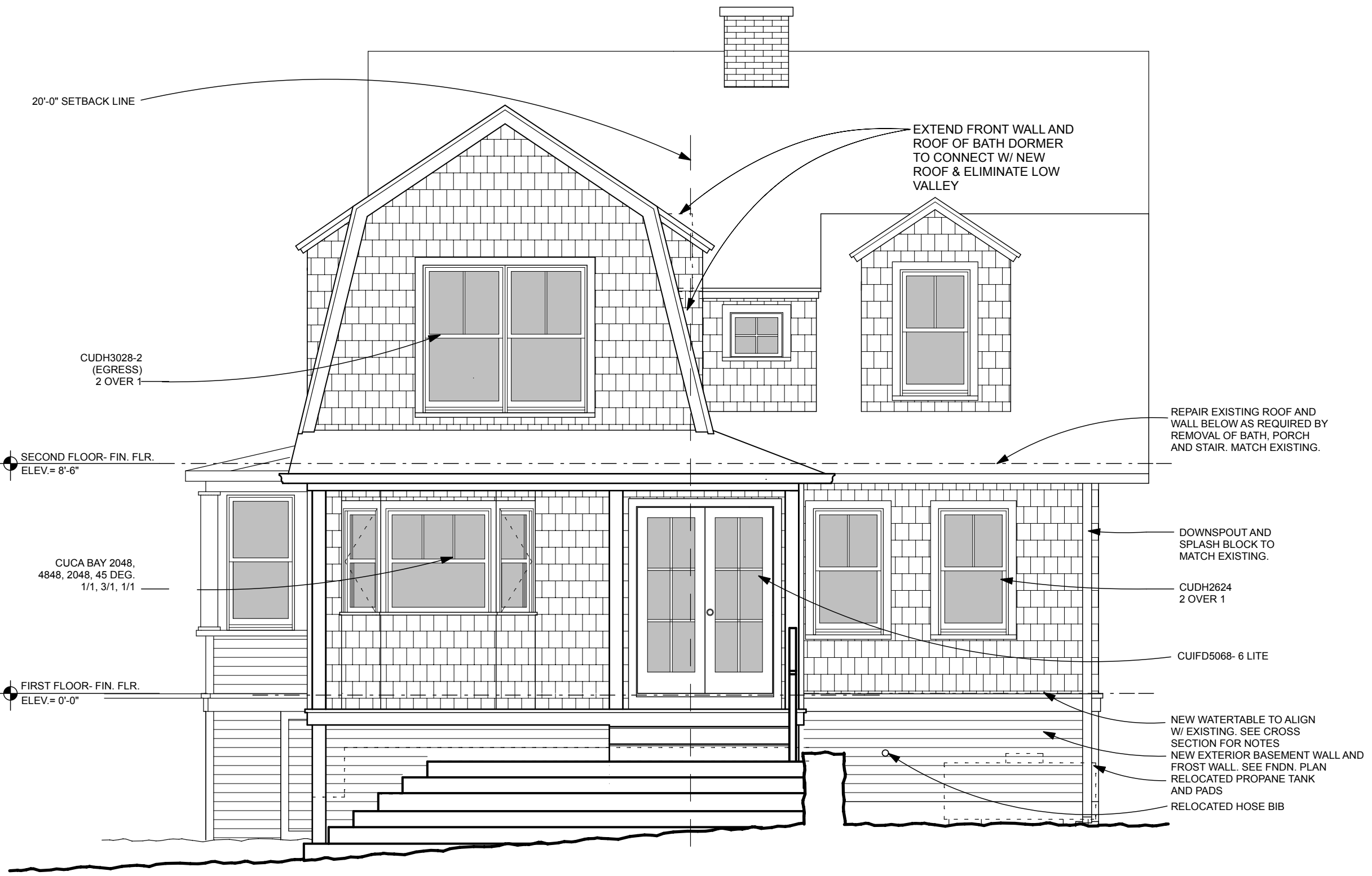
WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

A-200

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998

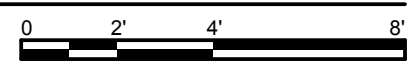
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DATE: 8/16/11



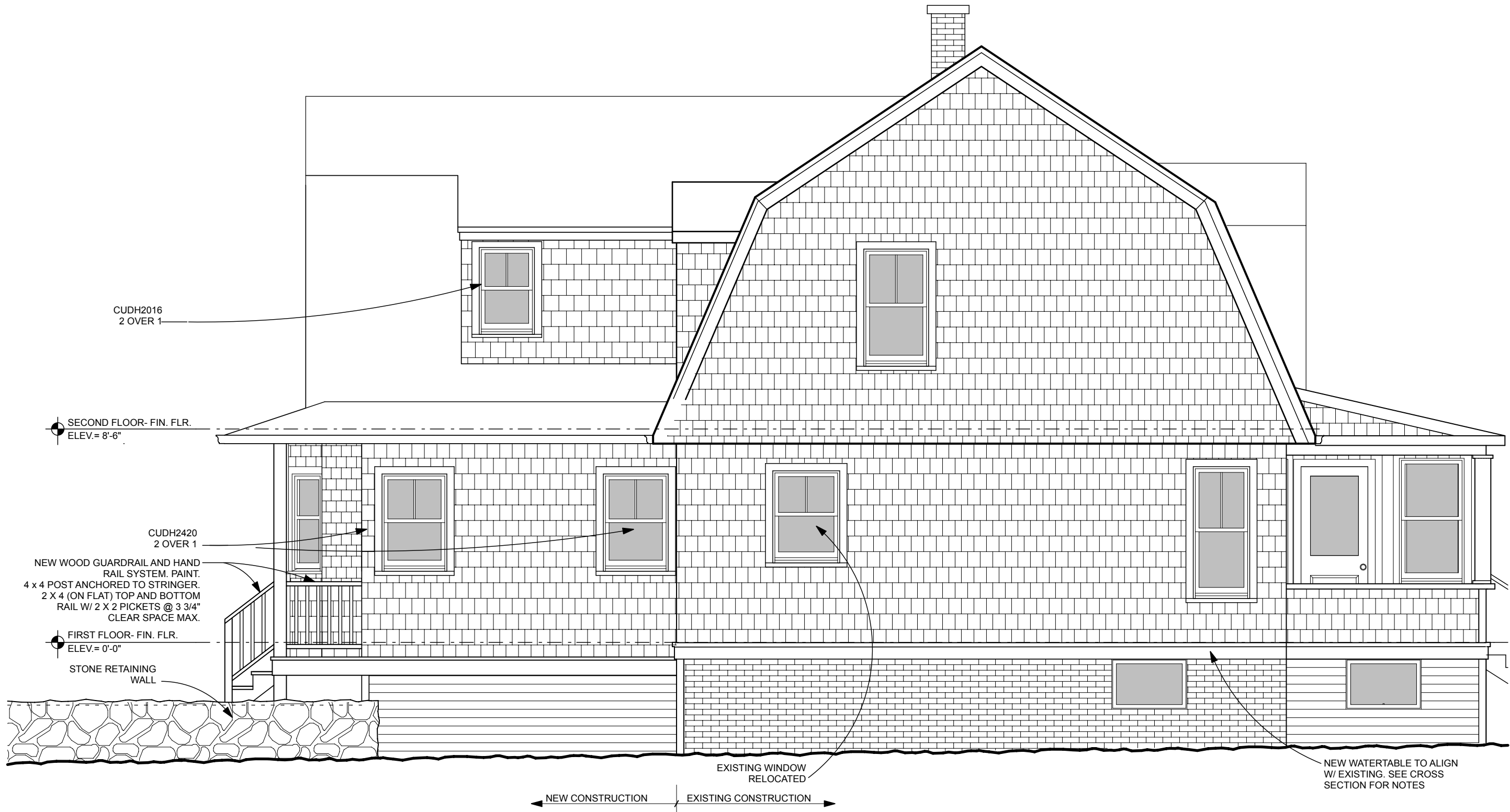
1

South Elevation

SCALE: 1/4" = 1'-0"

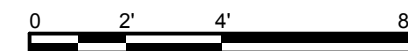


PERMIT SET



1 East Elevation

SCALE: 1/4" = 1'-0"



PERMIT SET

East Elevation

WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998

SCALE: VARIES - AS NOTED
DATE: 8/16/11

A-202



3 Southwest Corner
SCALE: 1:7.96



1 Northwest Corner



4 Southeast Corner
SCALE: 1:7.96

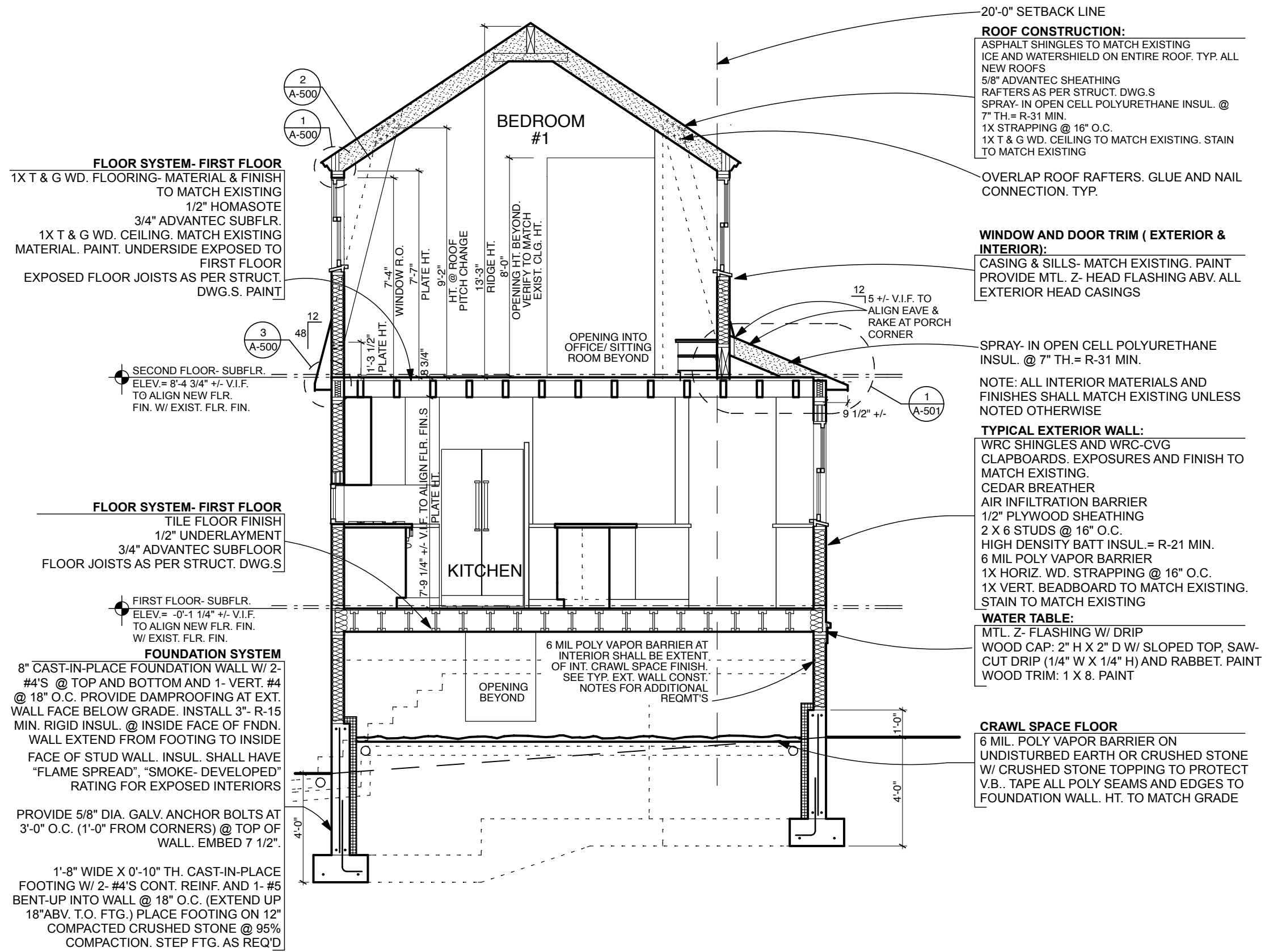


2 Northeast Corner
SCALE: 1:7.96

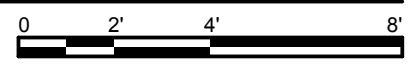
WINDOW & EXTERIOR DOOR SCHEDULE								
Location	Manuf. #	Unit Type	R.O. (Width x Height)	Header Height-Abv. Subfir.(u.n.o.)	Mulling	Lite Pattern	Hinge Side from Exterior	Remarks
Master Bedroom- West Elev.	CUDH3616-2	Double Hung	6'-11 3/4" x 3'-4 7/8"	7'-4"	2W x 1H	3 over 3		
Kitchen- West Elev.	CUAWN4020	Awning	3'-5" x 1'-7 5/8"	4'-6 3/4" +/- V.I.F. to provide countertop as sill	N/A	3		Provide Tempered glass
MasterBedroom- South Elev.	CUDH3028-2	Double Hung	5'-11 3/4" X 5'-4 7/8"	7'-4"	2W x 1H			Egress units
Kitchen- South Elev.	CUCABB 2048, 4848, 2048, 45 DEG.	Casement Bay- Center picture window	6'-11" x 4'-1"	6'-10 1/2" +/- V.I.F. to provide countertop as sill	3W X 1H	1 over 1, 3 over 1, 1 over 1	LEFT, PICTURE, RIGHT	Projection of Bay= 15 1/2". Provide Tempered glass. Provide horizontal check rail @ mid ht. Typ. of 3
Kitchen- South Elev.	CUIFD5068	Inswing French Door	5'-1 5/8" x 6'-10 1/2"	6'-10 1/2"		6		Provide sliding screen door
Bath- South Elev.	CUDH2624	Double Hung	2'-8 3/8" X 4'-8 7/8"	Align with existing adjacent head ht.		2 over 1		
Master Bedroom- East Elev.	CUDH2016	Double Hung	2'-2 3/8" X 3'-4 7/8"	7'-4"	N/A	4 over 1		
Kitchen- East Elev.	CUDH2420	Double Hung	2'-6 3/8" X 4'-0 7/8"	6'-10 1/2" +/- V.I.F. to provide countertop as sill	N/A	2 over 1		
Bath- East Elev.	Existing Kitchen Window Relocated	Double Hung		Match existing head ht.				

General Notes:

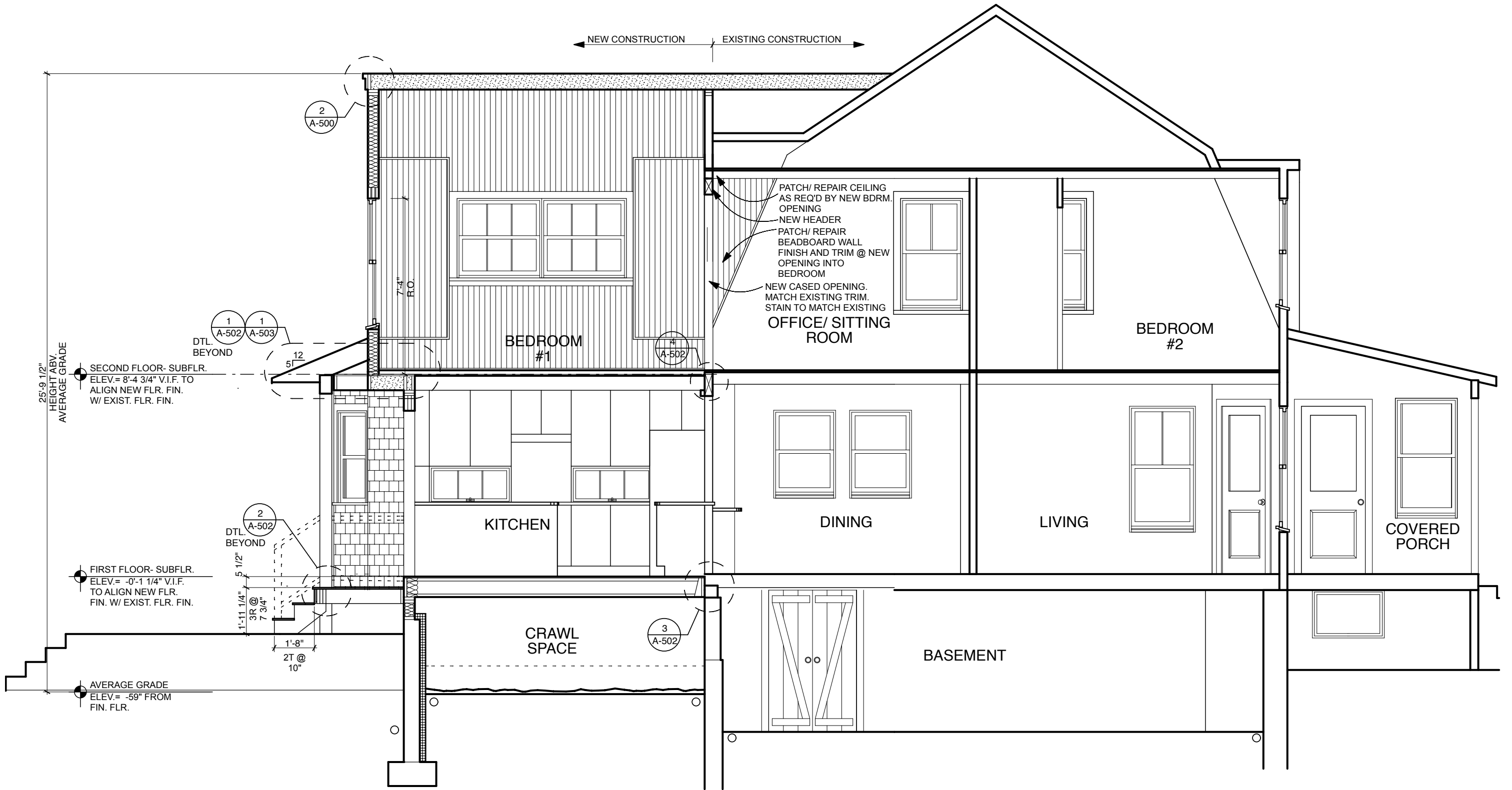
1. Provide Marvin clad ultimate double hung, awning and casement windows and inswing french doors with argon filled, low-e, insulated (3/4" for operable units and 1" for picture units- u-factor for both = 0.25) glass. Preprime all wood components. Provide 7/8" wide SDL w/ spacer bars as shown on elevations. Provide horizontal check rail as specified in the window schedule
2. Provide extension horns at windows (inside and outside) to create a flush condition at the outside face of jamb trim.
3. G.C. to provide historic wood sill at all windows.
4. Provide 1/2 height screens at all double hung windows and full screens at all operable awning and casement windows.



1 **Cross Section**
 SCALE: 1/4" = 1'-0"



PERMIT SET



1

BUILDING SECTION

SCALE: 1/4" = 1'-0"



PERMIT SET

Longitudinal Section

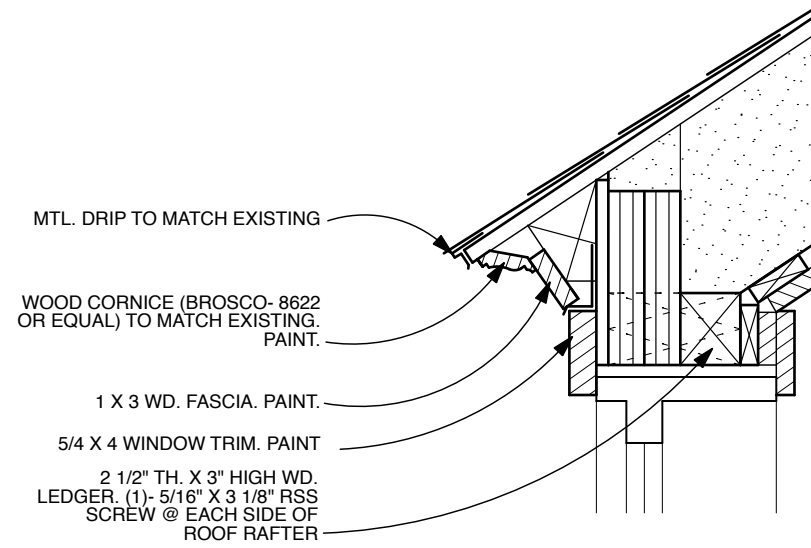
WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

A-302

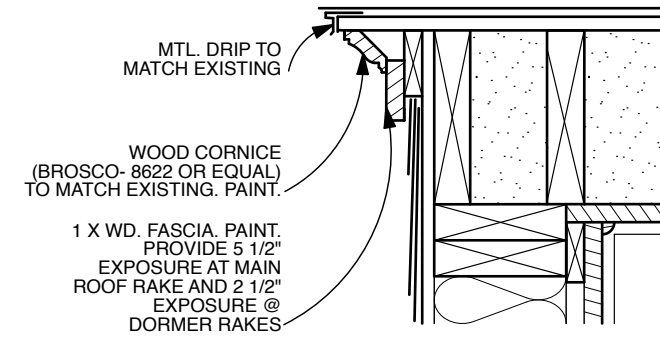
WINKELMAN ARCHITECTURE

SCALE: VARIES - AS NOTED
DATE: 8/16/11

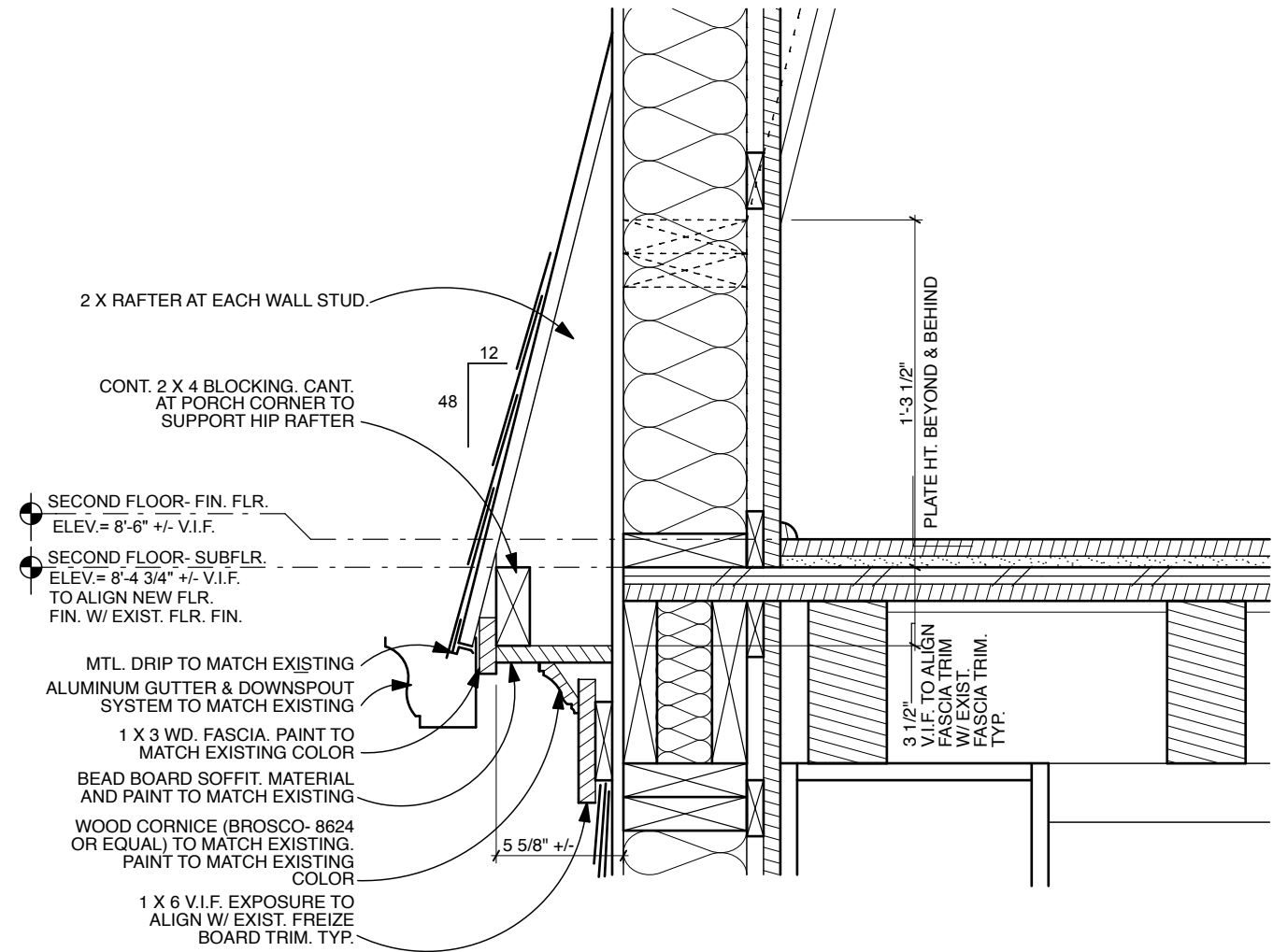
41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998



1 SECTION DETAIL
SCALE: 1 1/2" = 1'-0"

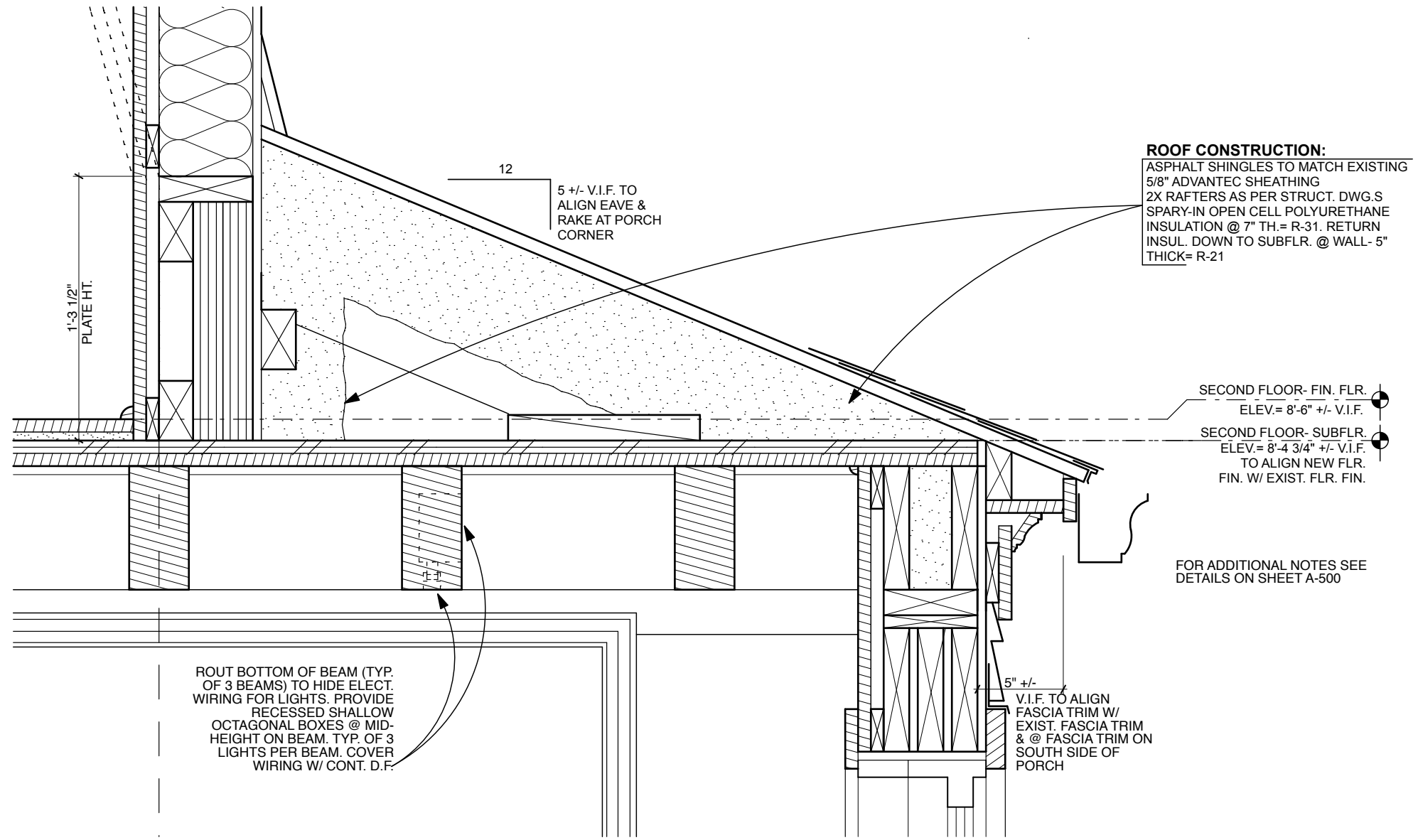


2 SECTION DETAIL
SCALE: 1 1/2" = 1'-0"



3 SECTION DETAIL
SCALE: 1 1/2" = 1'-0"

PERMIT SET



ROOF CONSTRUCTION:
 ASPHALT SHINGLES TO MATCH EXISTING
 5/8" ADVANTEC SHEATHING
 2X RAFTERS AS PER STRUCT. DWG.S
 SPARY-IN OPEN CELL POLYURETHANE
 INSULATION @ 7" TH.= R-31. RETURN
 INSUL. DOWN TO SUBFLR. @ WALL- 5"
 THICK= R-21

SECOND FLOOR- FIN. FLR.
 ELEV.= 8'-6" +/- V.I.F.
 SECOND FLOOR- SUBFLR.
 ELEV.= 8'-4 3/4" +/- V.I.F.
 TO ALIGN NEW FLR.
 FIN. W/ EXIST. FLR. FIN.

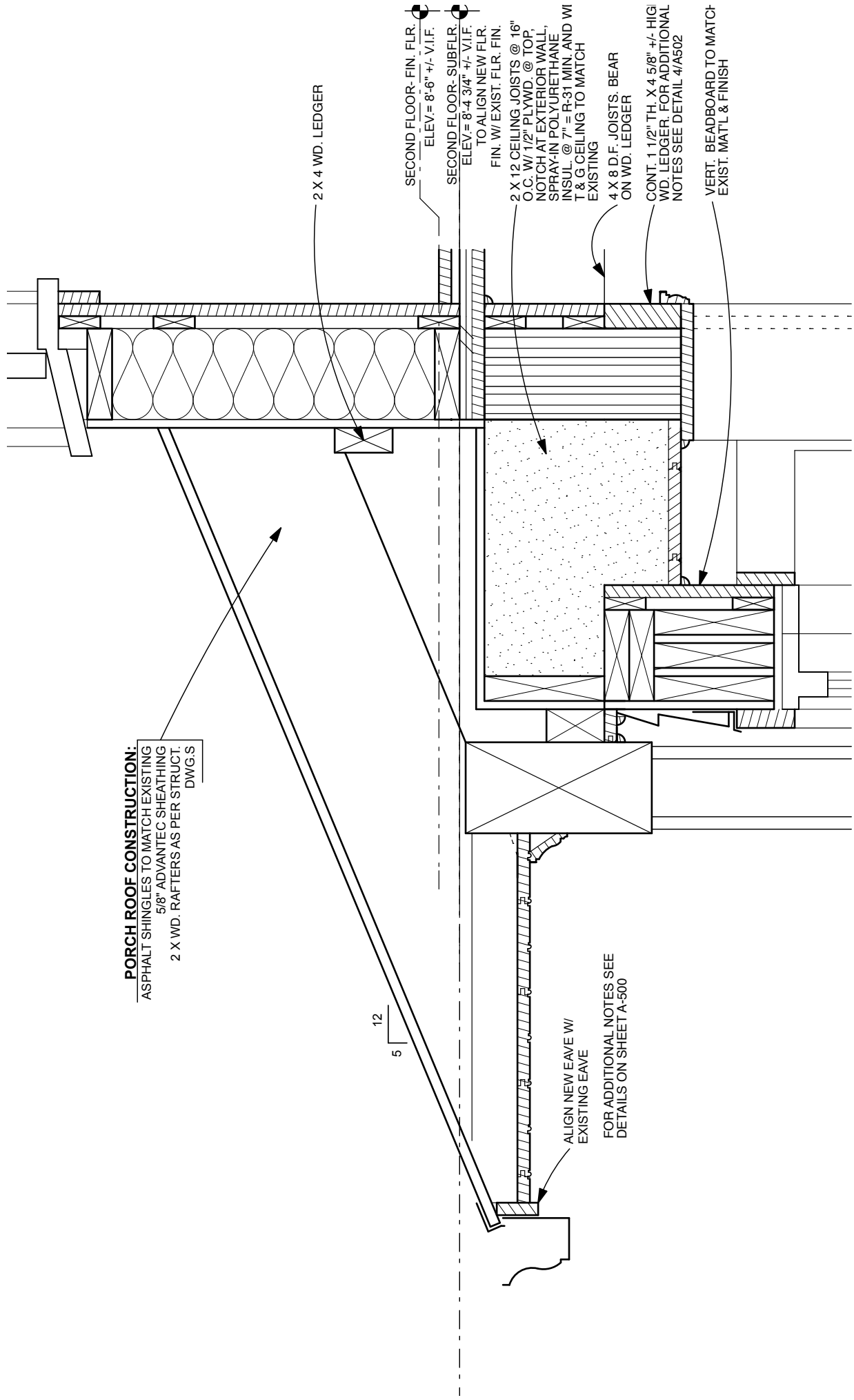
FOR ADDITIONAL NOTES SEE
 DETAILS ON SHEET A-500

ROUT BOTTOM OF BEAM (TYP.
 OF 3 BEAMS) TO HIDE ELECT.
 WIRING FOR LIGHTS. PROVIDE
 RECESSED SHALLOW
 OCTAGONAL BOXES @ MID-
 HEIGHT ON BEAM. TYP. OF 3
 LIGHTS PER BEAM. COVER
 WIRING W/ CONT. D.F.

5 +/- V.I.F. TO
 ALIGN EAVE &
 RAKE AT PORCH
 CORNER

5" +/-
 V.I.F. TO ALIGN
 FASCIA TRIM W/
 EXIST. FASCIA TRIM
 & @ FASCIA TRIM ON
 SOUTH SIDE OF
 PORCH

1 SECTION DETAIL
 SCALE: 1 1/2" = 1'-0"



PORCH ROOF CONSTRUCTION:
 ASPHALT SHINGLES TO MATCH EXISTING
 5/8" ADVANTEC SHEATHING
 2 X WD. RAFTERS AS PER STRUCT.
 DWG.S

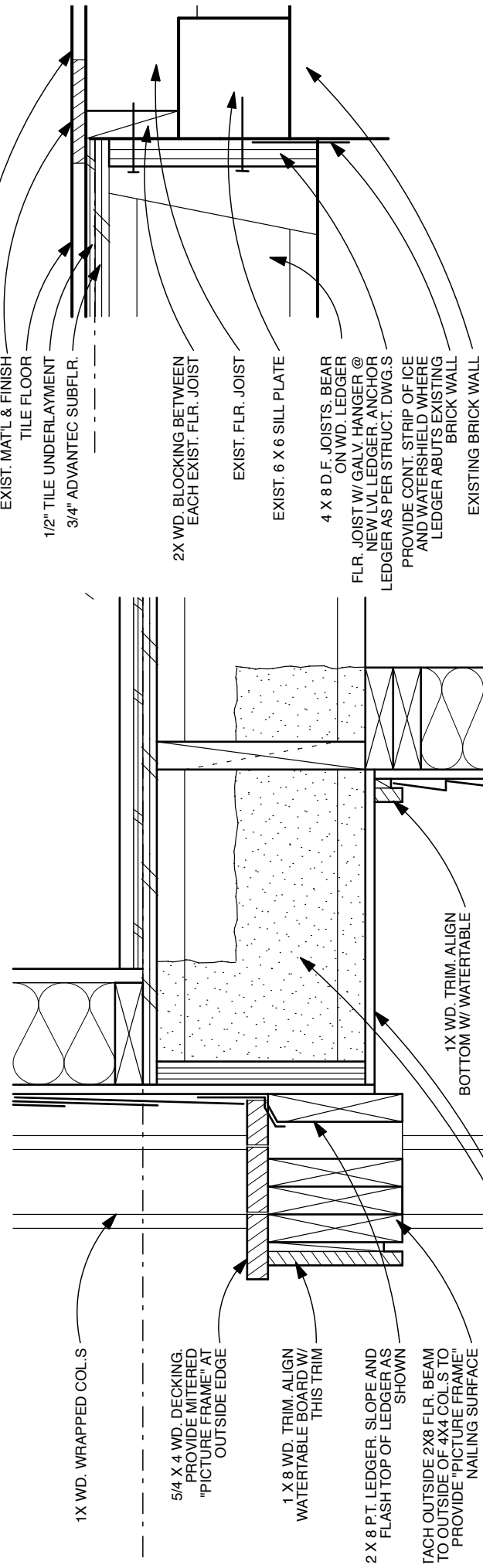
12
5

ALIGN NEW EAVE W/
 EXISTING EAVE
 FOR ADDITIONAL NOTES SEE
 DETAILS ON SHEET A-500

1 SECTION DETAIL

SCALE: 1 1/2" = 1'-0"

1



BAY FLOOR CANTILEVER:
 SPRAY-IN POLYURETHANE
 INSUL. R-30 MIN.
 1/2" PLYWD. SHEATHING

1X WD. WRAPPED COL.S

5/4 X 4 WD. DECKING.
 PROVIDE MITERED
 "PICTURE FRAME" AT
 OUTSIDE EDGE

1 X 8 WD. TRIM. ALIGN
 WATERTABLE BOARD W/
 THIS TRIM

2 X 8 PT. LEDGER. SLOPE AND
 FLASH TOP OF LEDGER AS
 SHOWN

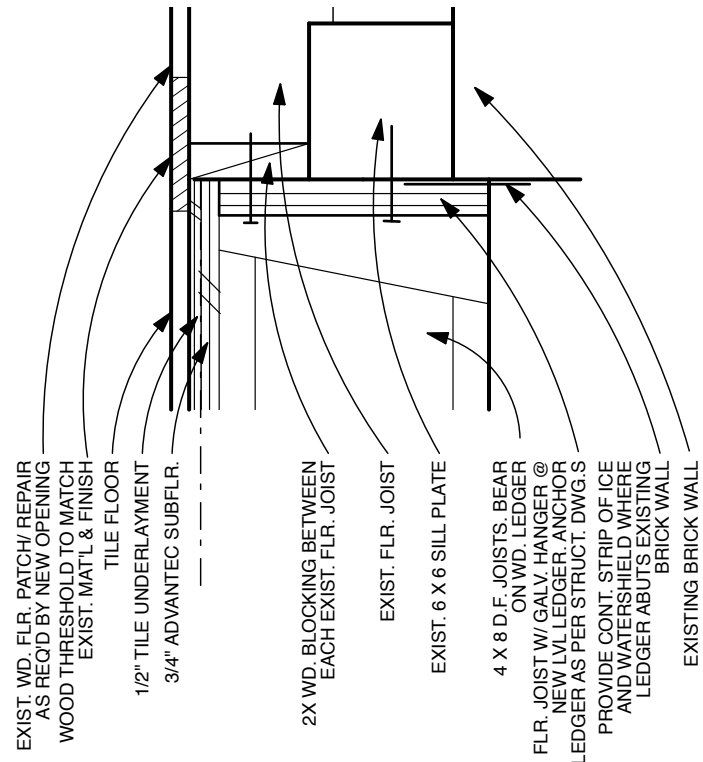
TACH OUTSIDE 2X8 FLR. BEAM
 TO OUTSIDE OF 4X4 COL.S TO
 PROVIDE "PICTURE FRAME"
 NAILING SURFACE

1X WD. TRIM. ALIGN
 BOTTOM W/ WATERTABLE

2 SECTION DETAIL

SCALE: 1 1/2" = 1'-0"

2



EXIST. WD. FLR. PATCH/REPAIR
 AS REQ'D BY NEW OPENING
 WOOD THRESHOLD TO MATCH
 EXIST. MAT'L & FINISH

TILE FLOOR
 1/2" TILE UNDERLAYMENT
 3/4" ADVANTEC SUBFLR.

2X WD. BLOCKING BETWEEN
 EACH EXIST. FLR. JOIST

EXIST. FLR. JOIST

EXIST. 6 X 6 SILL PLATE

4 X 8 D.F. JOISTS. BEAR
 ON WD. LEDGER

FLR. JOIST W/ GALV. HANGER @
 NEW LVL LEDGER. ANCHOR
 LEDGER AS PER STRUCT. DWG.S

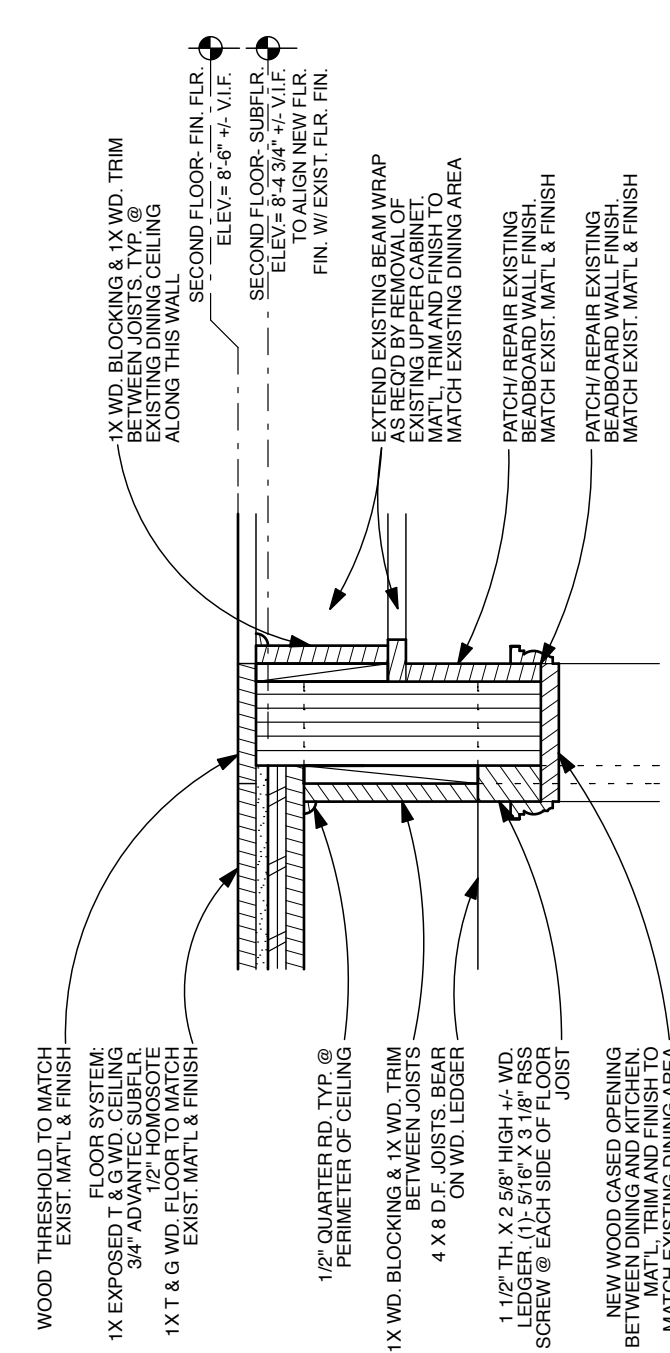
PROVIDE CONT. STRIP OF ICE
 AND WATERSHIELD WHERE
 LEDGER ABUTS EXISTING
 BRICK WALL

EXISTING BRICK WALL

3 SECTION DETAIL

SCALE: 1 1/2" = 1'-0"

3



WOOD THRESHOLD TO MATCH
 EXIST. MAT'L & FINISH

FLOOR SYSTEM:
 1X EXPOSED T & G WD. CEILING
 3/4" ADVANTEC SUBFLR.
 1/2" HOMOSOTE

1X T & G WD. FLOOR TO MATCH
 EXIST. MAT'L & FINISH

1/2" QUARTER RD. TYP. @
 PERIMETER OF CEILING

1X WD. BLOCKING & 1X WD. TRIM
 BETWEEN JOISTS

4 X 8 D.F. JOISTS. BEAR
 ON WD. LEDGER

1 1/2" TH. X 2 5/8" HIGH +/- WD.
 LEDGER. (1)- 5/16" X 3 1/8" RSS
 SCREW @ EACH SIDE OF FLOOR
 JOIST

NEW WOOD CASING OPENING
 BETWEEN DINING AND KITCHEN.
 MAT'L, TRIM AND FINISH TO
 MATCH EXISTING DINING AREA

1X WD. BLOCKING & 1X WD. TRIM
 BETWEEN JOISTS. TYP. @
 EXISTING DINING CEILING
 ALONG THIS WALL

EXTEND EXISTING BEAM WRAP
 AS REQ'D BY REMOVAL OF
 EXISTING UPPER CABINET.
 MAT'L, TRIM AND FINISH TO
 MATCH EXISTING DINING AREA

PATCH/REPAIR EXISTING
 BEADBOARD WALL FINISH.
 MATCH EXIST. MAT'L & FINISH

PATCH/REPAIR EXISTING
 BEADBOARD WALL FINISH.
 MATCH EXIST. MAT'L & FINISH

4 SECTION DETAIL

SCALE: 1 1/2" = 1'-0"

4

PERMIT SET

SECTION DETAIL

WILLOW STREET ADDITION
 47 WILLOW STREET
 PEAKS ISLAND, MAINE

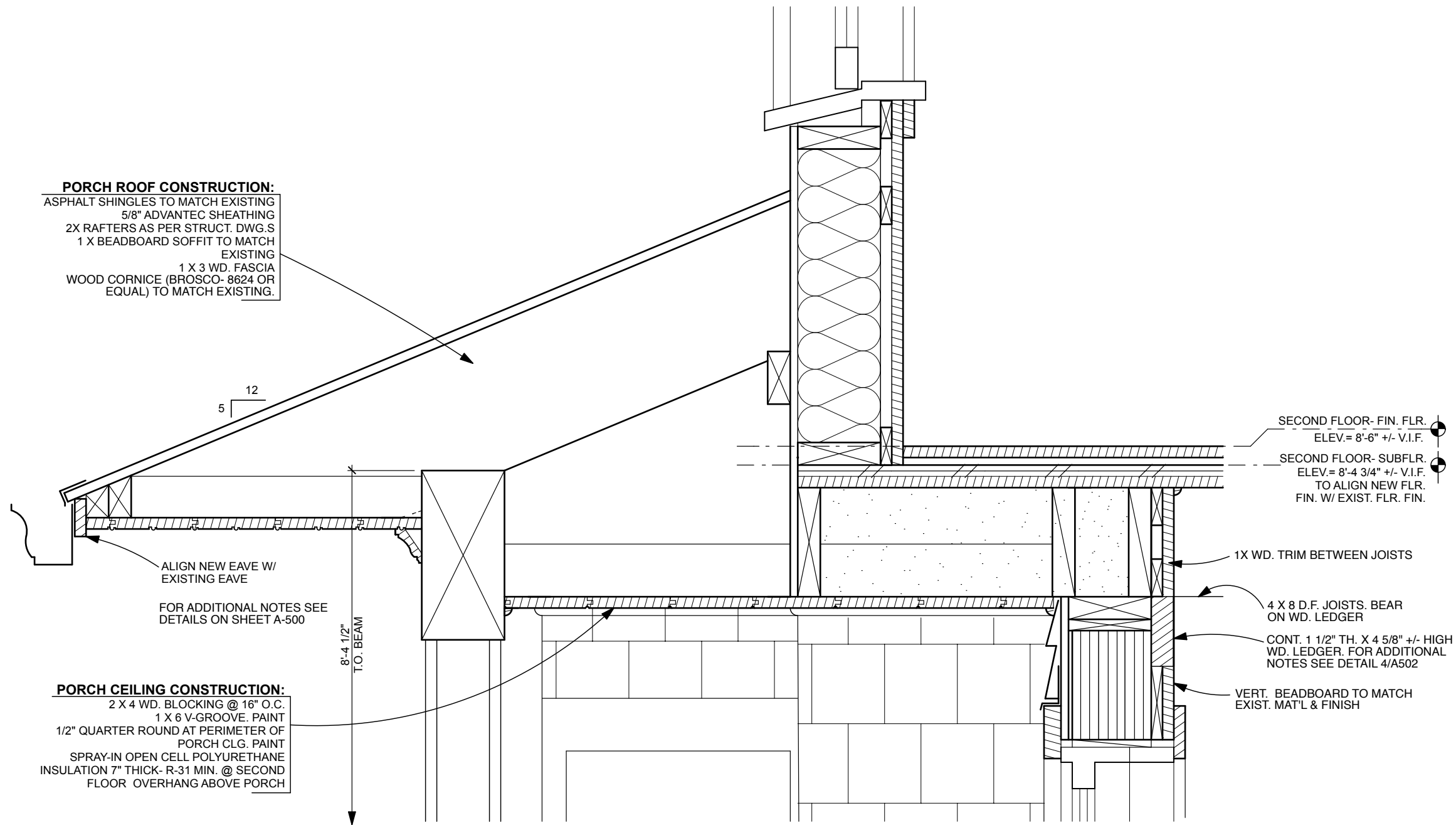
A-502

SCALE: VARIES - AS NOTED

DATE: 8/16/11

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
 PH: 207.699.2998

WINKELMAN ARCHITECTURE



PORCH ROOF CONSTRUCTION:
 ASPHALT SHINGLES TO MATCH EXISTING
 5/8" ADVANTEC SHEATHING
 2X RAFTERS AS PER STRUCT. DWG.S
 1 X BEADBOARD SOFFIT TO MATCH EXISTING
 1 X 3 WD. FASCIA
 WOOD CORNICE (BROSCO- 8624 OR EQUAL) TO MATCH EXISTING.

PORCH CEILING CONSTRUCTION:
 2 X 4 WD. BLOCKING @ 16" O.C.
 1 X 6 V-GROOVE, PAINT
 1/2" QUARTER ROUND AT PERIMETER OF PORCH CLG. PAINT
 SPRAY-IN OPEN CELL POLYURETHANE INSULATION 7" THICK- R-31 MIN. @ SECOND FLOOR OVERHANG ABOVE PORCH

SECOND FLOOR- FIN. FLR.
 ELEV.= 8'-6" +/- V.I.F.
 SECOND FLOOR- SUBFLR.
 ELEV.= 8'-4 3/4" +/- V.I.F.
 TO ALIGN NEW FLR. FIN. W/ EXIST. FLR. FIN.

1X WD. TRIM BETWEEN JOISTS

4 X 8 D.F. JOISTS. BEAR ON WD. LEDGER

CONT. 1 1/2" TH. X 4 5/8" +/- HIGH WD. LEDGER. FOR ADDITIONAL NOTES SEE DETAIL 4/A502

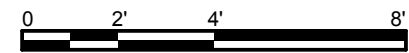
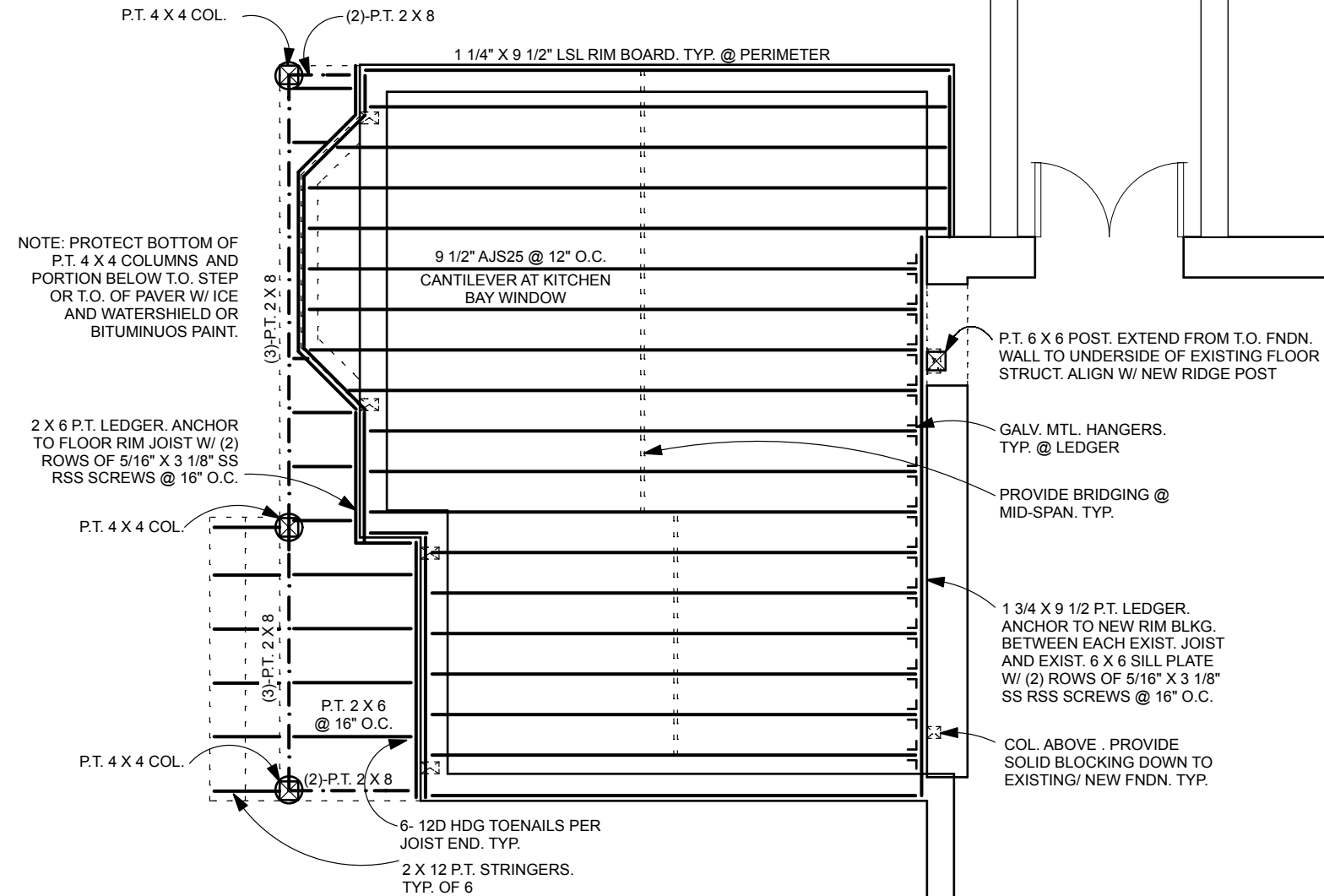
VERT. BEADBOARD TO MATCH EXIST. MAT'L & FINISH

1 SECTION DETAIL
 SCALE: 1 1/2" = 1'-0"

1

First Floor Framing Plan

SCALE: 1/4" = 1'-0"



PERMIT SET

-1. First Floor Framing Plan

WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

WINKELMAN ARCHITECTURE

41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998

SCALE: VARIES - AS NOTED
DATE: 8/16/11

S-100

5 1/4 X 5 1/4 LVL COL. BELOW
PROVIDE SOLID BLOCKING
DOWN TO EXIST. FNDN. WALL

6 X 8 PINE BEAM

1 1/4" X 9 1/2" LSL RIM BOARD. TYP. @ PERIMETER

3- 2 X 8 HDR.

3- 2 X 8 HDR.

2- 2X8 HDR.

3- 2X8 HDR.

1
A-502

4 X 8 NO. 1 D.F. @ 16" O.C.

5 1/4 X 11 7/8 LVL-ALIGN
TOP W/ TOP OF D.F. JOISTS

3- 2 X 8 HDR.

2- 2X8 HDR.

CONT. 6 X 8 PINE BEAM

1
A-503

(2)- 1 3/4 X 14 LVL. INSTALL FULL DEPTH
UP IN EXTERIOR WALL ABOVE

3- 1 3/4 X 7 1/4 LVL HDR.

6 X 8 PINE BEAM

3- 2 X 8 HDR.

3- 2 X 8 HDR.

1
A-501

3 1/2 X 11 7/8 LVL BEAM. T.O.
BEAM TO ALIGN W/ T.O.
HOMOSOTE UNDERLAYMENT.

POCKET 4 X 8'S INTO
EXISTING WALL. ANCHOR TO
EXIST. STUD OR NEW
BLOCKING

3 1/2 X 7 1/4 LVL COL. BELOW
PROVIDE SOLID BLOCKING
DOWN TO EXIST. FNDN.
WALL. CENTER ON RIDGE
ABOVE

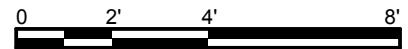
3 1/2 X 3 1/2 LVL COL. BELOW
PROVIDE SOLID BLOCKING
DOWN TO EXIST. FNDN. WALL

POCKET 4 X 8'S INTO
EXISTING WALL. ANCHOR TO
EXIST. STUD OR NEW
BLOCKING

1

Second Floor Framing Plan

SCALE: 1/4" = 1'-0"



1. Second Floor Framing Plan

WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

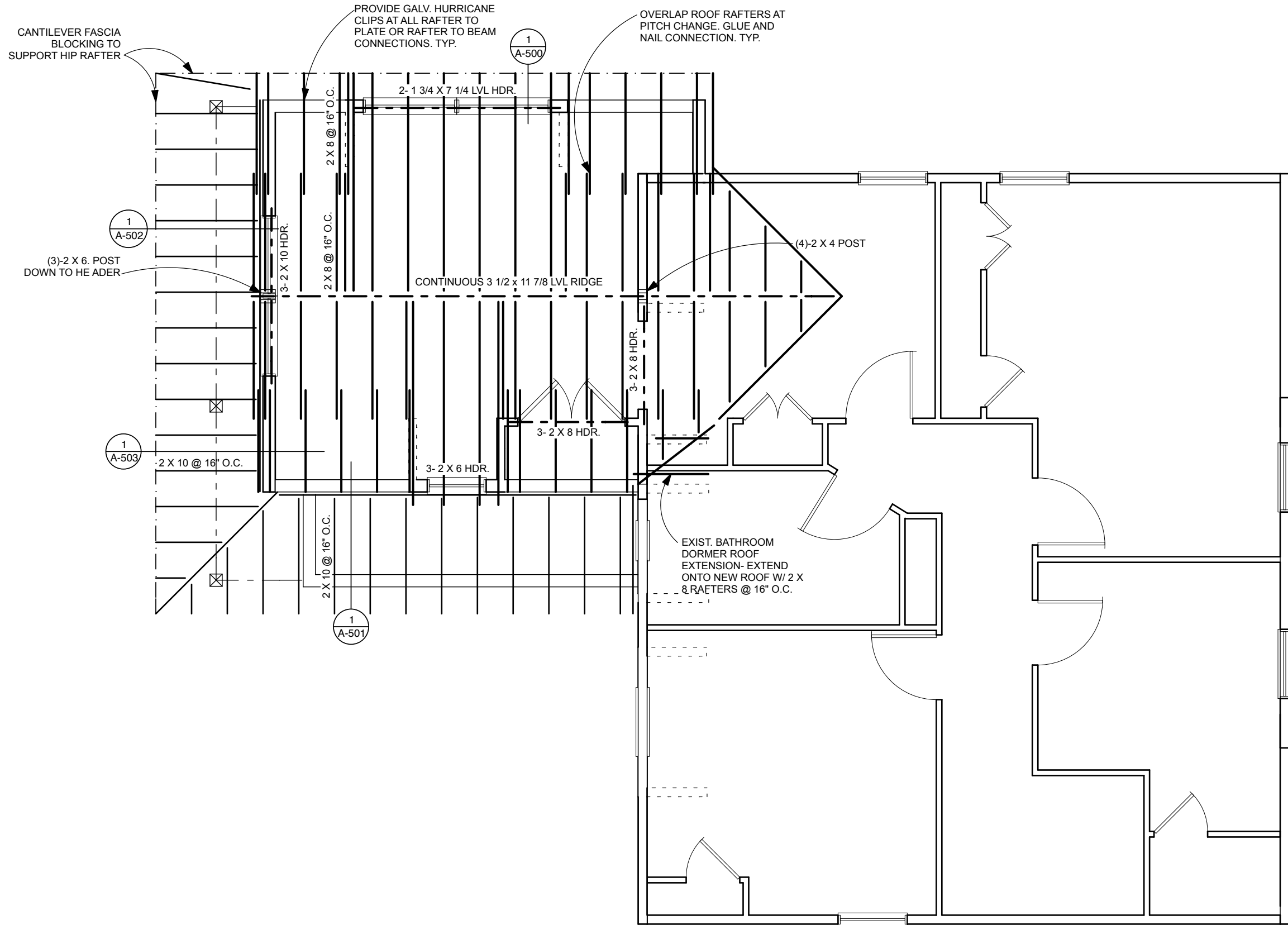
S-101

PERMIT SET

WINKELMAN ARCHITECTURE

SCALE: VARIES - AS NOTED
DATE: 8/16/11

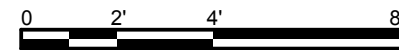
41 UNION WHARF, SUITE 4, PORTLAND, ME 04101
PH: 207.699.2998



1

Roof Framing Plan

SCALE: 1/4" = 1'-0"



PERMIT SET

S-102

2. Roof Framing Plan

WILLOW STREET ADDITION
47 WILLOW STREET
PEAKS ISLAND, MAINE

SCALE: VARIES - AS NOTED

DATE: 8/16/11

WINKELMAN ARCHITECTURE

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