

CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM

2002-0250

Application I. D. Number

12/19/2002

Application Date

103 Herman Island

Project Name/Description

DRC Copy

Alves Anthony J  
Applicant  
15 Prince Ave, Peaks Island, ME 04108  
Applicant's Mailing Address

Consultant/Agent  
Applicant Ph: (207) 766-2464 Agent Fax:  
Applicant or Agent Daytime Telephone, Fax

103 - 103 Herman Ave, Portland, Maine

Address of Proposed Site

087 HH008001

Assessor's Reference: Chart-Block-Lot

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units \_\_\_\_\_ Acreage of Site \_\_\_\_\_ Zoning \_\_\_\_\_

Check Review Required:

- Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review
- Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification
- Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 12/19/2002

DRC Approval Status:

- Approved  Approved w/Conditions See Attached  Denied

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached  
signature \_\_\_\_\_ date \_\_\_\_\_

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- Performance Guarantee Accepted \_\_\_\_\_ date \_\_\_\_\_ amount \_\_\_\_\_ expiration date \_\_\_\_\_
- Inspection Fee Paid \_\_\_\_\_ date \_\_\_\_\_ amount \_\_\_\_\_
- Building Permit Issue \_\_\_\_\_ date \_\_\_\_\_
- Performance Guarantee Reduced \_\_\_\_\_ date \_\_\_\_\_ remaining balance \_\_\_\_\_ signature \_\_\_\_\_
- Temporary Certificate of Occupancy \_\_\_\_\_ date \_\_\_\_\_  Conditions (See Attached) \_\_\_\_\_ expiration date \_\_\_\_\_
- Final Inspection \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_
- Certificate Of Occupancy \_\_\_\_\_ date \_\_\_\_\_
- Performance Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_
- Defect Guarantee Submitted \_\_\_\_\_ submitted date \_\_\_\_\_ amount \_\_\_\_\_ expiration date \_\_\_\_\_
- Defect Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_

ex. / Prop. Grades (none proposed)  
Does NJ own All Panels  
Snow Well + Sewer + Water Services  
2 street trees  
IS MAKE All Lot w/ Sidewalks +  
Water - Water Lot Line?  
Called Gwilym 1-02-03

Peaks Island

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Project Name/Description

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 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units

Acreeage of Site

Zoning

**Check Review Required:**

- |  |   |  |  |
|--|---|--|--|
| <input checked="" type="checkbox"/> Site Plan<br>(major/minor) | <input type="checkbox"/> Subdivision<br># of lots _____ | <input type="checkbox"/> PAD Review            | <input type="checkbox"/> 14-403 Streets Review   |
| <input type="checkbox"/> Flood Hazard                          | <input type="checkbox"/> Shoreland                      | <input type="checkbox"/> Historic Preservation | <input type="checkbox"/> DEP Local Certification |
| <input type="checkbox"/> Zoning Conditional<br>Use (ZBA/PB)    | <input type="checkbox"/> Zoning Variance                | <input type="checkbox"/> Other _____           |  |

Fees Paid: Site Plan **\$50.00** Subdivision \_\_\_\_\_ Engineer Review **\$250.00** Date **12/19/2002**

**DRC Approval Status:**

Reviewer **Jay Reynolds**

- Approved  **Approved w/Conditions**  Denied  
 See Attached

Approval Date **01/03/2003** Approval Expiration **01/03/2004** Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance **Jay Reynolds** **01/03/2002**  
 signature date

**Performance Guarantee**  Required\*  **Not Required**

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

- |   |                |  |                 |
|---|----------------|--|-----------------|
| <input type="checkbox"/> Performance Guarantee Accepted     | _____          | _____  | _____           |
|   | date           | amount   | expiration date |
| <input type="checkbox"/> Inspection Fee Paid                | _____          | _____  |                 |
|   | date           | amount   |                 |
| <input type="checkbox"/> Building Permit Issue              | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Reduced      | _____          | _____  | _____           |
|   | date           | remaining balance                                  | signature       |
| <input type="checkbox"/> Temporary Certificate of Occupancy | _____          | <input type="checkbox"/> Conditions (See Attached) | _____           |
|   | date           |  | expiration date |
| <input type="checkbox"/> Final Inspection                   | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Certificate Of Occupancy           | _____          |  |                 |
|   | date           |  |                 |
| <input type="checkbox"/> Performance Guarantee Released     | _____          | _____  |                 |
|   | date           | signature  |                 |
| <input type="checkbox"/> Defect Guarantee Submitted         | _____          | _____  | _____           |
|   | submitted date | amount   | expiration date |
| <input type="checkbox"/> Defect Guarantee Released          | _____          | _____  |                 |
|   | date           | signature  |                 |

**CITY OF PORTLAND, MAINE  
DEVELOPMENT REVIEW APPLICATION  
PLANNING DEPARTMENT PROCESSING FORM  
ADDENDUM**

**2002-0250**

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**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted ON YOUR STREET FRONTAGE prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now # 103 HERMAN AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.







Revised 4-1-01

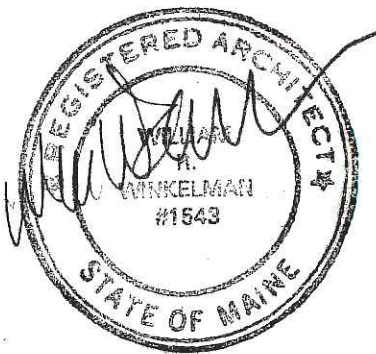


SHEET 85-1  
SHEET 84-1  
SHEET 84-D  
SHEET 84-2

CHURCH AVENUE  
ERNEST STREET  
HERMAN AVENUE  
WILLOW AVENUE  
Boulder Road  
Ledgerwood Street  
Central Avenue  
John St.  
Division Line  
Elizabeth Street  
Island

10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100

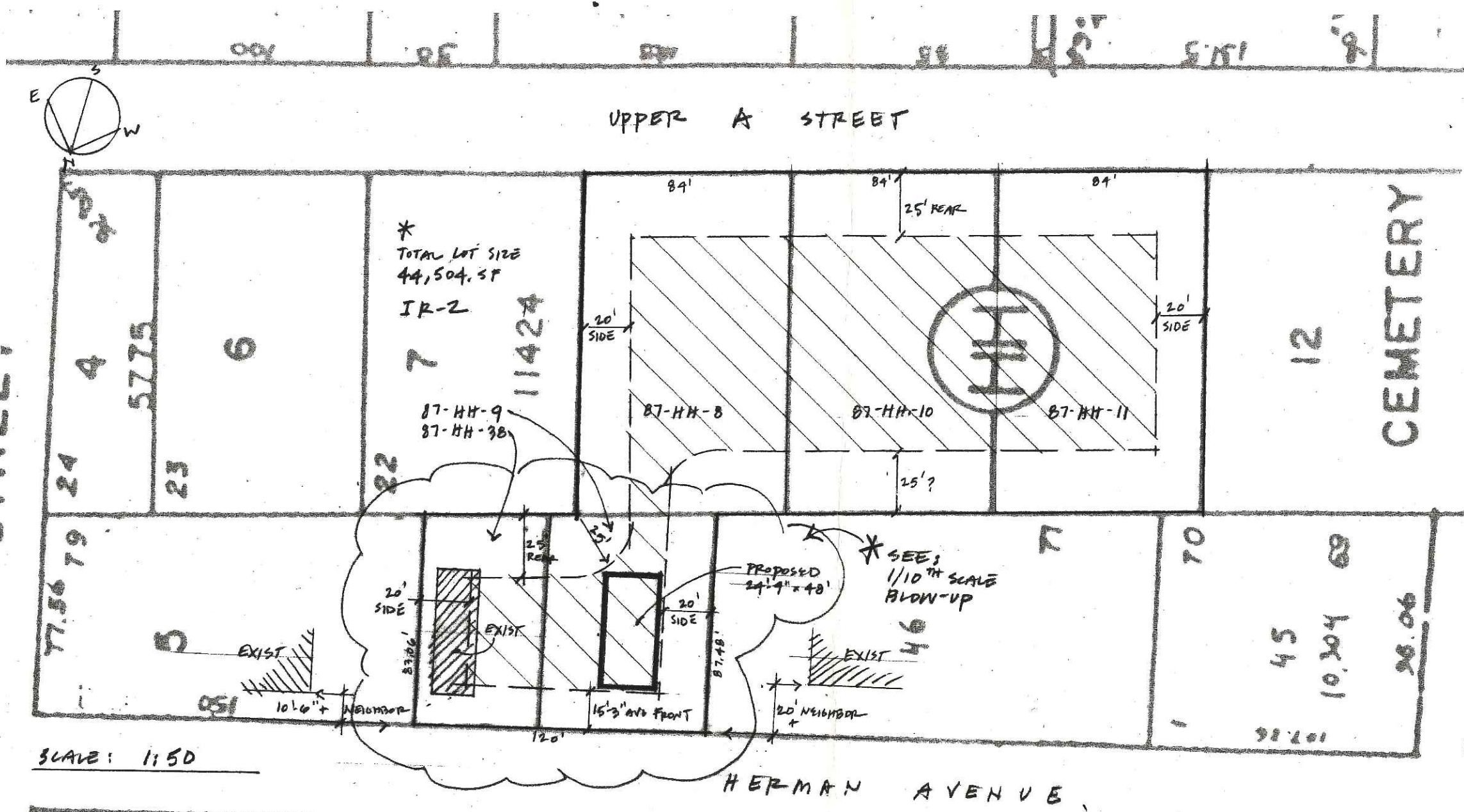




DATE: \* 11.4.02

WILL WINKELMAN & WHITTEN ARCHITECTS: 774 0111 X102

AJ'S BARN - HERMAN ST., PEAKS ISLAND



SCALE: 1:50

HERMAN AVENUE

ADDRESS: HERMAN AVE, PEAKS ISLAND  
 CLIENT: AJ IVERS  
 LOT: 87-HH-8,9,10,11,38  
 SF AREA: TOTAL LOT = 44,504 SF  
 ZONE: IR-2  
 MAX LOT COVERAGE: 20% (= 8,900 ALLOWED VS 1,980 PROPOSED) *o.k.*  
 UTILITIES: WELL AS DRILLWD ON SITE (EXIST); SEPTIC HOOK-UP TO STREET

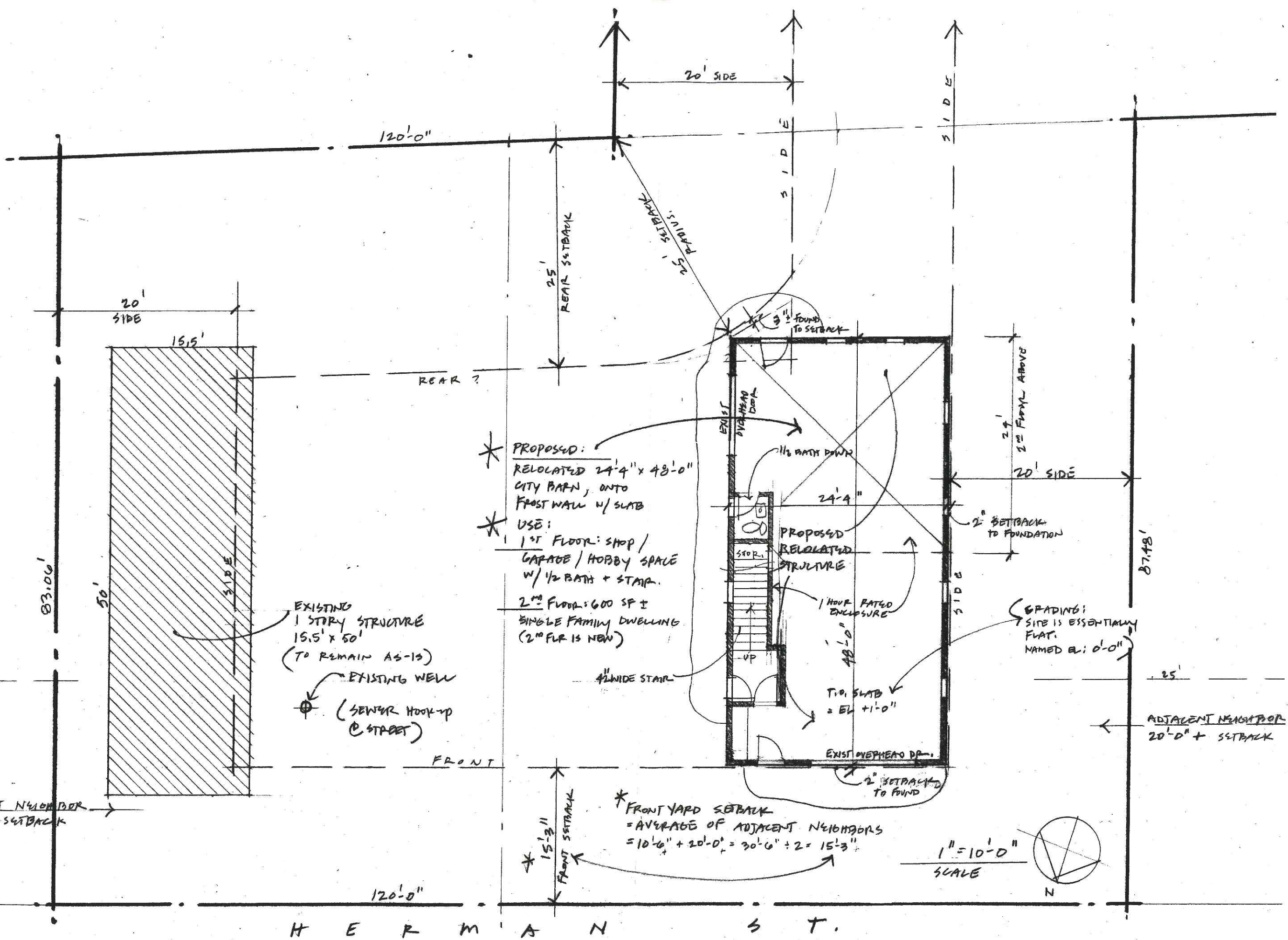
USE: \* CURRENTLY - LOT HAS A 1 STORY 15.5' x 50' WOOD FRAME STRUCTURE USED FOR STORAGE (EXISTING).  
 \* PROPOSED - NEW STRUCTURE IS <sup>BEING</sup> RELOCATED CITY BARN, (1 STORY 24'4" x 48' WOOD FRAME STRUCTURE) BEING MOVED TO A NEW FOUNDATION ON THIS SITE.  
 THE STRUCTURE WILL HAVE A SINGLE FAMILY DWELLING ON A NEW SECOND LEVEL (600SF±) - OVER THE FIRST FLOOR TO BE USED FOR STORAGE / HOBBIES / GARAGE.  
 GRADING: THE LOT IS ESSENTIALLY FLAT + WILL REMAIN SO. TOP OF SLAB WILL BE ELEVATED 12" ABOVE GRADE + APRON'S WILL BE FILLED ACCORDINGLY

*Accessories uses to a single family only*

SITE PLAN







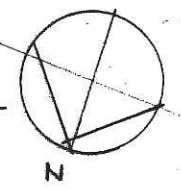
- \* PROPOSED:  
RELOCATED 24'-4" x 48'-0"  
CITY BARN, ONTO  
FRONT WALL W/ SLAB
- \* USE:  
1<sup>ST</sup> FLOOR: SHOP /  
GARAGE / HOBBY SPACE  
W/ 1/2 BATH + STAIR.
- 2<sup>ND</sup> FLOOR: 600 SF ±  
SINGLE FAMILY DWELLING  
(2<sup>ND</sup> FLR IS NEW)

EXISTING  
1 STORY STRUCTURE  
15.5' x 50'  
(TO REMAIN AS-IS)

EXISTING WELL  
(SEWER HOOK-UP  
@ STREET)

\* FRONT YARD SETBACK  
= AVERAGE OF ADJACENT NEIGHBORS  
=  $10'-6" + 20'-0" \div 2 = 15'-3"$

1" = 10'-0"  
SCALE



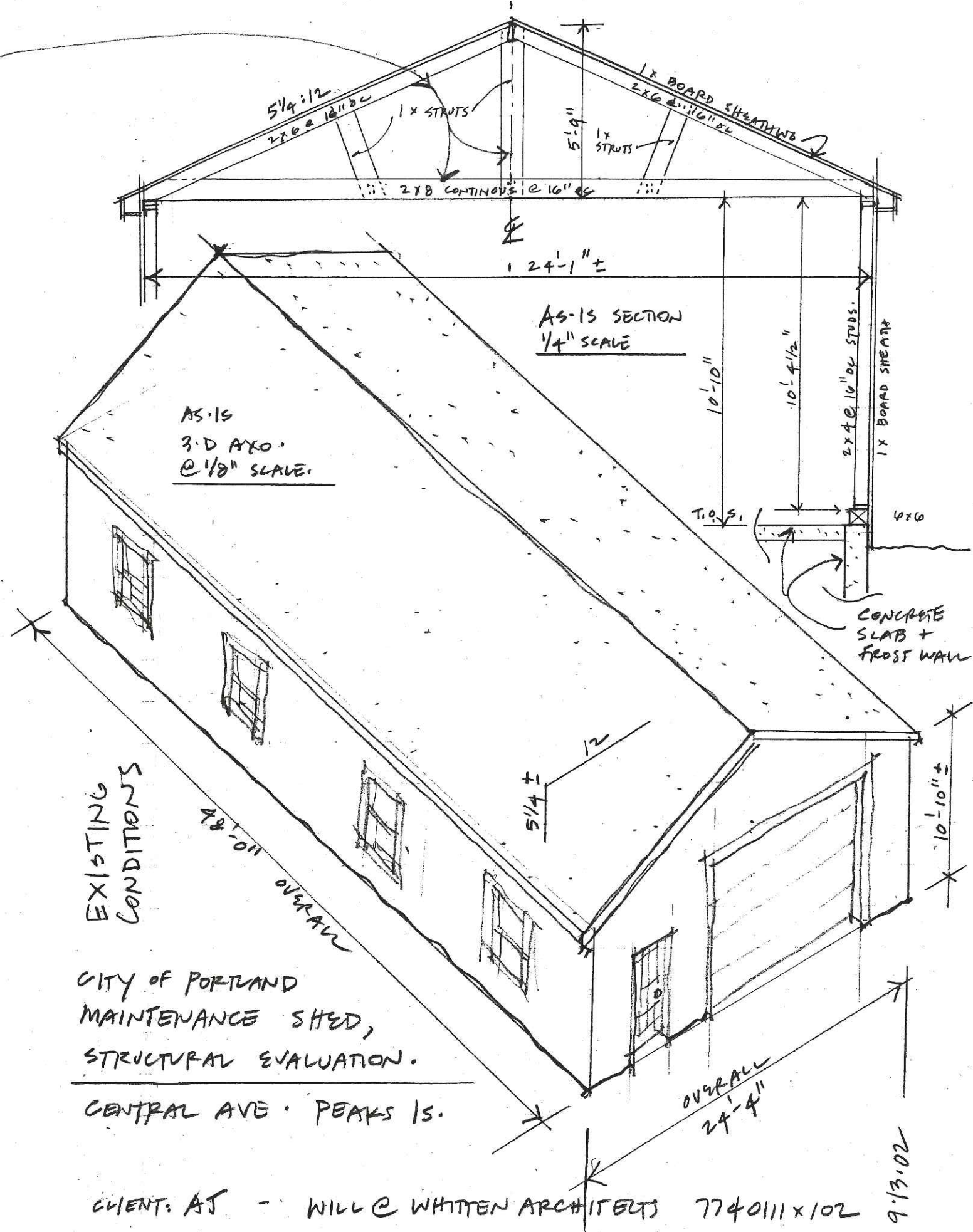
DETAIL OF SITE PLAN





\* SEE SHT #7  
FOR REINFORCEMENT REQUIREMENTS  
FOR EXISTING ROOF TRUSSES

\*  
NOTE:  
THE EXISTING BUILDING IS FUNDAMENTALLY  
SOUND. THE SITE BUILT ROOF TRUSSES  
ARE TO BE REINFORCED PER NOTES ON  
SECTION ON SHT #7  
  
ALL TEMPORARY REINFORCING / BRACING  
REQUIRED FOR LIFTING + MOVING  
THIS STRUCTURE IS PER RECOMMENDATIONS  
OF BUILDING MOVING CONTRACTOR.



CITY OF PORTLAND  
MAINTENANCE SHED,  
STRUCTURAL EVALUATION.  
CENTRAL AVE. PEAKS IS.

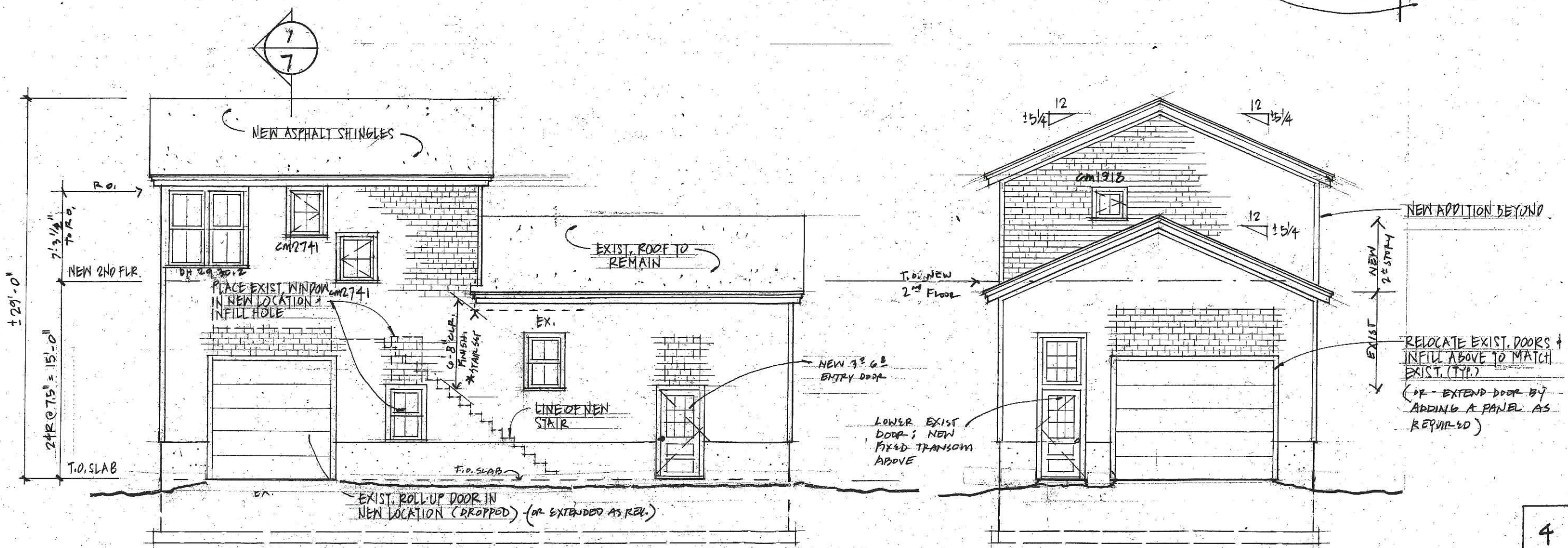
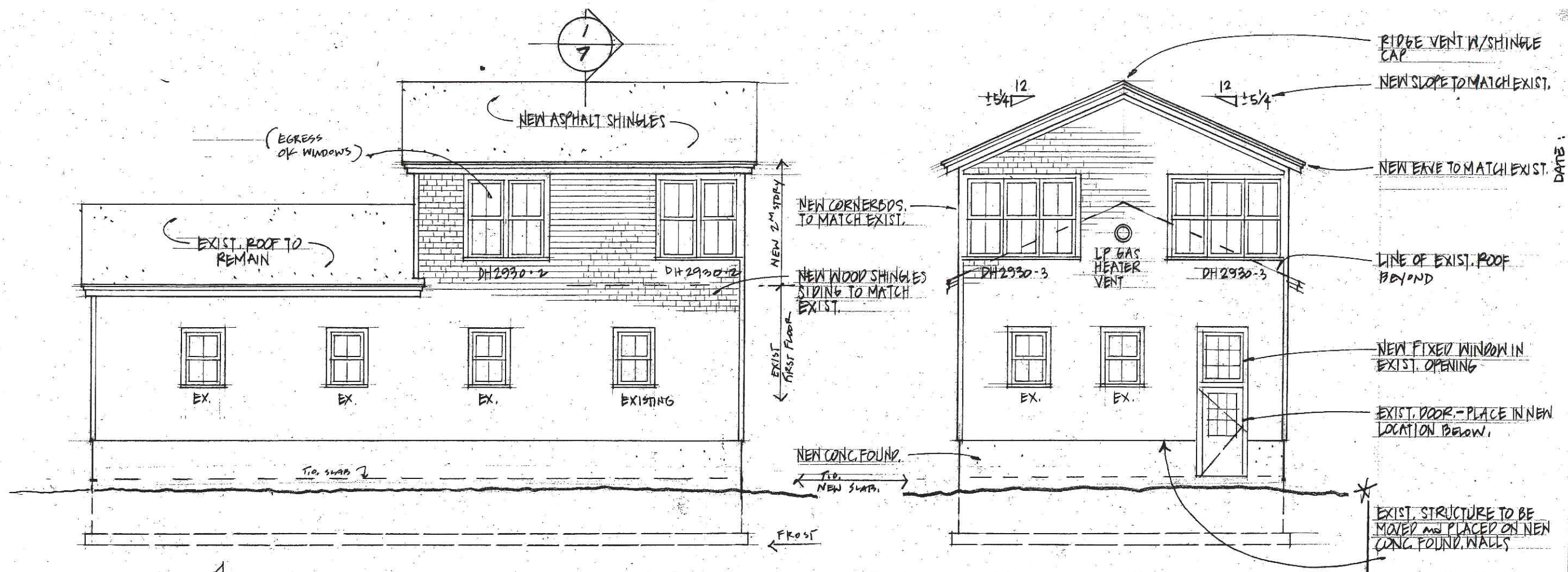
CLIENT: AJ - WILL @ WHITTEN ARCHITECTS 7740111 X102

3

\* EXISTING STRUCTURE TO BE MOVED

DATE: 11.4.02  
WILL NINKELMAN @ WHITTEN ARCHITECTS: 774 0111 X102  
AJ'S BARN - HERMAN ST, PEAKS ISLAND





ELEVATIONS - SCALE 1/8" = 1'-0"



±48'-0" (EXIST.)

±24'-4"

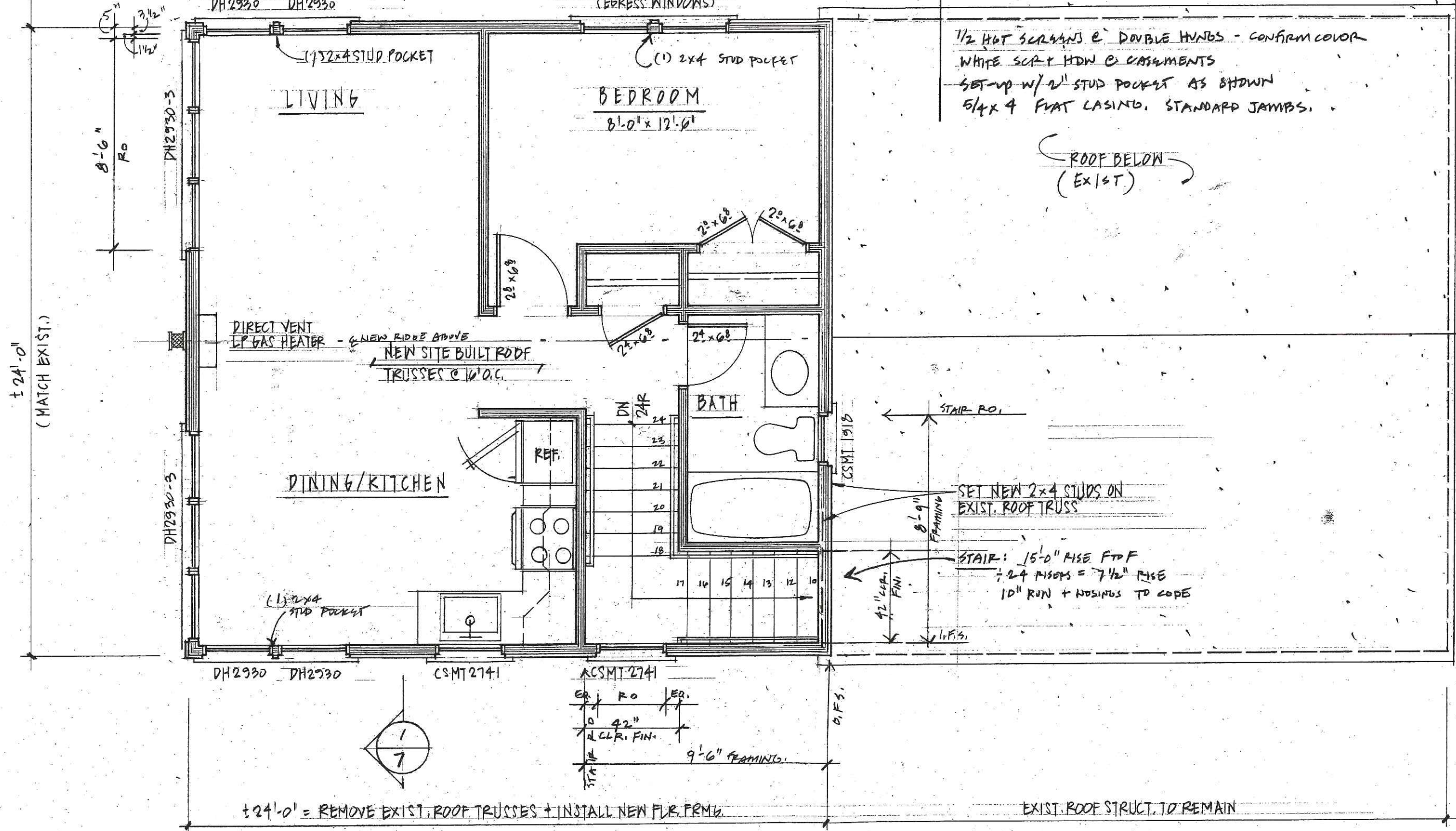
WINDOW SCHEDULE :

ALL UNITS BY BONNVILLE (AVAIL @ HILLSIDE)  
DHS1 'BRONZE' LINE 1 3/8" TH SASH. ALL WOOD, PRIMED  
LOW E, 1/16" GLASS.  
SDL BAR @ 2 DIVIDED LIGHTS (OR 4 LIGHT SQ.)  
7/8" W/ W/ SHADOW BAR

1/2 HGT SCREENS & DOUBLE HUNDS - CONFIRM COLOR  
WHITE SCRY HDW & CASSEMENTS  
SETUP W/ 2" STUD POCKET AS SHOWN  
5/4 X 4 FLAT CASING. STANDARD JAMBS.

ROOF BELOW  
(EXIST.)

±24'-0" (MATCH EXIST.)



±24'-0" = REMOVE EXIST. ROOF TRUSSES + INSTALL NEW FLR. FRMB.

EXIST. ROOF STRUCT. TO REMAIN

SECOND FLOOR PLAN - SCALE 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

6

DATE: 11.4.02

WILL WINKELMAN & WHITTEN ARCHITECTS : 774 0111 X102

AS'S BARN - HERMAN ST, PEAKS ISLAND



NEW ASPHALT SHINGLES TO MATCH EXIST. ON 15# ROOF FELTS ON 5/8" PLYWR. SHTG ON SITE BUILT ROOF TRUSSES @ 24" O.C.

DBL COURSE SHINGLES @ 1ST COURSE ON 8" MTL DRIP EDGE

NEW EAVE, SOFFIT and FRIEZE BR. TO MATCH EXIST.

CONT. 2" SOFFIT VENT W/INSECT SCREEN

NEW WOOD SHINGLES TO MATCH EXIST. ON ASPHALTIC BLDG. PAPER ON NEW SHTG TO MATCH EXIST. (OR 5/8" PLY) ON 2x4 STUDS @ 16" O.C. W/ 3/2" BATT INSUL.

2" INSUL. BAFFLE @ EA. TRUSS BAY

(2) LAYERS 6" BATT INSUL.

SEE FRMB. PLAN FOR HEADER

1/2" GYP. BD. ON 6 MIL V.B. ON 1x3 STRAPPING @ 16" O.C. ON B.O. TRUSSES @ 24" O.C.

5/8" GYP. BD. ON 6 MIL V.B. ON STUDS

MIL FLASH @ 6" EA WAY OVER MEMB. FLASH @ 18" EA WAY @ ROOF/WALL JCT.

5/8" GYP. BD. ON 6 MIL V.B. ON NEW 2x4 STUDS @ 16" O.C.

3/4" ADVANTECH SUBFLR. GLUED and SCREWED TO NEW 14" TJI/25 JSTS. @ 16" O.C.

9" BATT INSUL.

(2) LAYERS 5/8" TYPE X' GYP. BD. ON B.O. NEW JSTS. AND EXIST. ROOF TRUSSES

DETAIL @ NEW/EXIST. JCT. - 3/4" = 1'-0"



14" TJI/25 @ 16" O.C. (Rim Joist per TJI specs)

T.O. SUB FLR.

15'-0" ABOVE SLAB

EXIST. T.O. P. TO REMAIN

EXIST. SHINGLES

TYP: 8'-2" T.O. PLY SUB F. @ B.O. TRUSS. 7'-2 1/2" @ TOP OF R.O. @ WINDOW FD

3/4" ADVANTECH SUBFLR. GLUED and SCREWED TO 14" TJI/25 JSTS @ 16" O.C.

WOOD BASE BD

EXIST 2x8's @ 16" O.C.

9" BATT INSUL.

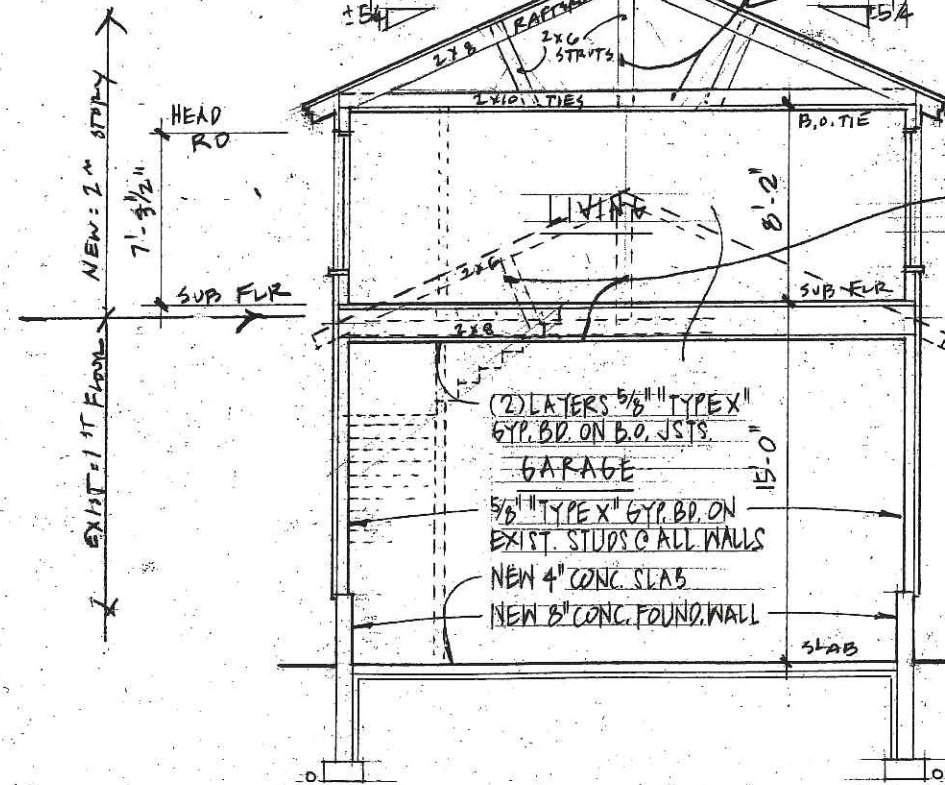
EXIST TIES @ 16" O.C. 2x8

B.O. EXIST TIES / NEW JSTS

(2) LAYERS 5/8" TYPE X' GYP. BD. ON B.O. JSTS.

5/8" TYPE X' GYP. BD. ON 6 MIL V.B. ON EXIST. STUDS W/NEW 3/2" BATT INSUL.

(NEW ROOF PITCH: MATCH EXIST)



\* NEW ROOF TRUSSES: (24" O.C.)

2x10 TIES CONTINUOUS (BOSS LOAD) W/ 2x8 RAFTERS (TOP LOAD) W/ 2x6 STRUTS AS DRAWN (EQUALLY SPACED) @ 24" O.C. (SITE BUILT) (FASTENERS: (5) 20d NAILS @ EACH JOINT, BEND OVER)

\* EXIST ROOF TRUSSES: (16" O.C.)

REPLACE ANY/ALL MISSING OR IMPROPERLY FASTENED 1x8 STRUTS W/ NEW 1x8 STRUTS (FASTENERS: (5) 16d MIN. @ EACH, BEND OVER)

(2) LAYERS 5/8" TYPE X' GYP. BD. ON B.O. JSTS.

GARAGE

5/8" TYPE X' GYP. BD. ON EXIST. STUDS @ ALL WALLS

NEW 4" CONC. SLAB

NEW 8" CONC. FOUND. WALL

WALL SECTION @ ADDITION - SCALE 3/4" = 1'-0"

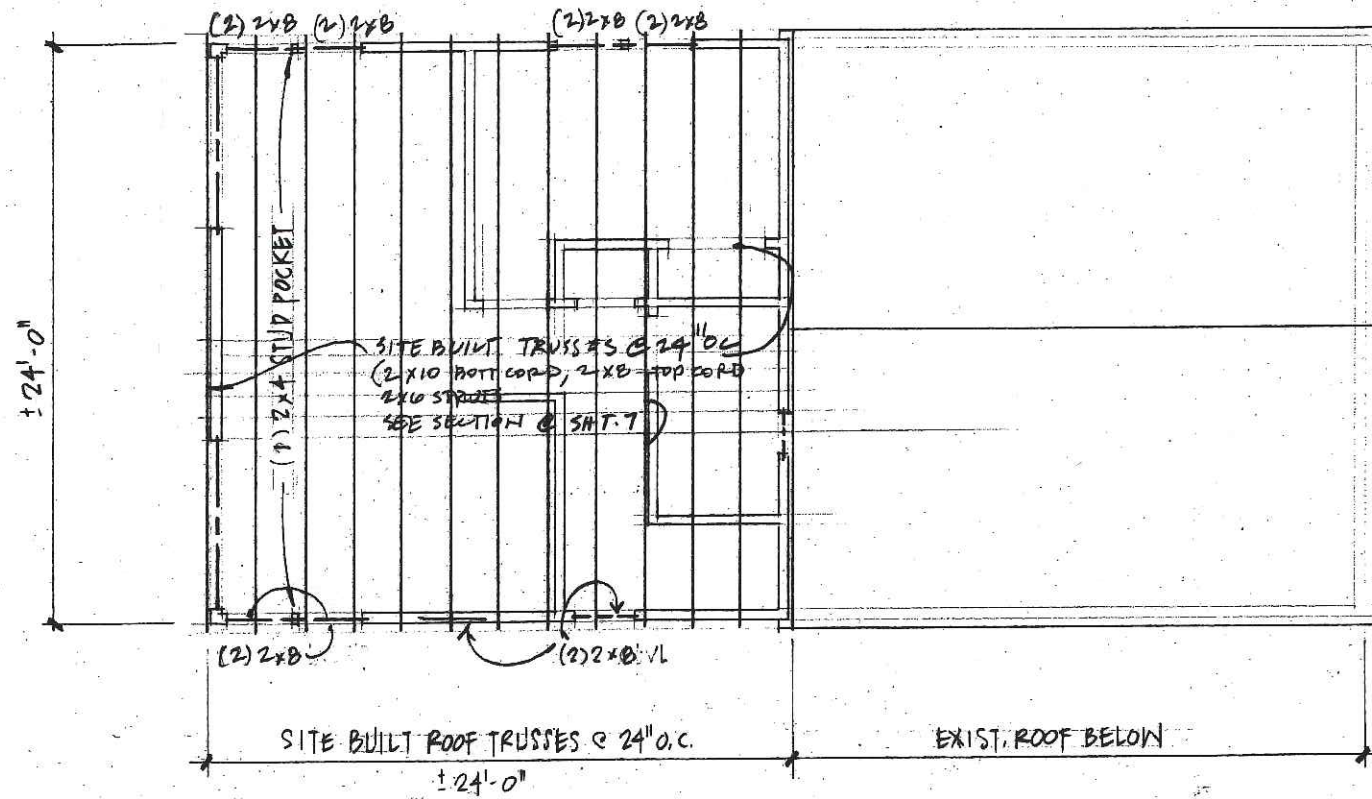
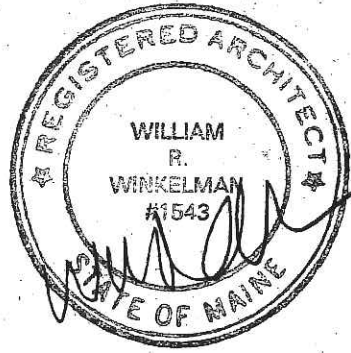
BUILDING SECTION - SCALE 1/8" = 1'-0"

DATE: 11.4.02

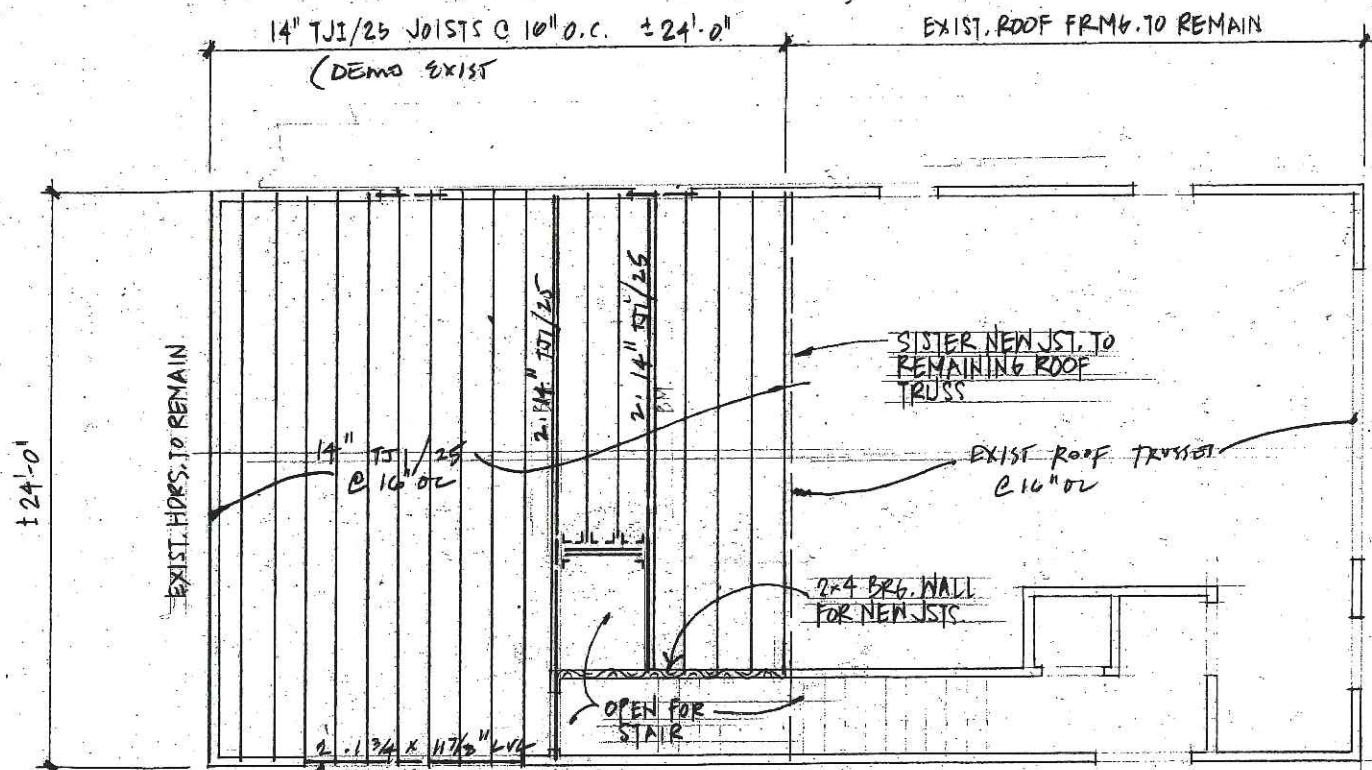
WILL WINKELMAN & WHITTEN ARCHITECTS : 774 0111 X102

AJ'S BARN - HERMAN ST, PEAKS ISLAND





NEW ROOF FRAMING PLAN SCALE: 1/8" = 1'-0"

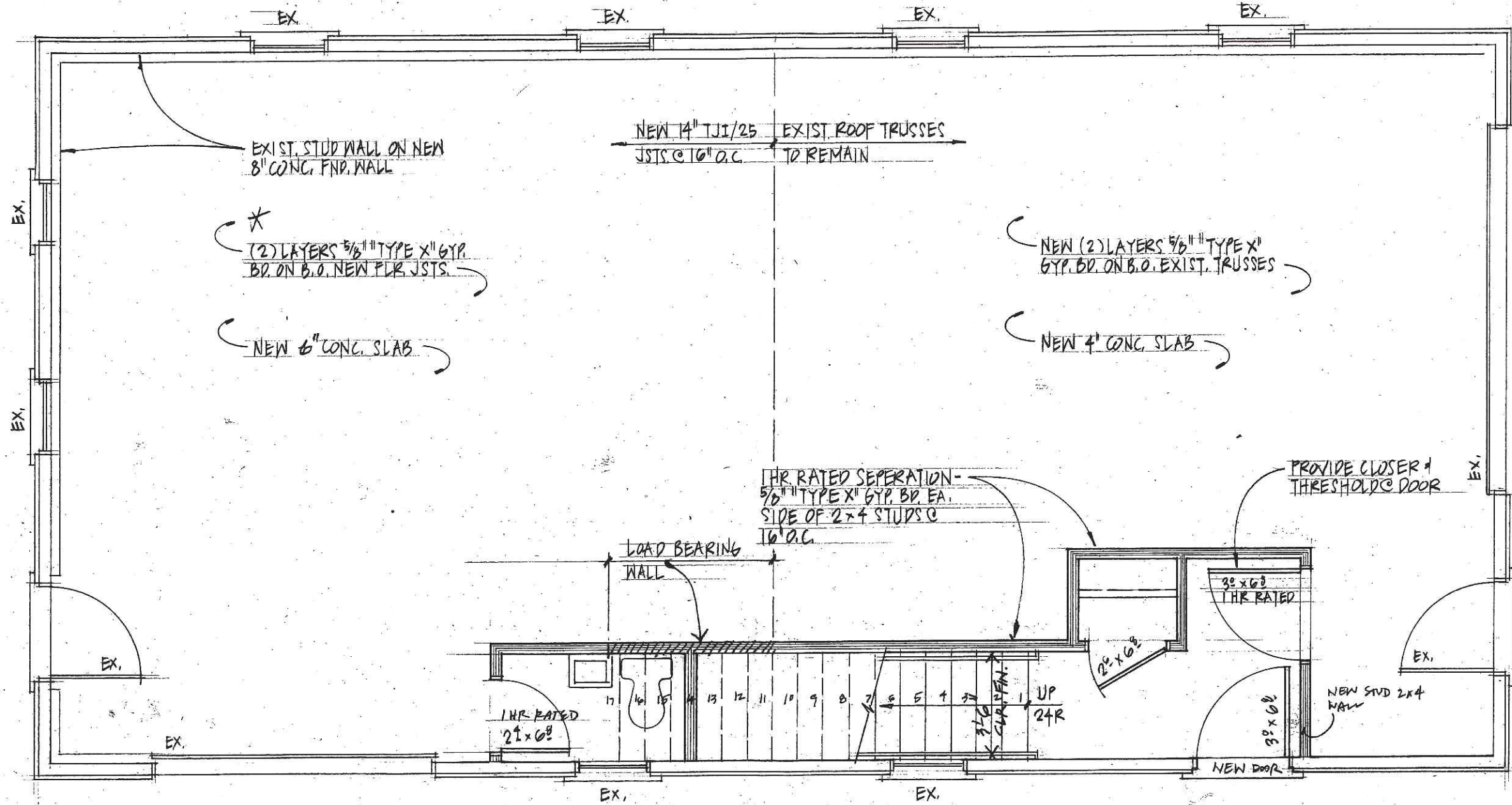


NEW 2ND FLOOR FRAMING PLAN SCALE: 1/8" = 1'-0"

8

DATE: 11.4.02  
 WILL WINKELMAN & WHITTEN ARCHITECTS : 774 0111 X102  
 AS'S BARN - HERMAN ST, PEAKS ISLAND





FIRST FLOOR PLAN - SCALE 1/4" = 1'-0"

DATE:

11.4.02

WILL WINKELMAN & WHITTEN ARCHITECTS : 774 011 1102

AS'S BARN - HERMAN ST, PEARLS ISLAND



NOTE: CONC. OPENINGS (C.O.) ARE 4" BIGGER ON EACH SIDE THAN THE WOOD FRAMED R.O. (USE (2) 2x4 P.T. STUDS TO SLAB).

\* DOUBLE CHECK + REVISE AS REQ. ALIGNMENT OF OPENINGS DRAWN VS. EXIST STRUCTURES.



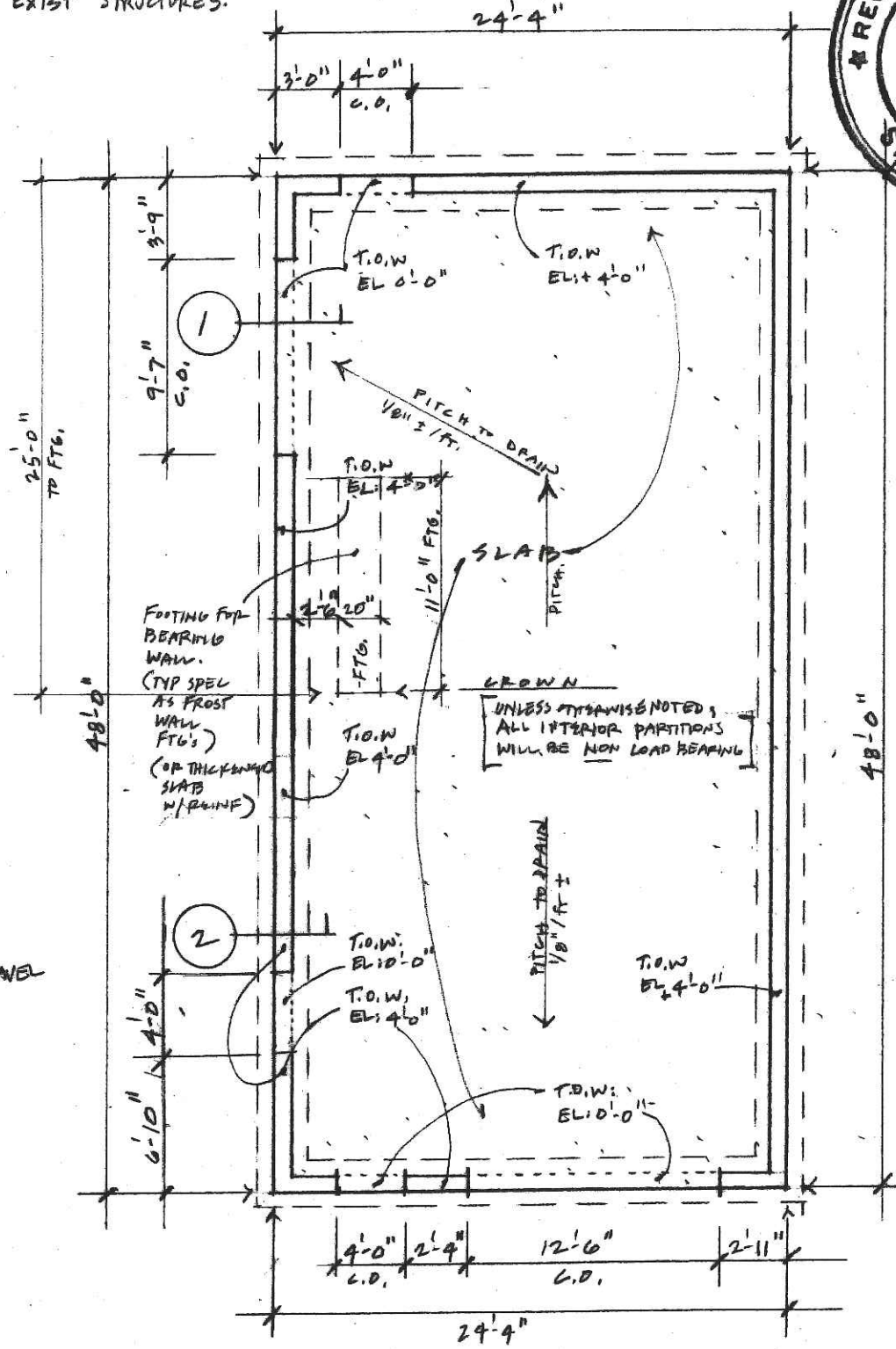
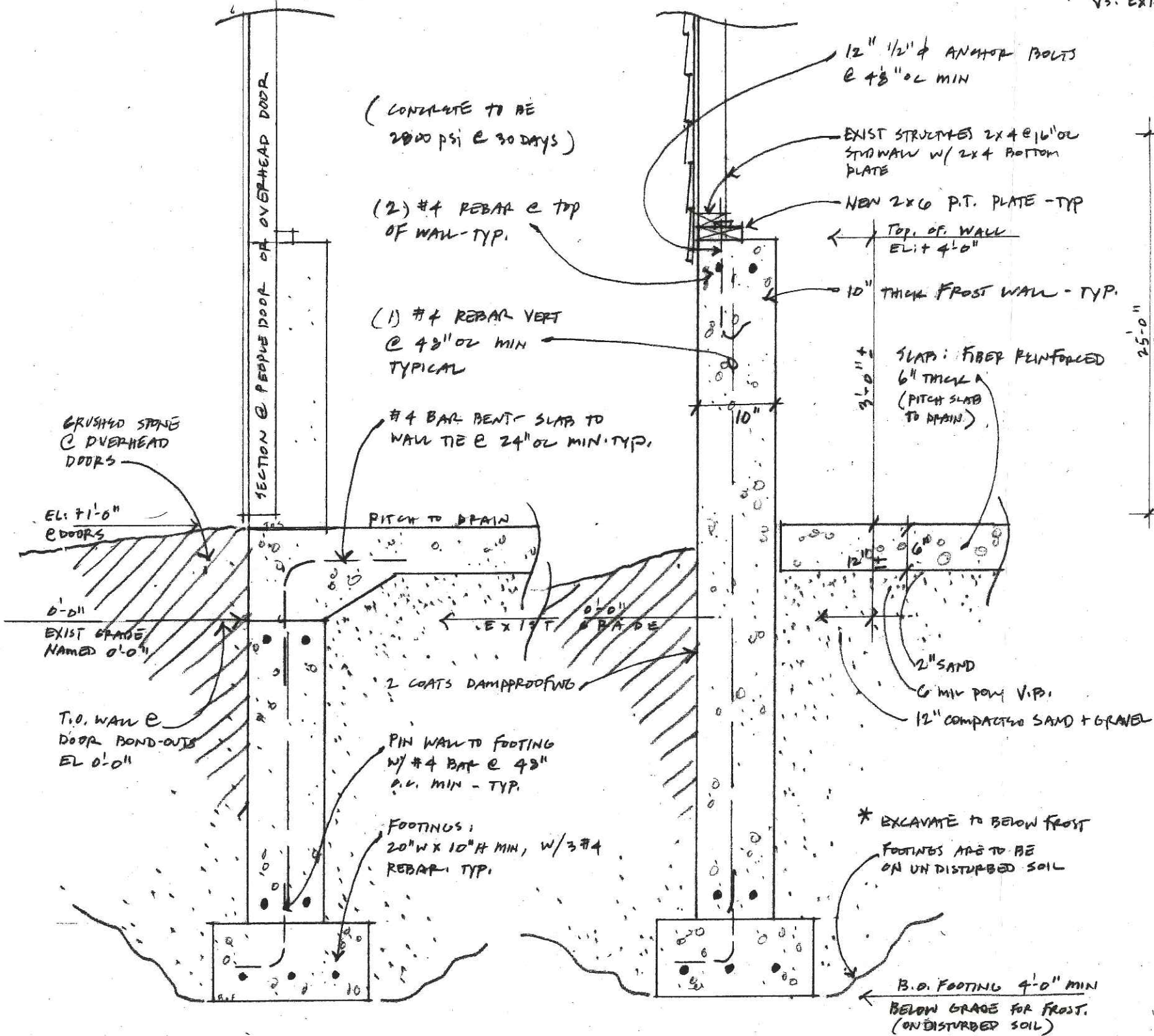
DATE:

11.4.02

WILL WINKELMANN & WHITTEN ARCHITECTS: 774 0111 X102

AJ'S BARN - HERMAN ST, PEAKS ISLAND

FOUNDATION PLAN + DETAILS



1 FROST WALL @ DOORS 3/4" SCALE

2 FROST WALL - TYPICAL 3/4" SCALE

FOUNDATION PLAN 1/8" SCALE