

CITY OF PORTLAND, MAINE  
 DEVELOPMENT REVIEW APPLICATION  
 PLANNING DEPARTMENT PROCESSING FORM

2002-0250

Application I. D. Number

12/19/2002

Application Date

103 Herman Island

Project Name/Description

*ex. / Prop. Grades (none shown)  
 Does AD own All Panels  
 Show Well + Sewer + Water Services  
 2 street trees  
 IS Make All Set up, Streets +  
 Utility Lines Lot Line?*

DRC Copy

Alves Anthony J

Applicant

15 Prince Ave, Peaks Island, ME 04108

Applicant's Mailing Address

103 - 103 Herman Ave, Portland, Maine

Address of Proposed Site

087 HH008001

Assessor's Reference: Chart-Block-Lot

Consultant/Agent

Applicant Ph: (207) 766-2464 Agent Fax:

Applicant or Agent Daytime Telephone, Fax

Proposed Development (check all that apply):  New Building  Building Addition  Change Of Use  Residential  Office  Retail  
 Manufacturing  Warehouse/Distribution  Parking Lot  Other (specify) \_\_\_\_\_

Proposed Building square Feet or # of Units

Acreage of Site

Zoning

Check Review Required:

Site Plan (major/minor)  Subdivision # of lots \_\_\_\_\_  PAD Review  14-403 Streets Review  
 Flood Hazard  Shoreland  Historic Preservation  DEP Local Certification  
 Zoning Conditional Use (ZBA/PB)  Zoning Variance  Other \_\_\_\_\_

Fees Paid: Site Pla \$50.00 Subdivision \_\_\_\_\_ Engineer Review \$250.00 Date 12/19/2002

DRC Approval Status:

Approved  Approved w/Conditions See Attached  Denied

*Jay*

Reviewer \_\_\_\_\_

Approval Date \_\_\_\_\_ Approval Expiration \_\_\_\_\_ Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance

signature

date

Performance Guarantee

Required\*

Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

<input type="checkbox"/> Performance Guarantee Accepted	_____	_____	_____
	date	amount	expiration date
<input type="checkbox"/> Inspection Fee Paid	_____	_____	
	date	amount	
<input type="checkbox"/> Building Permit Issue	_____		
	date		
<input type="checkbox"/> Performance Guarantee Reduced	_____	_____	_____
	date	remaining balance	signature
<input type="checkbox"/> Temporary Certificate of Occupancy	_____	<input type="checkbox"/> Conditions (See Attached)	_____
	date		expiration date
<input type="checkbox"/> Final Inspection	_____	_____	
	date	signature	
<input type="checkbox"/> Certificate Of Occupancy	_____		
	date		
<input type="checkbox"/> Performance Guarantee Released	_____	_____	
	date	signature	
<input type="checkbox"/> Defect Guarantee Submitted	_____	_____	_____
	submitted date	amount	expiration date
<input type="checkbox"/> Defect Guarantee Released	_____	_____	
	date	signature	

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**DRC Approval Status:**

Reviewer **Jay Reynolds**

- Approved  Approved w/Conditions See Attached  Denied

Approval Date **01/03/2003** Approval Expiration **01/03/2004** Extension to \_\_\_\_\_  Additional Sheets Attached

Condition Compliance **Jay Reynolds** **01/03/2002**  
signature date

Performance Guarantee  Required\*  Not Required

\* No building permit may be issued until a performance guarantee has been submitted as indicated below

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- Building Permit Issue \_\_\_\_\_ date \_\_\_\_\_
- Performance Guarantee Reduced \_\_\_\_\_ date \_\_\_\_\_ remaining balance \_\_\_\_\_ signature \_\_\_\_\_
- Temporary Certificate of Occupancy \_\_\_\_\_ date  Conditions (See Attached) \_\_\_\_\_ expiration date
- Final Inspection \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_
- Certificate Of Occupancy \_\_\_\_\_ date \_\_\_\_\_
- Performance Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_
- Defect Guarantee Submitted \_\_\_\_\_ submitted date \_\_\_\_\_ amount \_\_\_\_\_ expiration date
- Defect Guarantee Released \_\_\_\_\_ date \_\_\_\_\_ signature \_\_\_\_\_

**CITY OF PORTLAND, MAINE  
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ADDENDUM**

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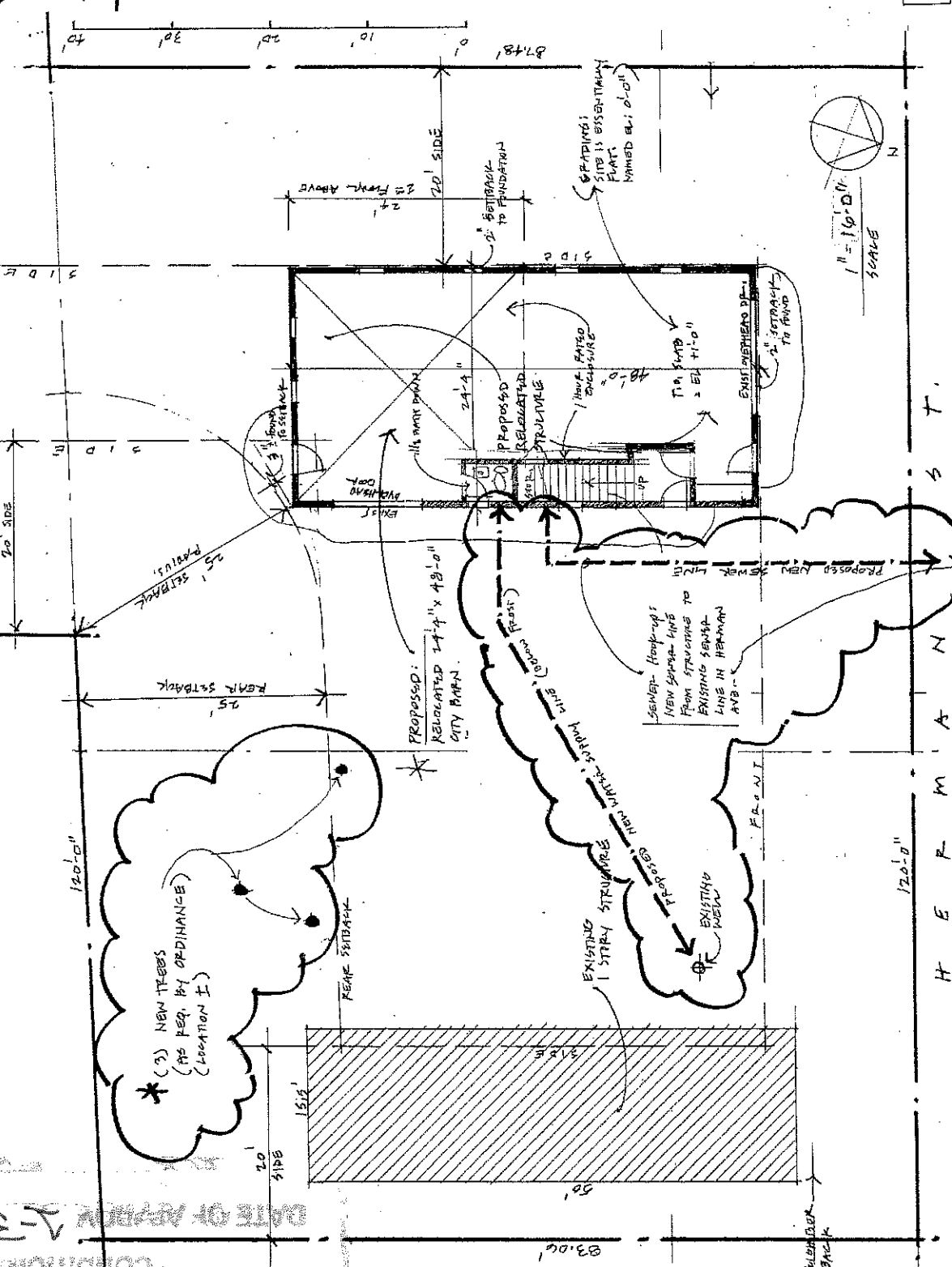
**Approval Conditions of DRC**

- 1 All damage to sidewalk, curb, street, or public utilities shall be repaired to City of Portland standards prior to issuance of a Certificate of Occupancy.
- 2 Two (2) City of Portland approved species and size trees must be planted ON YOUR STREET FRONTAGE prior to issuance of a Certificate of Occupancy.
- 3 Your new street address is now # 103 HERMAN AVENUE, the number must be displayed on the street frontage of your house prior to issuance of a Certificate of Occupancy.
- 4 The Development Review Coordinator (874-8632) must be notified five (5) working days prior to date required for final site inspection. Please make allowances for completion of site plan requirements determined to be incomplete or defective during the inspection. This is essential as all site plan requirements must be completed and approved by the Development Review Coordinator prior to issuance of a Certificate of Occupancy. Please schedule any property closing with these requirements in mind.
- 5 A sewer permit is required for you project. Please contact Carol Merritt at 874-8300, ext . 8822. The Wastewater and Drainage section of Public Works must be notified five (5) working days prior to sewer connection to schedule an inspector for your site.
- 6 A street opening permit(s) is required for your site. Please contact Carol Merritt ay 874-8300, ext. 8822. (Only excavators licensed by the City of Portland are eligible.)
- 7 As-built record information for sewer and stormwater service connections must be submitted to Public Works Engineering Section (55 Portland Street) and approved prior to issuance of a Certificate of Occupancy.
- 8 The site contractor shall establish finish grades at the foundation, bulkhead and basement windows to be in conformance with the first floor elevation (FFE) and sill elevation (SE) set by the building contractor to provide for positive drainage away from entire footprint of building.
- 9 The Development Review Coordinator reserves the right to require additional lot grading or other drainage improvements as necessary due to field conditions.

CITY OF PORTLAND  
 APPROVED SITE PLAN  
 SUBJECT TO DEPARTMENTAL  
 CONDITIONS  
 DATE OF APPROVAL 7-3-03

**APPENDUM #1**

ADJACENT NEIGHBOR  
 10'-0" SETBACK



**3**

DETAIL OF SITE PLAN

WILL WINKELMANN & WHITE ARCHITECTS 1774 OLLIUM ST. PORTLAND, OR 97202  
 DATE: 1.2.03

KIT BARN - HERMAN ST, PORTLAND ISLAND

\* DATE: 1.2.03

Revised 4-1-01



SHEET 85-A

SHEET 84-D

SHEET 84-D

SHEET 84-D

SHEET 84-D

SHEET 84-D

SHEET 84-D

SHEET 84-D

SHEET 84-D

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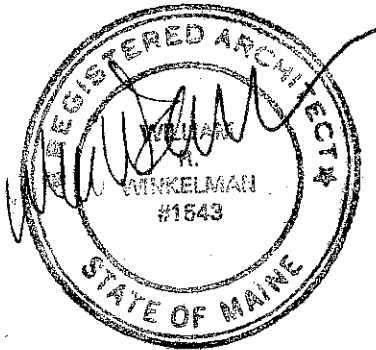
SHEET 84-D

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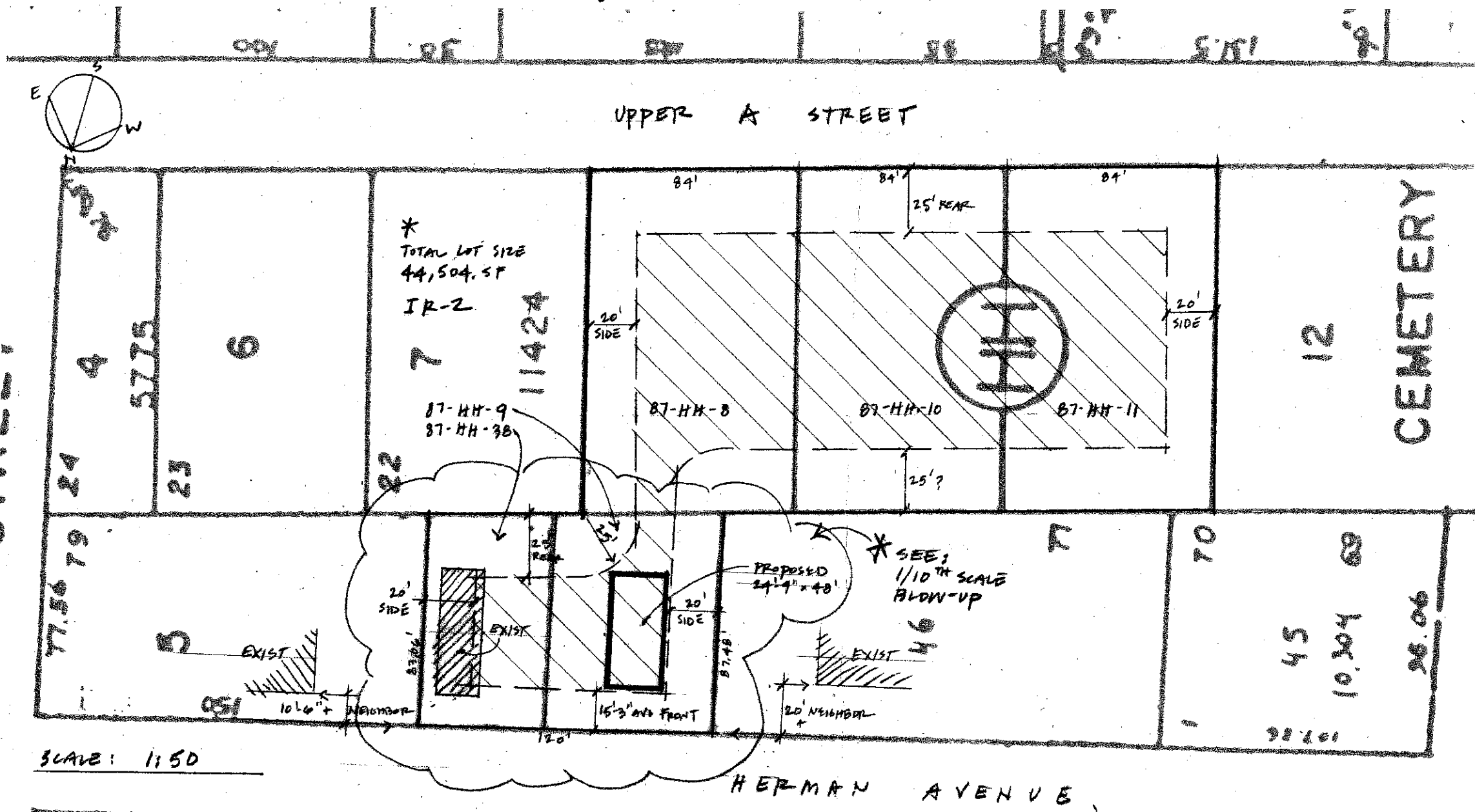
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SHEET 84-D

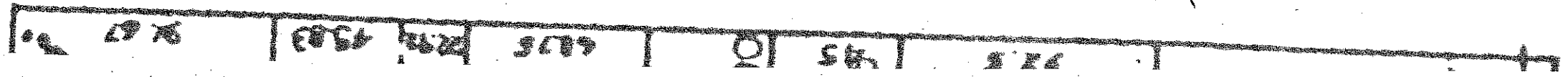


DATE: \* 11.4.02

WILL WINKELMAN & WHITTEN ARCHITECTS: 774 0111 X102



SCALE: 1:50



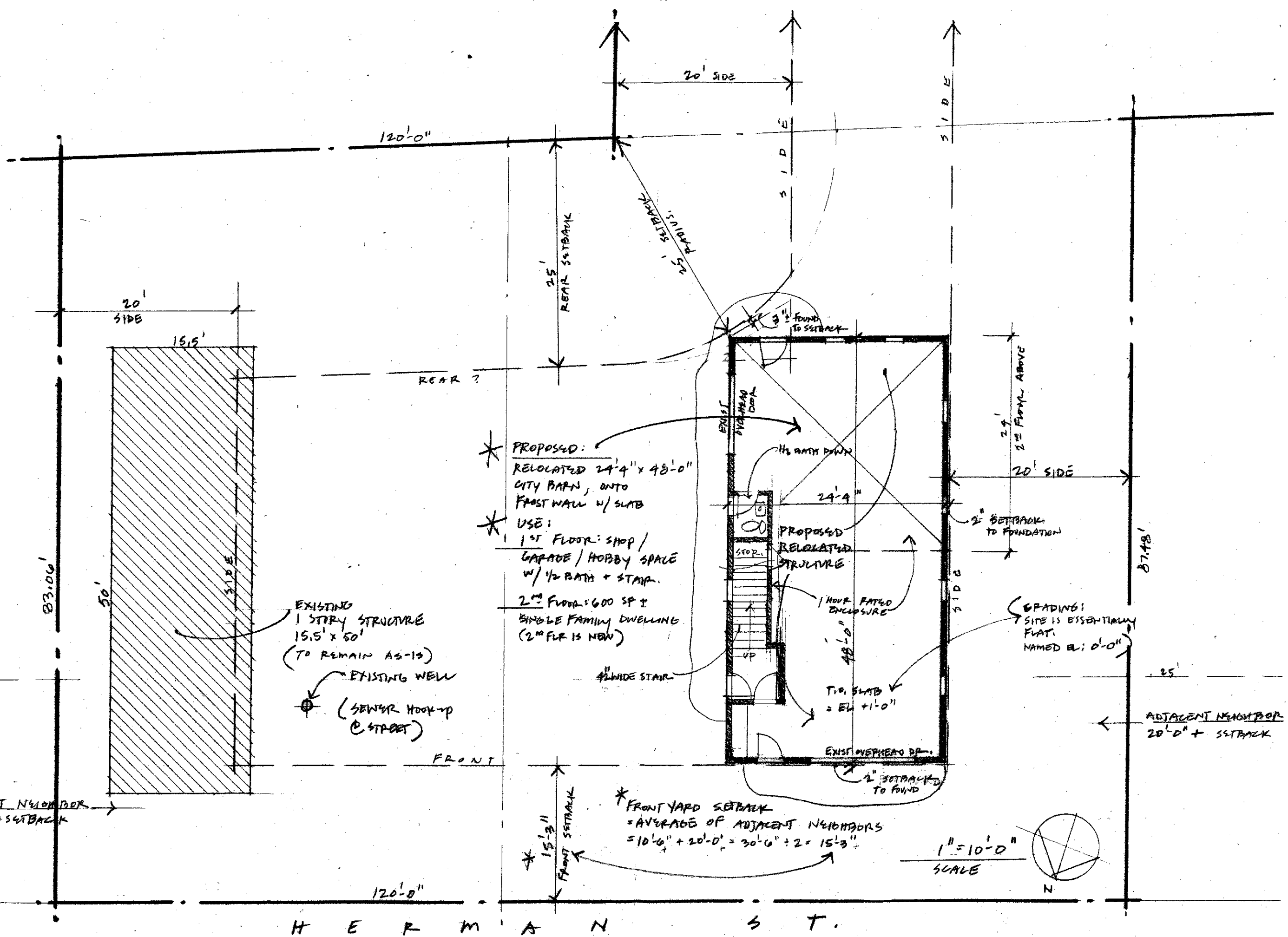
ADDRESS: HERMAN AVE, PEAKS ISLAND  
 CLIENT: AJ IVERS  
 LOT: 87-HH-8, 9, 10, 11, 38  
 SF AREA: TOTAL LOT = 44,504 SF  
 ZONE: IR-2  
 MAX LOT COVERAGE: 20% (= 8,900 ALLOWED VS 1,980 PROPOSED) *OK.*  
 UTILITIES: WELL AS DRILLW ON SITE (EXIST); SEPTIC HOOP-UP TO STREET

USE: \* CURRENTLY - LOT HAS A 1 STORY 155' X 50' WOOD FRAME STRUCTURE USED FOR STORAGE (EXISTING).  
 \* PROPOSED - NEW STRUCTURE IS <sup>BEING</sup> RELOCATED CITY BARN, (1 STORY 24'4" X 48' WOOD FRAME STRUCTURE) BEING MOVED TO A NEW FOUNDATION ON THIS SITE.  
 THE STRUCTURE WILL HAVE A SINGLE FAMILY DWELLING ON A NEW SECOND LEVEL (600 SF±) - OVER THE FIRST FLOOR TO BE USED FOR STORAGE / HOBBIES / GARAGE.  
 GRADING: THE LOT IS ESSENTIALLY FLAT + WILL REMAIN SO. TOP OF SLAB WILL BE ELEVATED 12" ABOVE GRADE + APRON'S WILL BE FILLED ACCORDINGLY

*Accessories uses to A Single Family only*

SITE PLAN  
 1

AJ'S BARN - HERMAN ST, PEAKS ISLAND



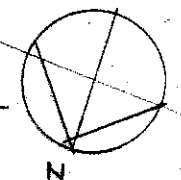
- \* PROPOSED:  
RELOCATED 24'-4" x 48'-0"  
CITY BARN, ONTO  
FRONT WALL w/ SLAB
- \* USE:  
1<sup>ST</sup> FLOOR: SHOP /  
GARAGE / HOBBY SPACE  
w/ 1/2 BATH + STAIR.
- 2<sup>ND</sup> FLOOR: 600 SF ±  
SINGLE FAMILY DWELLING  
(2<sup>ND</sup> FLR IS NEW)

EXISTING  
1 STORY STRUCTURE  
15.5' x 50'  
(TO REMAIN AS-IS)

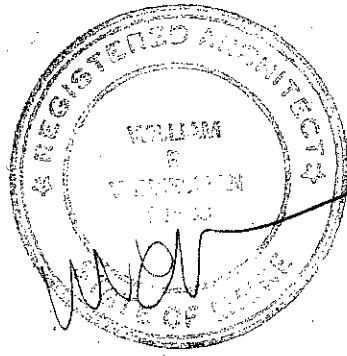
EXISTING WELL  
(SEWER HOOK-UP  
@ STREET)

\* FRONT YARD SETBACK  
= AVERAGE OF ADJACENT NEIGHBORS  
= 10'-0" + 20'-0" = 30'-0" ÷ 2 = 15'-0"

1" = 10'-0"  
SCALE

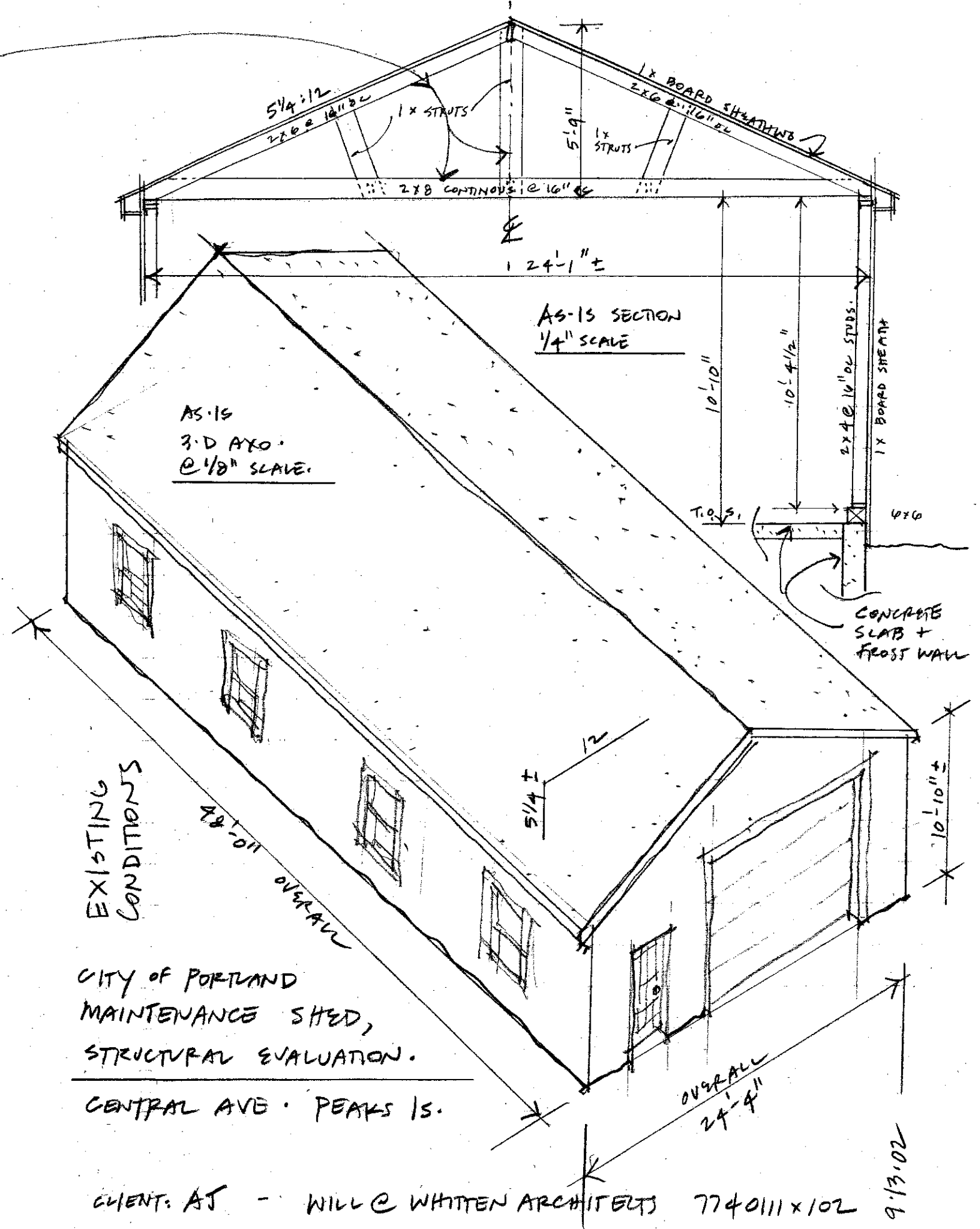


DETAIL OF SITE PLAN



\* SEE SHT #7  
FOR REINFORCEMENT REQUIREMENTS  
FOR EXISTING ROOF TRUSSES

\*  
NOTE:  
THE EXISTING BUILDING IS FUNDAMENTALLY  
SOUND. THE SITE BUILT ROOF TRUSSES  
ARE TO BE REINFORCED PER NOTES ON  
SECTION ON SHT #7  
  
ALL TEMPORARY REINFORCING / BRACING  
REQUIRED FOR LIFTING + MOVING  
THIS STRUCTURE IS PER RECOMMENDATIONS  
OF BUILDING MOVING CONTRACTOR.



EXISTING  
CONDITIONS

CITY OF PORTLAND  
MAINTENANCE SHED,  
STRUCTURAL EVALUATION.  
CENTRAL AVE - PEAKS IS.

CLIENT: AJ - WILL @ WHITTEN ARCHITECTS 7740111 X102

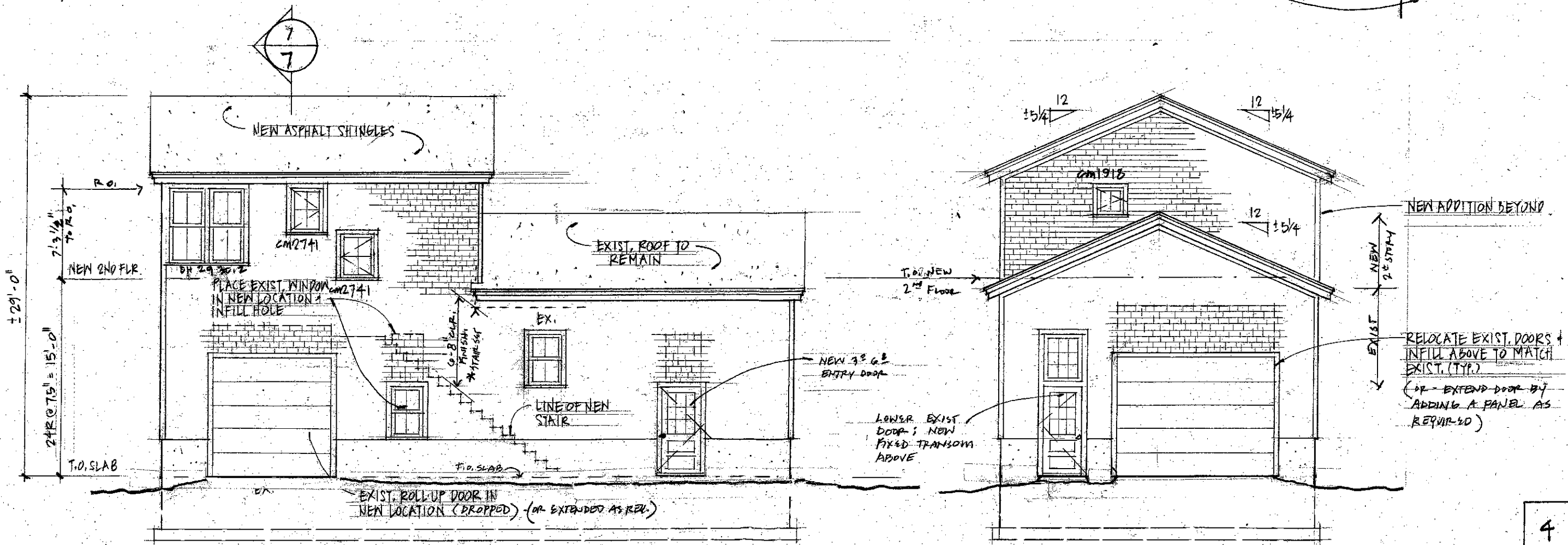
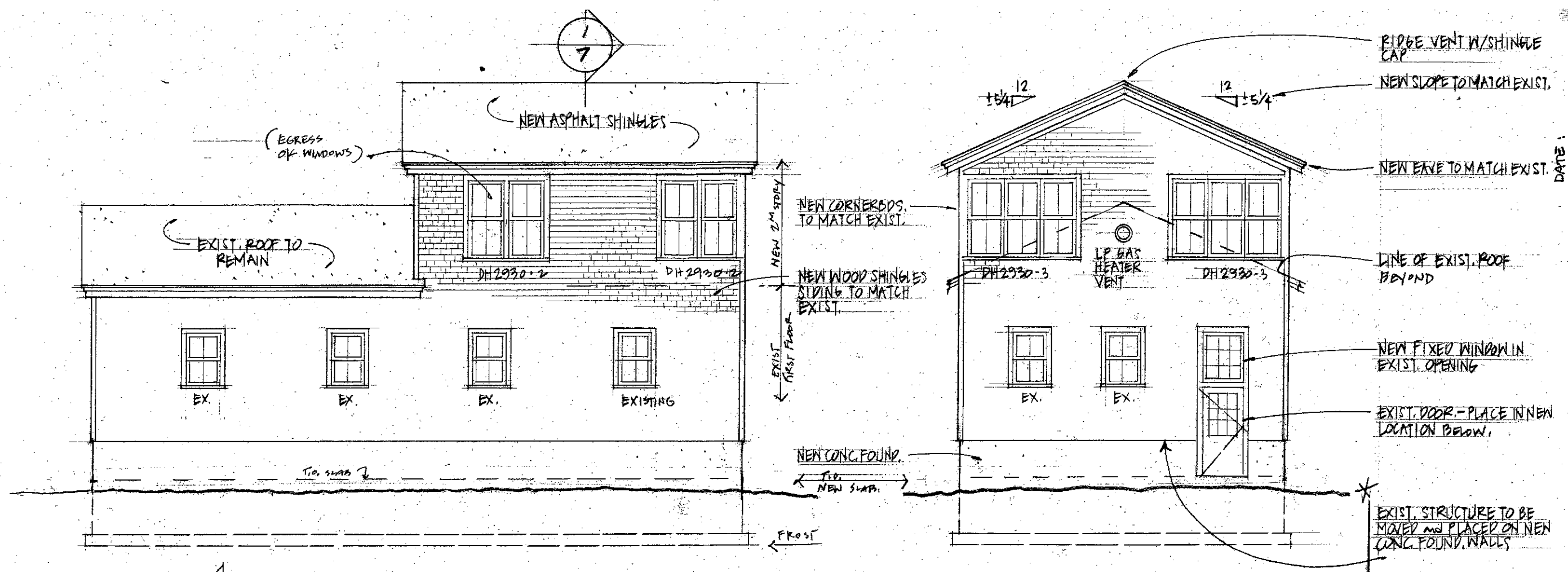
9.13.02

\* EXISTING STRUCTURE TO BE MOVED

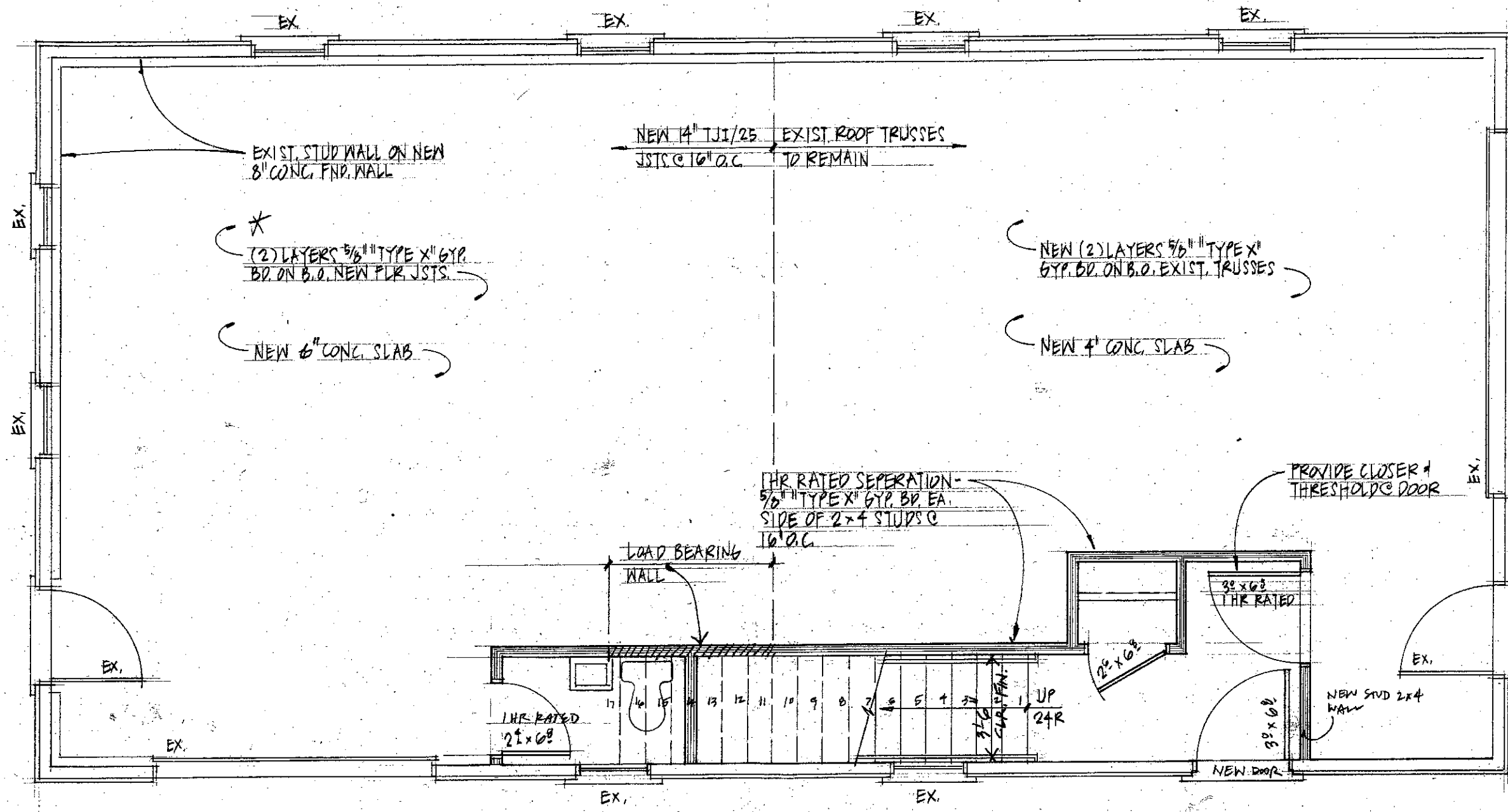
3

DATE: 11.4.02  
WILL WINKELMANN WHITTEN ARCHITECTS: 774 0111 X102  
AJ'S BARN - HERMAN ST, PEAKS ISLAND



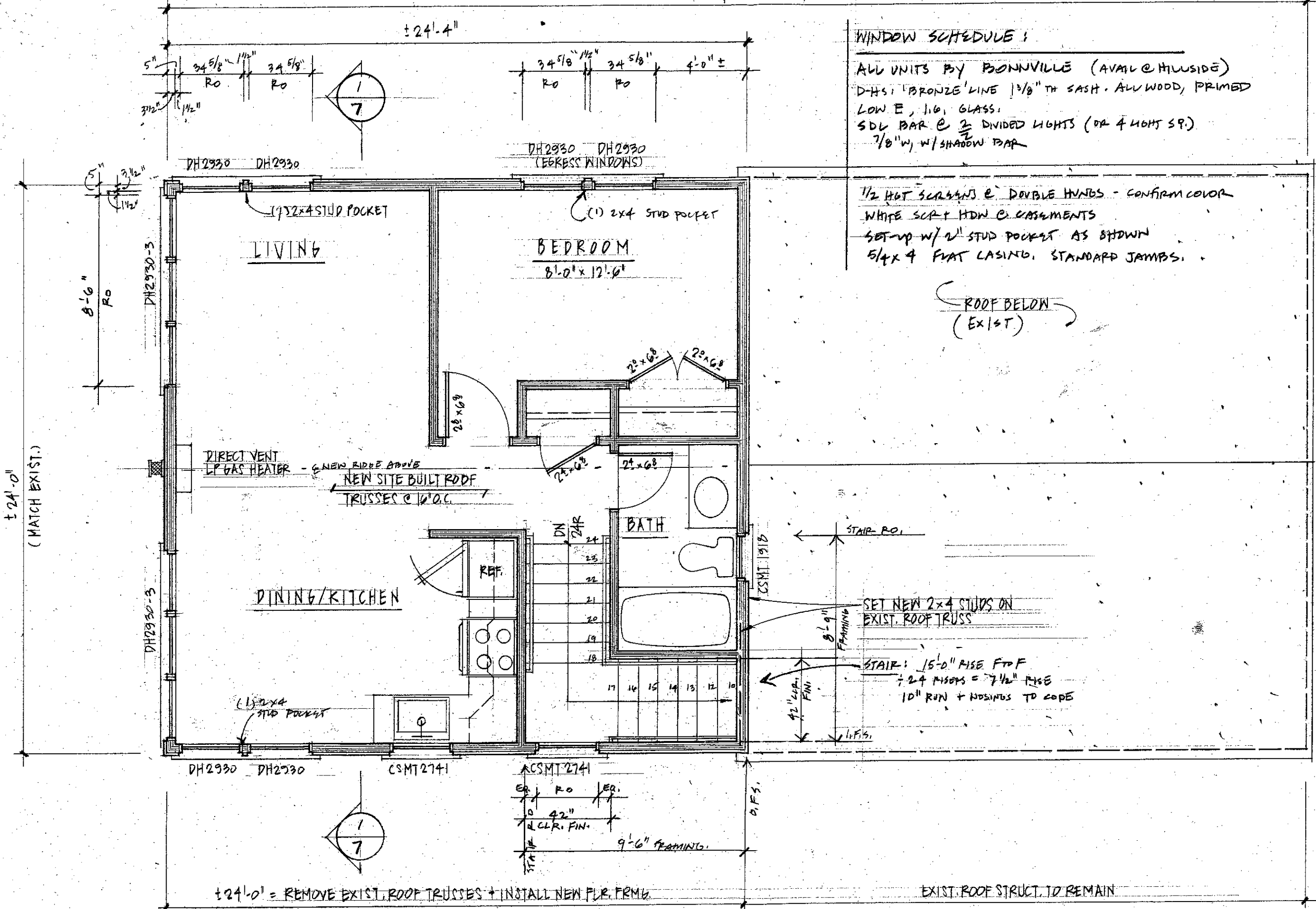


ELEVATIONS - SCALE 1/8" = 1'-0"



FIRST FLOOR PLAN - SCALE 1/4" = 1'-0"

±48'-0" (EXIST.)



WINDOW SCHEDULE:

ALL UNITS BY BONNVILLE (AVAIL @ HILLSIDE)  
 D-HS: 'BRONZE' LINE 1 3/8" TH SASH. ALL WOOD, PRIMED  
 LOW E, 161 GLASS.  
 SGL BAR @ 2 DIVIDED LIGHTS (OR 4 LIGHT SQ.)  
 7/8" W, W/SHADOW BAR

1/2 HGT SCREENS & DOUBLE HUNDS - CONFIRM COLOR  
 WHITE SCAFF HDW @ CASSEMENTS  
 SET UP W/ 1/2" STUD POCKET AS SHOWN  
 5/4 X 4 FLAT CASING, STANDARD JAMBS.

ROOF BELOW  
 (EXIST.)

SET NEW 2x4 STUDS ON  
 EXIST. ROOF TRUSS

STAIR: 15'-0" RISE F2F  
 ÷ 24 RISERS = 7 1/2" RISE  
 10" RUN + NOSINGS TO COPE

±24'-0" = REMOVE EXIST. ROOF TRUSSES + INSTALL NEW FLR. FRMG.

EXIST. ROOF STRUCT. TO REMAIN

SECOND FLOOR PLAN - SCALE 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

NEW ASPHALT SHINGLES TO MATCH  
EXIST. ON 15# ROOF FELTS ON  
5/8" PLYWD. SHTG ON SITE BUILT  
ROOF TRUSSES @ 24" O.C.

DBL. COURSE SHINGLES @ 1ST COURSE  
ON 8" MIL. DRIP EDGE

NEW EAVE, SOFFIT and FRIEZE  
BR. TO MATCH EXIST.

CONT. 2" SOFFIT VENT W/ INSECT  
SCREEN

NEW WOOD SHINGLES TO MATCH  
EXIST. ON ASPHALTIC BLDG. PAPER  
ON NEW SHTG. TO MATCH EXIST. (OR 5/8" PLY)  
ON 2x4 STUDS @ 16" O.C. W/ 3/2"  
BATT INSUL.

2" INSUL. BAFFLE @ EA.  
TRUSS BAY

(2) LAYERS 6" BATT INSUL.

SEE FRM. PLAN FOR HEADER

1/2" GYP. BD. ON 6 MIL V.B.  
ON 1x3 STRAPPING @ 16"  
O.C. ON B.O. TRUSSES @ 24" O.C.

5/8" GYP. BD. ON 6 MIL V.B.  
ON STUDS

MIL FLASH @ 6" EA WAY  
OVER MEMB. FLASH @ 18" EA  
WAY @ ROOF/WALL JCT.

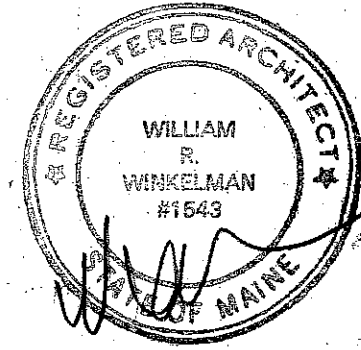
5/8" GYP. BD. ON 6 MIL V.B.  
ON NEW 2x4 STUDS @  
16" O.C.

3/4" ADVANTECH" SUBFLR.  
GLUED & SCREWED TO  
NEW 1 1/2" TJI/25 JSTS.  
@ 16" O.C.

9" BATT INSUL.

(2) LAYERS 5/8" TYPE X"  
GYP. BD. ON B.O. NEW JSTS.  
AND EXIST. ROOF TRUSSES

DETAIL @ NEW/EXIST. JCT. - 3/4" = 1'-0"



14" TJI/25  
@ 16" O.C.  
(Rim Joist per TJI specs)

TYP: 8-2" TYP. PLY SUB F. TO B.O. TRUSS.  
7-2 1/2" @ TOP OF R.O.  
@ WINDOW FD.

3/4" ADVANTECH" SUBFLR.  
GLUED & SCREWED TO 1 1/2" TJI/25  
JSTS @ 16" O.C.

WOOD BASE BD.

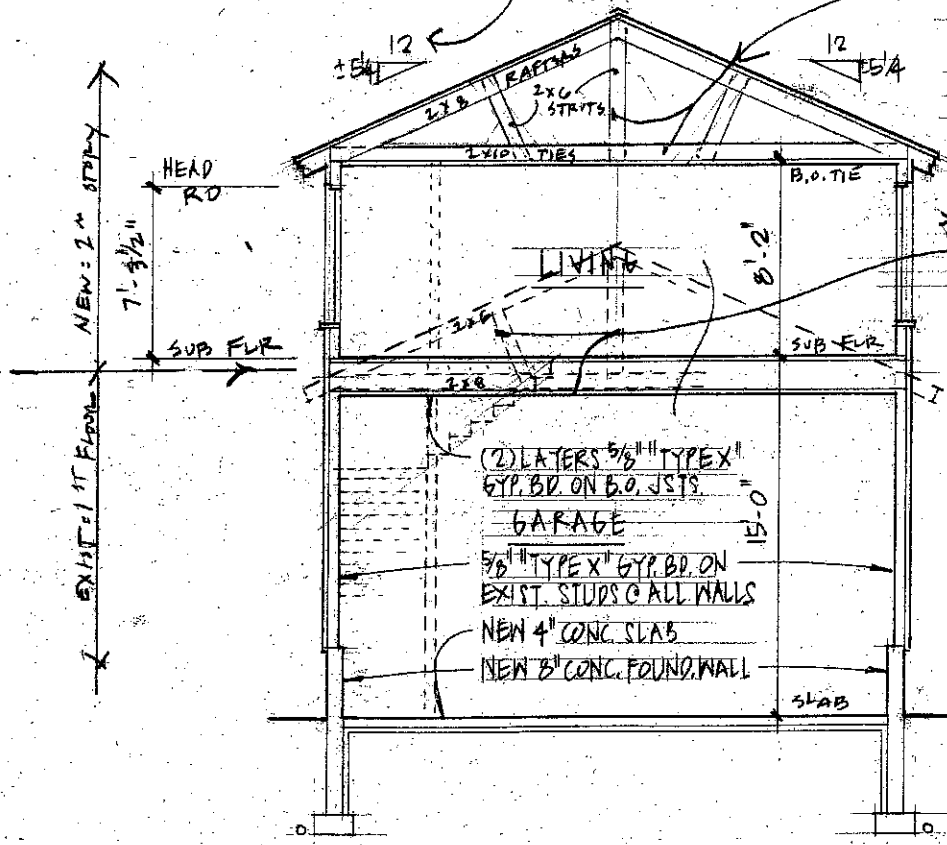
9" BATT INSUL.

EXIST TIES @ 16" O.C.  
2x8

(2) LAYERS 5/8" TYPE X" GYP.  
BD. ON B.O. JSTS.

5/8" TYPE X" GYP. BD. ON 6 MIL  
V.B. ON EXIST. STUDS W/ NEW  
3/2" BATT INSUL.

(NEW ROOF PITCH: MATCH EXIST)



\* NEW ROOF TRUSSES: (24" O.C.)  
2x10 TIES CONTINUOUS (BOTT LOAD)  
W/ 2x8 RAFTERS (TOP CORD)  
W/ 2x6 STRUTS AS DRAWN  
(EQUALLY SPACED)  
(SITE BUILT)  
(FASTENERS: (5) 20d NAILS @ EACH  
JOINT, BAND OVER)

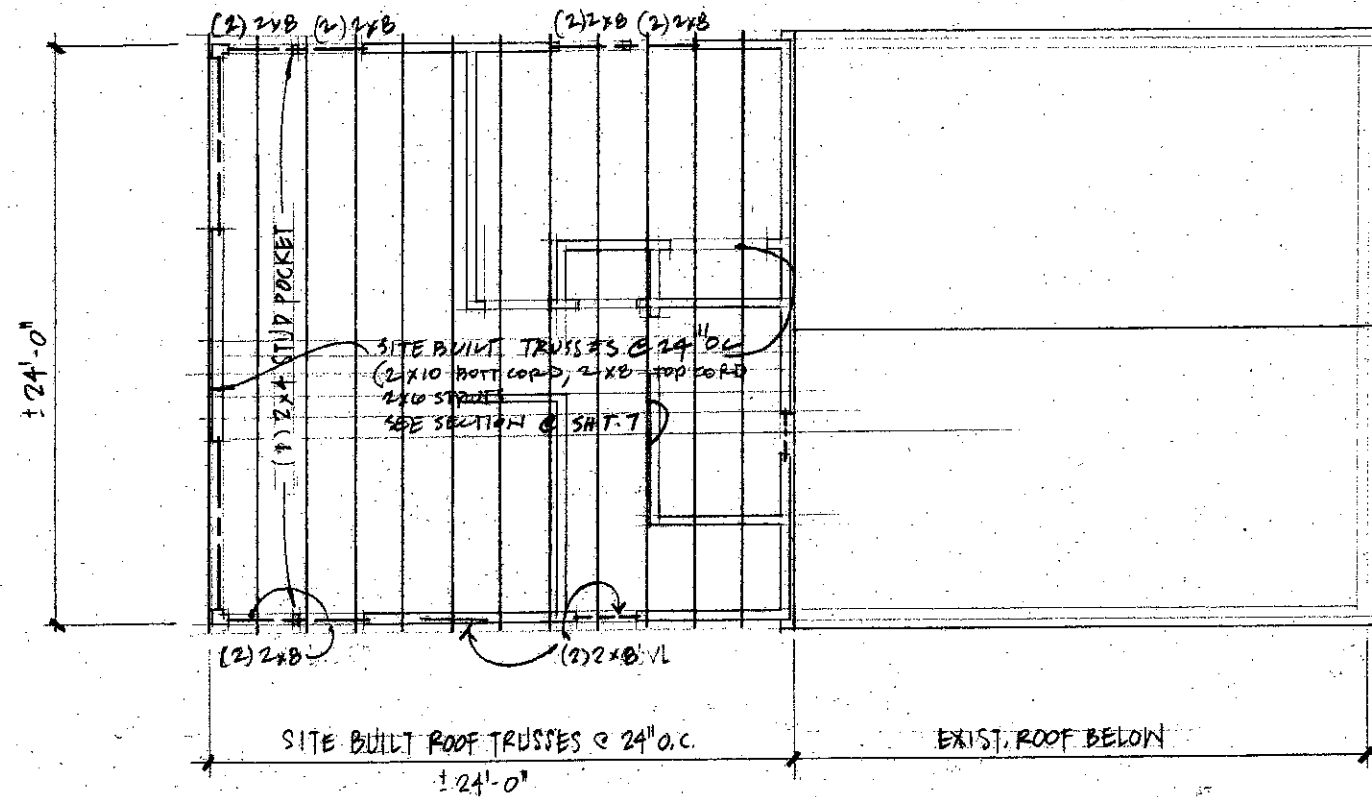
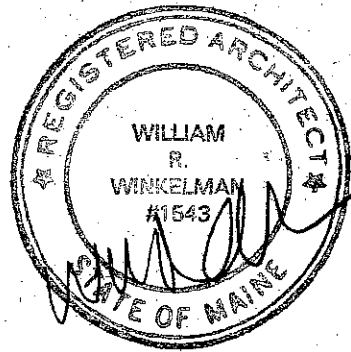
\* EXIST ROOF TRUSSES: (16" O.C.)  
REPLACE ANY/ALL  
MISSING OR IMPROPERLY  
FASTENED 1x8 STRUTS  
W/ NEW 1x8 STRUTS  
(FASTENERS (5) 16d MIN. @ EACH,  
BAND OVER)

EXIST. T.O. @ TO REMAIN

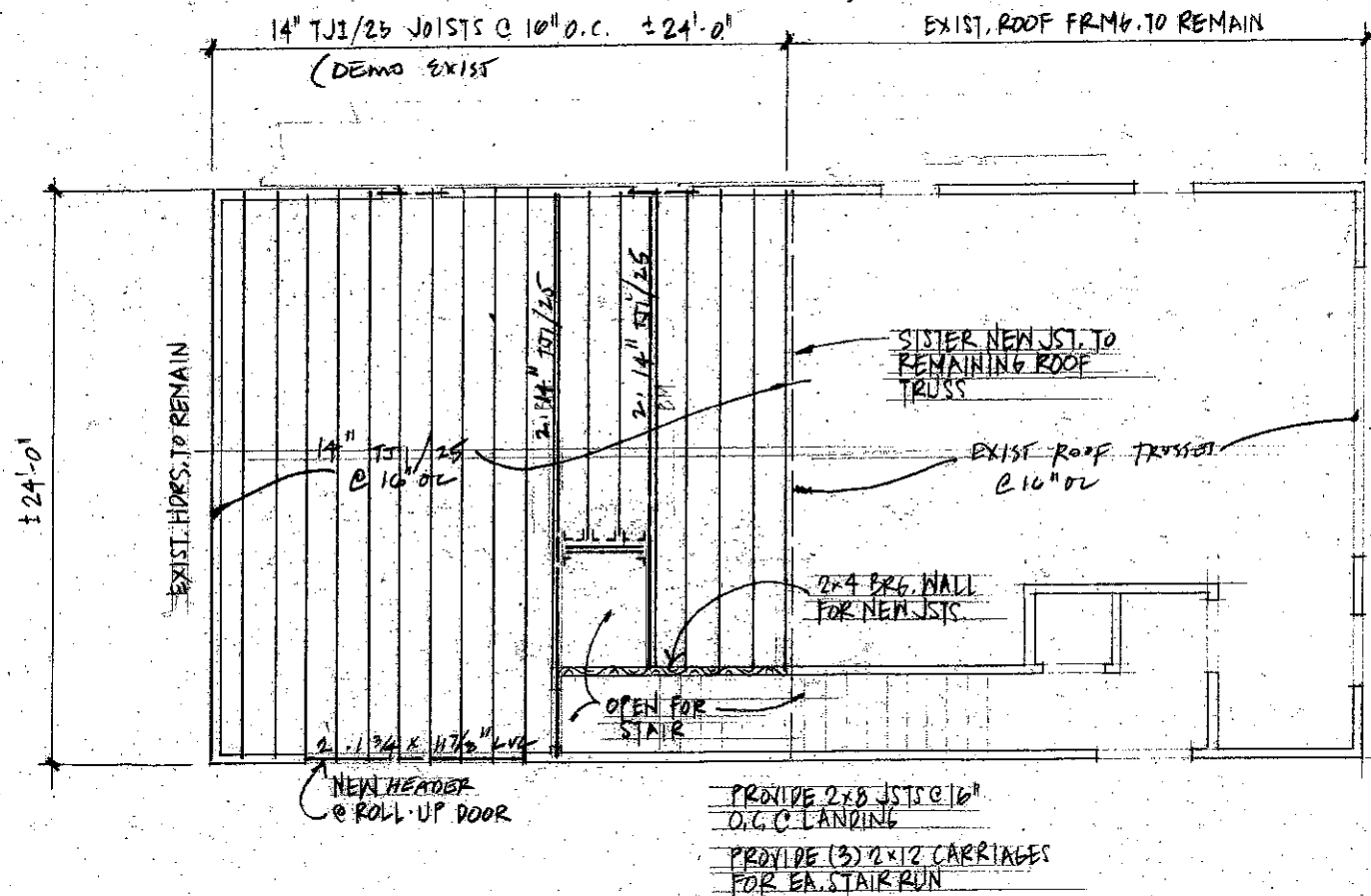
EXIST. SHINGLES

WALL SECTION @ ADDITION - SCALE 3/4" = 1'-0"

BUILDING SECTION - SCALE 1/8" = 1'-0"



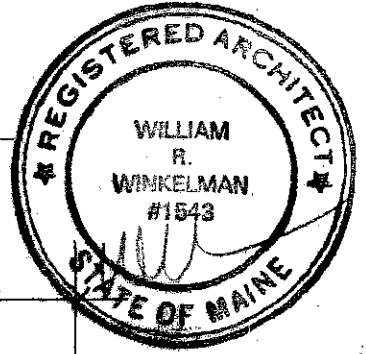
NEW ROOF FRAMING PLAN SCALE: 1/8" = 1'-0"



NEW 2ND FLOOR FRAMING PLAN SCALE: 1/8" = 1'-0"

NOTE: CONG. OPENINGS (C.O.) ARE 4" BIGGER ON EACH SIDE THAN THE WOOD FRAMED R.O. (USE (2) 2x4 P.T. STUDS TO SLAB).

\* DOUBLE CHECK + REVISE AS REQ. ALIGNMENT OF OPENINGS DRAWN VS. EXIST STRUCTURES.



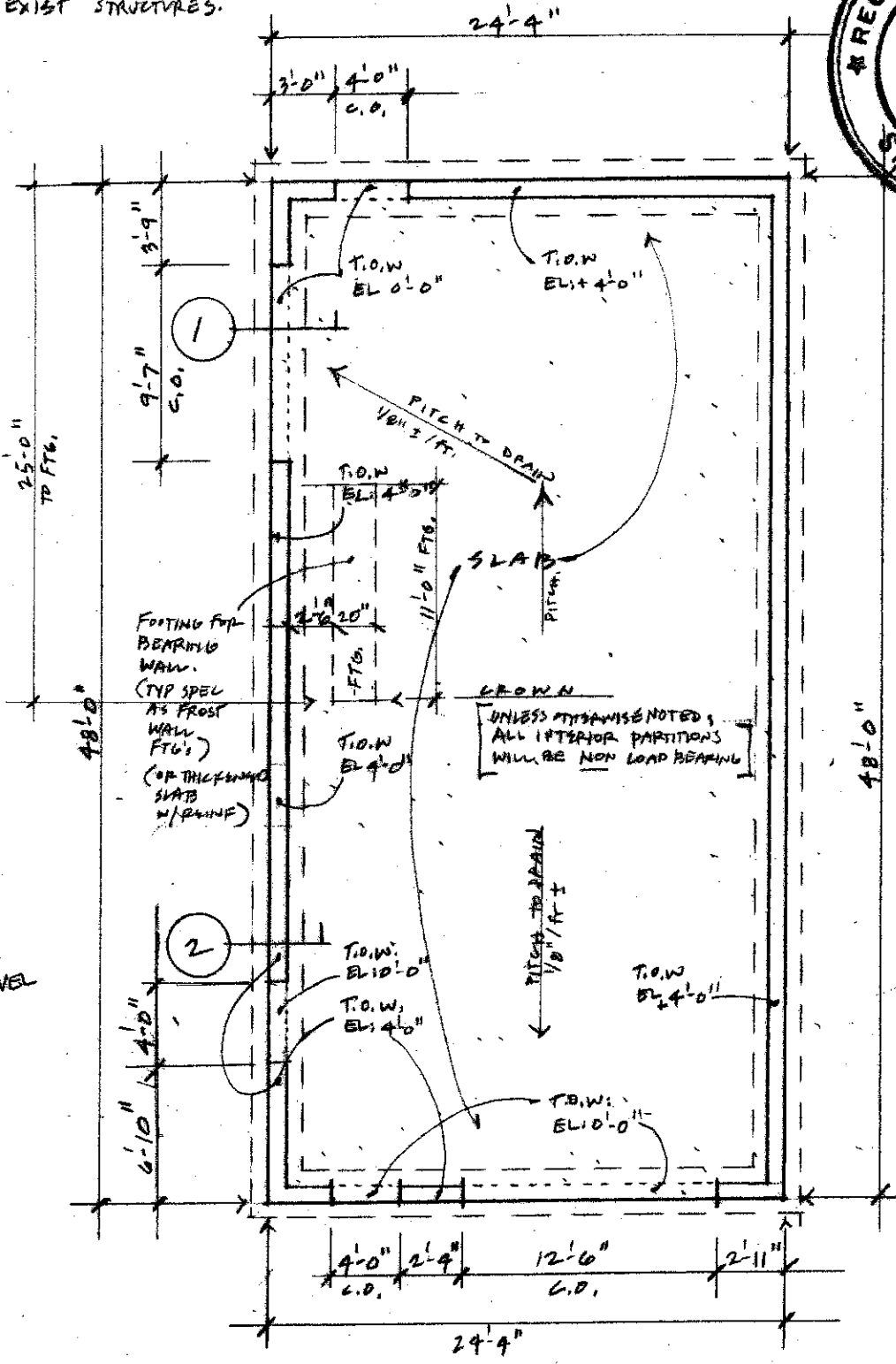
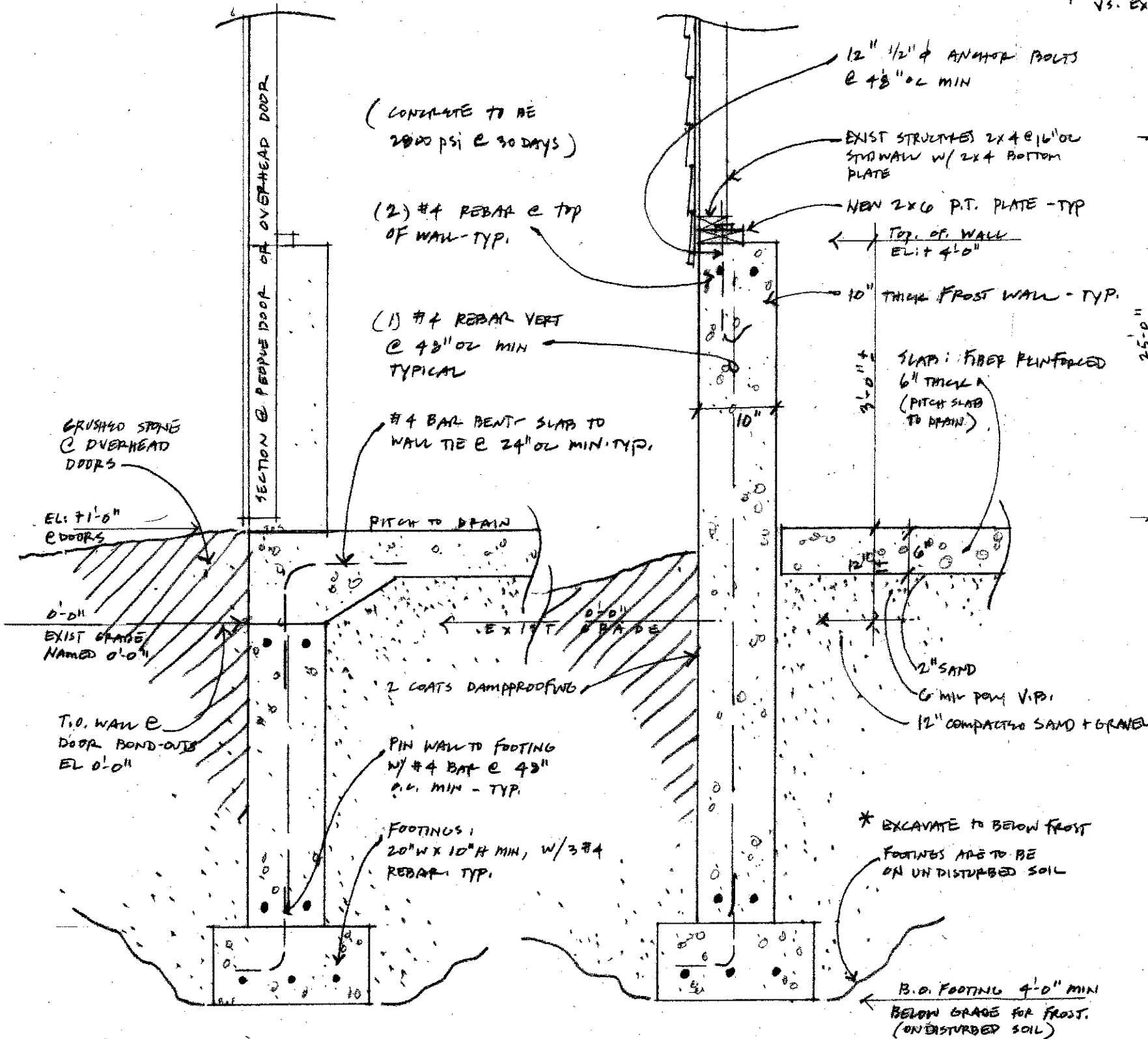
DATE:

11.4.02

WILL WINKELMAN & WHITTEN ARCHITECTS : 774 0111 X102

AJ'S BARN - HERMAN ST, PEAKS ISLAND

FOUNDATION PLAN + DETAILS



1 FROST WALL @ DOORS  
3/4" SCALE

2 FROST WALL - TYPICAL  
3/4" SCALE

FOUNDATION PLAN  
1/8" SCALE