

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



# CITY OF PORTLAND

# BUILDING PERMIT

This is to certify that JAMES P MACVANE

Located At 45 CENTENNIAL ST (PEAKS ISLAND)

Job ID: 2012-07-4518-ALTR

CBL: 087- U-012-001

has permission for exterior renovations- replace front porch & add balcony from second floor (Single Family Residence).  
provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of  
the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of  
the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured  
before this building or part thereof is lathed or otherwise  
closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner  
before this building or part thereof is occupied. If a  
certificate of occupancy is required, it must be

08/08/2012

**Fire Prevention Officer**

**Code Enforcement Officer / Plan Reviewer**

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY  
PENALTY FOR REMOVING THIS CARD



# PORTLAND MAINE

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Director of Planning and Urban Development  
Jeff Levine

Job ID: 2012-07-4518-ALTR

Located At: 45 CENTENNIAL ST

CBL: 087- U-012-001

## Conditions of Approval:

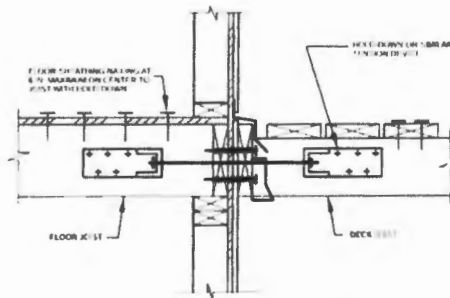
### **Zoning**

1. This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
2. It is understood that the existing front stairs projecting forward toward the street will be removed entirely and will be replaced in the area of a small deck and inset stairs and will project no closer to the street line than the existing porch (14-425 used)

### **Building**

1. Separate permits are required for any electrical: plumbing, sprinkler, fire alarm, HVAC systems, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
2. Section R317 Protection of Wood and Wood Based Products against decay. All wood framing members that rest on concrete or masonry exterior foundation walls and are less than 8 inches from the exposed ground.
3. A graspable handrail (34-38 inches in height) shall be provided on at least one side of each continuous run of treads or flight with four or more risers. Fall protection (36 inches) from exterior decks may be required if floor joist are at or above thirty (30) inches from grade.
4. R312.3 Opening limitations. Required guards shall not have openings from the walking surface to the required guard height which allow passage of a sphere 4 inches in diameter.
5. R502.6 Bearing. The ends of each joist, beam or girder shall have not less than 1.5 inches of bearing on wood or metal and not less than 3 inches on masonry or concrete except where supported on a 1-inch-by-4-inch ribbon strip and nailed to the adjacent stud or by the use of approved joist hangers.
6. **R502.5 Allowable girder spans. The allowable spans of girders fabricated of dimension lumber shall not exceed the values set forth in Tables R502.5(1) and R502.5(2), see attachment.**

7. Roof covering in compliance with Section R905.2.7 is required. Contractor will (solid block on exterior deck wall) & submit specs for fastening both the roof & deck to the building ledger.
8. R311.5.1 Attachment. Exterior landings, decks, balconies, stairs and similar facilities shall be positively anchored to the primary structure to resist both vertical and lateral forces or shall be designed to be self-supporting. Attachment shall not be accomplished by use of toenails or nails subject to withdrawal.
- 9.





For SI 1 inch = 25.4 mm

FIGURE 602.2.2.3  
DECK ATTACHMENT FOR LATERAL LOADS

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2012-07-4518-ALTR	Date Applied: 7/23/2012	CBL: 087- U-012-001	
Location of Construction: 45 CENTENNIAL ST <b>P.I</b>	Owner Name: JAMES P MACVANE	Owner Address: 45 CENTENNIAL ST /PO BOX 121 PEAKS ISLAND, ME 04108	Phone: 671-9486
Business Name:	Contractor Name: North Shore Construction	Contractor Address: 17 CITY POINT RD PEAKS ISLAND MAINE 04108	Phone: (207) 899-1966
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG ADD	Zone: IR-2
Past Use: Single Family Dwelling	Proposed Use: Same: Single Family Dwelling - Demolition of front porch, rebuild to safer standards and new balcony on top of porch.	Cost of Work: \$11,000.00	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: RS Type: SR IRC, 2009 (MUSE) Signature: 
Proposed Project Description: replace front porch		Pedestrian Activities District (P.A.D.)	
Permit Taken By: Gayle		<b>Zoning Approval</b>	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <b>N/A</b> <input type="checkbox"/> Wetlands <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan  <input type="checkbox"/> Maj <input type="checkbox"/> Mfn <input type="checkbox"/> MM Date: <b>OK with conditions</b> <b>9/30/12</b>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Date: 	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in Dist or Landmark <input type="checkbox"/> Does not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: 
	<b>CERTIFICATION</b>		

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT ADDRESS DATE PHONE

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE DATE PHONE

2012 07451866



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

IR-2

Location/Address of Construction: <u>45 CENTENNIAL ST PEAKS ISLAND</u>		
Total Square Footage of Proposed Structure/Area <u>192 SQ FT</u>	Square Footage of Lot	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>087</u> Block# <u>U012</u> Lot#	Applicant: (must be owner, lessee or buyer) Name <u>JAMES P. MACVANE</u> Address <u>45 CENTENNIAL ST</u> City, State & Zip <u>PEAKS ISLAND ME 04108</u>	Telephone: <u>207 671 9486</u>
Lessee/DBA <u>RECEIVED</u> <u>JUL 23 2012</u> Dept. of Building Inspections City of Portland Maine	Owner: (if different from applicant) Name Address City, State & Zip	Cost of Work: <u>\$11,000</u> C of O Fee: \$ Historic Review: \$ Planning Amin.: \$ Total Fee: \$
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>1</u> If vacant, what was the previous use? Proposed Specific use: <u>SINGLE FAMILY</u> Is property part of a subdivision? <u>NO</u> If yes, please name Project description: <u>DEMOLITION OF FRONT PORCH, RENOVATE TO SAFER STANDARDS AND NEW BALCONY ON TOP OF PORCH</u>		
Contractor's name: <u>NORTH SHORE CONSTRUCTION</u> Email: Address: <u>17 CITY POINT RD</u> City, State & Zip: <u>PEAKS ISLAND, ME 04108</u> Telephone: <u>207-899-1966</u> Who should we contact when the permit is ready: <u>JAMES MACVANE</u> Telephone: <u>207-671-9486</u> Mailing address: <u>17 CITY POINT RD PEAKS ISLAND 04108</u>		

Please submit all of the information outlined on the applicable checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

and I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: [Signature] Date: 7/23/12

This is not a permit; you may not commence ANY work until the permit is issued



# PORTLAND MAINE

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Receipts Details:

**Tender Information:** Check , BusinessName: James MacVane, Check Number: 1256  
**Tender Amount:** 130.00

Receipt Header:

**Cashier Id:** gguertin  
**Receipt Date:** 7/23/2012  
**Receipt Number:** 46254

Receipt Details:

Referance ID:	7361	Fee Type:	BP-Constr
Receipt Number:	0	Payment Date:	
Transaction Amount:	130.00	Charge Amount:	130.00
Job ID: Job ID: 2012-07-4518-ALTR - replace front porch			
Additional Comments: 45 Centennial PI, James MacVane			

Thank You for your Payment!

Assessor's Office | 389 Congress Street | Portland, Maine 04101 | Room 115 | (207) 874-8486

City Home Departments City Council E Services Calendar

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**Services**

- Applications
- Doing Business
- Maps
- Tax Relief
- Tax Roll
- Q & A

**CBL** 087 U012001  
**Land Use Type** SINGLE FAMILY  
**Property Location** 45 CENTENNIAL ST  
**Owner Information** MACVANE JAMES P  
 PO BOX 121  
 PEAKS ISLAND ME 04108  
**Book and Page** 27422/229  
**Legal Description** 87-U-12  
 CENTENNIAL ST 45  
 NATICK ST  
 PEAKS ISLAND 3327 SF  
**Acres** 0.0764

**Current Assessed Valuation:**

browse city services a-z

browse facts and links a-z

**TAX ACCT NO.** 13672 **OWNER OF RECORD AS OF APRIL 2012**  
 MACVANE JAMES P  
**LAND VALUE** \$192,500.00 **PO BOX 121**  
**BUILDING VALUE** \$102,600.00 **PEAKS ISLAND ME 04108**  
**NET TAXABLE - REAL ESTATE** \$295,100.00  
**TAX AMOUNT** \$5,553.78

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).



Best viewed at 800x600px, with Internet Explorer

**Building Information:**

**Building 1**  
**Year Built** 1900  
**Style/Structure Type** OLD STYLE  
**# Stories** 2  
**# Units** 1  
**Bedrooms** 2  
**Full Baths** 2  
**Total Rooms** 5  
**Attic** UNFIN  
**Basement** FULL  
**Square Feet** 1306

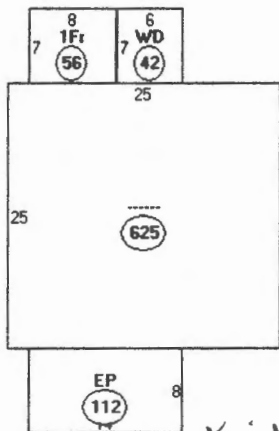


[View Sketch](#)      [View Map](#)      [View Picture](#)

**Sales Information:**

Sale Date	Type	Price	Book/Page
11/30/2009	LAND + BUILDING	\$0.00	27422/229
8/20/2008	LAND + BUILDING	\$0.00	/

[New Search!](#)



Descriptor/Area	
A: ---	625 sqft
B: 1Fr	56 sqft
C: WD	42 sqft
D: EP	112 sqft

625  
 56  
 42  
 112  


---

 835 #

doesn't  
 show existing front  
 stairs (5 or 6 steps)

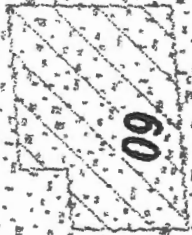
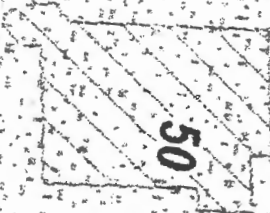
lot size per assessor  
 3327 # x 20% = 665.4

New deck within set stairs are  
 Taking the sq footage of the  
 existing front stairs that project  
 toward the street line -



CENTENNIAL ST

IR-2



15'0"

IR-2



$\frac{25}{40} \cdot 2 = 20'$  Allowed

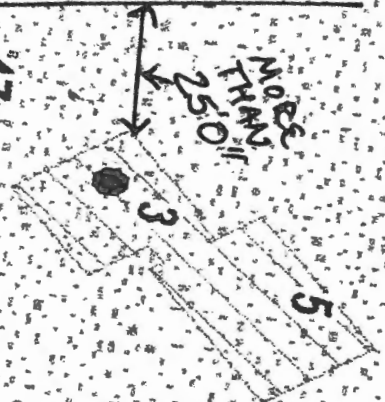
for Averaging front yard

NATICK ST

IR-1



47



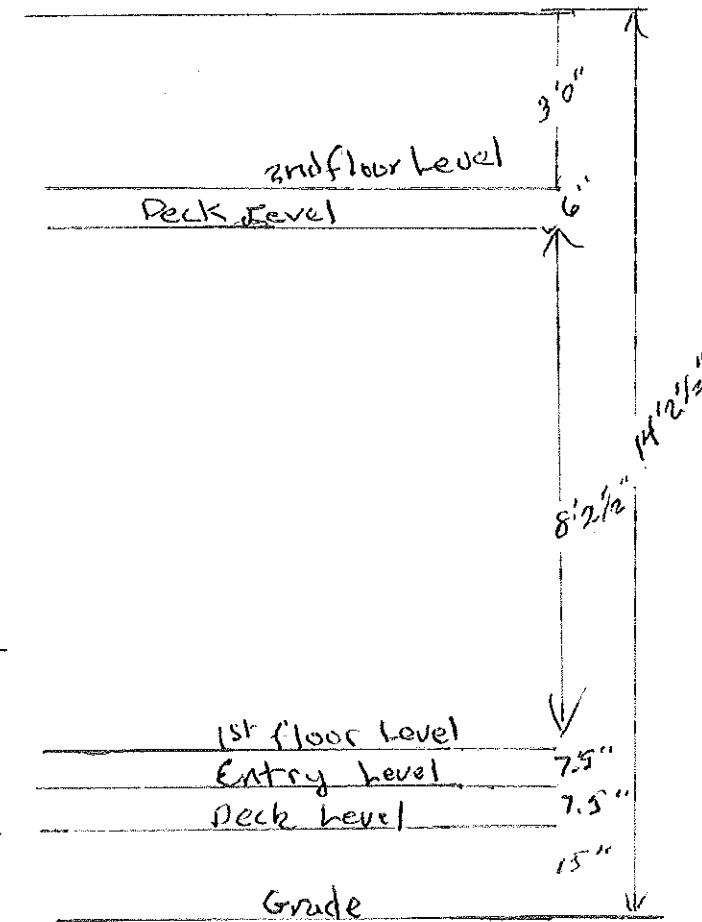
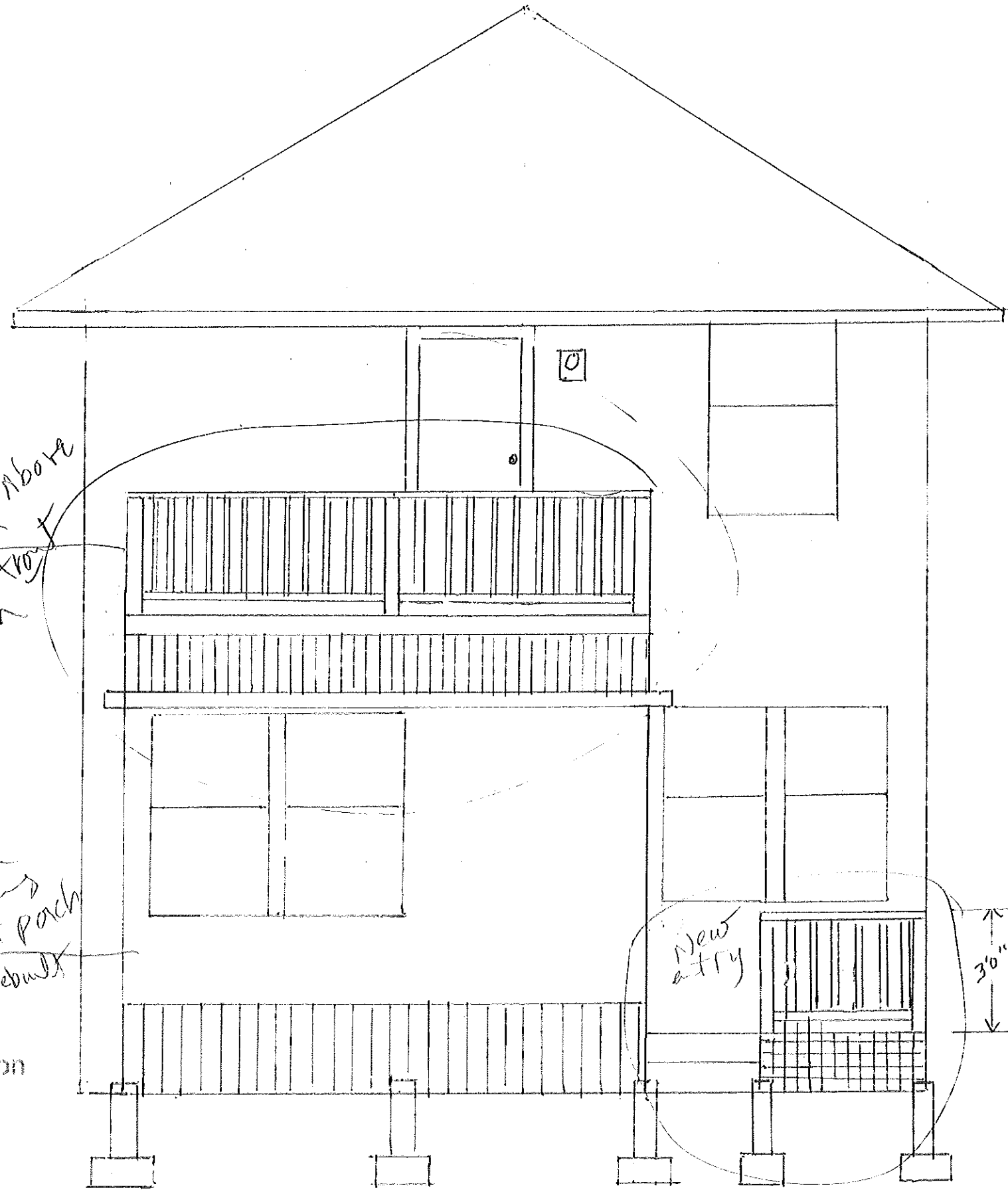
3

West Elevation

New deck above  
 exist front  
 porch

exist front porch  
 to be rebuilt

New  
 entry

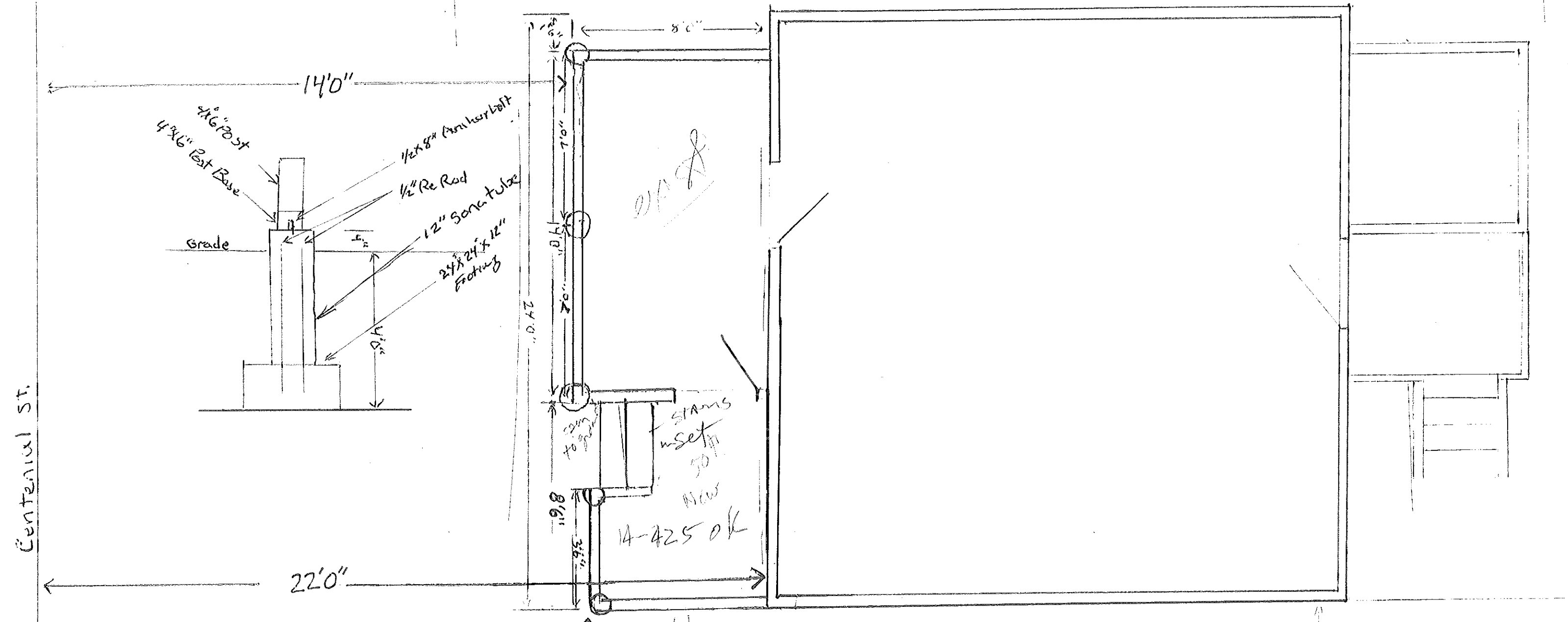


James P. MacVane Renovation  
 45 Centennial Street  
 Peaks Island, Maine

Contractor: North Shore Construction  
 Bradford J. Brown, 899-1966

SCALE: 1/4" = 1'-0"

# Foundation / Sonotubes



Centennial St.

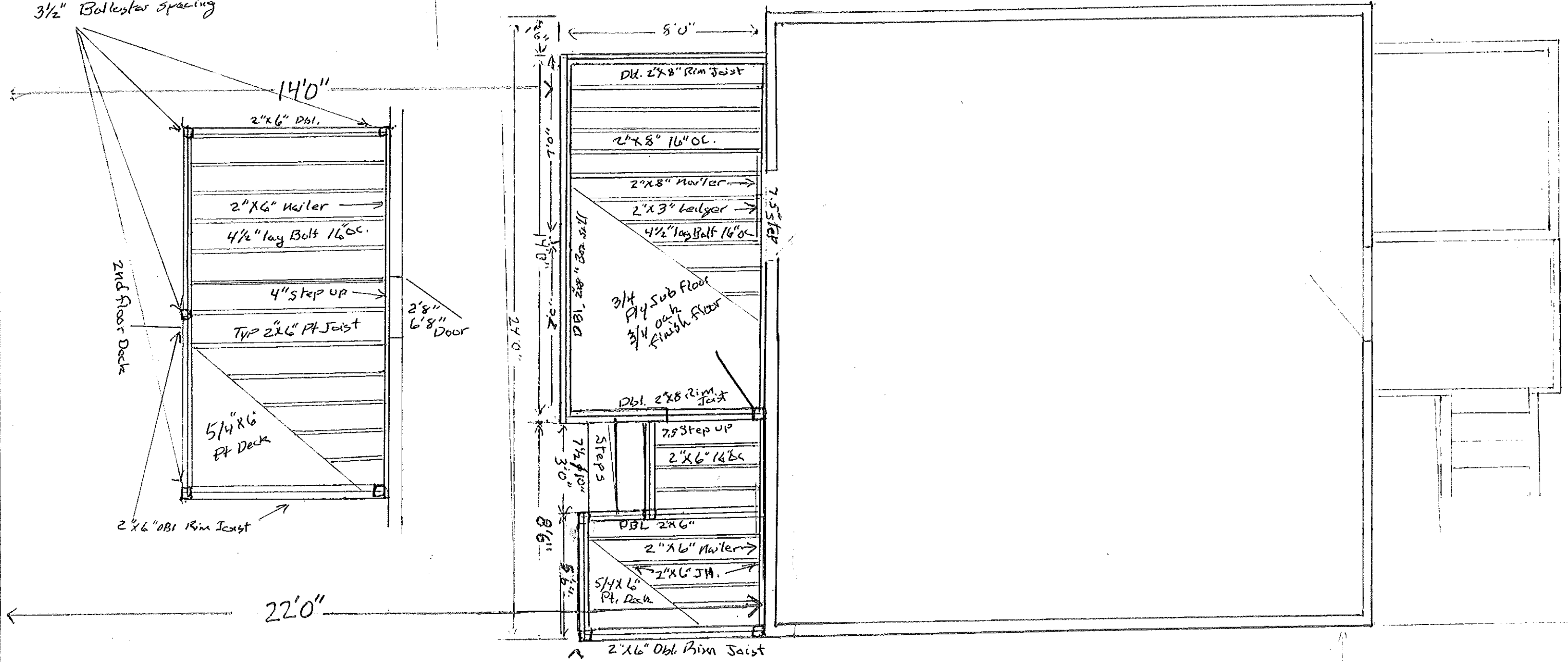
James P. MacVane Renovation  
 45 Centennial Street  
 Peaks Island, Maine

Contractor: North Shore Construction  
 Bradford J. Brown, 399-1966

SCALE: 1/4" = 1'-0"

4"x4" Pt Rail Posts  
 36" Rail Height  
 3/2" Baluster Spacing

Centennial St.



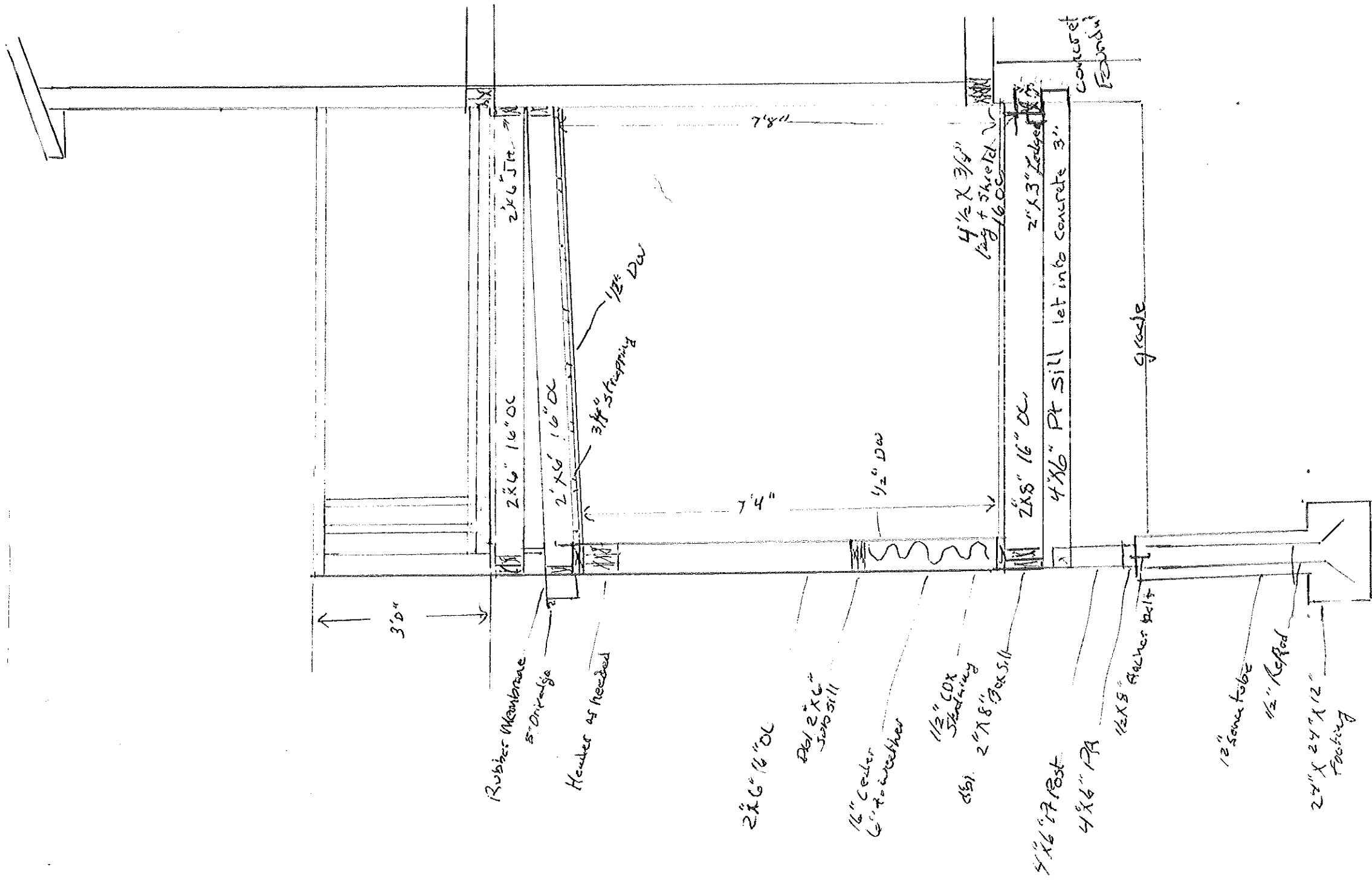
James P. MacVane Renovation  
 45 Centennial Street  
 Peaks Island, Maine

Contractor: North Shore Construction  
 Bradford J. Brown, 399-1966

SCALE: 1/4" = 1'-0"

18'0"

15'4"



James P. MacVane Renovation  
 15 Centennial Street  
 Peaks Island, Maine

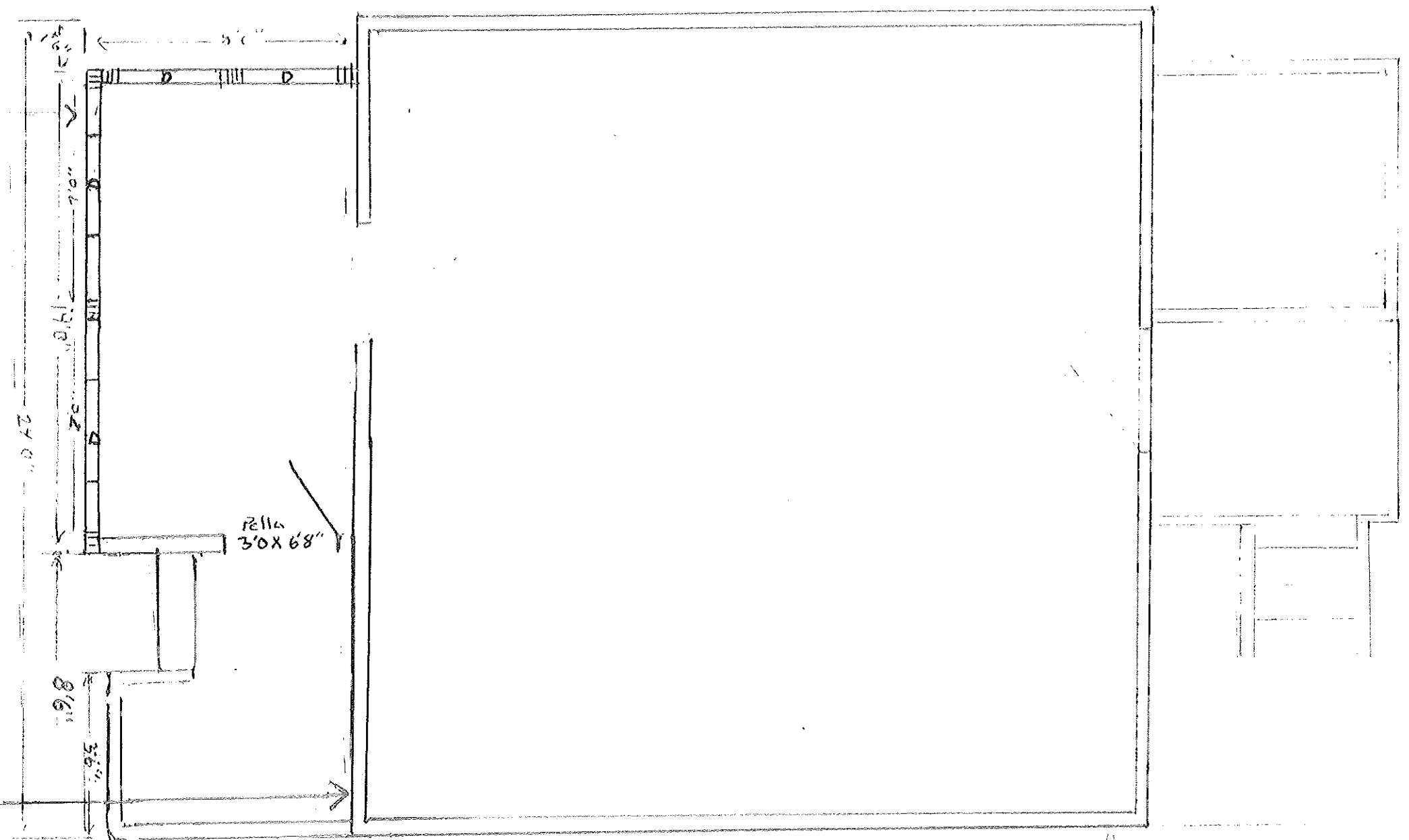
Contractor: North Shore Construction  
 Bradford J. Brown, 899-1966

SCALE: 1/2" = 1'-0"

CENTENNIAL ST.

14'0"

22'0"



James P. MacVane Renovation  
 15 Centennial Street  
 Peaks Island, Maine

Contractor: North Shore Construction  
 Bradford J. Brown, 399-1966

SCALE: 1/4" = 1'-0"

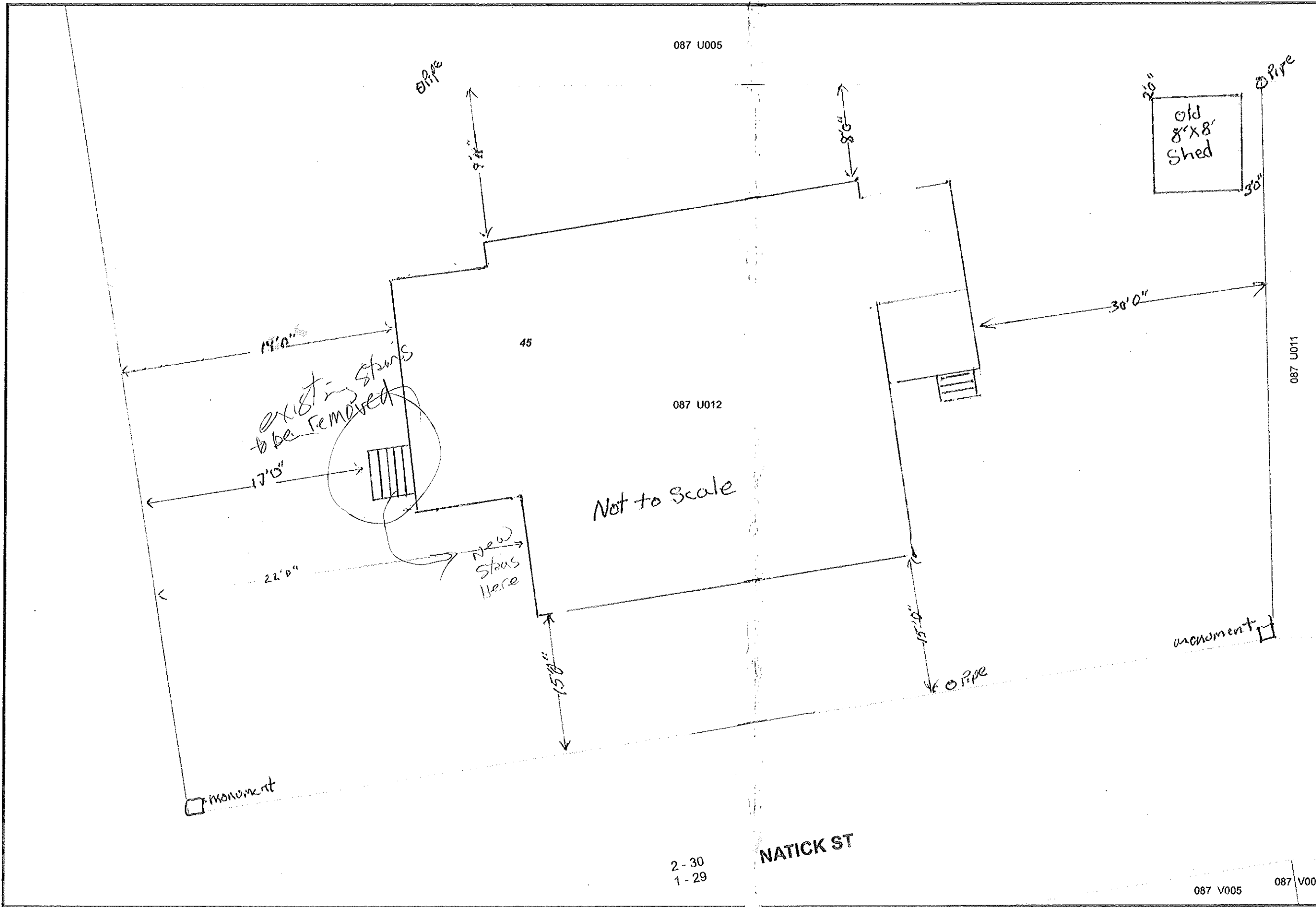
WINDOW SCHEDULE

TYPE	SIZE (Width x height)	STYLE
A	36 X 60	Double hung; egress
B	32 x 60	Double hung
C	24 x 42	Double hung
D	36 x 48	Double hung
E	24 x 60	Double hung
F	36 x 24	Basement; tempered glass
G	30 x 30	Dead-lite; tempered glass

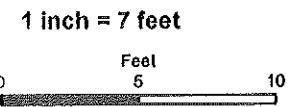
All windows shall be Pella Pro-line, 450 Series.

18'6"

15'6"



James P. MacKane  
 45 Centennial St.  
 Peaks Island ME.



Map Produced by the City of  
 Portland's ArcGIS Server  
 Web Application.