

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

BUILDING DEPARTMENT

PERMIT

Permit Number: 101261

PERMIT ISSUED

Please Read Application And Notes, If Any, Attached

This is to certify that MACVANE JAMES P./North State Const Herb

has permission to updating interior structure

at 45 CENTENNIAL ST PEAKS ISLAND CE 087 U012001

NOV 10 2010

provided that the person or persons, firm or corporation applying this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or otherwise occupied-in. 24 HOURS NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

- Fire Dept. _____
- Health Dept. _____
- Appeal Board _____
- Other _____
Department Name

James Banks 11/10/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

189 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1261	Issue Date:	CBL: 087 U012001
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Location of Construction: 45 CENTENNIAL ST PEAKS ISL.	Owner Name: MACVANE JAMES P	Owner Address: 63 RUNNING SPRINGS RD	Phone:
Business Name:	Contractor Name: North Shore Construction / Herb	Contractor Address: P.O. Box 2564 South Portland	Phone: 2077742800
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: IR-2

Past Use: Single Family Home	Proposed Use: Single Family Home - updating interior structure	Permit Fee: \$820.00	Cost of Work: \$80,000.00	CEO District: 1
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRL-2003 Signature: JWB 11/10/10
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Proposed Project Description:
updating interior structure

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action: Approved Approved w/Conditions Denied

Signature: _____ Date: _____

Permit Taken By: ldobson	Date Applied For: 10/13/2010	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews

Shoreland *w/ 250' but well over 75' from HWY*

Wetland

Flood Zone

Subdivision

Site Plan

May Minor MM

Date: *10/14/10*

Zoning Appeal

Variance

Miscellaneous

Conditional Use

Interpretation

Approved

Denied

Date: _____

Historic Preservation

Not in District or Landmark

Does Not Require Review

Requires Review

Approved

Approved w/Conditions

Denied

Date: _____

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City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-1261	Date Applied For: 10/13/2010	CBI: 087 U012001
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Business Name:	Contractor Name: North Shore Construction / Herb	Contractor Address: P.O. Box 2564 South Portland	Phone: (207) 774-2800
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - updating interior structure	Proposed Project Description: updating interior structure
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Dept: Zoning Status: Approved with Conditions Reviewer: Marge Schumackal Approval Date: 10/14/2010
 Note: Ok to Issue:

- 1) This property is located within a protective Shoreland Zoning area. The Shoreland Zoning area restricts alterations to the exterior land areas. Please contact the City for more information concerning Shoreland Zoning.
- 2) Separate permits shall be required for future decks, sheds, pools, and/or garages.
- 3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.
- 4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 5) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. It is understood that all work is interior work and that the shell of the existing building will remain the same.

Dept: Building Status: Approved with Conditions Reviewer: Jeanine Bourke Approval Date: 11/10/2010
 Note: Ok to Issue:

- 1) There must be a 2" clearance maintained between the chimney and any combustible material, with draft stopping per code at each level
- 2) Hardwired interconnected battery backup smoke detectors shall be installed in all bedrooms, protecting the bedrooms, and on every level.
- 3) The design load spec sheets for any engineered beam(s) and the required upgrade of the 2nd floor carrying beam design must be submitted to this office.
- 4) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 5) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.
- 6) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.
- 7) Those renovating dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.

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Comments: City of Portland
 11/10/2010-jmb: Spoke to owner James M. He verified the scope of work is a total gut from water damage. Attic did have a substandard stair to be removed, attic to be unfinished. Spoke to Jay B., contractor, he confirmed the plans were prepared by an

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Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

engineer. The new 8x6 2nd floor beam spans 7'8", max is 6'-8 1/2" per table R502.5(2), and the existing 11' span is substandard, will need to be reinforced or replaced and specs for girders required. The truss design is by the engineer to the existing rafters as the ceiling span is substandard and insulation will be added. All new plumbing and electrical, chimney remains and clearances to new required.

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City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating, drywalling or covering.**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.

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NOV 10 2010

City of Portland



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>45 CENTENNIAL ST. PEAKS ISLAND, ME</u>		
Total Square Footage of Proposed Structure/Area <u>1306 SQ FT</u>	Square Footage of Lot <u>3327 SQ FT</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# <u>87</u> Block# <u>U12</u> Lot#	Applicant *must be owner, Lessee or Buyer* Name <u>JAMES P. MACVANE</u> Address <u>45 CENTENNIAL ST</u> City, State & Zip <u>PEAKS ISLAND, ME 0486</u>	Telephone: <u>207-766-2213</u> <u>207-671-9486</u> <u>207-839-3560</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>80,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>SINGLE FAMILY</u> Number of Residential Units <u>ONE</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: <u>SINGLE FAMILY</u>		
Is property part of a subdivision? <u>NO</u> If yes, please name _____		
Project description: <u>UPDATING INTERIOR STRUCTURE</u>		
Contractor's name: <u>NORTH SHORE CONSTRUCTION</u>		
Address: <u>17 CITY POINT RD</u>		
City, State & Zip <u>PEAKS ISLAND, ME 04108</u>		Telephone: <u>207-899-1966</u>
Who should we contact when the permit is ready: <u>NORTHSHORE - JAY BROWN</u>		Telephone: <u>207-899-1966</u>
Mailing address: <u>17 CITY</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information on how to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorized the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
City of Portland
Dept. of Building Inspection

Signature: [Signature] Date: 10/13/10

This is not a permit; you may not commence ANY work until the permit is issued



CITY OF PORTLAND, MAINE
Department of Building Inspections

Original Receipt

_____ 10-13-2010 _____

Received from James MacVane -

Location of Work 45 Centennial St

Cost of Construction \$ _____ Building Fee: 820

Permit Fee \$ _____ Site Fee: 100

Certificate of Occupancy Fee: _____

Total: 920

Building (1L) _____ Plumbing (15) _____ Electrical (12) _____ Site Plan (U2) _____

Other _____

100 Stop work

CBL: 87-0012

Check #: _____ Total Collected \$ 920

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



APPRAISAL OF REAL PROPERTY

LOCATED AT:
45 Centennial St
Portland, ME 04108-1105

FOR:
Law Office of Patricia A Nelson-Reade
813 Washington Av
Portland, ME 04103

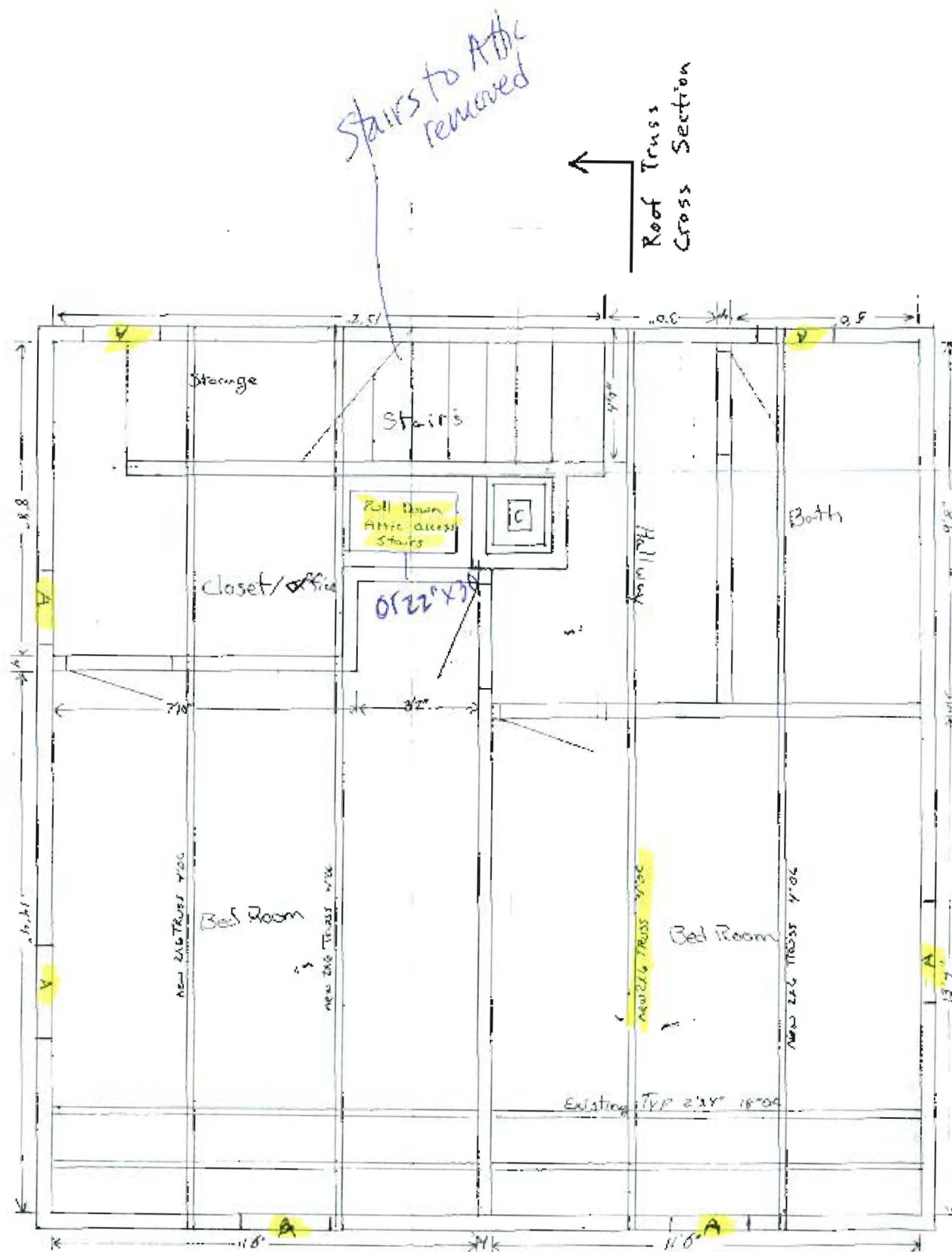
Map



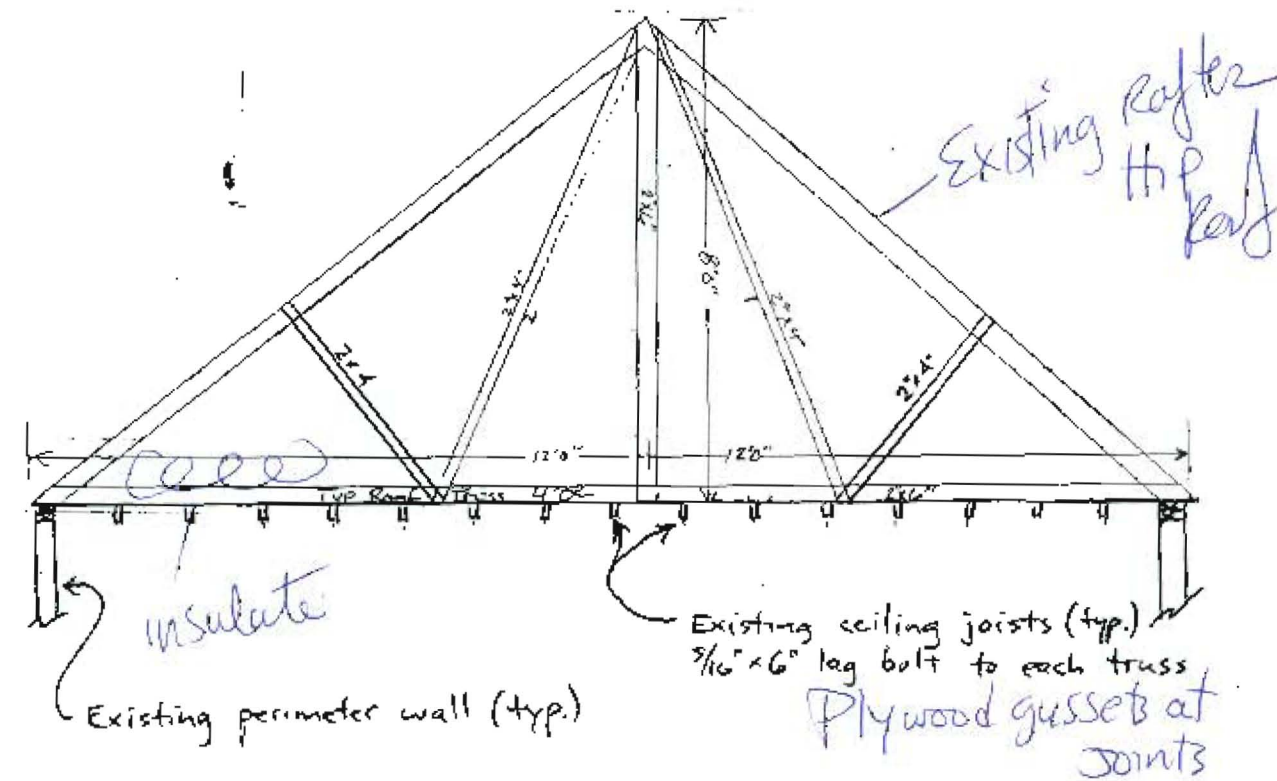
<p>Parcels</p> <p>Interstate</p> <p>Streets</p> <p>Buildings</p> <p>Building</p> <p>Out Building</p>	<p>Stream Overlay Zone</p> <p>Stream_protection</p> <p>Island Zoning</p> <p>C43</p> <p>I-B</p> <p>I-TS</p> <p>I-R1</p> <p>I-R2</p>	<p>Zoning (continued)</p> <p>R2 Residential</p> <p>R3 Residential</p> <p>R4 Residential</p> <p>R5 Residential</p> <p>R6 Residential</p> <p>ROS Recreation Open Space</p>	<p>Zoning (continued)</p> <p>C25</p> <p>C26</p> <p>C27</p> <p>C28</p> <p>C29</p> <p>C30</p> <p>C31</p>
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Descriptor/Area
 A
 625 sqft
 B 1Fr
 56 sqft
 C WD
 42 sqft
 D EP
 112 sqft



ATTIC FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"



ROOF TRUSS CROSS SECTION - TYPICAL
NOT TO SCALE

System designed by Engineer

James P. MacVane Renovation
45 Centennial Street
Peaks Island, Maine

Contractor: North Shore Construction
Bradford J. Brown, 899-1966

Prepared by: Island One Design
Albert Presgraves, 756-9420

Engineer

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OCT 13 2010

Dept. of Building Inspections
City of Portland Maine

NOTES:

1. Existing foundation and exterior framing to be maintained. Elevation views will remain as existing, except for new windows.
2. Interior structural members to be reinforced as shown. All fastenings, headers, and member sizes shall meet the requirements of the International Building Code 2003 and the International Residential Code 2003 except as deleted, modified or amended in Chapter 6, City of Portland Ordinances, Buildings and Building Regulations.
3. New stairs to second floor shall have 7 1/2" rise, 10" run, with 1 1/4" nosing. Headroom above stairs shall be a minimum of 6'-10". Handrails and baluster spacing to meet International Building Code-2003.
4. Two new exterior doors shall be 3'-0" x 6'-8". Interior doors shall be 2'-8" x 6'-8".
5. All new windows shall be centered on existing openings, with new headers and stud supports as required. See Window Schedule for sizes and types.
6. Exterior walls and cap ceiling shall be insulated to meet or exceed IECC requirements; walls shall have 3 1/2" fiberglass covered with 1" rigid foam for R-21, and cap shall have fiberglass for R-59.

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OCT 13 2010

Dept. of Building Inspections
City of Portland Maine

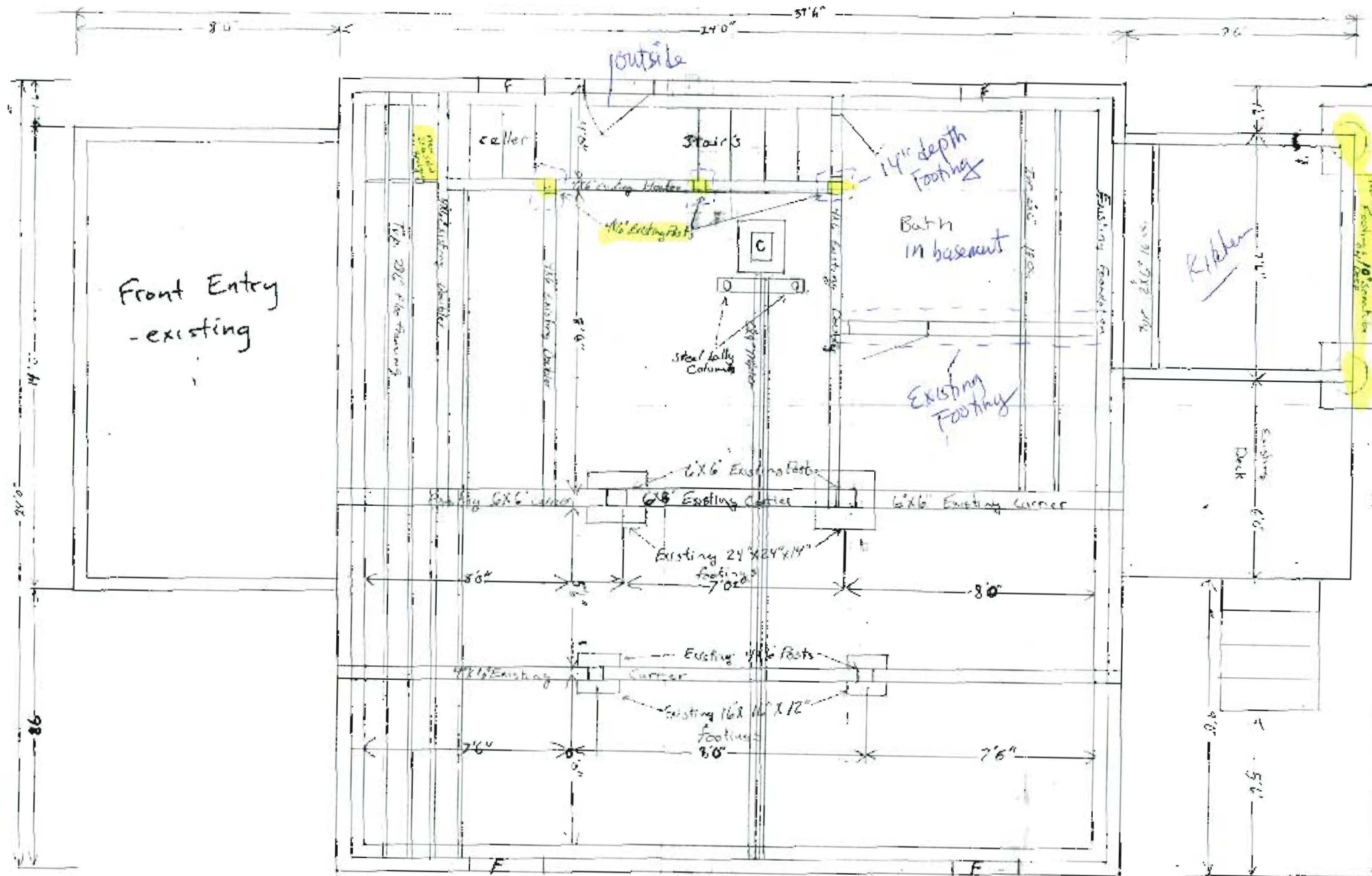
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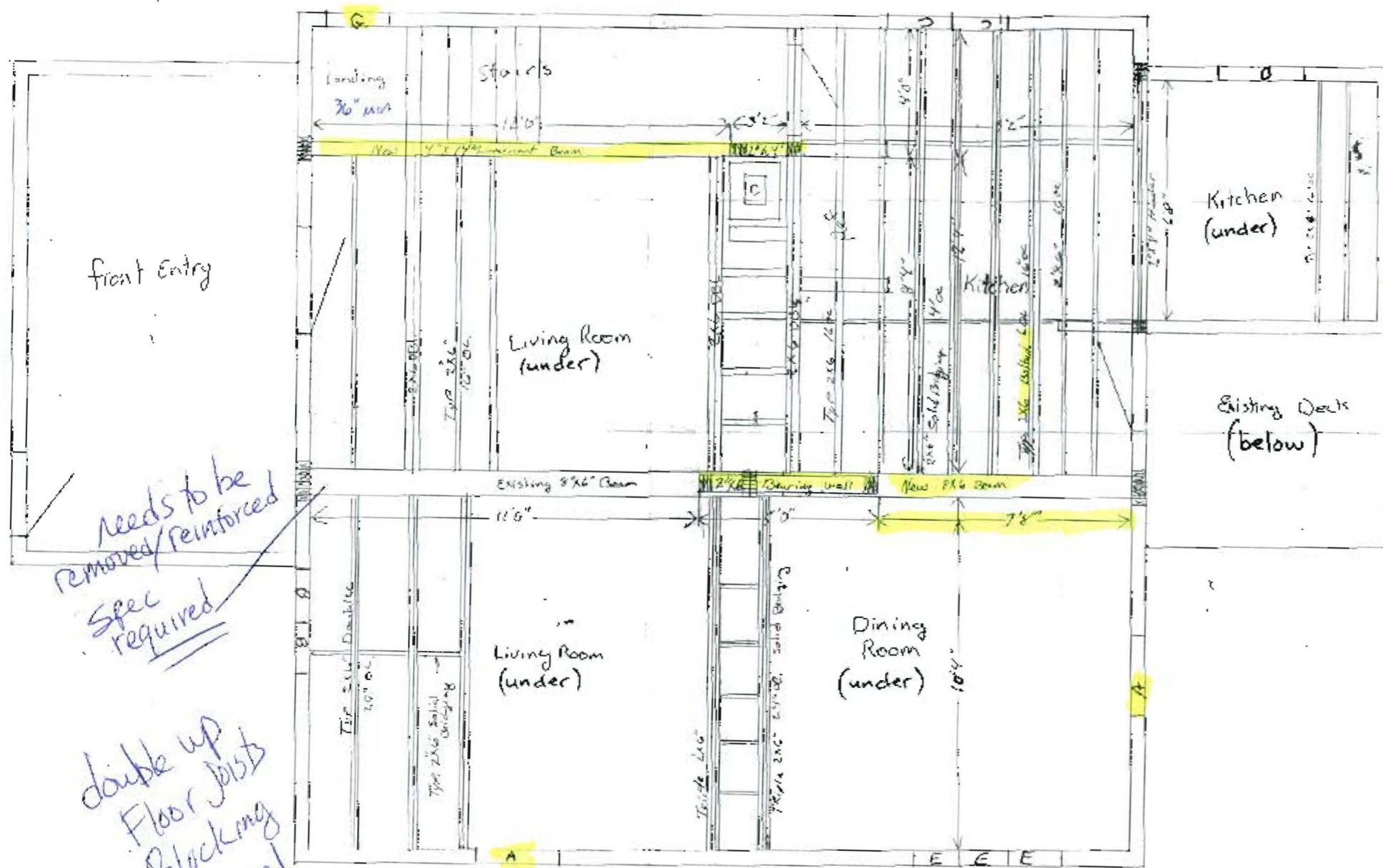
Sheet 1 of 3

October 11, 2010



FIRST FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

Engineer



WINDOW SCHEDULE

TYPE	SIZE (Width x height)	STYLE
A	36 X 60	Double hung; egress
B	32 x 60	Double hung
C	24 x 42	Double hung
D	36 x 48	Double hung
E	24 x 60	Double hung
F	36 x 24	Basement; tempered glass
G	30 x 30	Dead-lite; tempered glass

All windows shall be Pella Pro-line, 450 Series.

SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

James P. MacVane Renovation
45 Centennial Street
Peaks Island, Maine

Contractor: North Shore Construction
Bradford J. Brown, 899-1966

Prepared by: Island One Design
Albert Presgraves, 756-9420

Engineer