

City of Portland, Maine - Building or Use Permit Application
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 02-1034	Issue Date: SEP 30 2002	CBL: 087 S011001
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Location of Construction: 3 City Point Rd	Owner Name: Elsmore Walter J	Owner Address: 77 Glenridge Dr	Phone: 711-2846
Business Name:	Contractor Name: Laing, David	Contractor Address: 2 City Point Road Peaks Island	Phone: 2077663076
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: IR-2

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: \$163.00	Cost of Work: \$20,000.00	CEO District: 3
FIRE DEPT: <input type="checkbox"/> Approved <input checked="" type="checkbox"/> Denied Signature: <i>NA</i>		INSPECTION: Use Group: R-3 Type: SB BOCA 99 Signature: <i>JA</i>		

Proposed Project Description:
 Rebuild Roof ONLY!

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
 Action: Approved Approved w/Conditions Denied
 Signature: _____ Date: _____

Permit Taken By: gad	Date Applied For: 09/12/2002	Zoning Approval
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Review <input checked="" type="checkbox"/> Shoreland <i>use within 300 ft rule 14-449</i> <input type="checkbox"/> Wetland <input checked="" type="checkbox"/> Flood Zone <i>Panel 15 minor Application</i> <input type="checkbox"/> Subdivision <i>use Flood Damage resistant materials</i> <input type="checkbox"/> Site Plan <i>to be adequately anchored</i> Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <i>9/27/02</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input checked="" type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

Application ID Number: 2-1034

Department: Zoning

Status: Approved with Conditions

Reviewer: Marge Schmuckal

Comments: 3 City Point Road, Peaks Island

Approval Date: 09/23/2002

Creation Date: 09/17/2002

On Hold Reason: Name: Marge Schmuckal Date: 09/23/2002

Comments	Created By	Created Date	Updated By	Updated Date

Create Date: 09/17/2002 By: gad

Update Date: 09/23/2002 By: mes

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 021034

This is to certify that Elsmore Walter J/Laing, Dav

has permission to Rebuild Roof

AT 3 City Point Rd 087 S011001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

[Signature] 9/27/02
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

FLOOD HAZARD DEVELOPMENT PERMIT APPLICATION

Portland, Maine

(All applicants must complete entire application)
[60.3(e)]

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: Walter J. Elsmor
Ph. No: 871-2846
Applicant: DAVID Lang
Ph. No: 766-3076
Contractor: DAVID Lang
Ph. No: _____

Address: 77 Glenridge Dr.
Portland, ME 04102
Address: 2 City Point Rd, P.I.
04108
Address: _____

LEGAL DESCRIPTION

Is this lot a part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____

Tax Map: _____ Lot #: 0875-011

Address: 3 City Point Road
Street/Road Name

Zip Code: Peaks Island, ME 04108
Town/Zip Code

General explanation of proposed development: Rebuild roof - EXPAND 10.5' X 11.5' upward
1 floor on existing structure

Estimated value of proposed development: \$ 20,000.00

Proposed lowest floor elevation [for new or substantially improved structure]: existing No change except
for additional supports

OTHER PERMITS

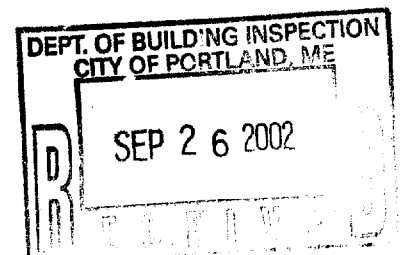
Are other permits required from State or Federal Jurisdictions? Yes No
If yes, are copies of these permits attached? Yes No Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private
 Existing proposed not applicable Type _____

Water Supply: Public Private



(This section to be completed by Municipal Official)

LOCATION

Flooding source (name of river, pond, ocean, etc): OCEAN

- V1-30 Zone VE Zone AE Zone A1-30 Zone AO Zone A Zone
- FRINGE FLOODWAY (1/2 width of floodplain in A Zone)

Base Flood Elevation (bfe) at the site 9 NGVD [Required for New Construction or Substantial Improvements]

Lowest floor elevation of existing structure _____ NGVD [Required for New Construction or Substantial Improvements]

If proposed development is in an "AE" or "A1-A30" Zone and cross section data is available in the Flood Insurance Study, please note the Nearest Cross Section Reference Letter and Elevation of Base Flood at Nearest Cross Section above and below the site.

Cross Section Letter	Base Flood Elevation
Above Site _____	Above Site _____
Below Site _____	Below Site _____

Basis of unnumbered A Zone bfe determination:

- From a Federal Agency: USGS USDA/NRCS USACE Other _____
- From a State Agency: MDOT Other _____
- Established by Professional Land Surveyor
- Established by Professional Engineer HEC II HY 7 Quick-2 Other _____
- Highest Known Water Level
- Other (Explain) _____

VALUE

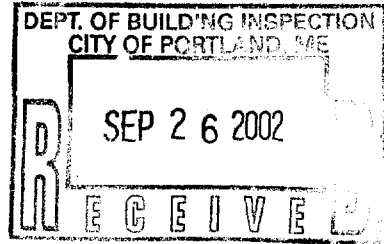
If the development involves work on an existing structure, enter the Market Value of existing structure before improvements: \$50,000+

- New Construction or Substantial Improvement: Minor improvement or minor addition to existing development:

TYPE OF DEVELOPMENT

Check the appropriate box to the left of the type(s) of development requested, and complete information for each applicable line:

- | | | | |
|--|--------------------------------------|---|-----------------|
| <input checked="" type="checkbox"/> 1. Residential Structure | Dimensions | | Cubic Yards |
| <input type="checkbox"/> 1a. New Structure | | <input type="checkbox"/> 5. Filling ¹ | _____ |
| <input checked="" type="checkbox"/> 1b. Addn. to Structure | <u>2nd floor above 10.5' x 11.5'</u> | <input type="checkbox"/> 6. Dredging | _____ |
| <input type="checkbox"/> 1c. Renovations/repairs/maintenance | | <input type="checkbox"/> 7. Excavation | _____ |
| <input type="checkbox"/> 2. Non-Residential Structure | | <input type="checkbox"/> 8. Levee | _____ |
| <input type="checkbox"/> 2a. New structure | _____ | <input type="checkbox"/> 9. Drilling | _____ |
| <input type="checkbox"/> 2b. Addn. to Structure | _____ | | Number of Acres |
| <input type="checkbox"/> 2c. Renovations/repairs/maintenance | _____ | <input type="checkbox"/> 10. Mining: | _____ |
| <input type="checkbox"/> 2d. Floodproofing | _____ | <input type="checkbox"/> 11. Dam: Water surface to be created | _____ |
| <input type="checkbox"/> 3. Water Dependent use: | | <input type="checkbox"/> 12. Water Course Alteration | |
| <input type="checkbox"/> 3a. Dock | _____ | Detailed description must be attached with copies of all applicable notifications, state and federal permits. | |
| <input type="checkbox"/> 3b. Pier | _____ | <input type="checkbox"/> 13. Storage of equipment or materials | |
| <input type="checkbox"/> 3c. Boat Ramp | _____ | <input type="checkbox"/> 14. Sewage disposal system | |
| <input type="checkbox"/> 3d. Other | _____ | <input type="checkbox"/> 15. Water supply system | |
| <input type="checkbox"/> 4. Paving | _____ | <input type="checkbox"/> 16. Other: Explain _____ | |



¹Certain prohibitions apply in Velocity Zones

Attach a Site Plan - Drawn to scale with north arrow.

- Show property boundaries, floodway and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
- Show areas to be cut and filled.

Attach Statement - describing in detail how each applicable development standard in Article VI will be met.

For New Construction or Substantial Improvements also show:

- Include existing and proposed grade elevations adjacent to the walls of the structure done by a Professional Land Surveyor, Architect or Engineer.
- Location and elevation of temporary elevation reference mark on the site.

Special Note:

Substantial Improvement is defined as any reconstruction, rehabilitation, addition or other improvement of a structure, the cost of which equals or exceeds 50 percent of the market value of the structure before the start of construction of the improvement. Please refer to the floodplain management ordinance, Article XIII, for more complete definitions of New Construction and Substantial Improvement.

Structures in Velocity Zones are not permitted on fill or excavations. Structures must be built on open foundation systems, i.e., columns, piles, posts. Certification of structural design, specifications, plans and construction methods completed by a Professional Engineer or Architect shall accompany the application as required in Article VI.L.3. of the floodplain management ordinance.

read & Agree by signature

The applicant understands and agrees that:

- The permit applied for, if granted, is issued on the representations made herein;
- Any permit issued may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- Any permit issued on this application will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The applicant hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- If issued, the permit form will be posted in a conspicuous place on the premises in plain view and;
- If issued, the permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and the attachments to this application are a true description of the existing property and the proposed development project.

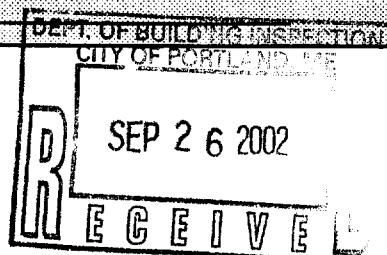
gsm Owner _____ Date _____
signature

or
Authorized Agent *Chang* _____ Date 9/26/02
signature

(This Section to be completed by Municipal Official)

Date: Submitted _____; Fee Paid _____; Reviewed by CEO _____; Reviewed by Planning Board _____

Permit # _____ Issued by _____ Date _____



FLOOD HAZARD DEVELOPMENT PERMIT

For Minor Development

Portland, Maine

(For Development not considered a Substantial Improvement)

This Flood Hazard Development Permit allows minor development as provided in Article V.F.3. of the Floodplain Management Ordinance of Portland, Maine, for development in a Special Flood Hazard Area as defined in said ordinance. Development authorized by this permit must be adequately anchored to prevent flotation, collapse, or later movement resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, be constructed with materials resistant to flood damage and be constructed by methods and practices that minimize flood damage. This permit is issued based on documentation that the information provided in the Flood Hazard Development Permit Application is in compliance with the Floodplain Management Ordinance.

Tax Map: 087-S- Lot #: 011

Project Description: Rebuild roof - Expand upward above 10.5' x 11.5' existing structure

please read

The permittee understands and agrees that:

- The permit is issued on the representations made herein and on the application for permit;
- The permit may be revoked because of any breach of representation;
- Once a permit is revoked all work shall cease until the permit is reissued or a new permit is issued;
- The permit will not grant any right or privilege to erect any structure or use any premises described for any purposes or in any manner prohibited by the ordinances, codes, or regulations of the municipality;
- The permittee hereby gives consent to the Code Enforcement Officer to enter and inspect activity covered under the provisions of the Floodplain Management Ordinance;
- The permit form will be posted in a conspicuous place on the premises in plain view; and,
- The permit will expire if no work is commenced within 180 days of issuance.

I hereby certify that all the statements in, and in the attachments to this permit are a true description of the existing property and the proposed development project.

sgm

Owner: _____ Date: _____

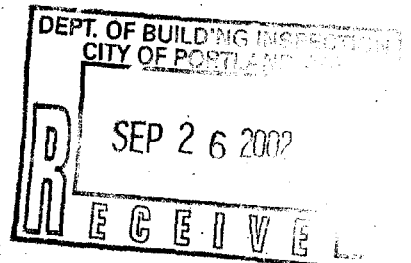
or _____ Signature

Authorized Agent: *Rainy* Date: 9/26/02

Signature

Issued by: _____ Date: _____

Permit #: _____



02-1034

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 2 City Point Rd, Peaks Island ME		
Total Square Footage of Proposed Structure expansion 1170 ft ³	Square Footage of Lot 5500' #	
Tax Assessor's Chart, Block & Lot Chart# 087 Block# S Lot# 011	Owner: Walter Elsmore	Telephone: 71-2846
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: 17 Glenridge St	Cost Of Work: \$20,000 Fee: \$163.00
Current use: Vacation Home Single Family		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: Single Family <u>Rebuild Roof of Existing house</u>		
Project description: <u>Expansion of 1st floor</u>		
Contractor's name, address & telephone: D. L. ... Rd, Peaks Island.		
Who should we contact when the permit is ready: Owner: Wally Elsmore		
Mailing address: 2 City Point Rd, Peaks Island, ME 02135		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 766-...		

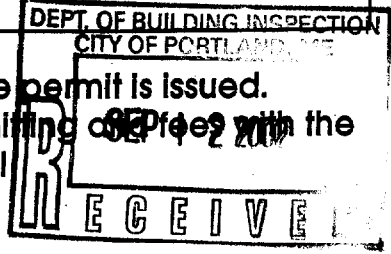
Not part of permit

IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <i>Wally Elsmore</i>	Date:
--	-------

This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting ~~and~~ ^{confer} with the Planning Department on the 4th floor of City Hall



Prmt **Tex193** 13640 **Constr Type** New Num1 21034

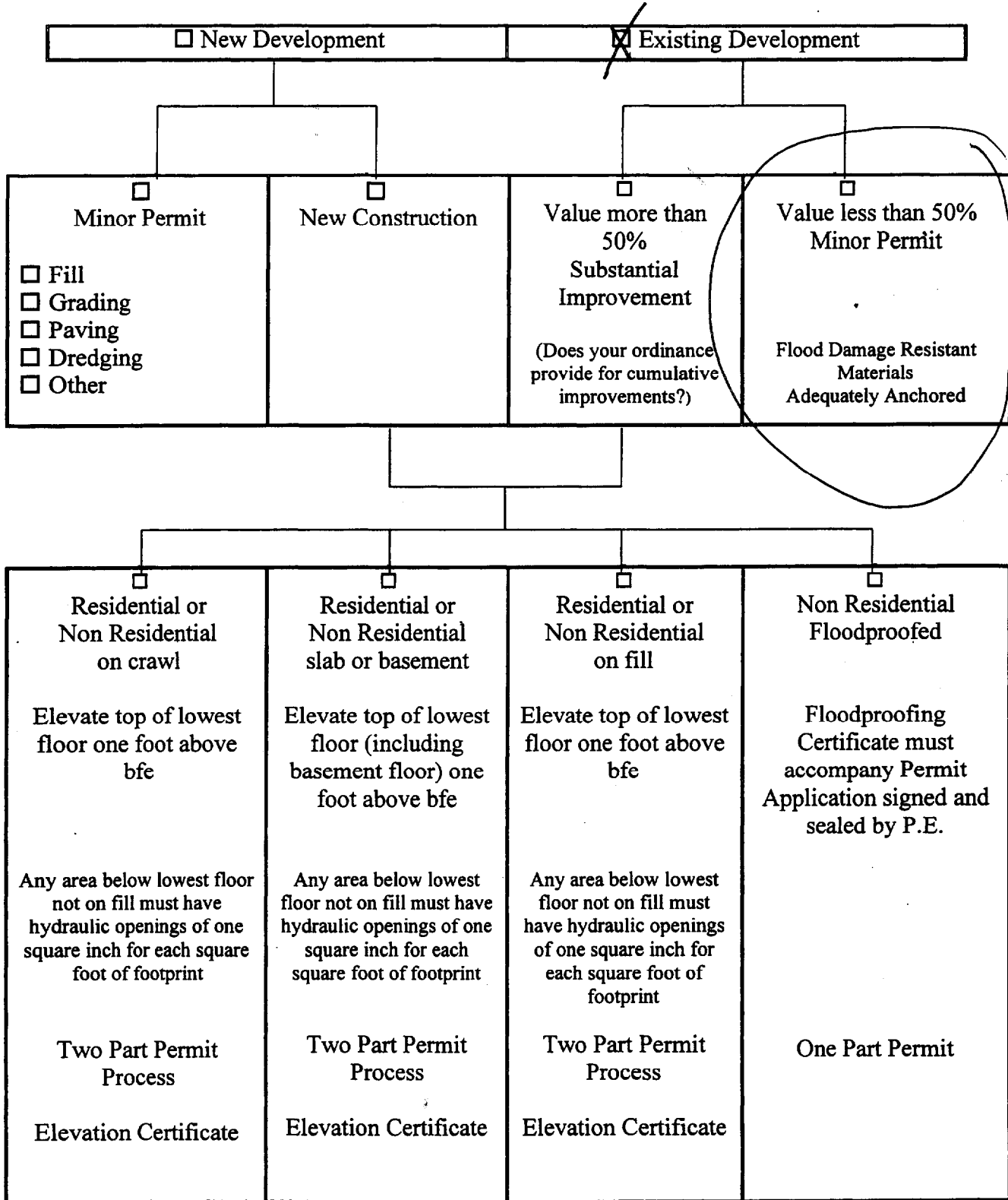
Permit Nbr 02-1034 **Location of Construction** 3 City Point Rd **Appl. Date** 09/12/2002
Status Pending **Permit Type** Alterations - Dwellings **Issue Date**
CBL 087 S011001 **Territory Nbr** 3 **Estimated Cost** \$20,000.00 **Date Closed**

Comment Date	Comment	Name	Follow Up Date	Completed
09/27/2002	Spoke w/owner - he stated he is only replacing the roof system at this time	tmm		<input type="checkbox"/>

CreatedBy gad **CreateDate** 09/17/2002 **ModBy** tmm **ModDate** 09/26/2002

A, A1-30, AE and AH Zones [Not in Floodway]

Decision Tree - Page 3



FLOOD HAZARD DEVELOPMENT PERMIT APPLICATION

Portland, Maine

(All applicants must complete entire application)
[60.3(e)]

original sent to
contractor
1/23/02

Application is hereby made for a Flood Hazard Development Permit as required under Article II of the Floodplain Management Ordinance of Portland, Maine, for development as defined in said ordinance. This permit application does not preclude the need for other municipal permit applications.

Owner: Walter J. Elsmor
Ph. No: 871-2846
Applicant: DAVID Lang
Ph. No: 766-3076
Contractor: DAVID Lang
Ph. No: _____

Address: 77 Glenridge Dr.
Portland, ME 04102
Address: 2 City Point Rd, P.I.
04108
Address: _____

LEGAL DESCRIPTION

Is this lot a part of a subdivision? Yes No If yes, give the name of the subdivision and lot number:

Subdivision: _____ Lot #: _____

Tax Map: _____ 0875 Lot #: 011

Address: 3 City Point Road
Street/Road Name

Zip Code: Peaks Island, ME 04108
Town/Zip Code

General explanation of proposed development: Rebuild roof - expand 10.5' x 11.5' upward
1 floor on existing structure

Estimated value of proposed development: \$ 20,000.00

Proposed lowest floor elevation [for new or substantially improved structure]: existing no change except
for additional supports

OTHER PERMITS

Are other permits required from State or Federal Jurisdictions? Yes No
If yes, are copies of these permits attached? Yes No Not Applicable

Federal and State Permits may include but are not limited to: ME/DEP/Natural Resource Protection Act, Site Location of Development Act, Metallic Mineral Exploration, Advanced Exploration and Mining; USACE/Section 9 & 10 of the Rivers and Harbors Act/ Section 404 of the Clean Water Act; Federal Energy Regulation Commission.

SEWER AND WATER

Sewage Disposal: Public Private
 Existing proposed not applicable Type _____

Water Supply: Public Private

(This section to be completed by Municipal Official)

LOCATION

Flooding source (name of river, pond, ocean, etc): OCEAN

- V1-30 Zone VE Zone AE Zone A1-30 Zone AO Zone A Zone
- FRINGE FLOODWAY (1/2 width of floodplain in A Zone)

Base Flood Elevation (bfe) at the site 9 NGVD [Required for New Construction or Substantial Improvements]

Lowest floor elevation of existing structure _____ NGVD [Required for New Construction or Substantial Improvements]

If proposed development is in an "AE" or "A1-A30" Zone and cross section data is available in the Flood Insurance Study, please note the Nearest Cross Section Reference Letter and Elevation of Base Flood at Nearest Cross Section above and below the site.

Cross Section Letter	Base Flood Elevation
Above Site _____	Above Site _____
Below Site _____	Below Site _____

Basis of unnumbered A Zone bfe determination:

- From a Federal Agency: USGS USDA/NRCS USACE Other _____
- From a State Agency: MDOT Other _____
- Established by Professional Land Surveyor
- Established by Professional Engineer HEC II HY 7 Quick-2 Other _____
- Highest Known Water Level
- Other (Explain) _____

VALUE

If the development involves work on an existing structure, enter the Market Value of existing structure before improvements: \$50,000 +

- New Construction or Substantial Improvement: Minor improvement or minor addition to existing development:

TYPE OF DEVELOPMENT

Check the appropriate box to the left of the type(s) of development requested, and complete information for each applicable line:

- | | | | |
|--|--------------------------------------|---|-----------------|
| <input checked="" type="checkbox"/> 1. Residential Structure | Dimensions | | Cubic Yards |
| <input type="checkbox"/> 1a. New Structure | | <input type="checkbox"/> 5. Filling ¹ | _____ |
| <input checked="" type="checkbox"/> 1b. Addn. to Structure | <u>2nd floor above 10.5' x 11.5'</u> | <input type="checkbox"/> 6. Dredging | _____ |
| <input type="checkbox"/> 1c. Renovations/repairs/maintenance | | <input type="checkbox"/> 7. Excavation | _____ |
| <input type="checkbox"/> 2. Non-Residential Structure | | <input type="checkbox"/> 8. Levee | _____ |
| <input type="checkbox"/> 2a. New structure | _____ | <input type="checkbox"/> 9. Drilling | _____ |
| <input type="checkbox"/> 2b. Addn. to Structure | _____ | | Number of Acres |
| <input type="checkbox"/> 2c. Renovations/repairs/maintenance | _____ | <input type="checkbox"/> 10. Mining: | _____ |
| <input type="checkbox"/> 2d. Floodproofing | _____ | <input type="checkbox"/> 11. Dam: Water surface to be created | _____ |
| <input type="checkbox"/> 3. Water Dependent use: | | <input type="checkbox"/> 12. Water Course Alteration | |
| <input type="checkbox"/> 3a. Dock | _____ | Detailed description must be attached with copies of all applicable notifications, state and federal permits. | |
| <input type="checkbox"/> 3b. Pier | _____ | <input type="checkbox"/> 13. Storage of equipment or materials | |
| <input type="checkbox"/> 3c. Boat Ramp | _____ | <input type="checkbox"/> 14. Sewage disposal system | |
| <input type="checkbox"/> 3d. Other | _____ | <input type="checkbox"/> 15. Water supply system | |
| <input type="checkbox"/> 4. Paving | _____ | <input type="checkbox"/> 16. Other: Explain _____ | |

¹Certain prohibitions apply in Velocity Zones

Attach a Site Plan - Drawn to scale with north arrow.

- Show property boundaries, floodway and floodplain lines.
- Show dimensions of the lot.
- Show dimensions and location of existing and/or proposed development on the site.
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Special Note:

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read & Agree by signature

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I hereby certify that all the statements in, and the attachments to this application are a true description of the existing property and the proposed development project.

sgm

Owner _____ Date _____
signature

or

Authorized Agent _____ Date _____
signature

(This Section to be completed by Municipal Official)

Date: Submitted _____; Fee Paid _____; Reviewed by CEO _____; Reviewed by Planning Board _____

Permit # _____ Issued by _____ Date _____

original sent to contractor 2/23/02

FLOOD HAZARD DEVELOPMENT PERMIT

For Minor Development

Portland, Maine

(For Development not considered a Substantial Improvement)

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Tax Map: 087-S Lot #: 011

Project Description: Rebuild roof - Expand upward above 10.5' x 11.5' on existing structure

please read

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Sign

Owner: _____ Date: _____
Signature

or
Authorized Agent: _____ Date: _____
Signature

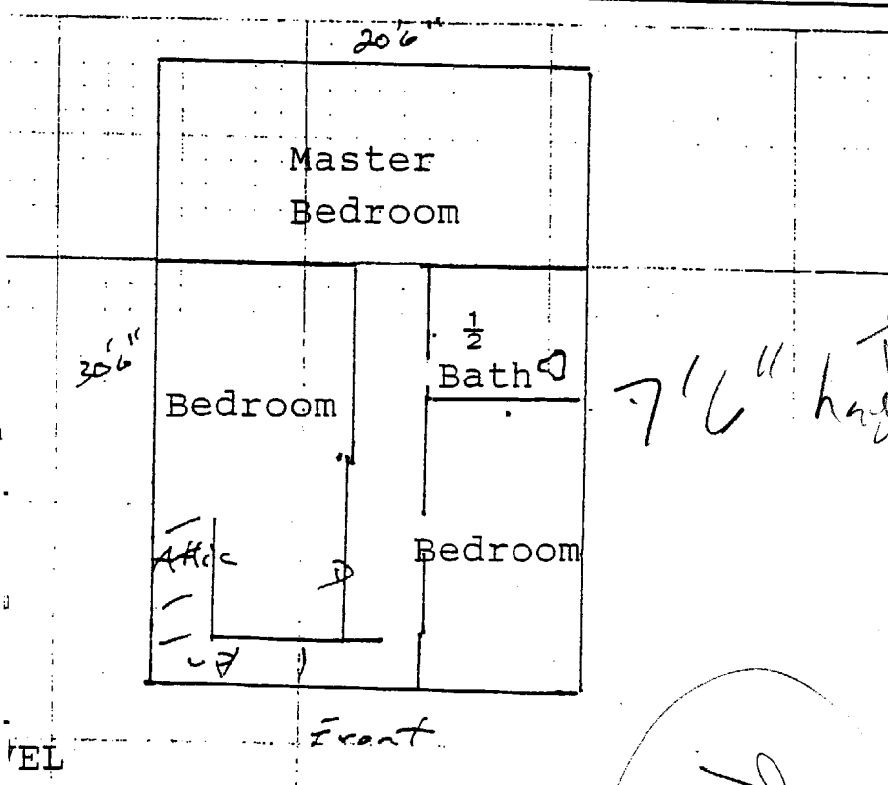
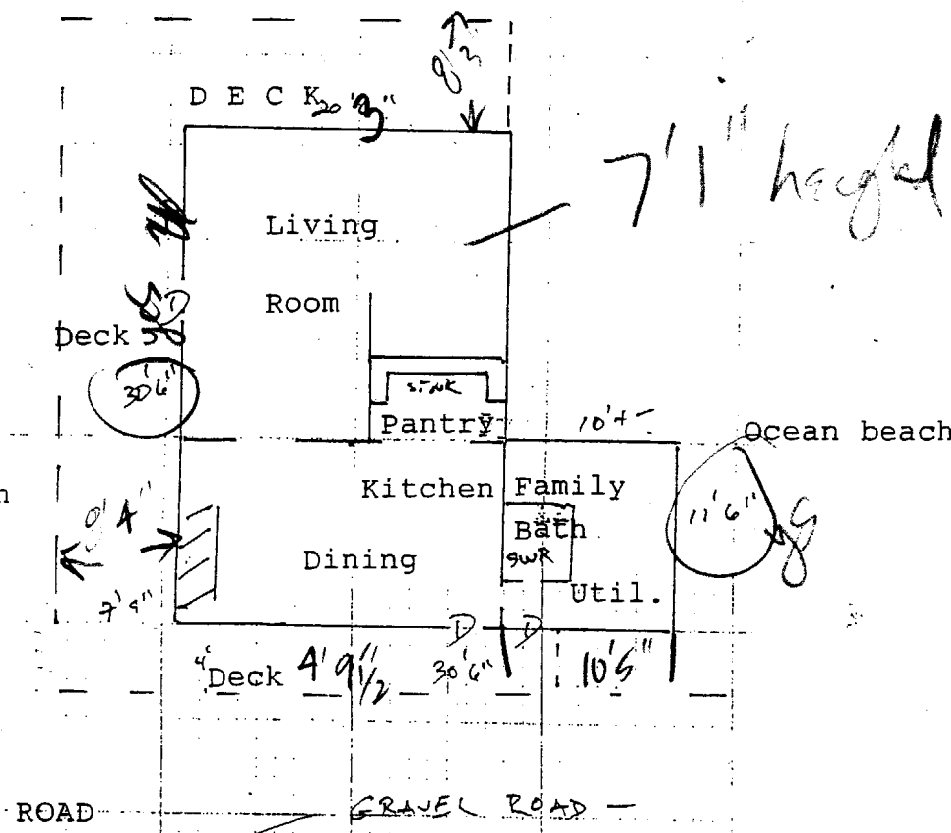
Issued by: _____ Date: _____

Permit #: _____

Existing

SKETCH ADDENDUM

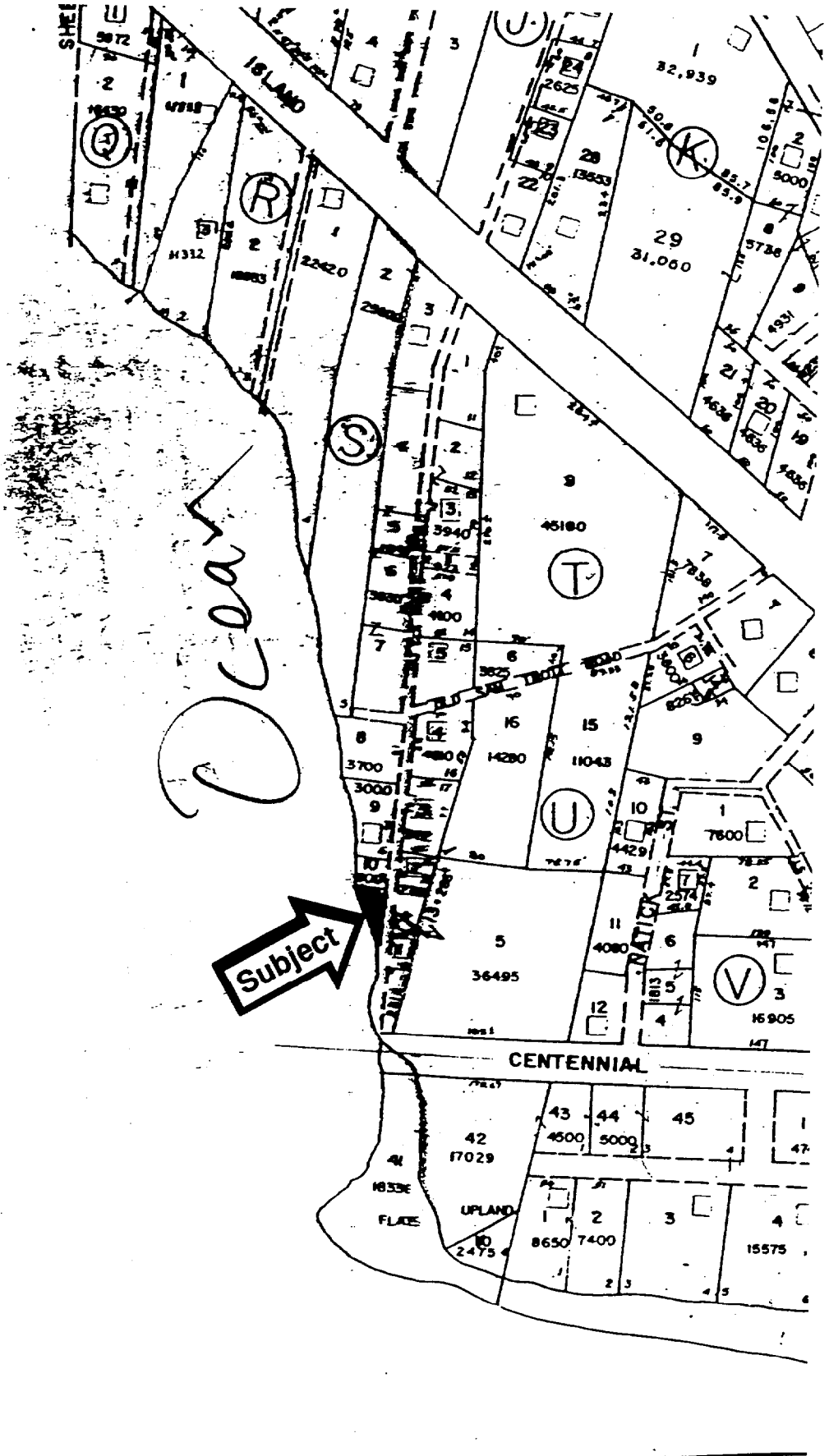
Borrower/Client	Walter J. Elsmore		
Property Address	2 City Point Road at Peaks Island		
City	Portland	County	Cumberland
Lender	Approved Home Mortgage	State	Maine
		Zip Code	04108



RESIDENCE Floor Plan

9/6/02

TAX MAP #87



SUBJECT PHOTO ADDENDUM

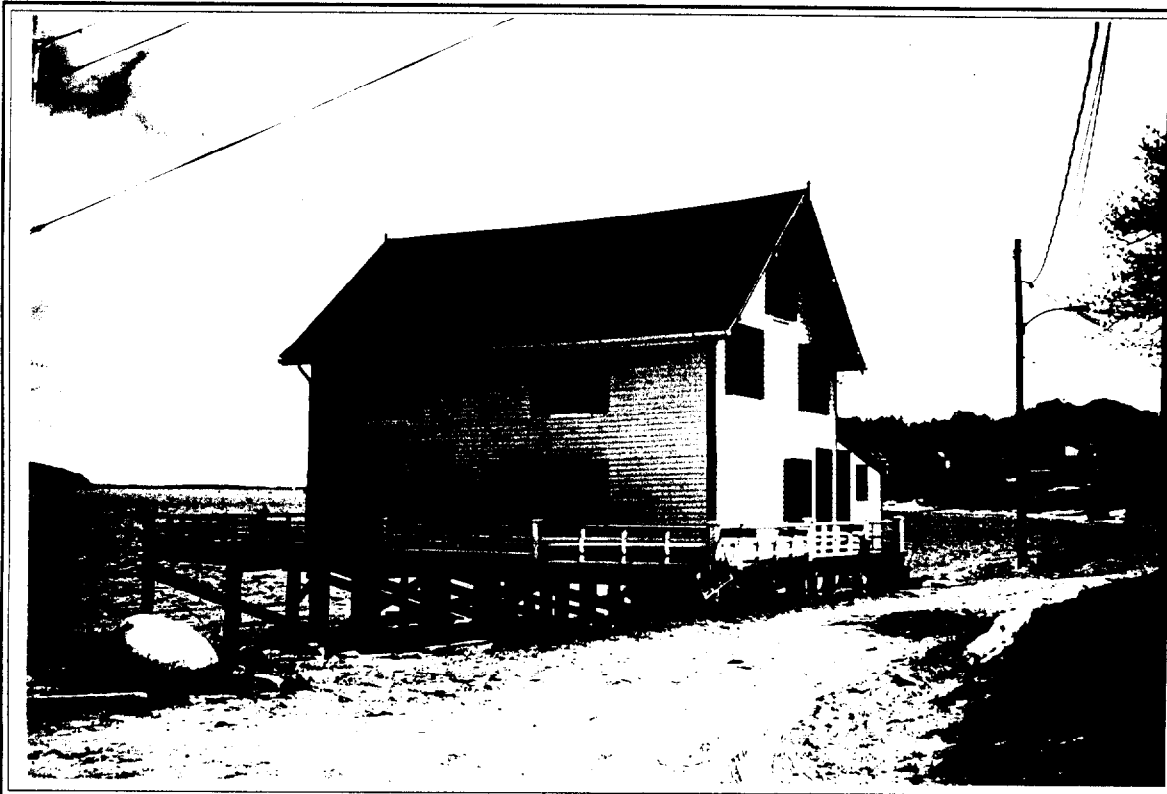
File No. #536217

Borrower Walter J. Elsmore

Property Address 2 City Point Road

City Portland County Cumberland State Me. Zip Code 04103

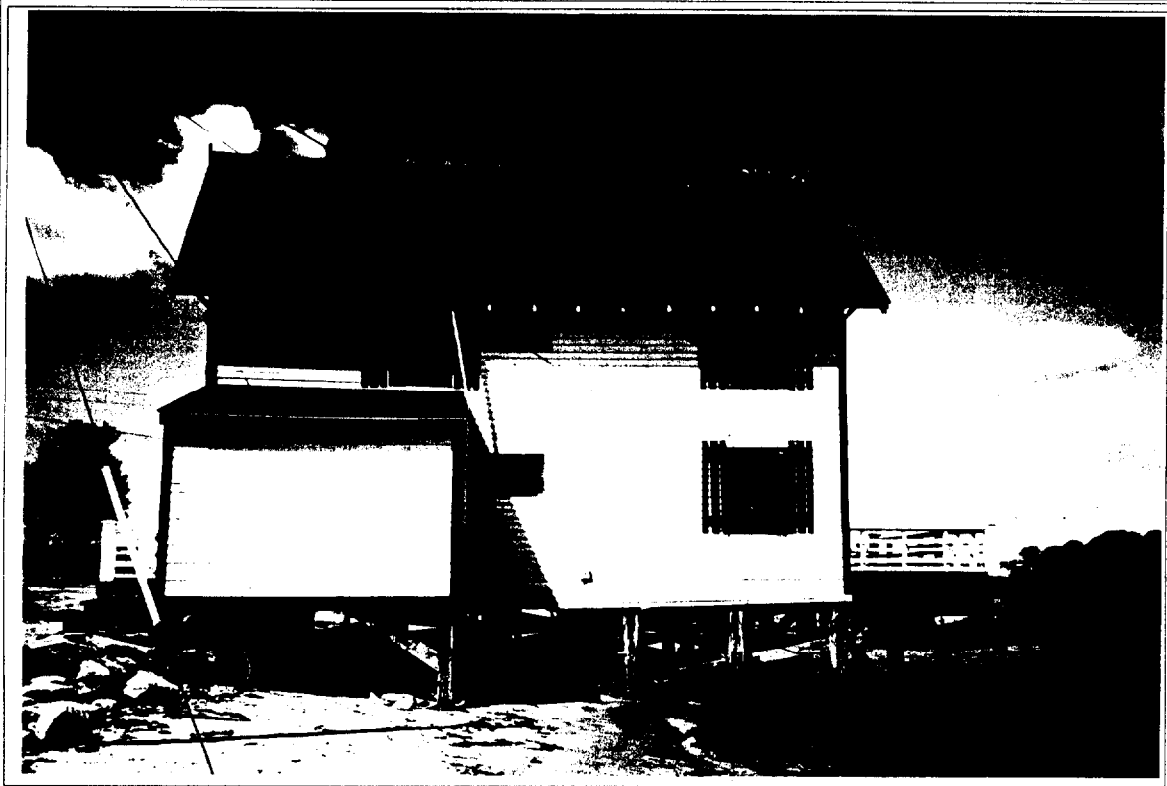
Lender/Client Approved Home Mortgage Address U.S. Route One, Falmouth, Maine 04105



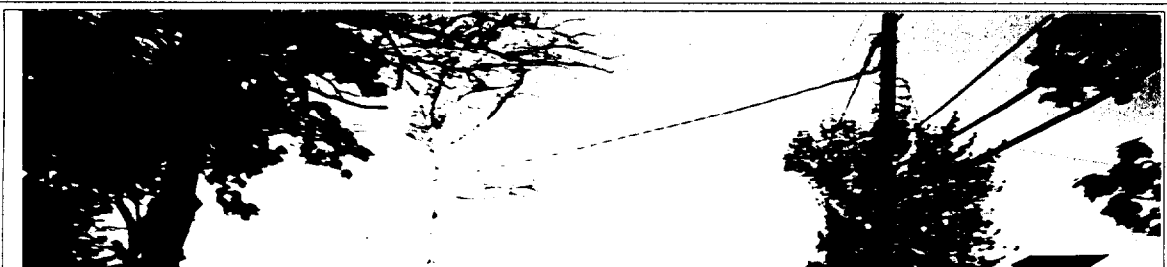
**FRONT OF
SUBJECT PROPERTY**

Address
2 City Point Road
Portland, Maine
Appr. Date June 6, 1997
Appr. Value 99,500

Site .06 Acre
View Ocean
Dsgn/Ap'l Cottage/Avg.
Const/Qty Average
Age 60a/10e
Sq Ft 1,365
Total Rms 5
Bedrooms 3
Baths 1.50
Basement Posts
Garage None
Fireplace None



**REAR OF
SUBJECT PROPERTY**



STREET SCENE

No. 2 City Pond Rd
Peaks Island, ME

Dimensions:

Footprint:

Volume:

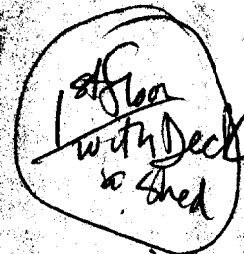
Ground Floor

1st. Floor

Attic

Shed

Not Permitted
New addition



$$28 \times 44 = 1232 \text{ ft}^2$$

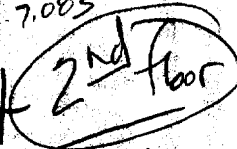
$$10 \times 11.6 = 116$$

$$4.75 \times 5 = 24$$

$$1372 \text{ ft}^2$$

7'1" high
7.083

$$9717.88^3$$

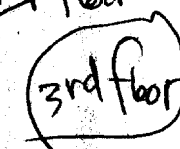


$$20'3" \times 30'6" = 617.625 \text{ ft}^2$$

$$(20.25 \times 30.50)$$

7'6" high = 4632.19³

3rd floor



$$30'6" \times 65" \times 67" \text{ high}$$

length width (5.58)

$$30.5 \times 5.42 = 165.31 \text{ ft}^2$$

Volume 922.43³

1295 ft³

4635 ft³

920 ft³

1020 ft³

10 ft³



5%

Totals	
Sq Ft	Volume
1372	9717.88 ³
617.625	4632.19 ³
165.31	922.43 ³
<hr/>	<hr/>
2154.935	15272.53
$\times 30\% \Rightarrow$	$\times 30\% =$
646.4805 MAX increase	4581.753 MAX increase
of existing	Volume

No 2 City Point Rd
Peaks Island, ME

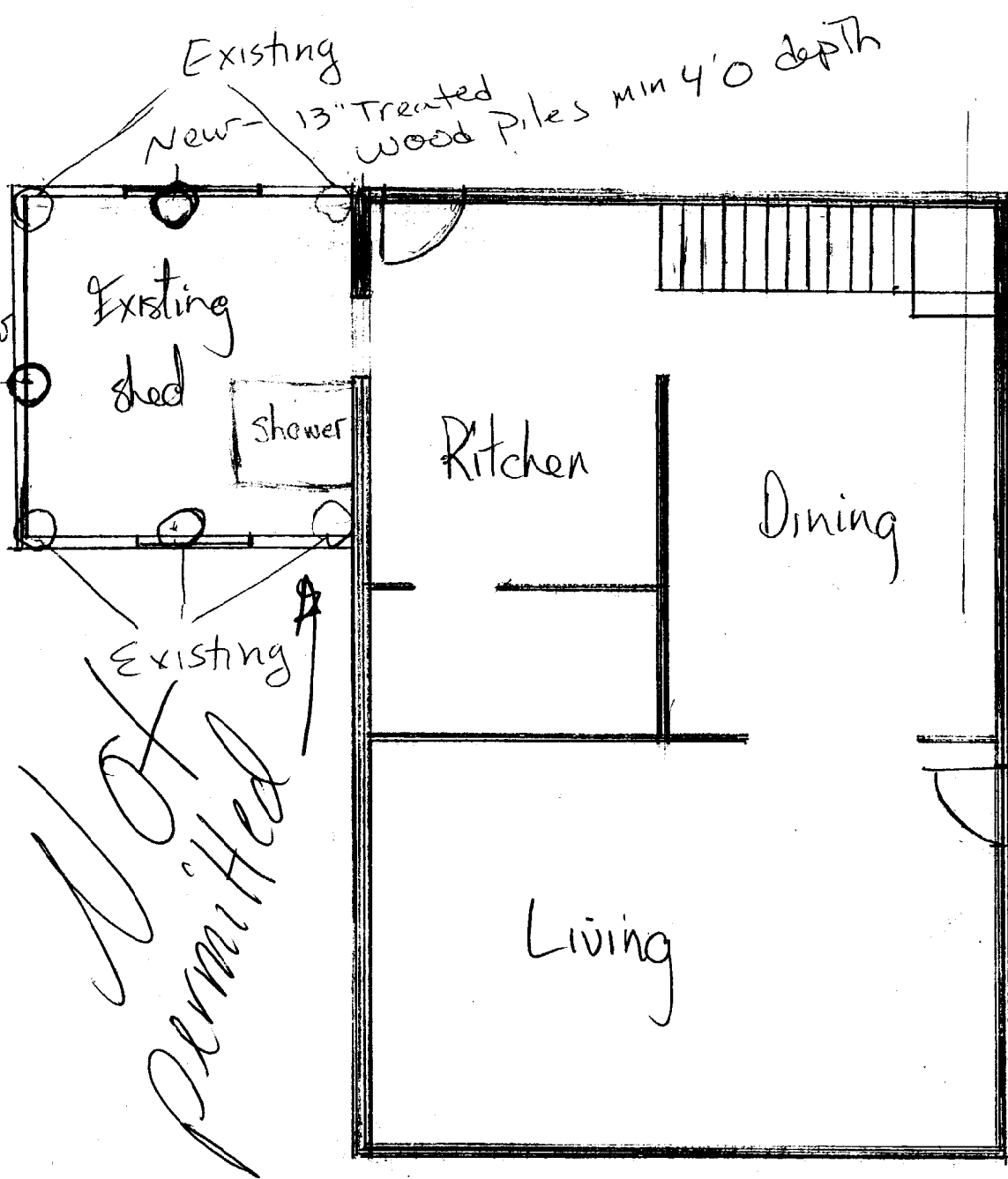
The submitted plans show a two part work schedule. Firstly the main roof and attic floor will be rebuilt using 2×10 O.C. Secondly an addition of a 1st floor to the existing $11\frac{1}{2} \times 10\frac{1}{2}$ shed finished with a gable running into the main roof. All new work will be insulated and vented.

Two new 13ϕ treated marine piles will be added to the shed foundation to a minimum 4ft depth.

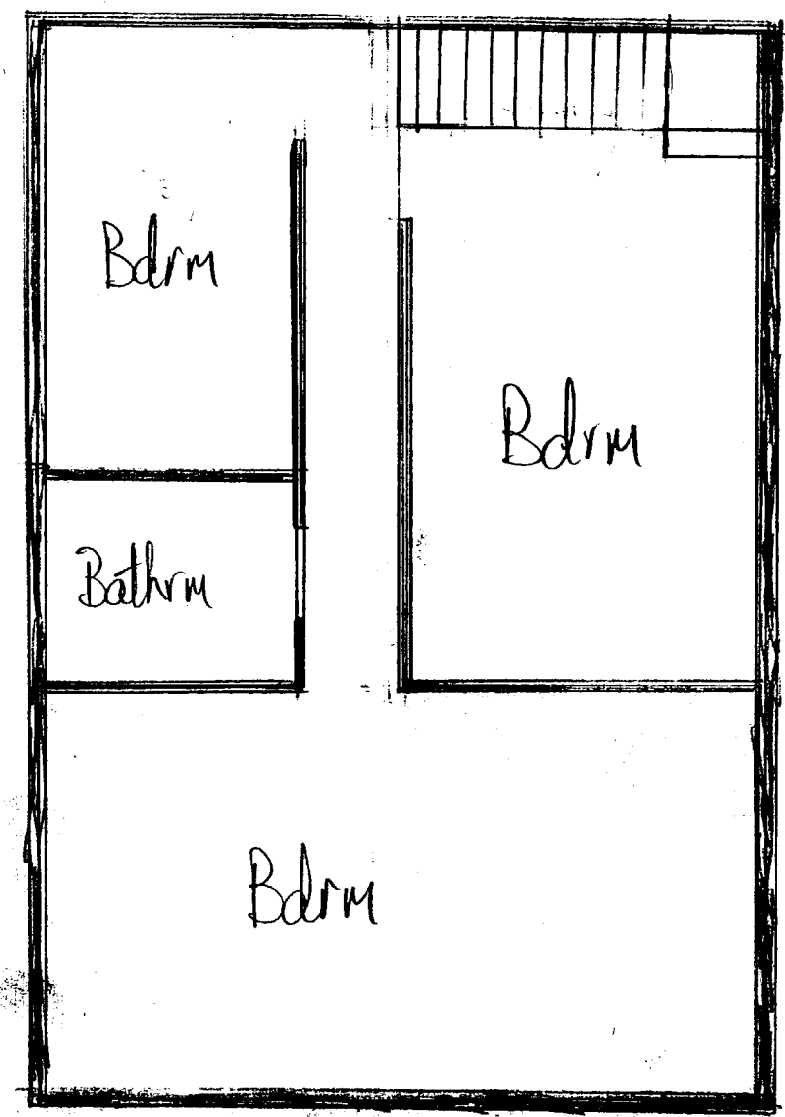
There will be no new electrical work done.

The addition adds 10.5% to the existing volume. This does not exceed the 30% limit without expanding the existing footprint

1.1 rebuilding
1 — submitted

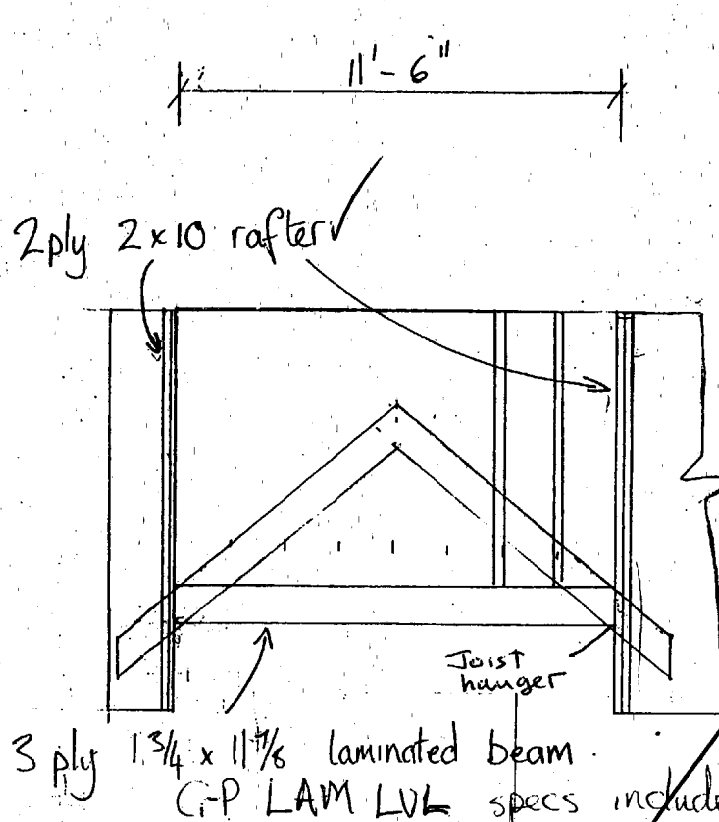


Ground Floor
1st

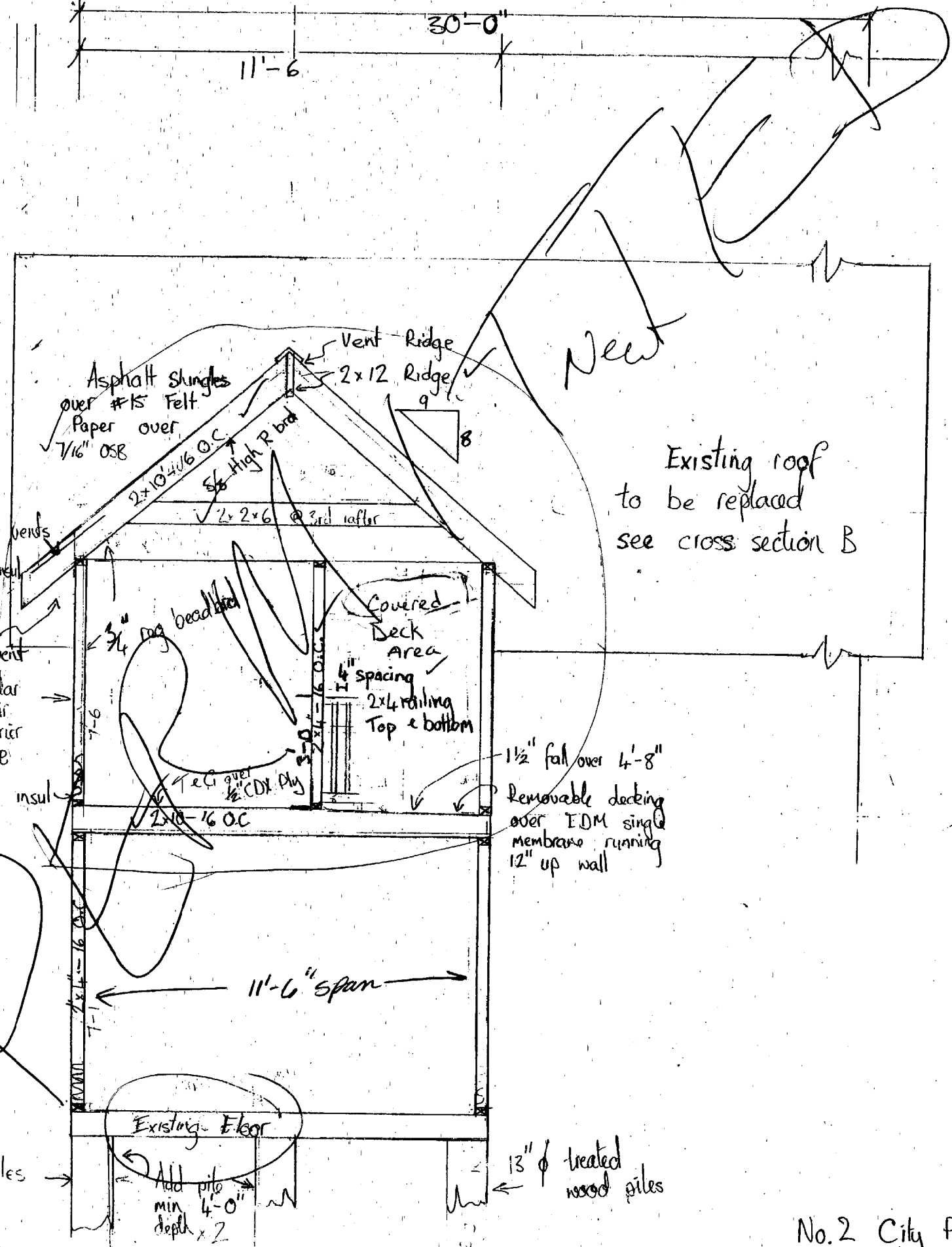


2nd Floor

2 City Point Rd
Peaks Island, ME.



BEAM DETAIL
Scale: 1/2" = 1'-0"



Existing roof to be replaced see cross section B

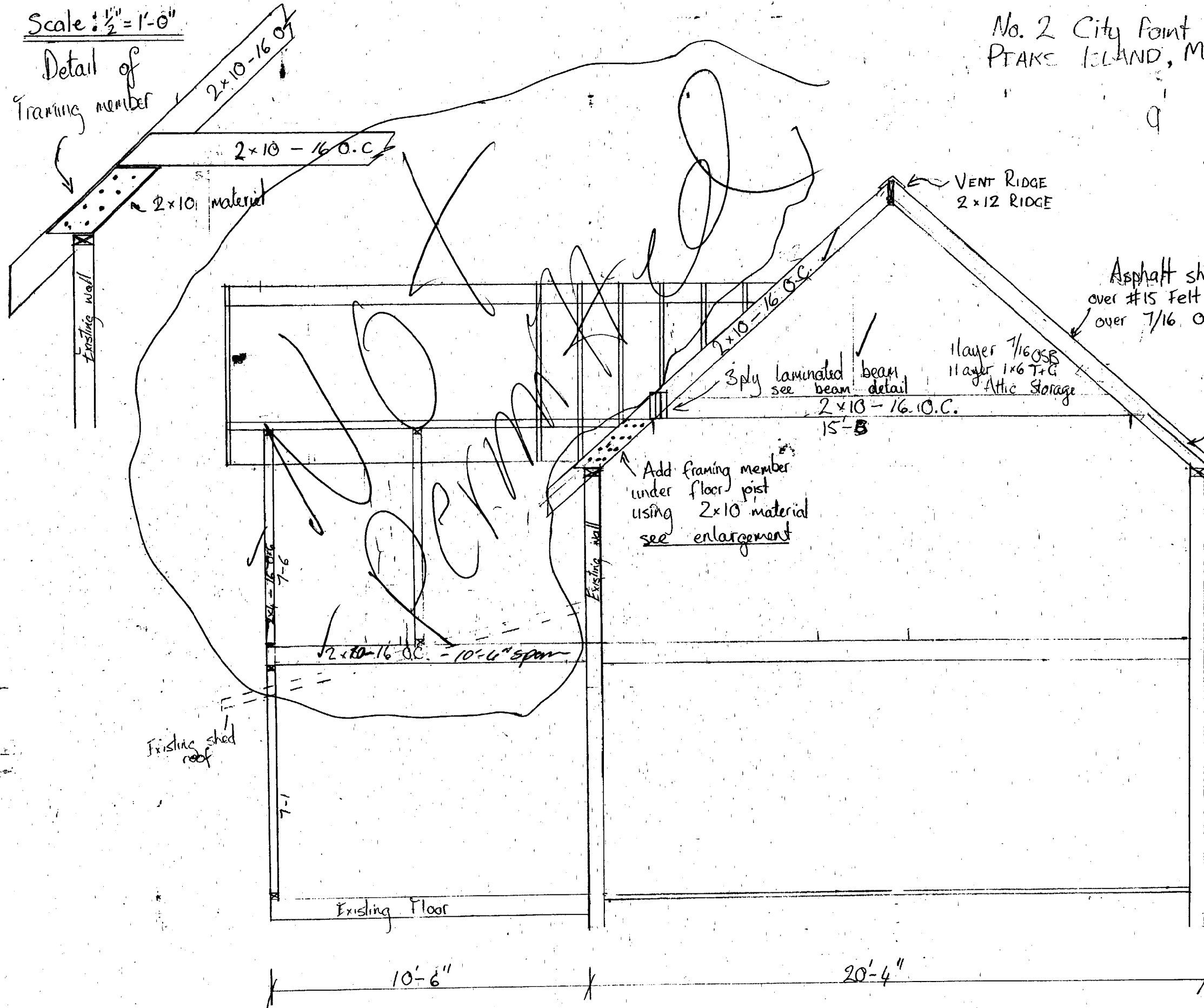
CROSS SECTION A
Scale: 3/8" = 1'-0"

No. 2 City Point Rd,
Peaks Island, ME.

Scale: $\frac{1}{2}'' = 1'-0''$

No. 2 City Point Rd,
PTAKE ISLAND, ME.

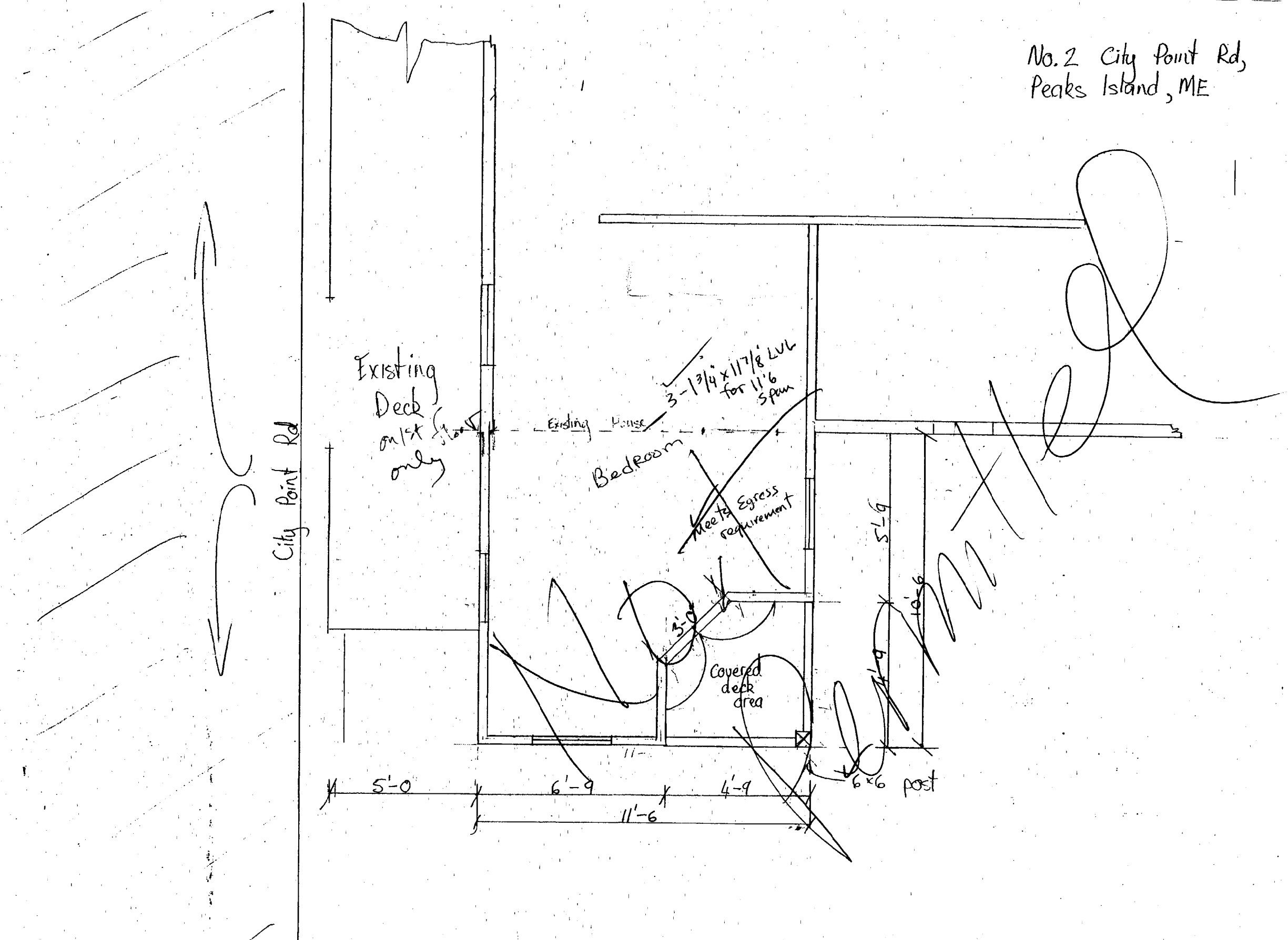
Detail of
Framing member



CROSS SECTION B

Scale: $\frac{3}{8}'' = 1'-0''$

No. 2 City Point Rd,
Peaks Island, ME



City Point Rd

Existing Deck on 1st floor only

Existing House

Bedroom

3-1 3/4 x 11 7/8 LVL for 11'6" span

Meets Egress requirement

Covered deck area

5'-9"

10'-6"

6x6 post

5'-0"

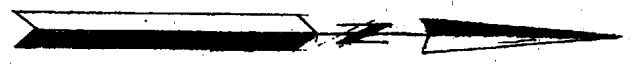
6'-9"

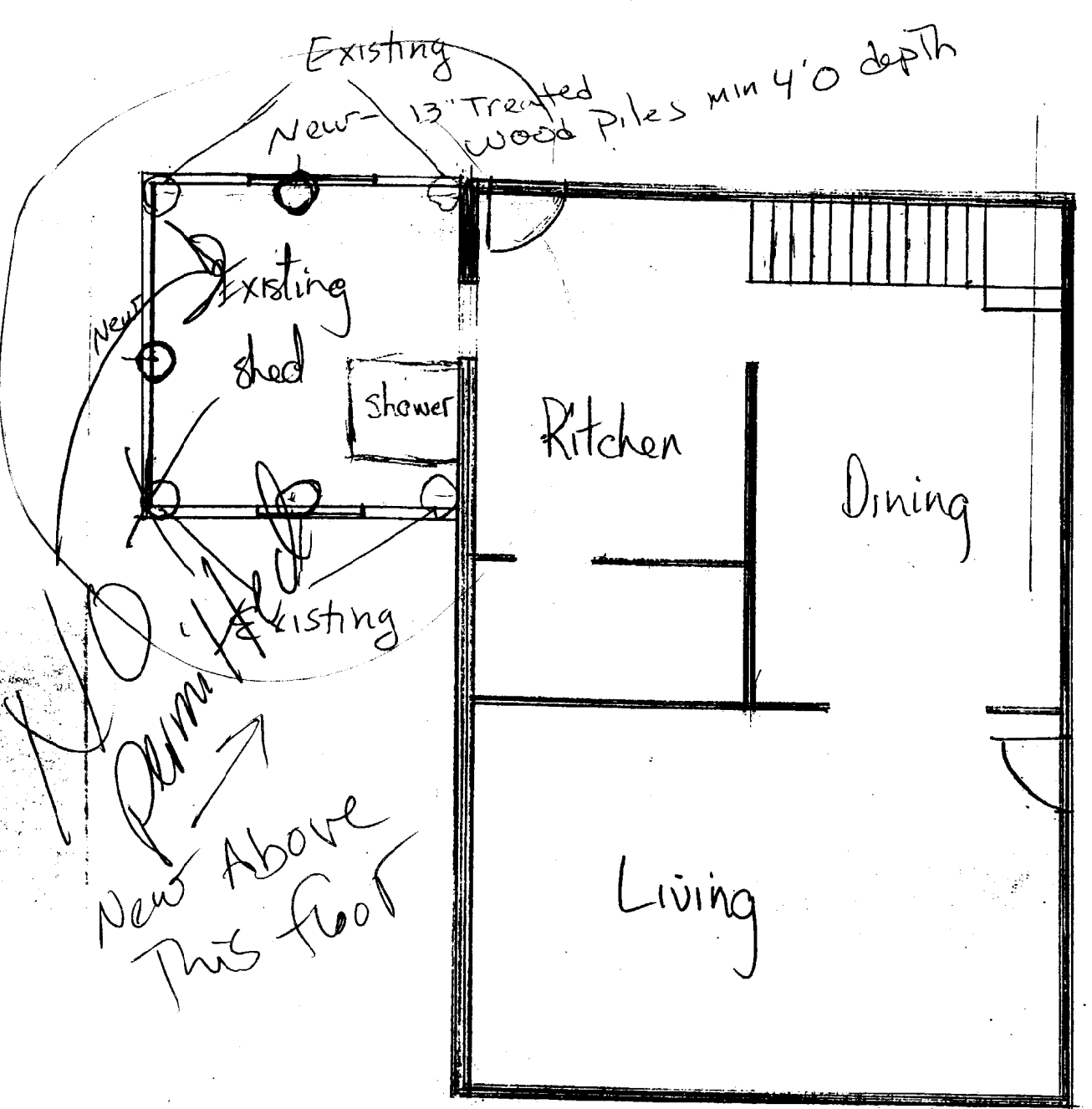
4'-9"

11'-6"

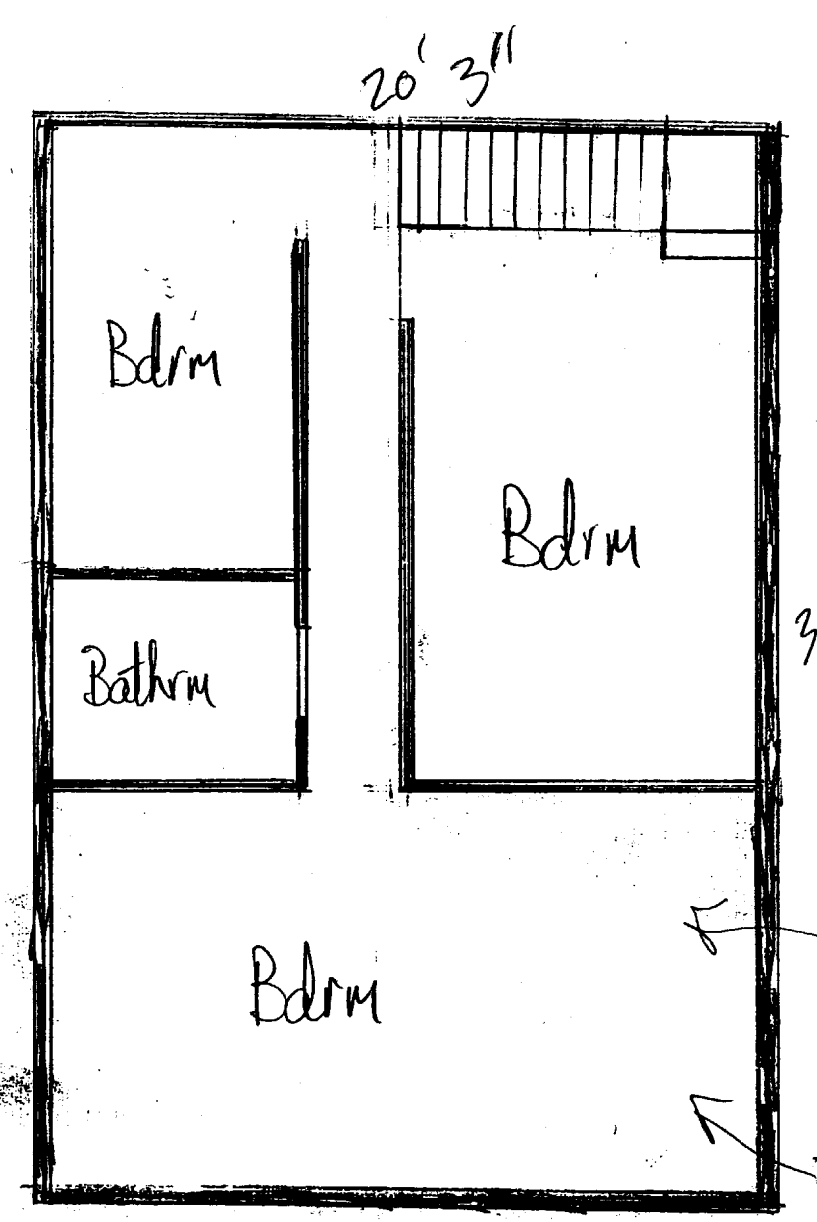
2nd Floor Plan

SCALE: 3/8" = 1'-0"





Ground Floor
1st



2st Floor

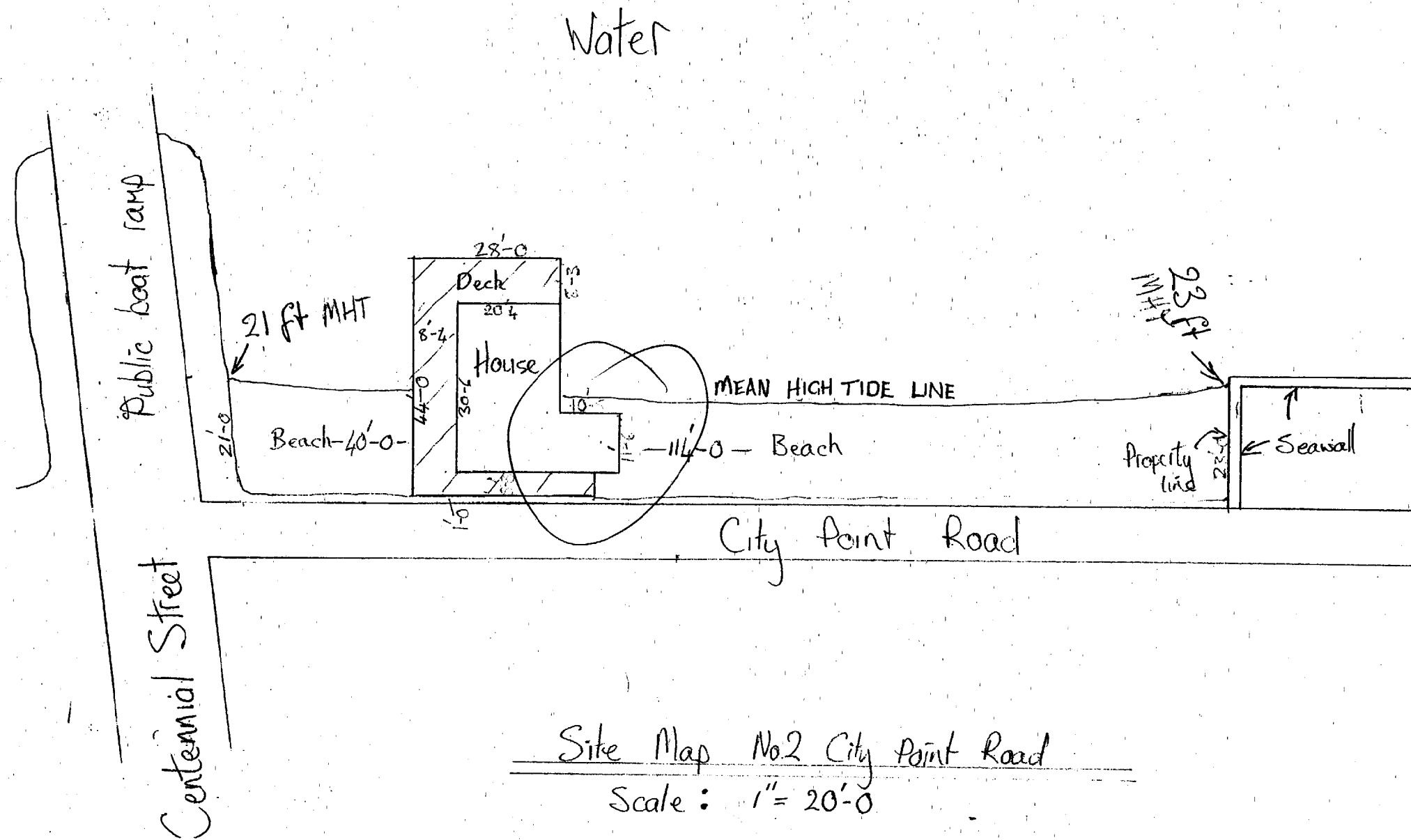
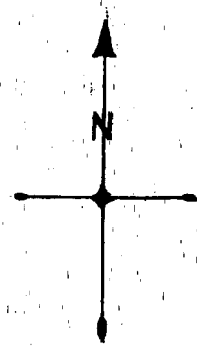
There is a 3rd floor
~~Attic~~ walk up area
 30' 6" x 65" x 67" high
 width width 5.58'
 SA = 165.31
 30.5 x 5.42 =
 Volume
 ↓
 922.43³

20.25 x 30.50 = 617.625 #

7' 6" high = 4632.19³
 volume

2 City Point Rd
 Peaks Island, ME.

No. 2 City Point Road,
Peaks Island, ME.



Site Map No. 2 City Point Road
Scale: 1" = 20'-0"