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*Penny St. Louis Littell- Director of Planning and Urban Development  
Marge Schmuckal, Zoning Administrator*

December 18, 2009

Alex Fisher  
16 City Point Road  
Peaks Island Road, Maine 04108

RE: 16 City Point Road, Peaks Island – 87-S-9 – IR-2 Zone with a Shoreland Overlay

Dear Mr. Fisher,

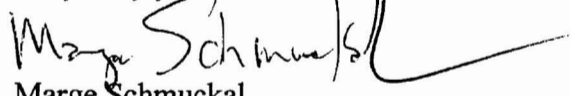
It has come to my attention that you may be doing renovations to your structure located at 16 City Point Road on Peaks Island. The renovations I write of are separate from the approved retaining wall that was recently applied for and approved by the Planning Division under project #09-69900040. There are no other building permits on file at this time for any renovations at this location.

Please be aware that your 16 City Point Road property is located in a Shoreland Overlay Zone. The property is legally nonconforming to the required 75 foot setback from the Mean High Tide. Section 14-382(f) allows a one-time expansion, not more than 30% of floor area and/or volume during the lifetime of the structure located within 75 feet of the Mean High Tide. Our records indicate an expansion permit application and approval in 1999 applied by the previous owner Mr. Covington Johnson. At that time Mr. Johnson maximized the 30% allowance for both the floor area and volume. No more expansions are allowed on this property.

Please note that Shoreland Zoning requirements originate from State DEP regulations. These regulations apply to all Maine communities including the City of Portland. The City of Portland strictly enforces the Shoreland regulations and follows up on all violations. This office will be sending out a Code Enforcement Officer to verify the complaint within the next ten days.

If you have any questions regarding this matter, please do not hesitate to contact me at (207) 874-8695.

Very truly yours,

  
Marge Schmuckal  
Zoning Administrator

Room 315 – 389 Congress Street – Portland, Maine 04101 (207) 874-8695 – FAX:(207) 874-8716 – TTY:(207) 874-3936

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This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information:**

**Services**

- Applications
- Doing Business
- Maps
- Tax Relief
- Tax Roll
- Q & A

**CBL** 087 S009001  
**Land Use Type** SINGLE FAMILY  
**Property Location** 16 CITY POINT RD  
**Owner Information** FISHER ALEX DYLAN  
 16 CITY POINT RD  
 PEAKS ISLAND ME 04108  
**Book and Page** 27291/269  
**Legal Description** 87-S-9  
 CITY POINT RD 16  
 PEAKS ISLAND  
 3000 SF  
**Acres** 0.069

**Current Assessed Valuation:**

- browse city services a-z
- browse facts and links a-z

**TAX ACCT NO.** 13636 **OWNER OF RECORD AS OF APRIL 2009**  
 JOHNSON T COVINGTON  
**LAND VALUE** \$279,000.00 PO BOX 48  
**BUILDING VALUE** \$68,900.00 PEAKS ISLAND ME 04108  
**NET TAXABLE - REAL ESTATE** \$347,900.00  
**TAX AMOUNT** \$6,171.76

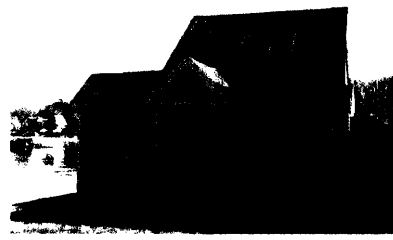
Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.



**Building Information:**

Card 1 of 1

**Year Built** 1900  
**Style/Structure Type** COTTAGE  
**# Stories** 1  
**Bedrooms** 1  
**Full Baths** 1  
**Total Rooms** 2  
**Attic** FULL FINSH  
**Basement** PIER/SLAB  
**Square Feet** 669  
[View Sketch](#) [View Map](#)

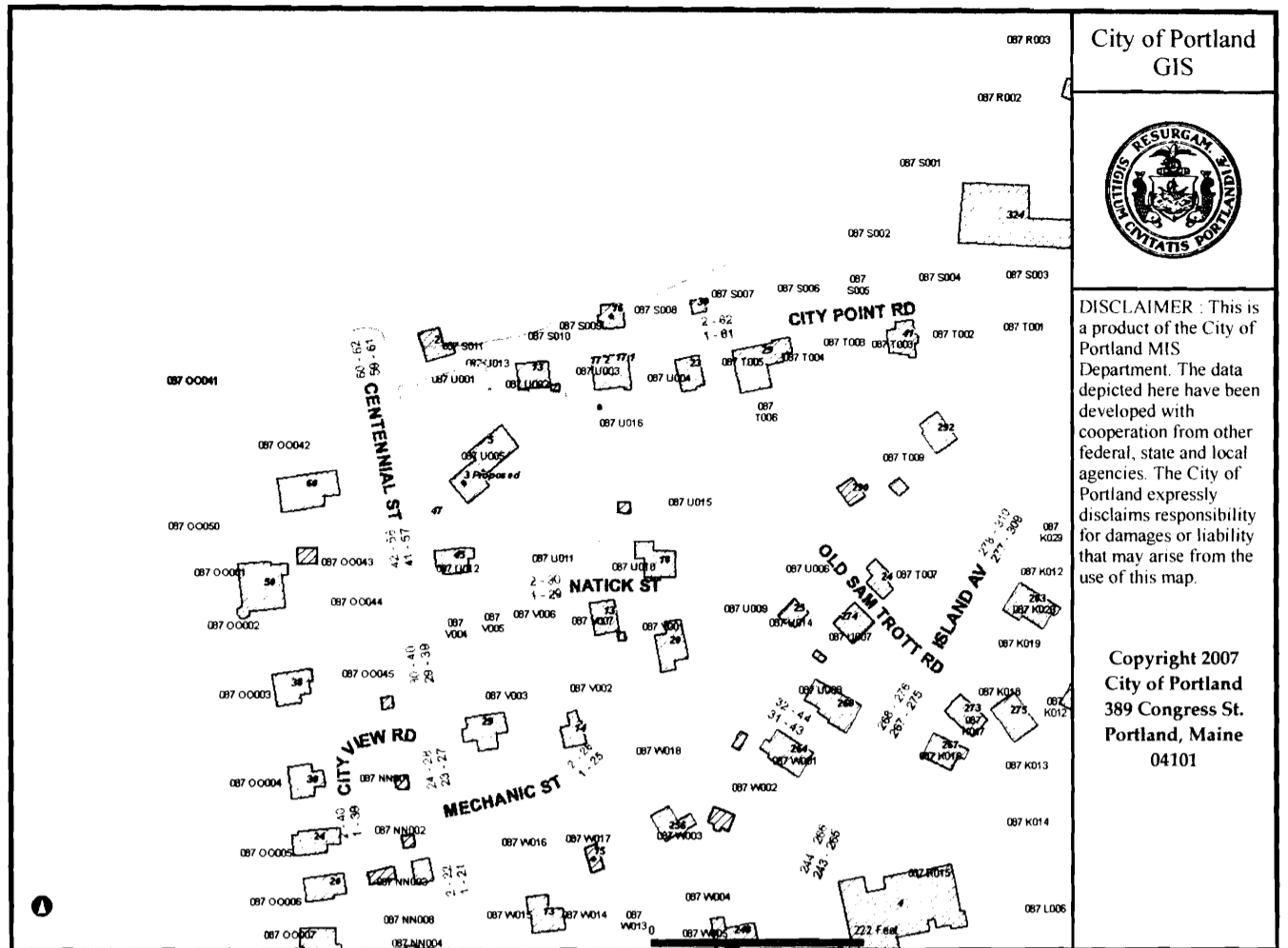


*IR-2  
with Shoreland  
overlay*

**Sales Information:**

Sale Date	Type	Price	Book/Page
9/30/2009	LAND + BUILDING	\$315,000.00	27291/269
5/1/1998	LAND + BUILDING	\$51,000.00	13826/4
4/1/1998	LAND + BUILDING	\$0.00	/

[New Search](#)





CITY OF PORTLAND, MAINE  
Department of Building Inspection

# Certificate of Occupancy

LOCATION 18 City Point Rd (087-8-009)

Issued to T. Covington Johnson

Date of Issue August 18, 1999

This is to certify that the building, premises, or part thereof, at the above location, built — altered — changed as to use under Building Permit No. 990099/<sup>990586</sup>, has had final inspection, has been found to conform substantially to requirements of Zoning Ordinance and Building Code of the City, and is hereby approved for occupancy or use, limited or otherwise, as indicated below.

PORTION OF BUILDING OR PREMISES

Entire

APPROVED OCCUPANCY

Single Family, BOCA 96  
Use R-3, Type 5B

Limiting Conditions: The one time shoreland expansion of 30% of a total of 771.65 sq. ft. and the one time volume increase to a total of 6296.524 cubic yards. The 2nd floor may not exceed 237.28 sq. ft. including neighbor wall space & stairs. The shed roof may not be used as a deck or porch. Mr. Johnson must submit a letter from the City Engineer on the height & location of the fence.

This certificate supersedes  
certificate issued July 7, 1999

Approved:  
8-31-99  
(Date)

*D. E. Reinherz*  
Inspector

*B. J. ...*  
Inspector of Buildings

Notice: This certificate identifies lawful use of building or premises, and ought to be transferred from owner to owner when property changes hands. Copy will be furnished to owner or lessee for one dollar.

*WVTC*