



CITY OF PORTLAND, MAINE
Department of Building Inspections

_____ 20 2

Received from Thompson & Johnson

Location of Work 51 Island Ave

Cost of Construction \$ _____

Permit Fee \$ 1696⁰⁰/100

Building (IL) ___ Plumbing (IS) ___ Electrical (I2) ___ Site Plan (U2) ___

Other _____

CBL: 57 00 19

Check #: 2617

Total Collected \$ 1696⁰⁰/100

THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0072	ISSUE DATE: PERMIT ISSUED	URL: 087 OOC19001
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Location of Construction: 154 Island Ave	Owner Name: Bell Michael & Gonzalez Raphael	Owner Address: 4601 Brandywine St	Phone: 202 362-8962
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Portland	Phone: 207 6652 9
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: I-B

Past Use: Single Family Home	Proposed Use: Single Family Home / Interior Renovations, Kitchen, add interior, rot repair basement	Permit Fee: \$696.00	Cost of Work: \$75,000.00	CEO District: 2	Shoreland 7,990 #
Proposed Project Description: Interior Renovations, Kitchen, add interior, rot repair basement		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: 5B IRC-2003 Signature: JMB 1/25/05		

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: Idobson	Date Applied For: 01/20/2005	Zoning Approval	
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input checked="" type="checkbox"/> Shoreland w/in 250' but well over 75' to all interior or replacement of exterior Trim.</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: JMB 1/25/05</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: JMB</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT _____ ADDRESS _____ DATE _____ PHONE _____

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE _____ DATE _____ PHONE _____

2/17/05 Spoke w/ Scott from T&J about required inspections
OK to proceed w/ work. Permit had been
mailed w/ notice to call. JMB

3/9/05 OK to close in crawl space. Allow

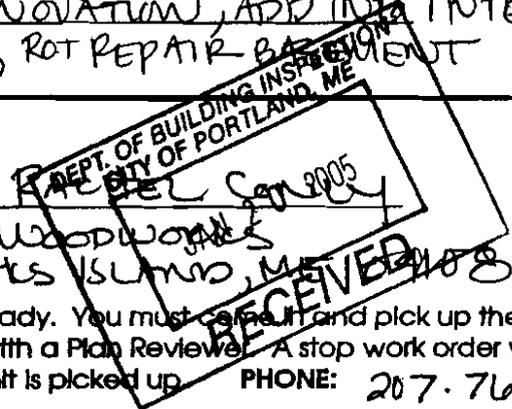
3/22/05 pb, elect, framing OK to close in. Allow

4-16-00
work complete
SMH

All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>54 ISLAND AVE.</u>			
Total Square Footage of Proposed Structure (NO CHANGE) <u>1773 SF</u>		Square Footage of Lot <u>7990 FT</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>87</u> Block# <u>00</u> Lot# <u>19</u>		Owner: <u>MICHAEL BELL</u> <u>RAPHAEL GONZALEZ</u>	Telephone: <u>202-362-8962</u>
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>THOMPSON JOHNSON WOODWORKS</u> <u>115 ISLAND AVE</u> <u>PEAKS ISLAND, ME 04108</u>		Cost Of Work: \$ <u>75,000</u> <u>85,000</u> Fee: \$
Current use: <u>SFR</u>			
If the location is currently vacant, what was prior use: _____			
Approximately how long has it been vacant: _____			
Proposed use: <u>INTERIOR KITCHEN RENOVATION, ADD INTERIOR</u> Project description: <u>WALLS, PAINTING, ROT REPAIR BASEMENT</u>			
Contractor's name, address & telephone: <u>THOMPSON JOHNSON WOODWORKS</u> <u>115 ISLAND AVE, PEAKS ISLAND, ME 04108</u>			
Who should we contact when the permit is ready: <u>PAUL CONROY</u>			
Mailing address: <u>THOMPSON JOHNSON WOODWORKS</u> <u>115 ISLAND AVE, PEAKS ISLAND, ME 04108</u>			
We will contact you by phone when the permit is ready. You must call and pick up the permit and review the requirements before starting any work with a Plan Review. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>207-766-5919</u>			



IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>Paul Conroy</u>	Date: <u>20-05</u>
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Card Number 1 of 1
 Parcel ID 087 00019001
 Location 154 ISLAND AVE
 Land Use SEASONAL

Owner Address KEEFE JILL & CLAUDIA WHITMAN & MARK GREEN & JEANNE GULNICK
 JTS
 15 BLYTHE CT
 PORTLAND ME 04102

Book/Page 21891/132
 Legal 87-00-19
 ISLAND AVE
 PEAKS ISLAND
 7990 SF

Land	Building	Total
\$132,830	\$69,610	\$202,440

Year Built 1900	Style Old Style	Story Height 1.5	Sq. Ft. 1573	Total Acres 0.183	
Bedrooms 4	Full Baths 2	Half Baths	Total Rooms 7	Attic None	Basement Pier/slab

Type	Quantity	Year Built	Size	Grade	Condition
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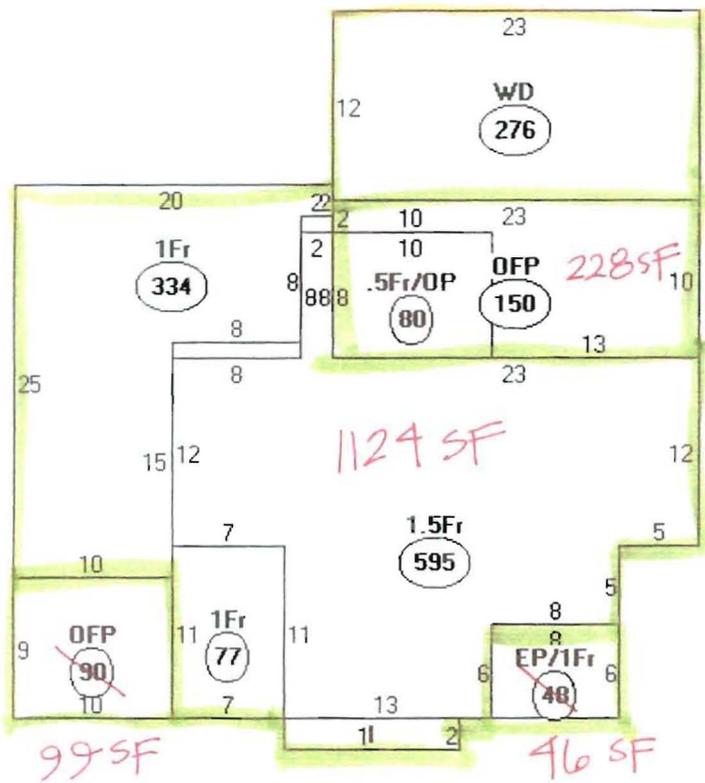
Date	Type	Price	Book/Page
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Picture Sketch Tax Map

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.

[New Search!](#)



Descriptor/Area

- A: 1.5Fr
595 sqft
- B: 1Fr
77 sqft
- C: OFP
90 sqft
- D: 1Fr
334 sqft
- E: .5Fr/OP
80 sqft
- F: OFP
150 sqft
- G: WD
276 sqft
- H: EP/1Fr
48 sqft
- I: FBAY
22 sqft

(= 1672 SF
NOT 1572 SF)

276 SF
228 SF
1124 SF
46 SF
99 SF

= 1773 SF. EXISTING TO REMAIN



*Michael K. Bell/ Rafael M. Gonzalez
4601 Brandywine Street, NW
Washington, DC 20016
202-362-8962*

FAX

To: Jeannie Bourke
Fax: 207-874-8716
From: Michael K. Bell and Rafael M. Gonzalez
Date: January 25, 2005
RE: 154 Island Avenue, Peaks Island, ME
Pages: 4 including this cover

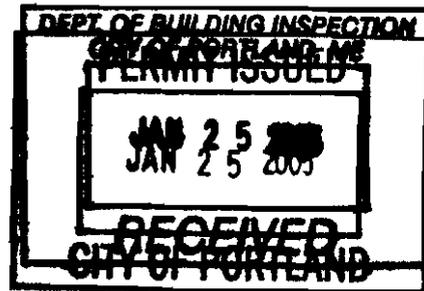
Dear Jeannie:

Attached please find the Warranty Deed for the purchase of 154 Island Avenue, Peaks Island, ME by myself and Rafael Gonzalez. We purchased this property on November 30, 2004. Please review and let me know if you need any additional information.

Very truly yours,



Michael K. Bell



WARRANTY DEED

KNOW ALL PERSONS BY THESE PRESENTS

JILL KEEFE of Portland, County of Cumberland and State of Maine, with a mailing address of 15 Blythe Court, Portland, Maine 04102, **CLAUDIA WHITMAN**, of Peaks Island, and State of Maine, with a mailing address of 6 Tolman Road, Peaks Island, Maine 04108, and **MARK GREEN** and **JEANNE GULNICK** of Peaks Island, County of Cumberland and State of Maine, and both with a mailing address of 37 Willow Street, Peaks Island, ME 04108, for consideration paid, hereby grant to **RAFAEL M. GONZALEZ** and **MICHAEL K. BELL** of Washington, DC, with a mailing address of 4601 Brandywine Street N.W., Washington, DC 20016, as Joint Tenants, with **WARRANTY COVENANTS**, certain real property located on Island Avenue on Peaks Island, County of Cumberland and State of Maine more particularly bounded and described as follows:

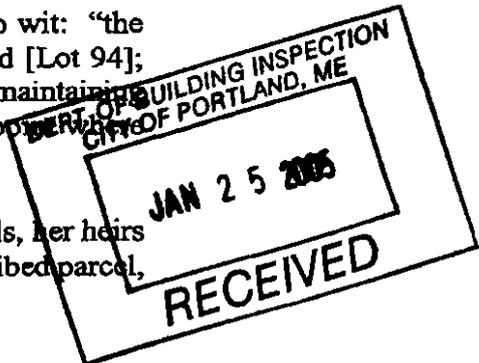
Being lot numbered ninety-three (93) on Plan E of the homestead lot of the late Luther Sterling made by Chas. H. Howe in November 1883, and recorded in Cumberland County Registry of Deeds, Book 516, between Pages 210 and 211, said lot numbered ninety-three (93) is bounded on the North by lot numbered ninety-two (92) now or formerly owned by Carroll W. Morrill, on the East by Island Avenue; on the South by lot numbered ninety-four (94), now or formerly owned by Olive A. Ingalls, and formerly owned by Jesse D. Wilson, and on the West by the high water mark.

EXCEPTING AND RESERVING therefrom a triangular strip of land bounded and described as follows:

Beginning at a point thirty-six (36) feet from Island Avenue on the dividing line between said lot numbered ninety-three (93) and lot numbered ninety-four (94) and continuing from this point in a generally Northerly direction on a line parallel with said Island Avenue for a distance of one foot and six inches (1 1/2 feet); thence in a generally Easterly direction to a point on said dividing line twenty-six (26) feet from Island Avenue; thence by said dividing line ten (10) feet to the point of beginning.

ALSO HEREBY CONVEYING all right and interest in and to the sewer and drain easement historically recited in deeds to the above-described parcel, to wit: "the right to enter the sewer and drain of Olive A. Ingalls on adjoining land [Lot 94]; provided, however, that the grantees shall pay one-half of all expenses in maintaining and repairing said sewer and for keeping the same in repair, from the point where there is entrance to the sewer to the ocean end of it at low water."

THIS CONVEYANCE IS SUBJECT TO such rights as Olive A. Ingalls, her heirs and assigns, may have to take water from the well upon the above-described parcel, and to enter upon said premises for that purpose



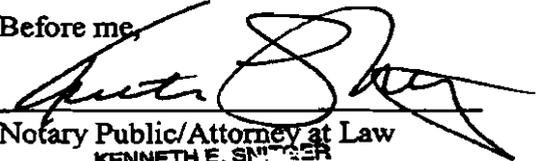
MAINE REAL ESTATE TAX PAID

Doc#: 94057 Bk:22073 Pg: 191

STATE OF MAINE
CUMBERLAND, ss

Date: November 30, 2004

Then personally appeared JILL KEEFE, duly authorized agent for CLAUDIA WHITMAN under a power of attorney dated November 18, 2004, who acknowledged her execution of the foregoing instrument to be her free act and deed in such capacity and the free act and deed of the said CLAUDIA WHITMAN.

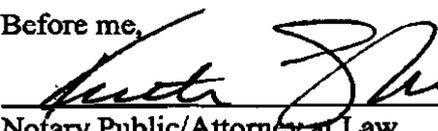
Before me,

Notary Public/Attorney at Law
KENNETH E. SNITZER
MAINE ATTORNEY AT LAW

Printed Name
Commission Expires:

STATE OF MAINE
CUMBERLAND, ss

Date: November 30, 2004

Then personally appeared JEANNE GULNICK, duly authorized agent for MARK GREEN under a power of attorney dated November 29, 2004, who acknowledged her execution of the foregoing instrument to be her free act and deed in such capacity and the free act and deed of the said MARK GREEN.

Before me,

Notary Public/Attorney at Law
KENNETH E. SNITZER
MAINE ATTORNEY AT LAW

Printed Name
Commission Expires:



STATE OF MAINE
CUMBERLAND, ss

Date: November 30, 2004

Then personally appeared JEANNE GULNICK, who acknowledged her execution of the foregoing instrument to be her free act and deed.

Before me,

Notary Public/Attorney at Law
KENNETH E. SNITZER
MAINE ATTORNEY AT LAW

Printed Name
Commission Expires:

Received
Recorded Register of Deeds
Dec 01, 2004 02:58:54P
Cumberland County
John B O'Brien

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-0072	Date Applied For: 01/20/2005	CBL: 087 00019001
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Location of Construction: 154 Island Ave	Owner Name: Bell Michael & Gonzalez Raphael	Owner Address: 4601 Brandywine St	Phone: 202-362-8962
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 115 Island Ave Peaks Island	Phone: (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home / Interior Renovations, Kitchen, add interior, rot repair basement	Proposed Project Description: Interior Renovations, Kitchen, add interior, rot repair basement
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Dept: Zoning **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 01/25/2005
Note: **Ok to Issue:**

Dept: Building **Status:** Approved **Reviewer:** Jeanine Bourke **Approval Date:** 01/25/2005
Note: 1/25/05 spoke to Rachel to verify if dwelling is on public sewer, it is. Verified smoke detector in new master bedroom. Ok to issue.

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.
- 2) Separate permits are required for any electrical, plumbing, or heating.

GONZALEZ BELL RESIDENCE

154 ISLAND AVENUE
PEAKS ISLAND, MAINE 04108

RESIDENTIAL RENOVATION

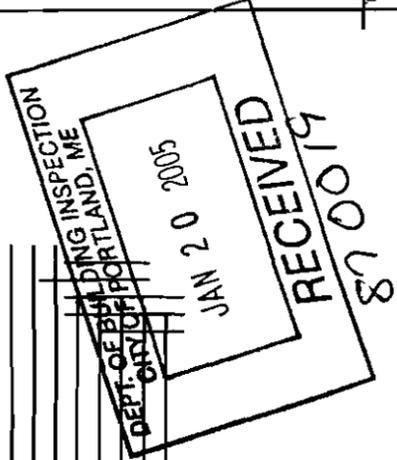
TITLE SHEET

- A1

GONZALEZ BELL
RESIDENCE
154 Island Avenue
Peaks Island, Maine 04108

Quality Assurance:
Drawing Date: 1/15/04
Drawing Scale: 1/8"=1'-0"
MKB
Revisions By Thompson Johnson Woodworks 1/05/05

Drawing Lino.



NO.	DESCRIPTION	DATE
A1	TITLE SHEET	
A2	DEMOLITION PLAN	
A3	ARCHITECTURAL PLAN	
A4	ELECTRICAL PLAN	
A5	MILLWORK PLAN	
A6	FURNISH PLAN	
A7	SPACE PLAN	

Architectural Notes

Structural Notes

1. All work to be done in accordance with the rules and regulations of the Local Jurisdiction. Unless otherwise agreed upon, the General Contractor is responsible for securing all building permits as required for work to be performed and will obtain and pay for all required inspections during the course of the work.

2. Unless otherwise agreed upon, general conditions of the contract for construction shall be A.I.A. Document A201, 1997.

3. Contractor shall verify the site and be aware of existing conditions in the actual and influence of the work.

4. Any discrepancies found in the plans, dimensions, existing conditions, or any apparent error in identifying or specifying a product or its use to be pointed out to the Architect prior to commencement of work. Additions will be based on necessary and will become part of the contract documents. For those discrepancies not brought to the attention of the Architect, it will be assumed that the Contractor has had the more appropriate method of construction.

5. All changes to work or existing construction caused by the Contractor's negligence or inadequate protection or security measures during construction are to be corrected at the expense of the Contractor.

6. The Contractor for a period of one year from the date of completion and acceptance by the Architect, shall repair, replace or reconstruct any work or materials, including or adjacent within the scope of the Contract.

7. Changes are not to be made for dimensions under plan. The General Contractor shall be responsible for field measuring existing conditions prior to beginning of work, and periodically during progress of work to verify all critical dimensions. Any deviations from dimensions indicated in drawings are to be approved by the Architect, prior to construction.

8. Shop drawings/submittals are to be submitted to the Architect for approval before proceeding with all items which require fabrication. Provide Architect with a list of items to be submitted prior to beginning construction.

9. General Contractor is to verify Architect for review of permit shall file layout.

10. Actual dywidag employees must be submitted for approval prior to placing order.

Soil, bearing and water conditions: Assumed and bearing capacity of 2000 PSF (min.) with no water conditions anticipated.

Live load: Roof 30 PSF; 15 PSF Dead load

Floor 40 PSF; 15 PSF Dead load; Wind load 17 PSF.

Reinforce: steel not to be placed against walls until after the formwork has been removed and required rebar is in place. Rebar shall be placed on both sides of walls, with all bars adequately anchored, with the grade difference not to exceed 2'-0" at any time.

Lateral loads on foundation walls: Walls built to retain or support the lateral pressure of earth or water or other surcharge loads have been designed assuming pressure equivalent to that which would be applied by a fluid weighing 30 pounds per cubic foot and having a depth equal to that of the retained earth.

Foundation: Bottoms of all exterior footings shall be a minimum of 2'-0" below finish grade. All footings shall project 12" into undisturbed soil, unless ground bearing ultimate bearing capacity is less than 2,000 psf. All footings shall be cast in concrete. All changes of wall conditions are other than assumed.

Concrete: All concrete construction shall conform to the latest A.C.I. code 318, 28-day concrete strength shall be as follows: 2,000 PSF for footings, interior walls on grade and 3,000 PSF for exterior walls on grade.

3,000 PSF for exterior walls on grade.

4,500 PSF for precast concrete walls.

Stairs on grade: Except where otherwise noted, shall be 8" thick, reinforced with #4 @ 18" on center with each, top mat #7 in each direction, shall be cast in a layer of 4" RL. Reinforce over a 4" layer of compacted grade.

Exterior walls on grade: For all exterior walls on grade, shall be reinforced with #4 @ 18" on center with each, top mat #7 in each direction, shall be cast in a layer of 4" RL. Reinforce over a 4" layer of compacted grade.

Reinforcing steel: Reinforcing steel or bars, unless otherwise noted, shall be intermediate grade deformed mild steel, conforming to ASTM specifications A615-40. All other reinforcing steel shall conform to ASTM specifications A615-40. Welded wire fabric to conform to ASTM A-188. All reinforcing steel to be submitted and installed according with the latest detailing manual A.C.I. 318.

dywidag manufacturer's recommendations.

General Conditions

1. Maximum sill height of emergency egress windows to be 4'6" to conform with 2003 International Residential Code (IRC).

2. Minimum clear height shall be 7'-0" and minimum head 6'9" for all egressways, finished projection 2 1/2" maximum per 2003 IRC.

3. Head egress to be finished to per 2003 IRC.

4. Protruding shall be provided per 2003 IRC.

5. Head egress shall be finished per 2003 IRC.

6. Overall height to be 30" min. according with 2003 IRC.

7. Provide finished wall face in accordance with 2003 IRC.

8. All glazed areas subject to human impact shall be safety.

9. All impasses to be U.L. rated and installed according to manufacturer's specifications and 2003 IRC.

10. All footings to extend at least 24 inches below finish grade per 2003 IRC.

11. All frame bracing shall conform with 2003 IRC.

12. Provide wall bracing in accordance with 2003 IRC using either continuous diagonal bracing or approved 4" x 8" sheathing panels applied vertically.

13. Provide foundation drainage in accordance with 2003 IRC.

14. All trusses, bridging, and micro-lam beams shall be installed according to the manufacturer's specifications and 2003 IRC.

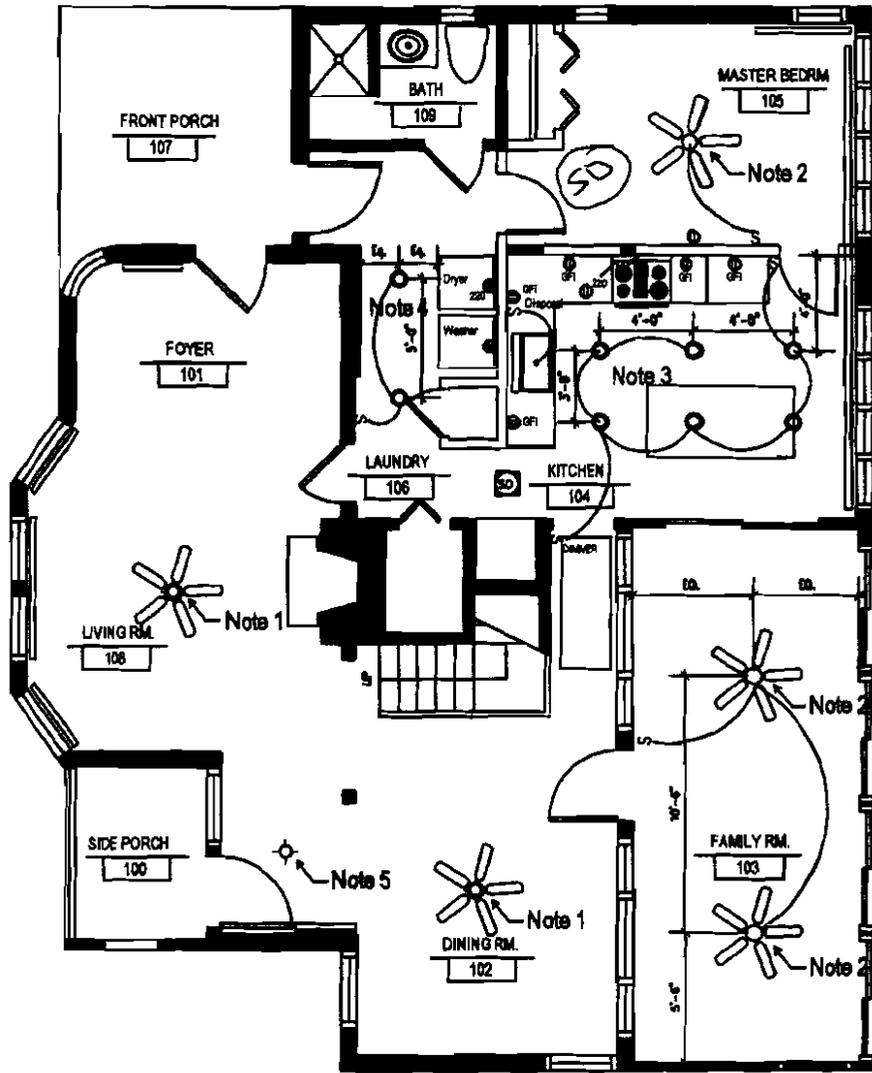
15. Plywood used for floor and roof sheathing shall conform to 2003 IRC.

16. Provide bracing as required per 2003 IRC.

17. Provide smoke detectors in every story including the basement of each dwelling unit. The detectors shall be listed in such a manner that the activation of one alarm will activate all the others in the individual unit per 2003 IRC.

18. Drywall: Drywall may be placed with any of the following materials subject to the noted limitations as specified in 2003 IRC: laminated glass, wired glass, annealed glass, heat strengthened glass, tempered glass, glass block and light transmitting plastic.

NOTE: THESE PLANS ARE FOR THE USE OF THE BUILDER IN FACILITATING CONSTRUCTION. ALL DIMENSIONS INDICATED ARE APPROXIMATE AND MAY VARY DUE TO ADJUSTMENTS REQUIRED IN THE FIELD. OPTIONAL FEATURES, FINISHES, ELECTRICAL AND HVAC EQUIPMENT MAY OR MAY NOT BE INDICATED ON PLANS.



FIRST FLOOR

Electrical Plan - KEY

- NEW DUPLEX ELECTRICAL OUTLETS @ 18" AFF UNLESS AT KITCHEN COUNTERS - 44" AFF
- NEW RECESSED DOWNLIGHT - LIGHTQUIER LYTECASTER INCANDESCENT 5" APERTURE, STEP BAFFLE, WHITE FINISH OR EQUAL
- NEW CEILING FANS - PROVIDE BY OWNER, INSTALLED BY G.C.
- NEW ELECTRICAL SWITCH
- NEW ELECTRICAL SWITCH WITH DIMMER
- SMOKE DETECTOR

PLANS NOTES:

1. Replace existing ceiling mounted light fixtures with new
2. Install new ceiling fans at these locations, switched as in
3. Provide and install all required electrical outlets for spec
4. Provide and install all required electrical outlets and req
5. Replace existing ceiling fixture at this location with ceiling

ELECTRICAL PLAN

-A4

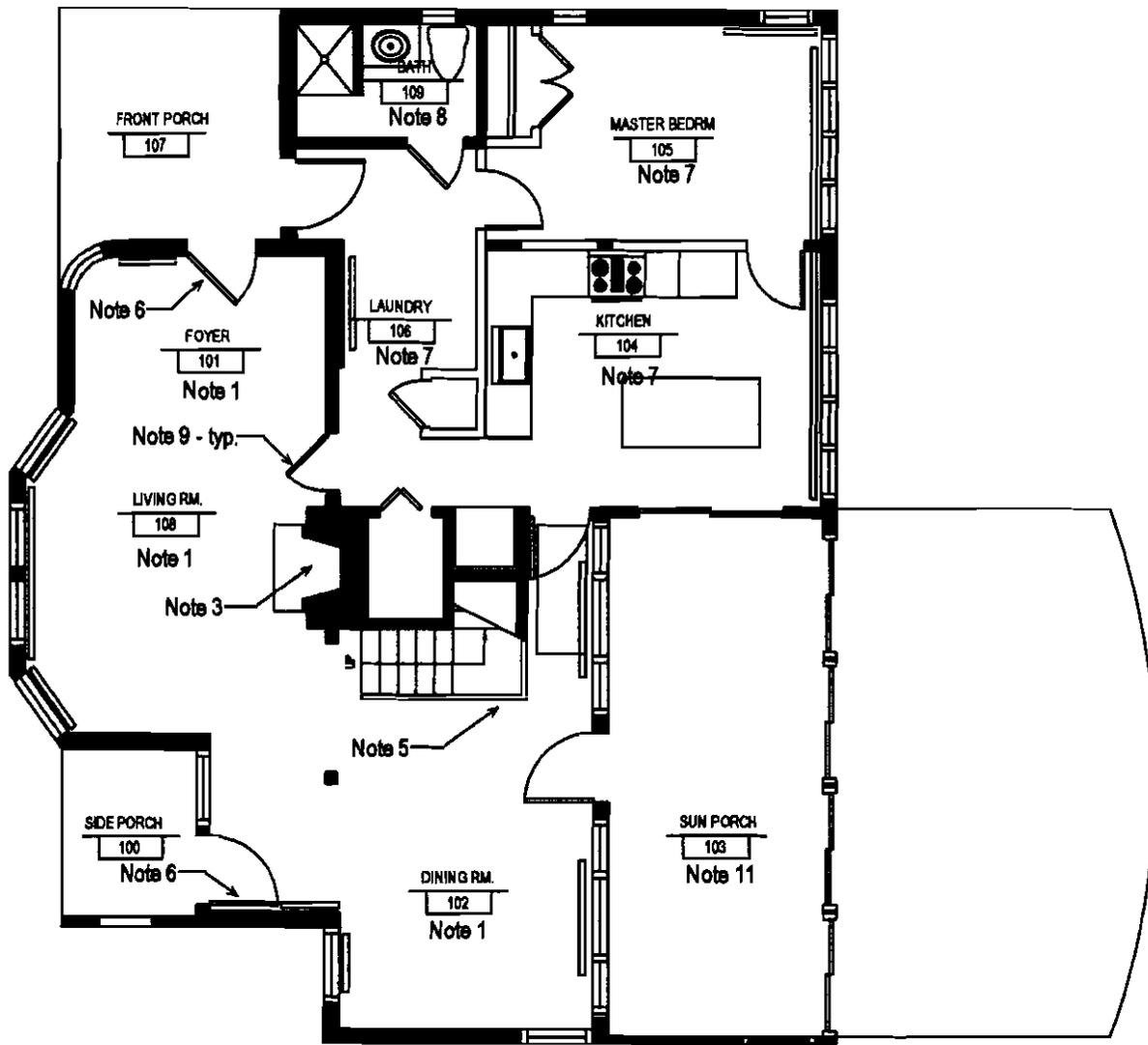
GONZALEZ BELL
RESIDENCE

154 Island Avenue
Peaks Island, Maine

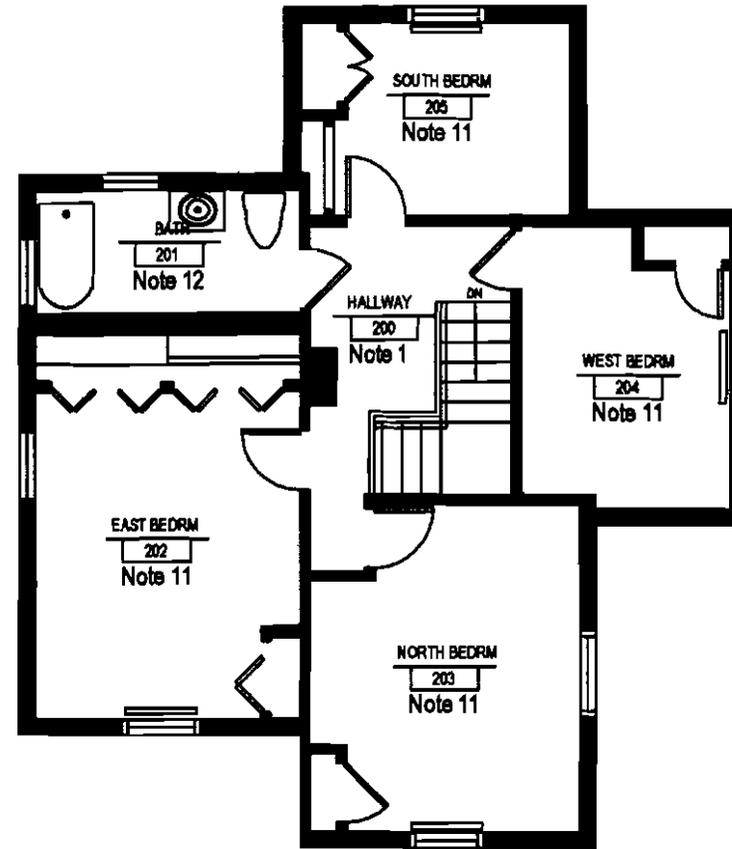
Issue Record

Quality Assurance: 11/15/04
 Drawing Date: 1/8"-1/4"
 Drawing Scale: MKD
 Drawn By: MKD
 Revisions By: Thompson Johnson Woodworks 10505

Drawing Info



FIRST FLOOR



SECOND FLOOR

PLANS NOTES:

1. In these rooms, finishes should be as follows:
 Wood ceiling - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, Semi-gloss finish; 1 coat primer, 2 finish coats minimum
 Wood walls - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, Semi-gloss finish; 1 coat primer, 2 finish coats minimum
 Trimwork - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, Semi-gloss finish; 1 coat primer, 2 finish coats minimum
 Wood floors - to remain as is.
2. Not used.
3. Existing fireplace tile to be cleaned, mantle to be primed and painted Benjamin Moore White 01, Regal AquaGlo, Semi-gloss finish, 1 coat primer, 2 finish coats minimum; patch and repair hearth as required.
4. Not used.
5. Existing staircase - stair risers, posts and balusters to be primed and painted Benjamin Moore White 01, Regal AquaGlo, Semi-gloss finish, 1 coat primer, 2 finish coats minimum; stair railing and stair treads to remain stained as is.
6. These doors to remain stained as is; door frames to be primed and painted Benjamin Moore White 01, Regal AquaGlo, Semi-gloss finish
7. In these rooms, finishes should be as follows:
 Drywall ceiling - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, flat finish; 1 coat primer, 2 finish coats minimum
 Walls - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, Semi-gloss finish; 1 coat primer, 2 finish coats minimum
 Trimwork - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, Semi-gloss finish; 1 coat primer, 2 finish coats minimum
 Wood floors - to remain as is.

8. In 1st floor bathroom - remove existing wallpaper, prime walls and existing vanity cabinet and paint Benjamin Moore White 01, Regal AquaGlo, semi-gloss finish, 1 coat primer, 2 finish coats; floor to remain as is.
9. Unless specified otherwise, all existing and new doors and frames to be primed and painted with Benjamin Moore White 01, Regal AquaGlo, semi-gloss finish, 1 coat primer, 2 finish coats.
10. Not used.
11. In these rooms finishes are to be as follows:
 Wood ceilings - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, semi-gloss finish, 1 coat primer, 2 finish coats minimum
 Wood walls - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, semi-gloss finish, 1 coat primer, 2 finish coats minimum
 Wood trimwork - to be primed and painted Benjamin Moore White 01, Regal AquaGlo, semi-gloss finish, 1 coat primer, 2 finish coats minimum
 Floors - Carpeting to be provided and installed by owners
12. In 2nd floor bathroom - wood ceiling, walls and existing vanity cabinet to be primed and painted Benjamin Moore White 01, Regal AquaGlo, semi-gloss finish, 1 coat primer, 2 finish coats minimum.
13. In rooms 101, 102, 104, 105, 106, 108, 200 - provide price alternate to paint existing wood floors - primed and painted Benjamin Moore Alkyd Porch and Floor Enamel # C112, color to be determined, 2 finish coats minimum.

FINISH PLAN

GONZALEZ BELL
RESIDENCE

154 Island Avenue
Peaks Island, Maine

- A6

Issue Record

Quality Assurance:	11/15/04
Drawing Date:	1/8"-1'-0"
Drawing Scale:	MKB
Drawn By:	
Revisions By:	Thompson Johnson Woodworks 1/05/05

Drawing Info