

Form # P04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK
CITY OF PORTLAND

Please Read
Application And
Notes, If Any,
Attached

BUILDING PERMIT

PERMIT ISSUED

Permit Number: 100814

This is to certify that WINTER ERIC P & CATHERINE A WINTER Rachel Co

JUL 29 2010

has permission to Kitchen remodel & mudroom/master suite addition

AT 72 ELIZABETH ST Pearls Island - CP 087 N006001 **City of Portland**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lath or other used-in. 2 HOV NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name

Jamie Bonke 7/29/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0814	Issue Date:	CBL: 087 N006001,007
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Location of Construction: 72 ELIZABETH ST Peaks Island	Owner Name: WINTER ERIC P & CATHERINE	Owner Address: 72 ELIZABETH ST	Phone: 011
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Business Name:	Contractor Name: Rachel Conly Architectural Design	Contractor Address: 26 Sterling Peaks Island	Phone: 2074158561
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Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: IR-2
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Past Use: Single Family Home	Proposed Use: Single Family Home - Kitchen remodel & mudroom/master suite addition	Permit Fee: \$1,020.00	Cost of Work: \$100,000.00	CEO District: 1	19,642
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FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC-2003
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Proposed Project Description: Kitchen remodel & mudroom/master suite addition	Signature: [Signature]	Signature: [Signature] 7/29/10
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PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____
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Permit Taken By: ldobson	Date Applied For: 07/09/2010	Zoning Approval
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>v/A</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone <i>v/A</i></p> <p><input type="checkbox"/> Subdivision <i>Used revised plan received 7/15/10</i></p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p><i>OK w/ conditions</i> Date: 7/15/10 <i>AKM</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>
---	---	--	--

PERMIT ISSUED

JUL 29 2010

City of Portland

CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
------------------------	---------	------	-------

RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
---	------	-------

Location of Construction: 72 ELIZABETH ST PEAKS ISLAN	Owner Name: WINTER ERIC P & CATHERINE	Owner Address: 72 ELIZABETH ST	Phone:
Business Name:	Contractor Name: Rachel Conly Architectural Design	Contractor Address: 26 Sterling Peaks Island	Phone (207) 415-8561
Leasee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

7/27/2010-jmb: Spoke with Rachel C. For details from review including tempered window at the 1st fl bath, FPSF design criteria per Sec. R403.3, master suite roof framing for the skylights, define removable ladder to the loft, and condition on the design for reduction of clearance to combustibles for the wood stove. She will submit.

7/28/2010-jmb: Received email from Rachel C. With details requested and revised floor plan for the 1st floor bathroom relocating the tub/shower so the window is not required to be tempered. Asked for information on R-factor of vertical insulation at the slab, if the property is seasonal or year round and if the sewer is private or public.

7/29/2010-jmb: Rachel C. Emailed responses, copied to the file, ok to issue.

PERMIT ISSUED

JUL 29 2010

City of Portland

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

 X **Footing/Building Location Inspection: Prior to pouring concrete or setting precast piers**

 X **Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling**

 X **Final inspection required at completion of work.**

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE
 Department of Building Inspections

Original Receipt

7. 9. 20 10

Received from Winter

Location of Work 10 Elizabeth

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 41020

Building (12) _____ Plumbing (15) _____ Electrical (12) _____ Site Plan (12) _____
 Other _____

CBL: 87-126

Check #: 103

Total Collected \$ 41020

**No work is to be started until permit issued.
 Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
 YELLOW - Office Copy
 PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 72 ELIZABETH STREET PEAKS ISLAND		
Total Square Footage of Proposed Structure/Area 2,297 SF (EXIST. + NEW)		Square Footage of Lot 19,549 SF
Tax Assessor's Chart, Block & Lot Chart# 87 Block# N Lot# 644, 7 11	Applicant * <u>must be owner, Lessee or Buyer</u> * Name ERIC WINTER Address 72 ELIZABETH ST. City, State & Zip PEAKS ISLAND, ME.	Telephone: 207-415-8561
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ 100,000 C of O Fee: \$ Total Fee: \$ 1020.⁰⁰/₁₀₀
Current legal use (i.e. single family) <u> SF </u> If vacant, what was the previous use? <u> </u> Proposed Specific use: <u> SF </u> Is property part of a subdivision? <u> NO </u> If yes, please name <u> </u> Project description: KITCHEN REMODEL & MUD ROOM / MASTER SUITE ADDITIONS.		
Contractor's name: (OWNER) ERIC WINTER MAIL		
Address: 72 ELIZABETH STREET		
City, State & Zip PEAKS ISLAND, ME. 04108		Telephone: 207-415-8561
Who should we contact when the permit is ready: RACHEL CONLY		Telephone: 207-766-5625
Mailing address: RACHEL CONLY ARCHITECTURAL DESIGN 26 STEPHEN ST. PEAKS ISLAND, ME. 04108		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: <u><i>Rachel Conly</i></u>	Date: <u>7.7.10</u>
---------------------------------------	---------------------

This is not a permit; you may not commence ANY work until the permit is issued

Applicant: Eric Wintv

Date: 7/12/10

Address: 72 Elizabeth St, Pears Island

C-B-L: ~~87~~ 87-N-006, 007, 011
perm# 10-0814

CHECK-LIST AGAINST ZONING ORDINANCE

* revised plan 7/19/10.

Date - house built 1900

Zone Location - IR-2

Interior or corner lot -

Proposed Use/Work - interior renovations! add. 835 sq single story addition

Sewage Disposal -

Lot Street Frontage -

Front Yard - 25' min or average - * revised plan
* 25' lot of needs to be 25' front right corner. (ok)

Rear Yard - 25' min - 11' setback (ok) 11' setback (marked addition setback 3' back)

Side Yard - 20' min - 42' setback (ok) - same.

Projections -

Width of Lot -

Height - 35' max - 16' setback (ok)

Lot Area - 19,549 sq ft existing.

Lot Coverage / Impervious Surface - 20% = 3909.8 sq ft

existing house	1203
sheds	209
porch	605
roof	133 7x14
	12 8x14
	<u>2262</u> (ok)

Area per Family - N/A

Off-street Parking -

Loading Bays -

Site Plan -

Shoreland Zoning / Stream Protection - N/A

Flood Plains -

Ann Machado - revised site plan 7.19.10

From: rachel conly <raconly@yahoo.com>
To: Ann Machado <AMACHADO@portlandmaine.gov>
Date: 7/19/2010 9:42 AM
Subject: revised site plan 7.19.10
Attachments: revised site plan 7.19.10.tif

Good Morning,

Here is the revised site plan. Basically, the set back requires that the southeast corner of the mudroom be 33'-0" from the property line in order to achieve an 8'-0" roof over the terrace.

Hope this clears things up. See you in the morning. Thanks, Rachel

P.S. I also have questions about two other properties, 1 Central Avenue and 3 Central Avenue (same owner owns both), and 73 Seashore. If you have time, I would love some initial feedback on them.

Rachel Conly
Architectural Designer
207-766-5625



PRODUCT PERFORMANCE AND INFORMATION

GLASS, ULTREX AND CAPILLARY TUBE INFORMATION

GLASS PERFORMANCE - LOW E II		
Glass Thickness	1/8" / 3mm	5/32" / 4mm
Air Space	0.5" Argon	0.388" Argon
UV Blockage -300 -380 nm	84%	84%
Fading Function -300 -600 nm	33%	33%
Center of Glass		
U-Factor	0.25	0.26
R-Factor	4.00	3.89
Interior Glass Temperature - Winter	57° F	57° F
Interior Glass Temperature - Summer	83° F	84° F
Visible Light		
% Trans.	72%	72%
Reflectance Out %	11%	11%
Reflectance In %	12%	12%
Solar Heat gain Coefficient	0.41	0.42

U-Value - (Btu/hr-sq ft-°F) Lower the U-Value, the greater the resistance to heat flow and better its insulating value.
 R-Value - (1/U-Value) Higher the R-Value, the greater the resistance to heat flow and better its insulating value.
 Reflectance - The ratio of reflected radiant energy to incident radiant energy.
 Visible Light Transmittance - Percentage of visible light transmitted through the glass.
 Solar Heat Gain Coefficient - The lower the number, the less solar heat it transmits, and the greater its shading ability.
 nm - Nanometers

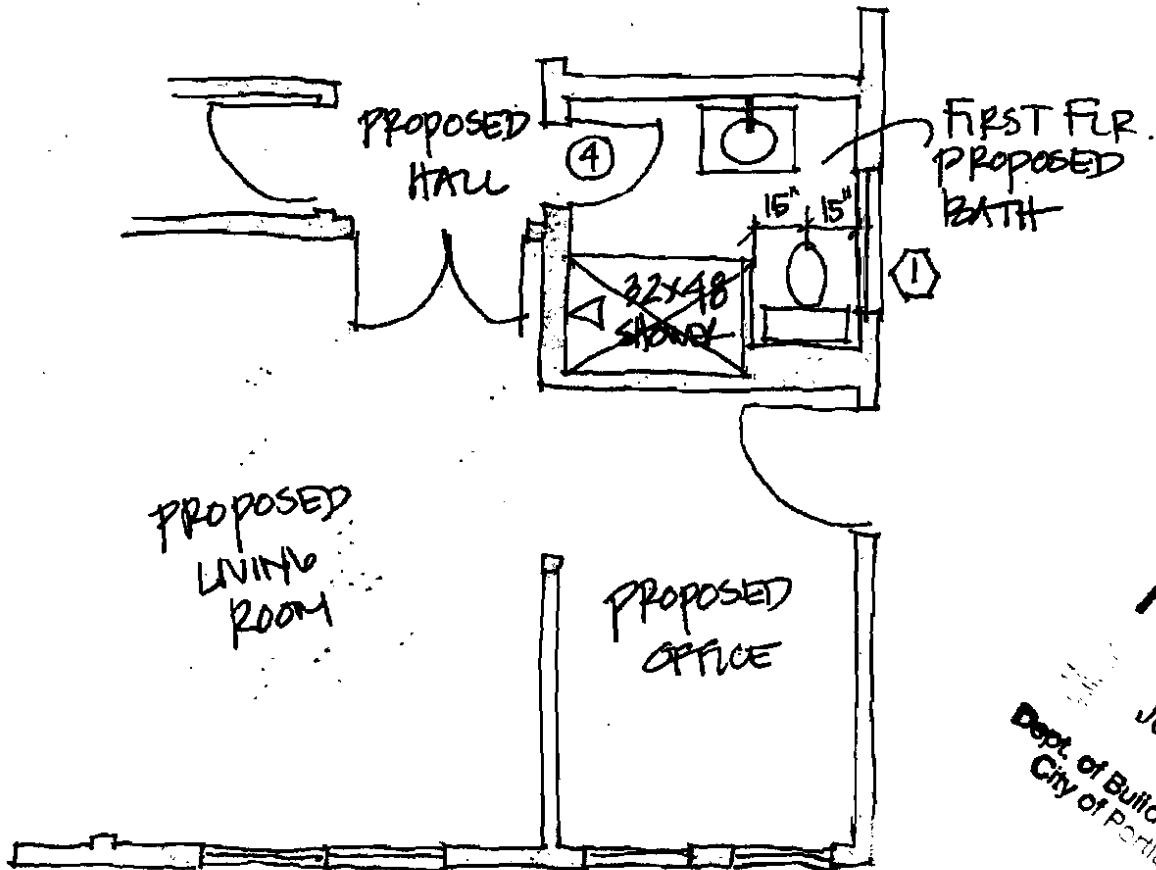
ULTREX CLADDING CHARACTERISTICS
<p>Integrity's Ultrex is a composite material of fiberglass filaments that are shaped and matted, then saturated with compound resins. Ultrex offers stability, and stands up to the elements such as; sun, rain, airborne pollutants, and saltwater. Ultrex also acts as a structural component adding to the entire window or door unit, and has a very low rate of expansion and contraction. Under the same conditions as vinyl, Ultrex moves only 1/10th as much as vinyl, it actually moves at the same minimal rate as window glass, reducing wear and tear on thermal seals. The impermeable factory finish is a patented acrylic coating which is applied utilizing a zero emission process. The finish provides excellent gloss and color retention, hardness, abrasion and chemical resistance. The dry film thickness is greater than 3 mils.</p>

CAPILLARY TUBES: As a general rule, capillary tubes (also known as breather tubes) are recommended in 1-liters insulated units installed in elevations of 5,000 feet or more above sea level. Capillary tubes are also recommended in smaller (or) divided lite units where one side of glass is less than 12" in length at elevations of 3,000 feet or more above sea level. Integrity does not install capillary tubes into insulated units just for transit through higher elevations (such as insulated units shipping to the west coast via Rocky Mountains). The final installation location of the unit determines if a capillary tube is necessary or not.

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 JUL 28 2010
 Dept. of Building Inspections
 City of Portland Maine

WINTER RESIDENCE: BATH REVISION 7.27.10

RATCHER ONLY

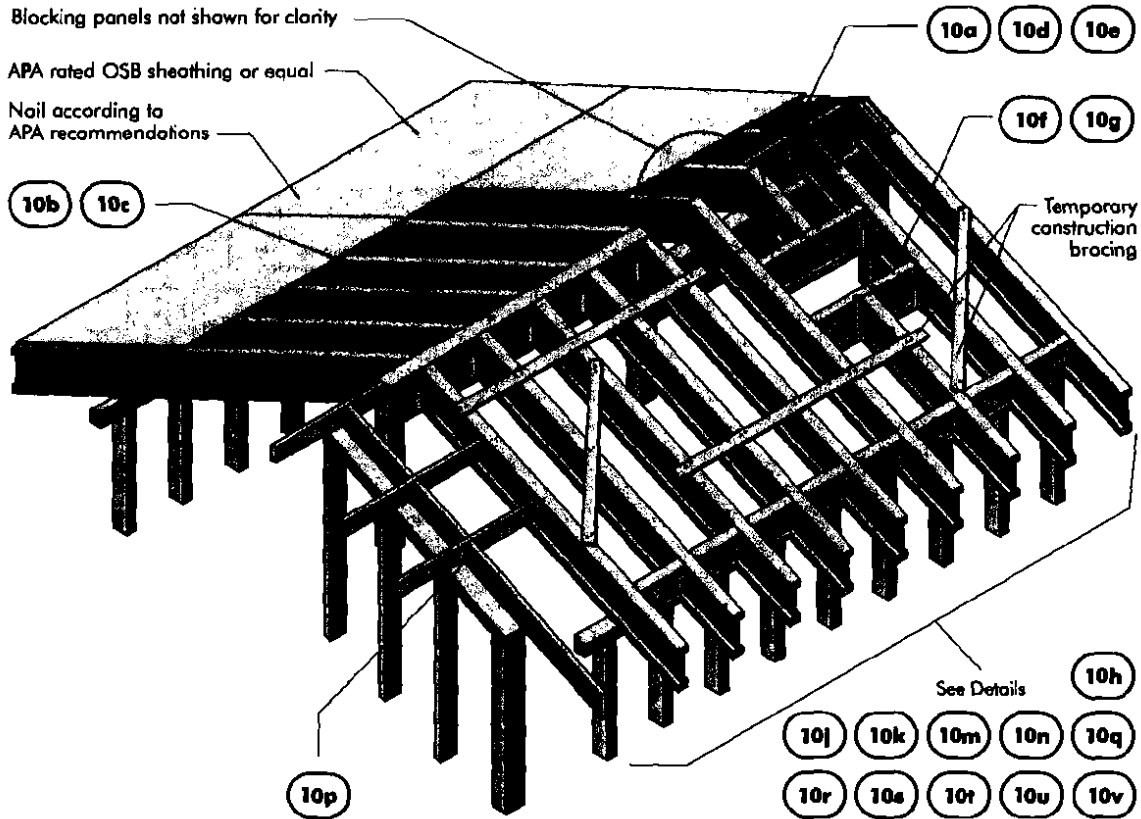


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City of Portland Maine

FIGURE 10

TYPICAL PERFORMANCE RATED I-JOIST ROOF FRAMING AND CONSTRUCTION

Click on circled numbers for enlarged view of detail.



10a Upper End, Bearing on Wall

8d nails at 6" o.c. – minimum 3 - 8d nails per blocking panel. (When used for lateral shear transfer, match nail type and sheathing edge nailing ("boundary nailing" for engineered diaphragm applications.) Use minimum 8d nails.

Bearing stiffener required when end reaction exceeds 1550 lbs.

Blocking panel, x-bridging, or 23/32" APA Rated Sheathing 48/24 or continuous closure. (Validate use of x-bridging with local building code.)

Minimum attachment: For slope $\leq 1/4:12$, one 10d box nail, face nail at each side of bearing. For slope $> 1/4:12$ design joist attachment to beveled plate to transfer lateral thrust.

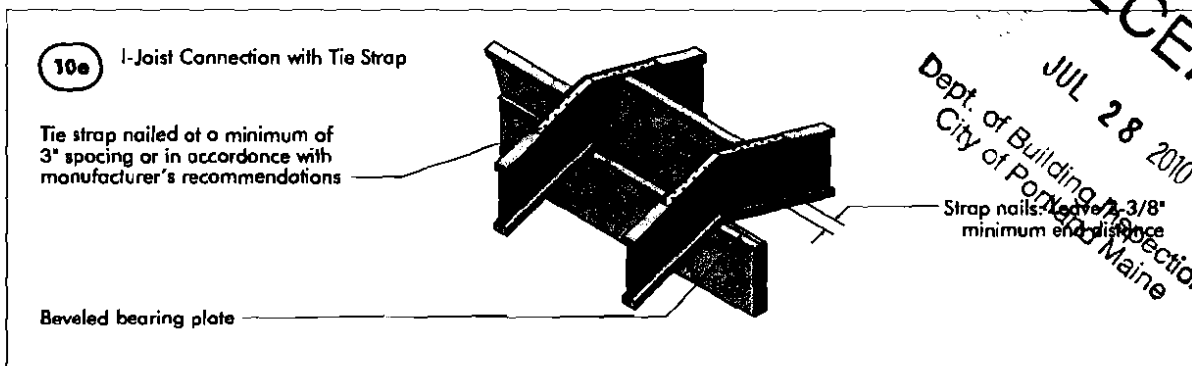
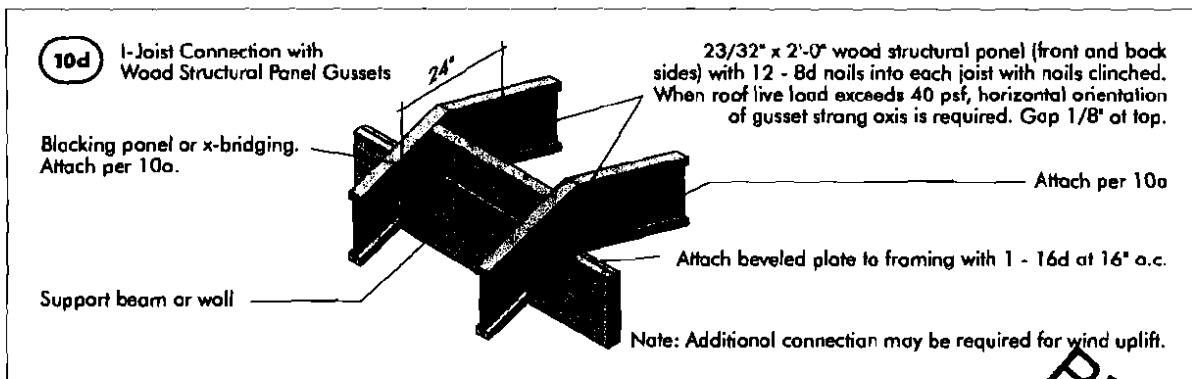
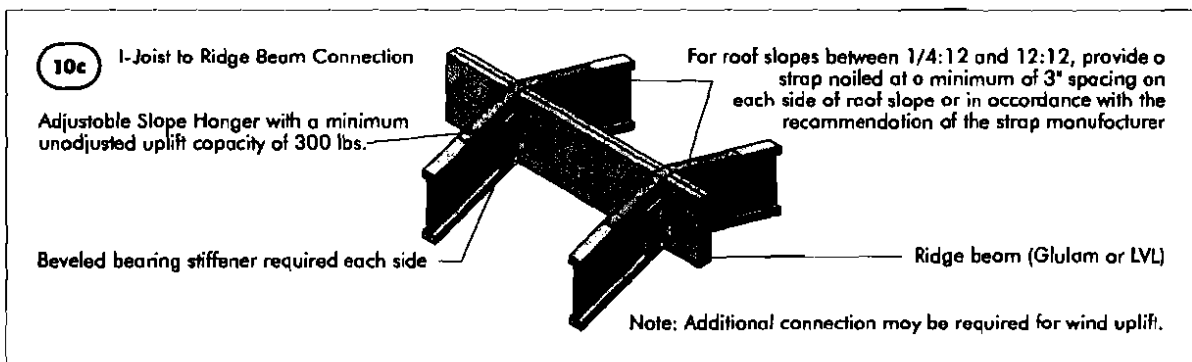
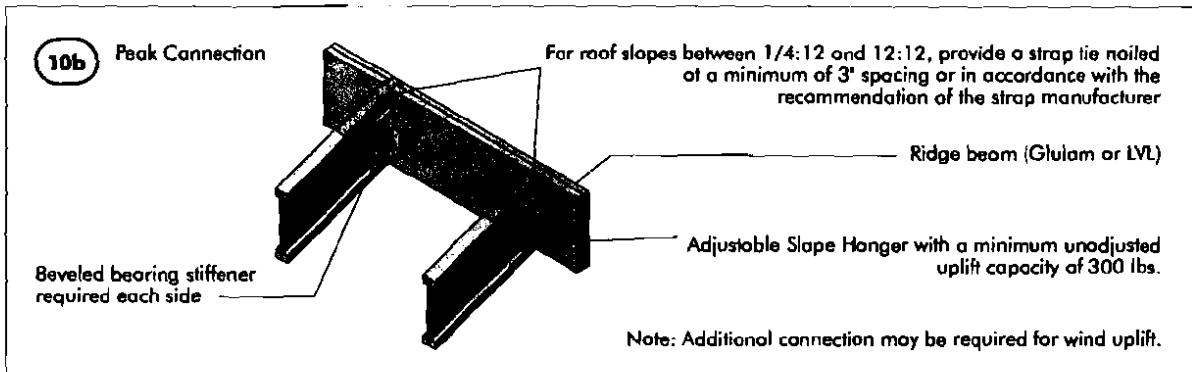
Attach beveled plate to framing with 1 - 16d at 16" o.c.

Beveled plate for slopes greater than 1/4:12. Code-recognized connectors may be substituted. For slopes greater than 4:12 connectors are required to resist lateral thrust.

Note: Additional connection may be required for wind uplift.

All nails shown in the details above are assumed to be common nails unless otherwise noted. 10d box nails may be substituted for 8d common shown in details. Individual components not shown to scale for clarity.

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City of Portland



All nails shown in the details above are assumed to be common nails unless otherwise noted. 10d box nails may be substituted for 8d common shown in details. Individual components not shown to scale for clarity.

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10f Roof Opening
Top Mounted Hangers

Bearing stiffeners required when hanger does NOT support I-joist top flange

Application limited to 4:12 slope or less

10g Roof Opening, Face-Mounted Hangers

Header may be I-joist, LVL, glulam, or lumber

Bearing stiffeners required when hanger does not support I-joist top flange

10h Birds-mouth Cut & Bevel Cut Bearing Stiffener

Permitted on low end of I-joist only

Bearing stiffeners required each side of I-joist. Bevel-cut bearing stiffener to match roof slope.

4 - 8d nails (two each side) clinched when possible

Birds-mouth cut shall bear fully and not overhang the inside face of plate

Note: Additional connection may be required for wind uplift.

10j Birds-mouth Cut with Overhang
(Permitted on low end of I-joist only)

Bearing stiffener required each side (attach per 10h)

Attach joist to top plate per 10h

Birds-mouth cut of bearing

Note: Additional connection may be required for wind uplift.

Note: Outside corner of blocking panel may be trimmed if it interferes with roof sheathing. In such cases, position blocking panel on top plate to minimize trimming and still allow required nailing into top plate.

All nails shown in the details above are assumed to be common nails unless otherwise noted. 10d box nails may be substituted for 8d common shown in details. Individual components not shown to scale for clarity.

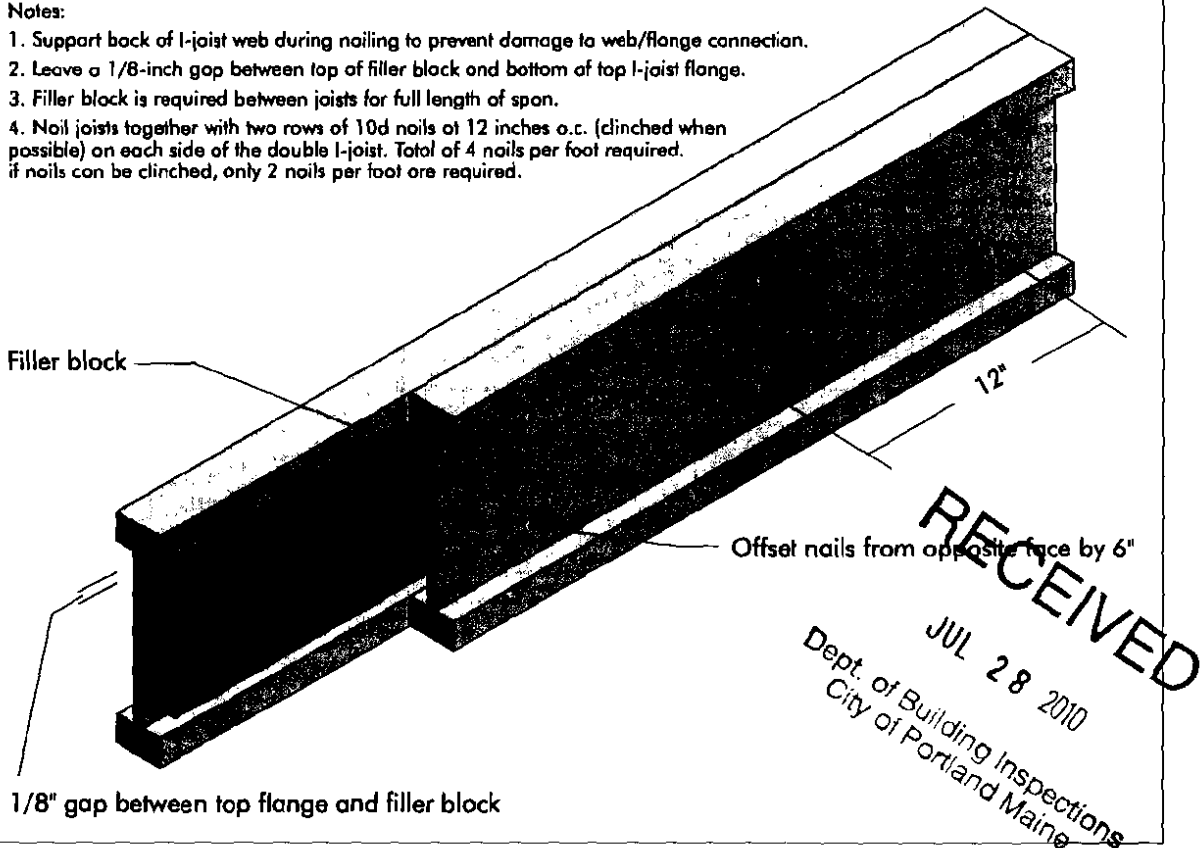
1p

FILLER BLOCK REQUIREMENTS FOR DOUBLE I-JOIST CONSTRUCTION

Flange Width	Net Depth	Filler Block Size
1-1/2"	9-1/2"	1-1/8" x 6" high
	11-7/8"	1-1/8" x 8" high
1-3/4"	9-1/2"	1-3/8" x 6"
	11-7/8"	1-3/8" x 8"
	14"	1-3/8" x 10"
	16"	1-3/8" x 12"
2-5/16"	11-7/8"	2" x 8"
	14"	2" x 10"
	16"	2" x 12"
2-1/2"	9-1/2"	2-1/8" x 6"
	11-7/8"	2-1/8" x 8"
	14"	2-1/8" x 10"
	16"	2-1/8" x 12"
3-1/2"	11-7/8"	3" x 8"
	14"	3" x 10"
	16"	3" x 12"

Notes:

1. Support back of I-joist web during nailing to prevent damage to web/flange connection.
2. Leave a 1/8-inch gap between top of filler block and bottom of top I-joist flange.
3. Filler block is required between joists for full length of span.
4. Nail joists together with two rows of 10d nails at 12 inches o.c. (clinched when possible) on each side of the double I-joist. Total of 4 nails per foot required. If nails can be clinched, only 2 nails per foot are required.



All nails shown in the detail above are assumed to be common nails unless otherwise noted. 10d box nails may be substituted for 8d common shown in detail. Individual components not shown to scale for clarity.



I-Joists

Here is a link to some I-joist details. You will find roof details begin on page 17, and more specifically, the header details are noted on page 19, drawings 10f and 10g.

<http://www.inspectorsjournal.com/forum/uploads/hausdok/ljoistConstructionDetails.pdf>

Windows

1. I am sending an attachment of the Intergrity Ultrex Casement and Awning Window Specifications. You will find the "u factor" information on page 1.6.

2. I spoke to the client about window "I", which is located in the first floor bathroom. He said that his wife would actually like to remove the existing clawfoot tub, and they would now like to put the toilet where the tub is and place an shower stall in the southwest corner of the proposed bathroom (see attached drawing "Bath Revision 7.27.10). As a result, they will not need a tempered window.

Insulation

I did some reading in Chapter 4 about the insulation for the slab and I have a question. The Table R403.3 outlines the horizontal insulation dimensions, however, for an "air freezing index" of 2,000 or less, there is none required. If I am reading the map correctly in Figure R403.3(2), our location in Maine has an index of 1,500. Does this mean that we do not actually need to extend the insulation horizontally?

Other than the question about insulation, I think this is everything you need from me. I have told the client that they will need to provide you with specifications on the wood stove when they know which unit they are going to buy. I believe the one remaining item left is the "removeable ladder" and I will wait to hear from you about that. Please let me know if you need anything more.

Thank you! It is nice to work with you again. Rachel

Rachel Conly
Architectural Design
207-766-5625

RECEIVED
JUL 29 2010
Dept. of Building Inspections
City of Portland Maine

Jeanie Bourke - Re: follow up 72 Elizabeth Street

From: Rachel Conly <raconly@yahoo.com>
To: Jeanie Bourke <JMB@portlandmaine.gov>
Date: 7/29/2010 10:16 AM
Subject: Re: follow up 72 Elizabeth Street

RECEIVED

JUL 29 2010

Dept. of Building Inspections
 City of Portland Maine

Great, thanks Jeanie. And, yes, please mail it. Rachel

Sent from my iPhone

On Jul 29, 2010, at 9:55 AM, "Jeanie Bourke" <JMB@portlandmaine.gov> wrote:

Rachel,
 Thanks, see my responses in red below. I will issue the permit today, do you want to pick it up or shall we mail it?

>>> rachel conly <raconly@yahoo.com> 7/29/2010 9:21 AM >>>
 Good Morning Jeanie,

On the FPSF, Sec. R403.3 this design is acceptable based on the code requirements for the Air Freezing Index in Maine which is 1500 or less. I forget that heated buildings are much different than unheated, which leads me to ask, is this a seasonal or year round residence? If it is seasonal, the monthly mean temperature must be maintained at 64 degrees.

This is a year round home. Does this mean we are all set? Yes

Can you please confirm the vertical insulation factor that you called out 4" of XPS. It seems like plenty to meet the required 4.5, but can you please relate this to Table R403.3(c).

The XPS has an R value of 5 per inch, which would give us an R value of 20, total. I believe their intention is to super-insulate the building by adding rigid between the bays also. In this way we can meet the required (or is it recommended?) R-21. Ok, this exceeds the requirement, also R-21 is required in walls.

I looked at the permit for 51 Elizabeth and spoke with Tammy, we agree that we will put conditions for storage only and that permanent ladders are prohibited. In addition, please identify somehow that the ladder will be stored when not in use or show this on the plan.

Great, I will do that. As I mentioned I will place a note between windows B and F. Do you need me to send you a new drawings showing this? No, this email will suffice

One last thing, can you please verify if this property is on private or public sewer? With the addition of a bedroom there may be some requirements for private system upgrade.

This house in on public sewer and water. Ok

Hope this answers your questions sufficiently. Please confirm whether or not you need any of this information shown to you on a drawing. Thank you, Enjoy your day, Rachel

Rachel Conly
Architectural Design
207-766-5625

RECEIVED
JUL 29 2010
Dept. of Building Inspections
City of Portland Maine

--- On Wed, 7/28/10, Jeanie Bourke <JMB@portlandmaine.gov> wrote:

From: Jeanie Bourke <JMB@portlandmaine.gov>
Subject: Re: follow up 72 Elizabeth Street
To: "rachel conly" <raconly@yahoo.com>
Date: Wednesday, July 28, 2010, 8:32 AM

Hi Rachel,
Thank you for your thorough research! The website for the I-joist construction manual is awesome, I am putting it on my favorites.

On the FPSF, Sec. R403.3 this design is acceptable based on the code requirements for the Air Freezing Index in Maine which is 1500 or less. I forget that heated buildings are much different than unheated, which leads me to ask, is this a seasonal or year round residence? If it is seasonal, the monthly mean temperature must be maintained at 64 degrees.

Can you please confirm the vertical insulation factor that you called out 4" of XPS. It seems like plenty to meet the required 4.5, but can you please relate this to Table R403.3(c).

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One last thing, can you please verify if this property is on private or public sewer? With the addition of a bedroom there may be some requirements for private system upgrade.

Thanks and great to work with you again!

Jeanie Bourke
CEO/Plan Reviewer

City of Portland
Planning & Urban Development Dept./ Inspections Division
389 Congress St. Rm 315
Portland, ME 04101
jmb@portlandmaine.gov
(207)874-8715

>>> rachel conly <raconly@yahoo.com> 7/27/2010 2:17 PM >>>

Hi Jeannie,

In follow up to our conversation this morning, I am sending along the information below:

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0814	Date Applied For: 07/09/2010	CBL: 087 N006001
------------------------------	--	----------------------------

Location of Construction: 72 ELIZABETH ST PEAKS ISLAN	Owner Name: WINTER ERIC P & CATHERINE	Owner Address: 72 ELIZABETH ST	Phone:
Business Name:	Contractor Name: Rachel Conly Architectural Design	Contractor Address: 26 Sterling Peaks Island	Phone: (207) 415-8561
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home - Kitchen remodel & mudroom/master suite addition	Proposed Project Description: Kitchen remodel & mudroom/master suite addition
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 07/19/2010
Note:			Ok to Issue: <input checked="" type="checkbox"/>
<p>1) As discussed during the review process, the property must be clearly identified prior to pouring concrete and compliance with the required setbacks must be established. Due to the proximity of the setbacks of the proposed addition (the roof on the front), it may be required to be located by a surveyor.</p> <p>2) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</p> <p>3) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.</p>			

Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date:
Note:			Ok to Issue: <input type="checkbox"/>
<p>1) The loft in the master suite is for storage only, permanently installed ladder access is not permitted. Note that the removable ladder will be stored on the wall between windows in the master suite.</p> <p>2) The design of the reduction of clearances to combustibles for the wood stove shall be submitted to this office prior to the installation, including the hearth detail.</p> <p>3) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, including pellet/wood stoves, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process.</p> <p>4) Application approval based upon information provided by applicant including revisions as noted. Any deviation from approved plans requires separate review and approval prior to work.</p> <p>5) Those renovating single family dwellings shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery.</p>			

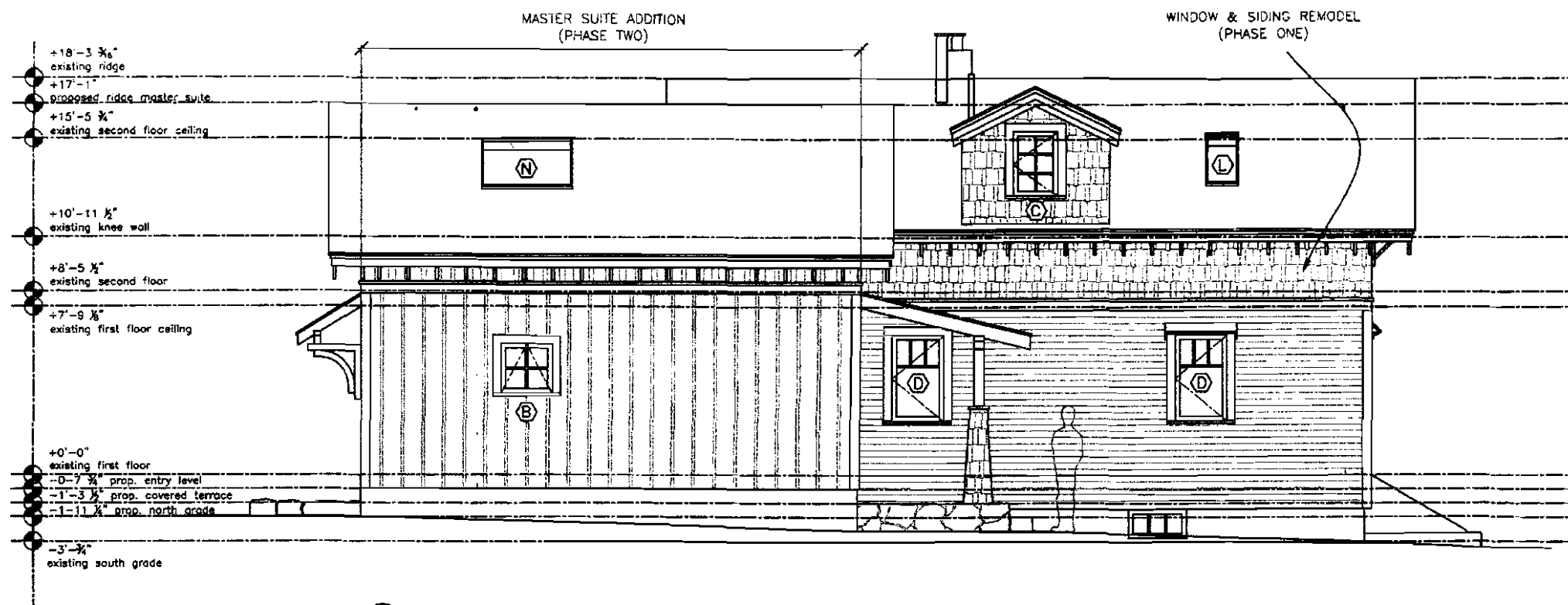
Comments:
7/12/2010-amachado: Left vcm for Rachel Conly. Can't average the front setback because the nearest abutter to the west is located in the rear of the lot well beyond the 25' front setback. Rachel was using the setback for 58 Elizabeth St. not 64 Elizabeth St. The setback for the roof over the front patio does not meet the 25' front setback it scales at 23'.
7/16/2010-amachado: Received a revised sitplan from Rachel moving the addition back two feet. I need her to confirm that no part of the roof will be over the 25' front setback.
7/19/2010-amachado: Received second revised plan fom Rachel. The whole roof is now beyond the 25' front setback. The whole addition was moved back 3'.
7/20/2010-amachado: Received full size revised siteplan, first floor plan & crosssection showing the addition being moved back 3'

PERMIT ISSUED

JUL 29 2010

Rachel Conly
Architectural Design

Proposed West
Elevation



(A) Proposed West Elevation
1/4" = 1'-0"

PROJECT

Winter Residence

72 Elizabeth Street
Peaks Island, Maine
04108

DATE
7.9.10

REVISED

SCALE
1/4" = 1'-0"

DRAWN BY
Rachel

NOTES

A11