

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read  
Application And  
Notes, if Any,  
Attached

## BUILDING INSPECTION

PERMIT ISSUED

Permit Number: 040035

JAN 13 2004

This is to certify that Smith David C & Susan S J

has permission to Build an 8'x12' wood shed

AT 72 Elizabeth St

CITY OF PORTLAND

087 N006001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is granted before this building or part thereof is leased or otherwise used in any way. YOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept.

Health Dept.

Appeal Board

Other

Department Name

*Jeanie Bourke* 1/13/04  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**



12/15/04 At backs for shed - OK

Inspected 130' trench to run power - OK to lay conduit.  
Paul - elect. will install caution tape & cover conduit w/ 2" concrete  
where ledge depth 12" - OK JMB

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

<b>Permit No:</b> 04-0035	<b>Date Applied For:</b> 01/13/2004	<b>CB1:</b> 087 N006001
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<b>Location of Construction:</b> 72 Elizabeth St	<b>Owner Name:</b> Smith David C & Susan S Jts	<b>Owner Address:</b> 72 Elizabeth St	<b>Phone:</b> ( ) 766-3360
<b>Business Name:</b>	<b>Contractor Name:</b> self	<b>Contractor Address:</b> Portland	<b>Phone:</b>
<b>Lessee/Buyer's Name:</b>	<b>Phone:</b>	<b>Permit Type:</b> Sheds	

<b>Proposed Use:</b> Single Family w/ accessory shed	<b>Proposed Project Description:</b> Build an 8'x12' wood shed
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<b>Dept:</b> Zoning <b>Note:</b>	<b>Status:</b> Approved	<b>Reviewer:</b> Jeanine Bourke	<b>Approval Date:</b> 01/13/2004 <b>Ok to Issue:</b> <input checked="" type="checkbox"/>
<b>Dept:</b> Building <b>Note:</b>	<b>Status:</b> Approved	<b>Reviewer:</b> Jeanine Bourke	<b>Approval Date:</b> 01/13/2004 <b>Ok to Issue:</b> <input checked="" type="checkbox"/>

# All Purpose Building Permit Application

If you or the property owner owe real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>12 Elizabeth St. P.I.</u>		
Total Square Footage of Proposed Structure <u>96</u>	Square Footage of Lot <u>18,946</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>87</u> Block# <u>N</u> Lot# <u>6</u>	Owner: <u>SUSAN S. SMITH</u>	Telephone:
Lessee/Buyer's Name (if Applicable)	Applicant name, address & telephone: <u>SUSAN S. SMITH</u> <u>766-3360</u>	Cost Of Work: \$ <u>1200</u> Fee: \$ <u>39.00</u>
Current use: <u>Single Family</u>		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: <u>GARDEN SHED.</u>		
Project description: <u>8X12 accessory.</u>		
Contractor's name, address & telephone:		
Who should we contact when the permit is ready: <u>SUSAN S. SMITH</u>		
Mailing address: <u>72 ELIZABETH ST</u> <u>PEAKS IS ME 04108</u>		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: <u>766-3360</u>		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

*I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.*

Signature of applicant: <u>Susan S. Smith</u>	Date: <u>1/14/09</u>
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**This is NOT a permit, you may not commence ANY work until the permit is issued.  
If you are in a Historic District you may be subject to additional permitting and fees with the  
Planning Department on the 4<sup>th</sup> floor of City Hall**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number 1 of 1  
 Parcel ID 087 N006001  
 Location 72 ELIZABETH ST  
 Land Use SINGLE FAMILY  
 Owner Address SMITH DAVID C & SUSAN S JTS  
 72 ELIZABETH ST  
 PEAKS ISLAND ME 04308  
 Book/Page 16132/226  
 Legal 87-M-6-7-11  
 ELIZABETH ST  
 C ST  
 PEAKS ISLAND 17642 SF

#04-35  
 IR-2

R-10  
 S-15

**Valuation Information**

Land	Building	Total
\$32,870	\$54,490	\$87,360

**Property Information**

Year Built 1900	Style Old Style	Story Height 1	Sq. Ft. 859	Total Acres 0.451
Bedrooms 3	Full Baths 1	Half Baths	Total Rooms 5	Attic None
				Basement Full

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1900	8X12	B	A

**Sales Information**

Date	Type	Price	Book/Page
03/27/2001	LAND + BLDING		16132-226
04/07/2000	LAND + BLDING		15407-178
05/01/1996	LAND + BLDING	\$83,000	12492-146
06/01/1993	LAND + BLDING		10764-215

**Picture and Sketch**

Picture                      Sketch

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.





# BUILDING PERMIT INSPECTION PROCEDURES

Please call (874-8703 or 874-8693) to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. ~~Jay Reynolds, Development Review Coordinator at 874-8693~~ must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

<input checked="" type="checkbox"/>	Footing/Building Location Inspection:	Prior to pouring concrete
<input checked="" type="checkbox"/>	Re-Bar Schedule Inspection:	Prior to pouring concrete
<input checked="" type="checkbox"/>	Foundation Inspection:	Prior to placing ANY backfill
<input checked="" type="checkbox"/>	Framing/Rough Plumbing/Electrical:	Prior to any insulating or drywalling
<input checked="" type="checkbox"/>	Final/Certificate of Occupancy:	Prior to any occupancy of the structure or use. NOTE: <del>There is a \$25.00 fee per inspection at this point.</del>

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of applicant/designee

Deanne Barba

Date

1/13/04

Signature of Inspections Official

Date

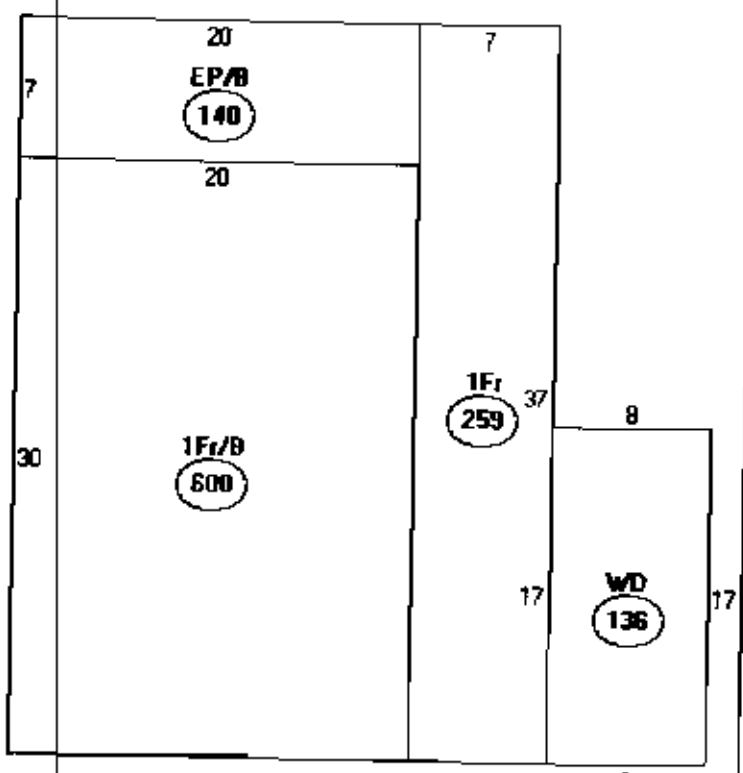
CBL:

87-N-6

Building Permit #:

04-0035





- Descriptor/Area
- A: 1Fr/B  
600 sqft
  - B: EP/B  
140 sqft
  - C: 1Fr  
259 sqft
  - D: WD  
136 sqft



**CITY OF PORTLAND, MAINE**  
Department of Building Inspections

Jan 13 2004

*Dorothy Smith*

Inspector of Work

72 Elizabeth St.

Cost of Construction

\$ 1,200.

Permit Fee

\$ 39.00

Building and

Plumbing (15)

Electrical (2)

San Plan (12)

Other

on 87-N-6--7-11

Book # 4958

Total Collected \$ 39.00

**THIS IS NOT A PERMIT**

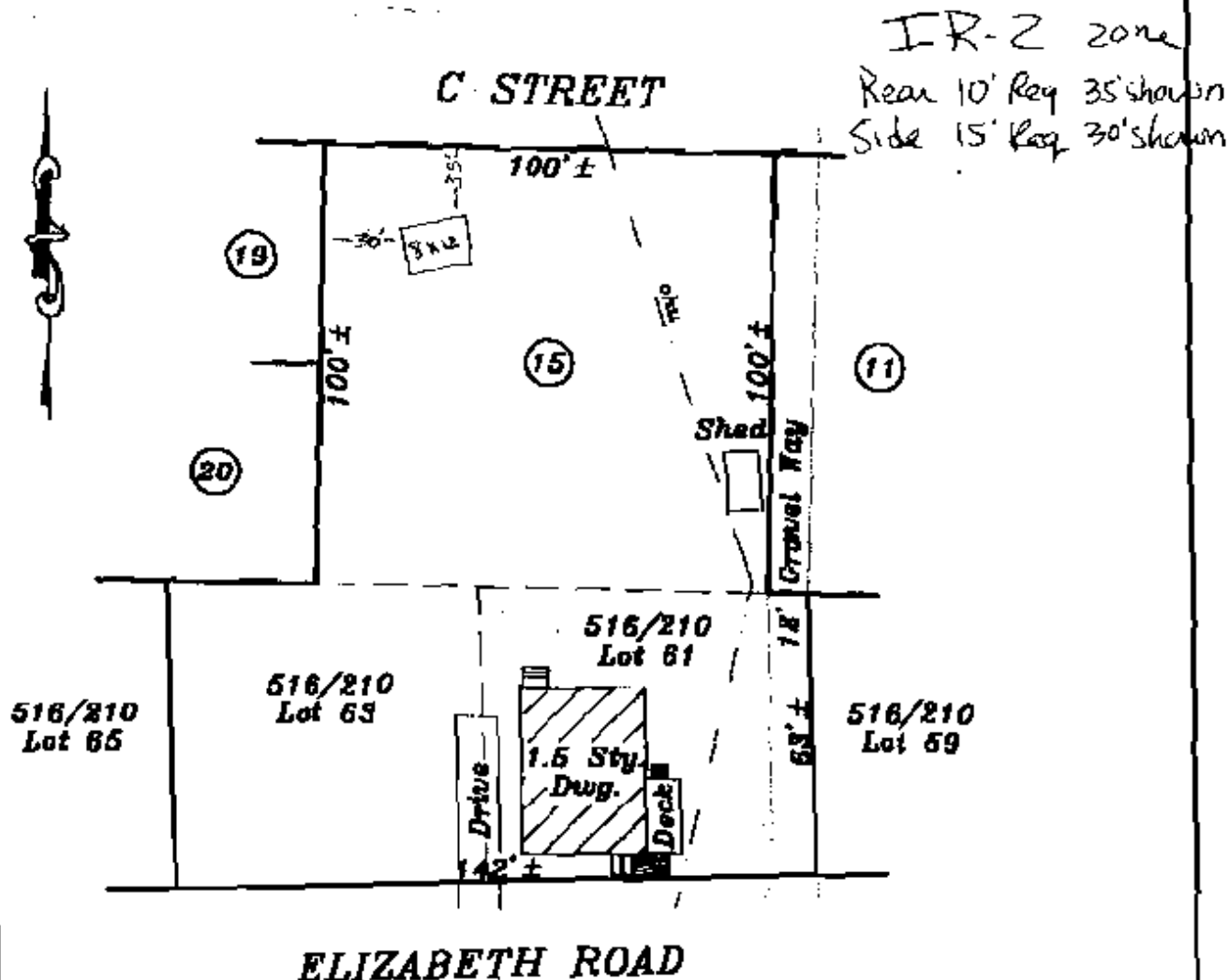
Work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

# FOR MORTGAGE LENDER USE ONLY

GENERAL NOTES: (1) DISTANCES SHOWN ARE TAKEN FROM PROVIDED TITLE REFERENCES SHOWN BELOW. (2) THIS INSPECTION EXAMINES BUILDING AND ACCESSORY STRUCTURE COMPLIANCE WITH RESPECT TO MUNICIPAL ZONING SETBACK REQUIREMENTS ONLY. (3) A STANDARD BOUNDARY SURVEY SHOULD BE PERFORMED TO OBTAIN A PROFESSIONAL OPINION AS TO ACTUAL PROPERTY LINE LOCATIONS. (4) THIS INSPECTION ASPECTS ALL VISIBLE STRUCTURAL ENCROACHMENTS WITH RESPECT TO APPARENT PROPERTY LINES AND REQUIREMENTS ONLY. (5) THIS INSPECTION DOES NOT REVEAL ANY UNLAWFUL EASEMENTS & RIGHTS OF WAY SHOWN IN BELOW PROVIDED TITLE REFERENCES AND DOES NOT REVEAL ANY COMPLEXES WITH ABUTTING PLOTS. (6) FLOOD HAZARD DETERMINATION IS MADE BY SCALING DISTANCES ON BELOW REFERENCES FEMA MAP. (7) THIS INSPECTION IS TO BE USED ONLY BY BELOW LISTED LENDER, TITLE COMPANY &/OR ATTORNEY AND ITS TITLE INSURER.

ADDRESS: 72 ELIZABETH ROAD INSPECTION DATE: MARCH 14, 2007  
PEAKS ISLAND, MAINE SCALE: 1" = 40'



*Recommend Standard Boundary Survey for accurate location.*

*SEE PROVIDED TITLE REFERENCES FOR APPLICABLE APPURTENANCES, IF ANY*

APPLICANT: SUSAN S. SMITH - Trustee REQUESTING PARTY: LESTE & LEMIEUX  
 OWNER: JAMES ATTORNEY: JAMES R. LEMIEUX  
 LENDER: \_\_\_\_\_ FILE No. 8079482 FIELD BOOK: 802

TITLE REFERENCES: YOUR FILE #: \_\_\_\_\_ DRAWN BY: TPB  
 DEED BOOK 16407 PAGE: 176  
 PLAN BOOK 4 PAGE: 64 LOT: 15 +  
 COUNTY: CUMBERLAND 516/210 Lots 61+63

**NADEAU & LODGE, INC.**  
 PROFESSIONAL LAND SURVEYORS  
 84 STEVENS AVENUE PORTLAND, ME 04102 (207) 876-7870  
 152 CLARKS FORDS ROAD LYMAN, ME 04058 (207) 488-2588

MUNICIPAL REFERENCE:  
 MAP: BY BLOCK N LOT: 6, 7, 11

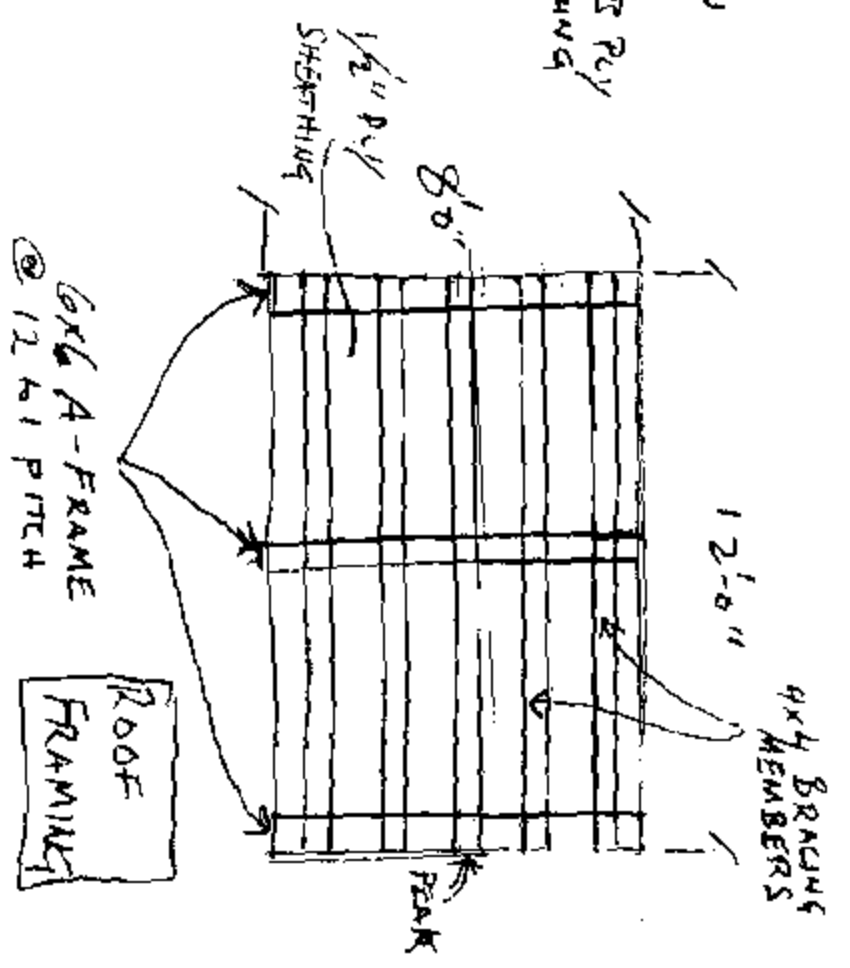
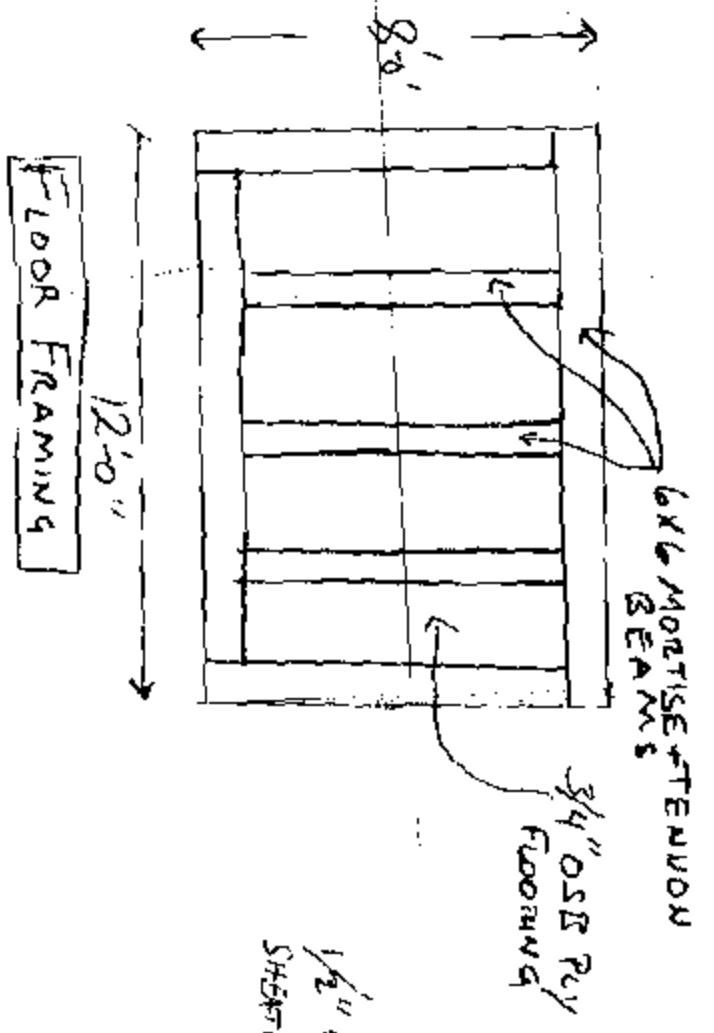
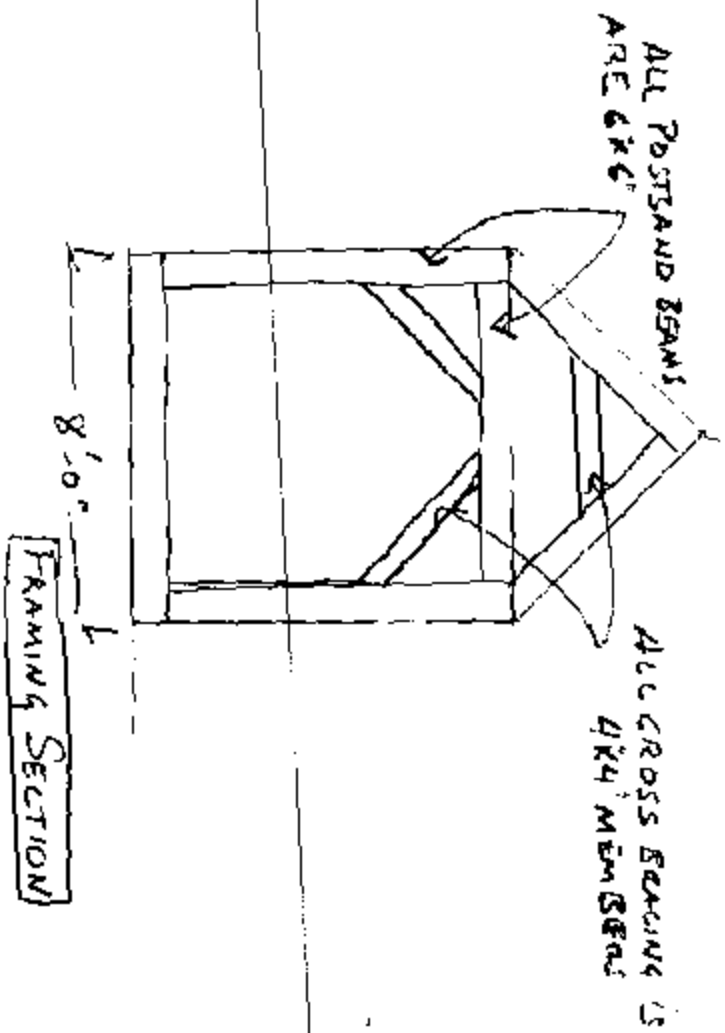
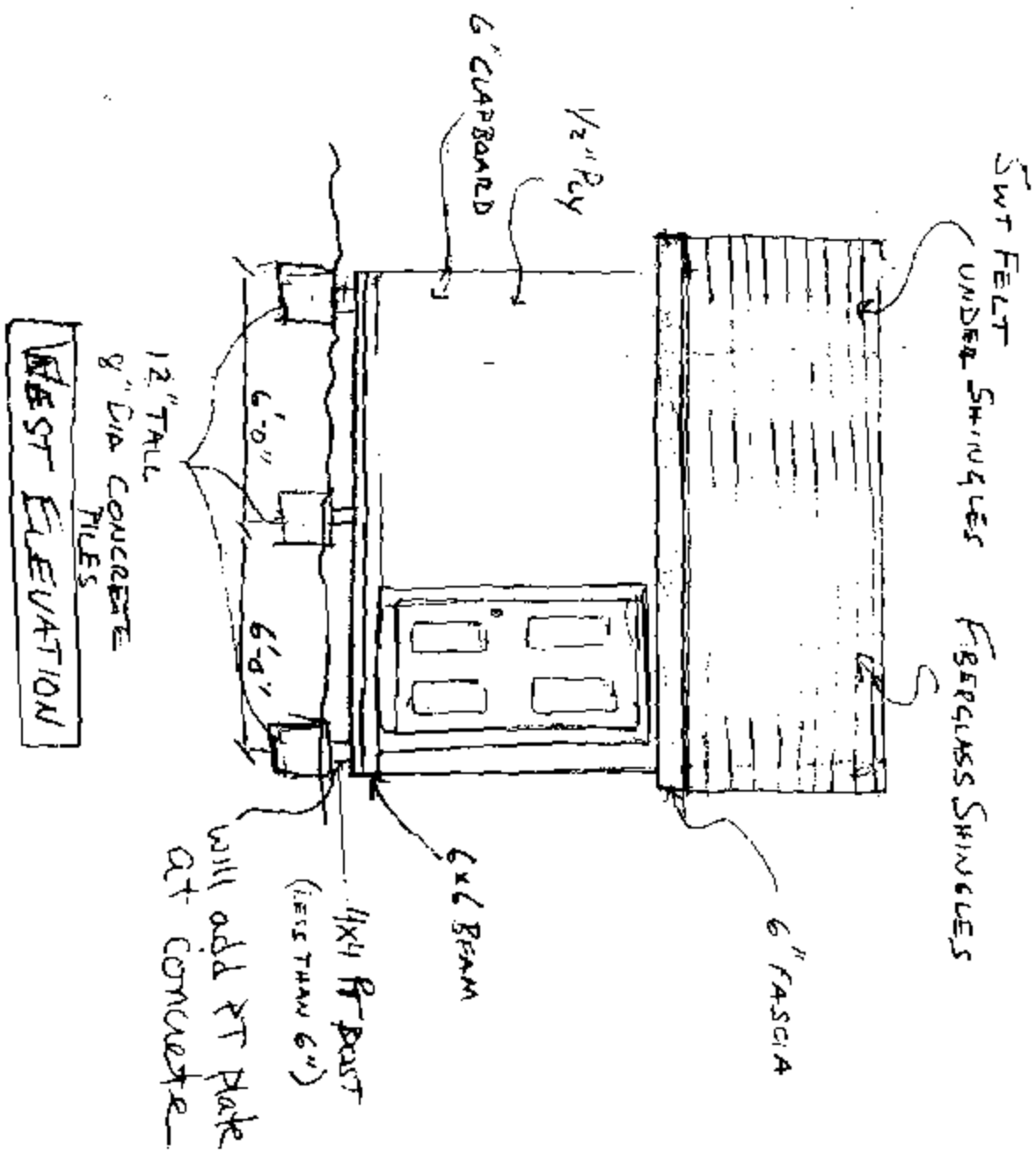
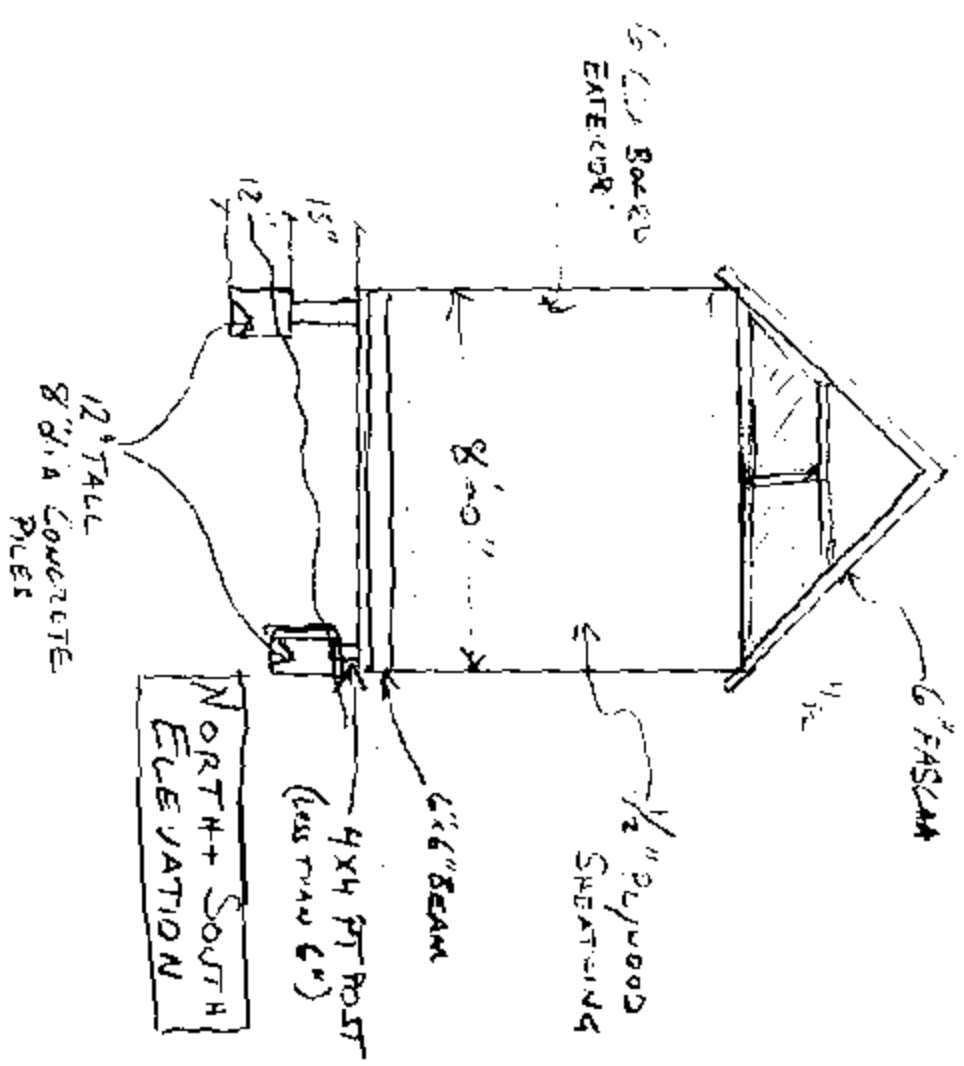
THE DWELLING DOES NOT FALL WITHIN A SPECIAL FLOOD HAZARD ZONE PER FEMA COMMUNITY MAP No. 130451 PANEL: 8058 ZONE: C DATE: DECEMBER 8, 1998

THE DWELLING WAS  IN COMPLIANCE WITH MUNICIPAL ZONING SETBACK REQUIREMENTS AT THE TIME OF CONSTRUCTION.

COMMENTS:

*See deed for appurtenances.*

**THIS IS NOT A BOUNDARY SURVEY - NOT FOR RECORDING**



NOTE: ALL FRAMING JOINTS ARE MORTISE AND TENON

- GENERAL NOTES
- 1 ALL SIMPSON TIES + STRUCTURAL METAL TO BE GALVANIZED
  - 2 ALL NAILS ARE TO BE GALVANIZED
  - 3 ALL STRUCTURAL MEMBERS ARE ROUGH DMS.
  - 4 ALL POSTS + BEAMS ARE 6x6 PINE
  - 5 ALL BEAMING MEMBERS ARE 4x4"
  - 6 ALL STRUCTURAL LOWNOMOUS ARE MORTISE + TENON