

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

**BUILDING INSPECTION**

**PERMIT ISSUED**  
Permit Number: 051602  
NOV 4 2005  
**CITY OF PORTLAND**

**PERMIT**

This is to certify that YOUNG M CAROL

has permission to tear down existing 6' x 14' P room & build a 6' x 12' play room

AT 81 UPPER A ST L 087 II034001

provided that the person or persons who accept this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is altered or closed-in. 4 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_  
Department Name

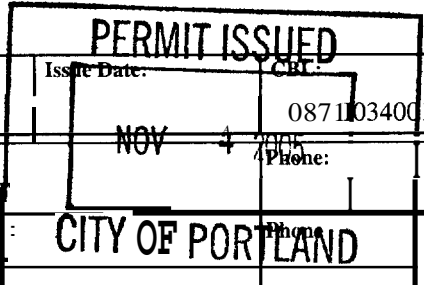
*James Banke* 11/03/05  
director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**City of Portland, Maine - Building or Use Permit Application**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 05-1602	Issue Date: NOV 4 2005	CITY OF PORTLAND 0871034001
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Location of Construction: 81 UPPER A ST	Owner Name: YOUNG M CAROL	Owner Address: 81 UPPER A ST
Business Name:	Contractor Name:	Contractor Address: CITY OF PORTLAND
Lessee/Buyer's Name	(Phone:	Permit Type: Additions - Dwellings
		Zone: IR

Past Use: Single Family Home	Proposed Use: Single Family Home/ tear down existing 6' x 14' Playroom & rebuild a 12' x 12' playroom	Permit Fee: \$93.00	Cost of Work: \$8,000.00	CEO District: 2
Proposed Project Description: tear down existing 6' x 14' Playroom & rebuild a 12' x 12' playroom		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB FRL-2003 Signature: JMB 11/3/05	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: Idobson	Date Applied For: 10/31/2005	<b>Zoning Approval</b>
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<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: JMB 11/3/05	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: JMB
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**CERTIFICATION**

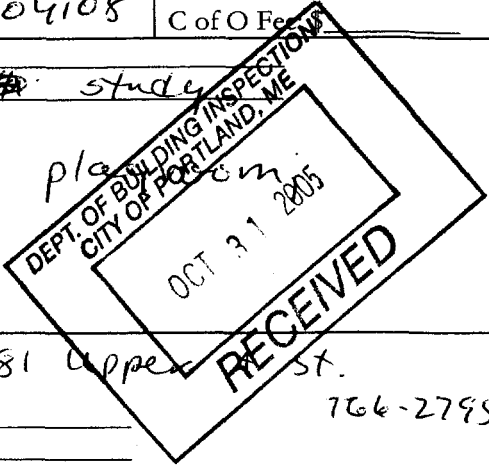
I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE



# General Building Permit Application

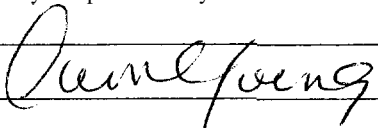
If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: 81 UPPER A ST PEAKS ISLAND		
Total Square Footage of Proposed Structure 144 s.f.	Square Footage of Lot 8500 sqft (?)	
Tax Assessor's Chart, Block & Lot Chart#      Block#      Lot# 081 1103 4001	Owner: Carol Young	Telephone: h- 766-2795 w- 877-9272 c- 450-8984
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Carol Young 81 Upper A St. Peaks Island 04108	cost Of Work: \$ 8,000 Fee: \$ C of O Fee:
Current Specific use: playground / family room	Proposed Specific use: <del>study</del> study	
Project description: tear down existing 6x14' play rebuild 12' x 12' same use.		
Contractor's name, address & telephone: Carol Young - 81 Upper A St.		
Who should we contact when the permit is ready: Carol Young		766-2795
Mailing address:		Phone: 766-2795

**Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.**

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: Oct 31 '05
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**This is not a permit; you may not commence ANY work until the permit is issued.**

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

Card Number	1 of 1
Parcel ID	087 11034001
Location	81 UPPER A ST
Land Use	SINGLE FAMILY
Owner Address	YOUNG M CAROL 81 UPPER A ST PEAKS ISLAND ME 04108
Book/Page	12646/237
Legal	87-II-34-39 A ST PEAKS ISLAND 8100 SF

IR-1

**Current Assessed Valuation For Fiscal Year 2006**

Land	Building	Total
\$106,300	\$51,180	\$157,480

**Estimated Assessed Valuation For Fiscal Year 2007"**

Land	Building	Total
\$175,100	\$49,300	\$224,400

\* Value subject to change based upon review of property status as of 4/1/06.  
The tax rate will be determined by City Council in May 2006.

**Property Information**

Year Built	Style	Story Height	Sq. Ft.	Total Acres	
1975	Old Style	1	698	0.186	
Bedrooms	Pull Baths	Half Baths	Total Rooms	Attic	Basement
2	1		4	None	Pier/slab

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	1	1980	12X14	C	A

**Sales Information**

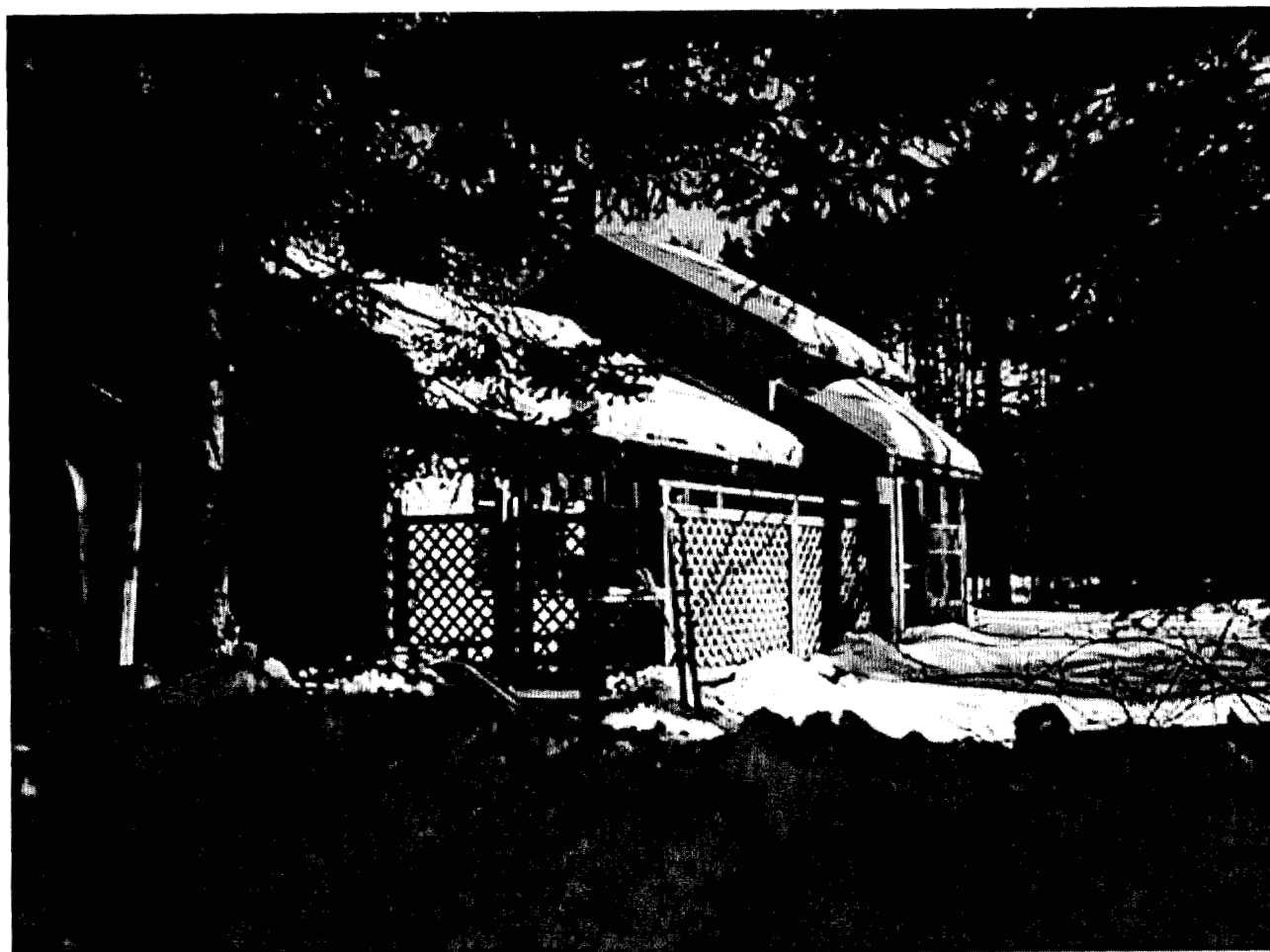
Date	Type	Price	Book/Page
08/01/1996	LAND + BLDING	\$77,200	12646-237
10/01/1991	LAND + BLDING	\$83,500	09737-055

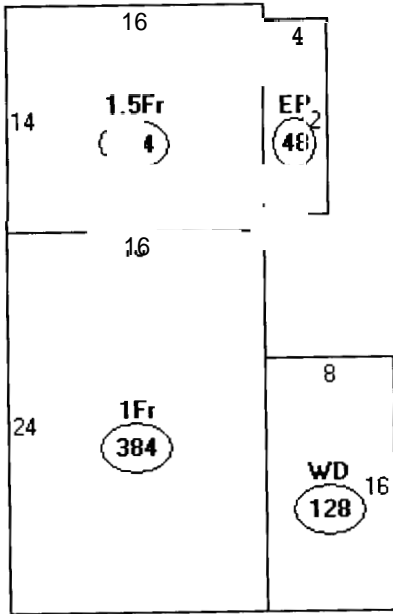
**Picture and Sketch**

Picture                      Sketch                      Tax Map

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-





Descriptor/Area

- A: 1Fr  
384 sqft
- E: 1.5Fr  
224 sqft
- C: EP  
48 sqft
- D: WD  
128 sqft

Handwritten calculation:  
 784  
 168  
 -----  
 952

12x14 outbk

Handwritten calculation:  
 96 Adding  
 8x12

Handwritten circled number: 1048

Handwritten calculation:  
 8/100  
 X 20%  
 -----  
 1,620 SF

Handwritten text: OK



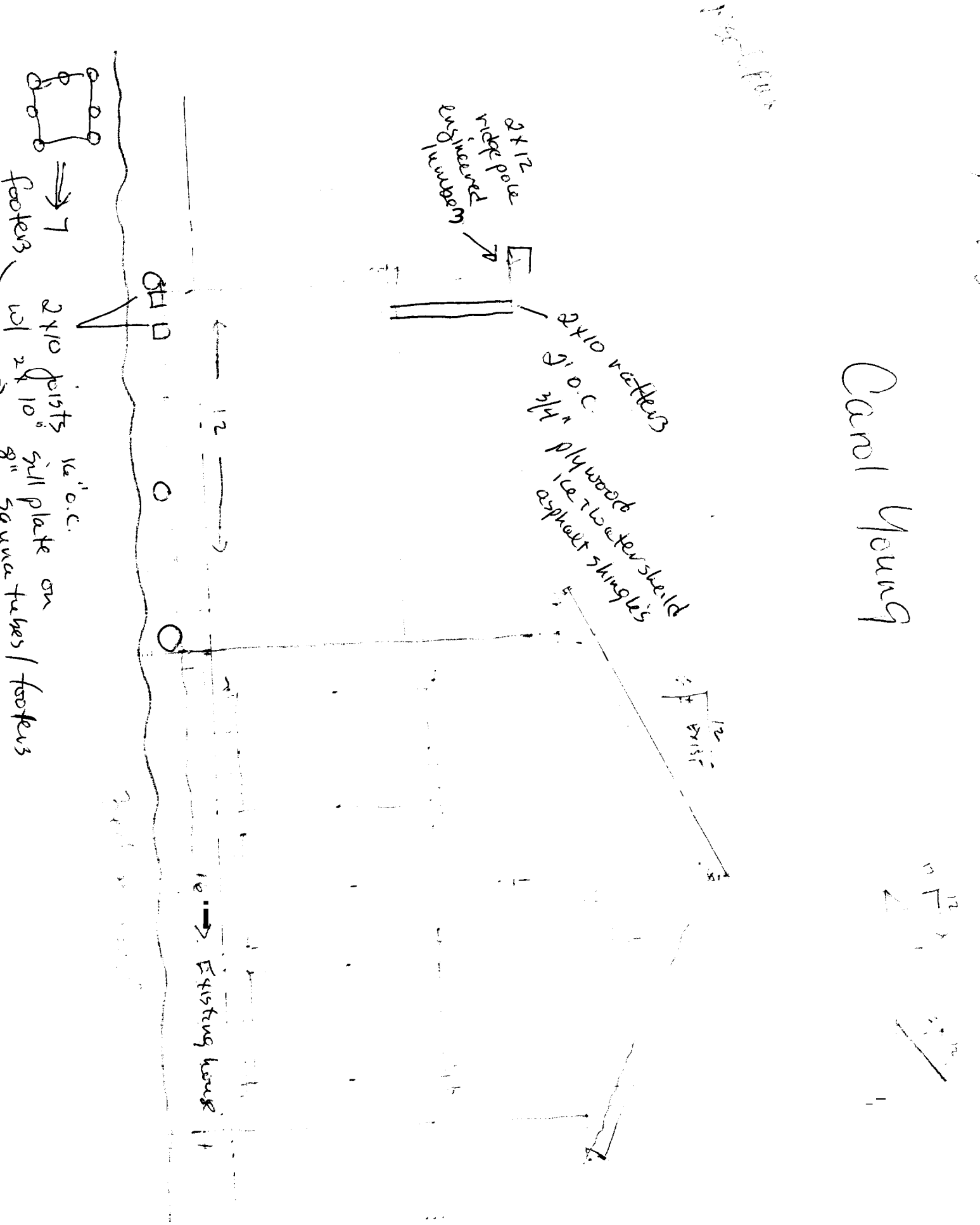
Elannie B.

Windows →  
400 series Anderson  
u factor = .28

Carol Young  
450-8984

RO  
4'4" W  
4'4 $\frac{7}{8}$ " H

Carol Young



2x12 or  
2x10 w/  
metal plate  
and 2x4 inlaid  
wooden  
runners

2x10 rafters  
@ 16" o.c.  
plywood  
ice-water shield  
asphalt shingles

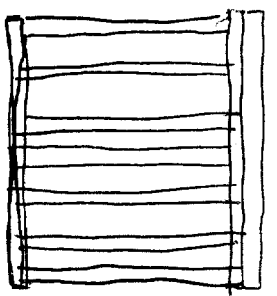
2x10 joists  
@ 16" o.c.  
sill plate on  
8" sawn timber /  
footers

Existing house

12"  
15 1/2"

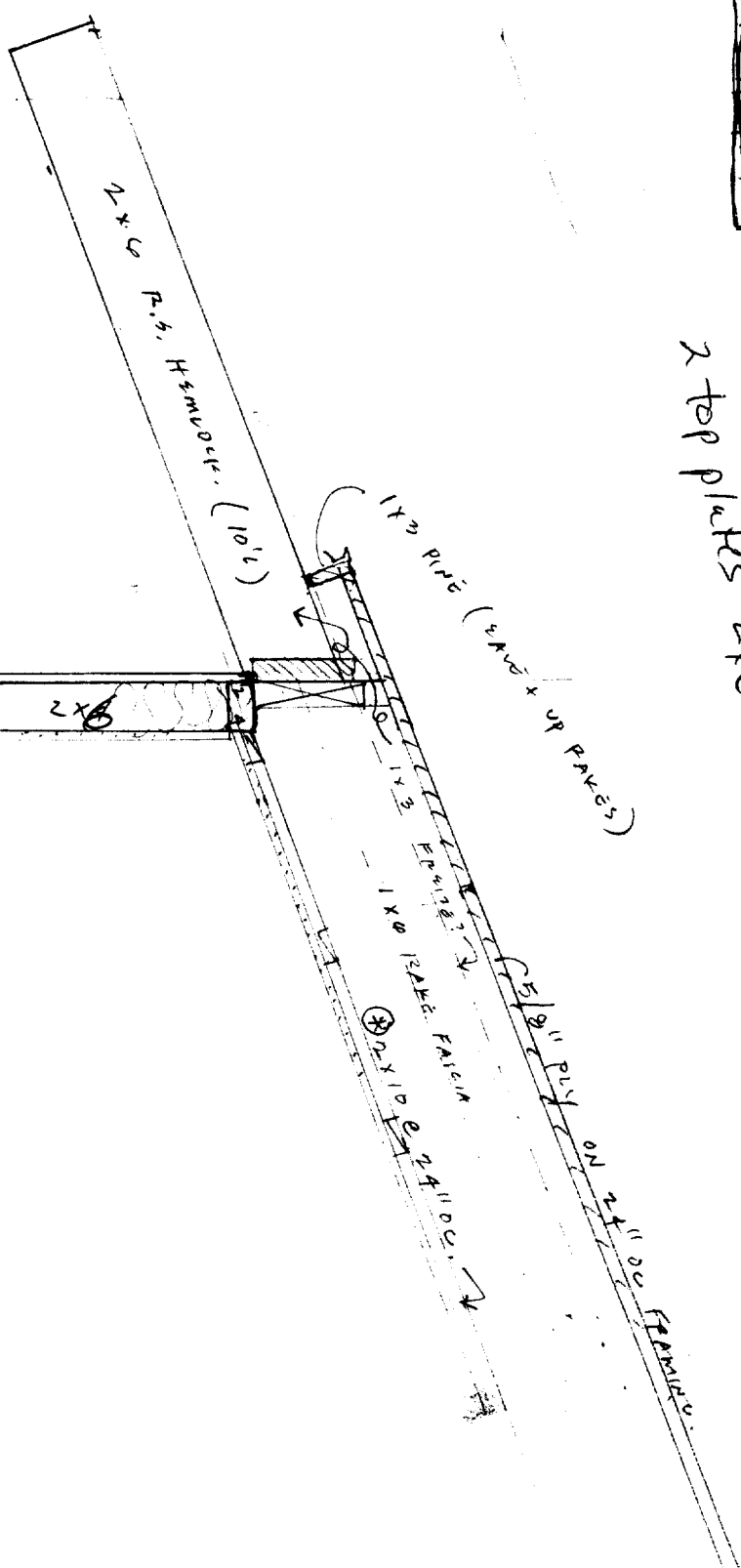


Carol Young



— 2x6 / 16" o.c.  
 bottom plate 2x6  
 2 top plates 2x6

Foundation



typical 2x10 floor system  
 3/4" deck  
 2x10 sill plate  
 anchor bolt  
 double 2x10  
 box w/ 2x10 joists  
 seam tubes every 6' on  
 3 sides  
 4' seam tube

1" = 1'-0"

Carol Young 766-2795

Garage for: 300 parking / plan room / storage

12 x 12 size (144 sq. ft.)

2x10 joists 16" oc P.T.

4" deep footers / sawna tubes ⑦ 8" tubes every 6 feet

3/4" floor underlayment - advantech

2x10 rafters 24" oc w/ 3/4" plywood sheathing asphalt

2x6 studs 16" oc w/ T-11 siding

1 sliding door - 6' wide w/ 4x12" header

2 windows 4'6" x 4'4 1/8" on 2x4 studs

2 in insulation R-19 walls (~~ceiling~~)

R-38 w/ rigid insulation - floor  
ceiling

windows -

101

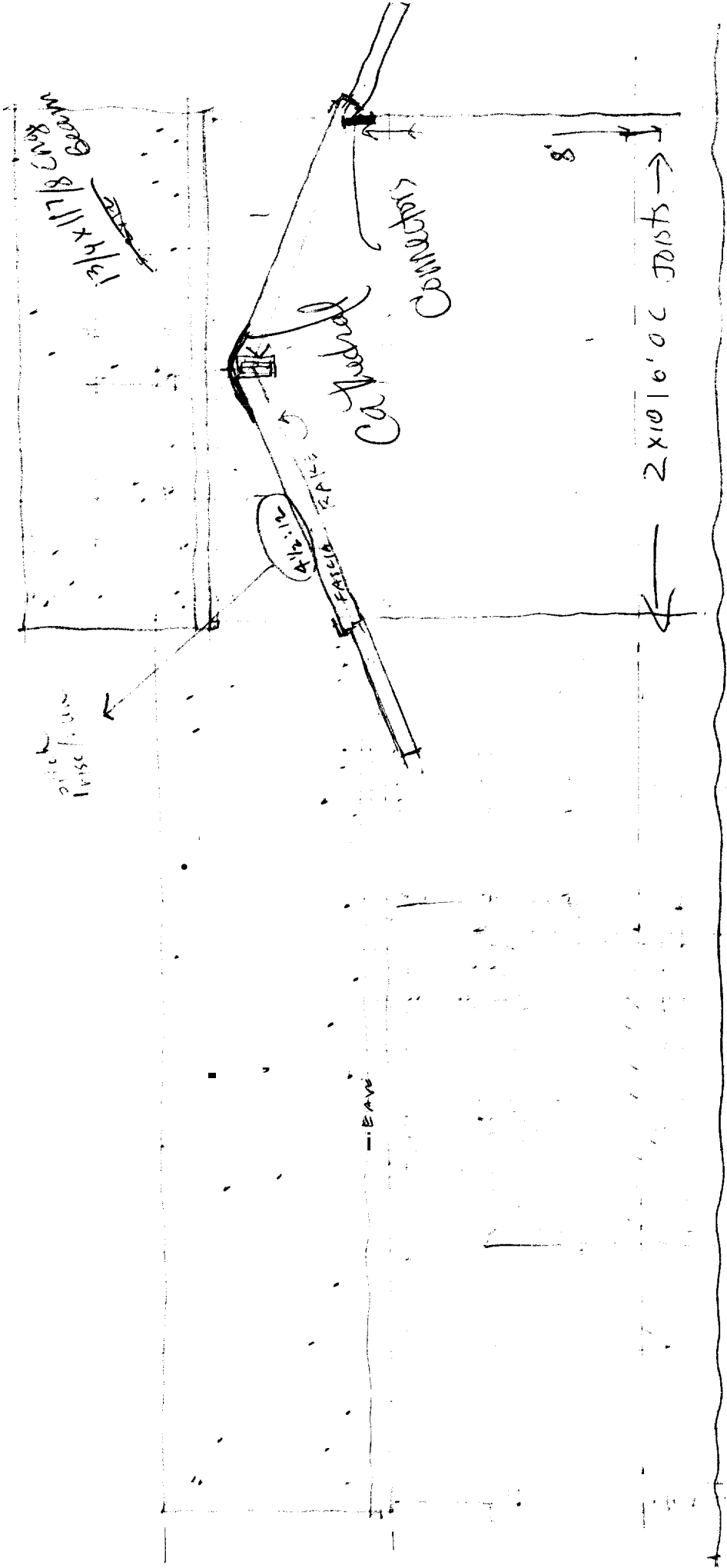
1000 1000 1000

5' H

8'

12'

Carol Young



Beam  
13/16 x 11/8  
CNG

Handmade Cedar  
Cedar Shakes

2x10 @ 16' OC JOISTS

12'

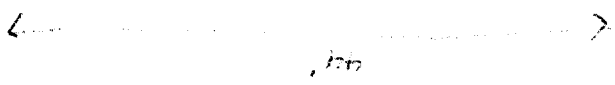
5' H

F

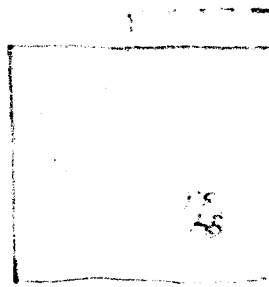
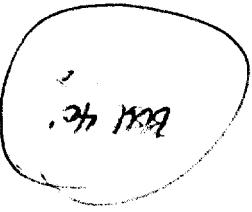




Part 10



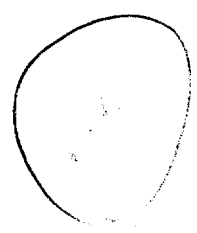
12



40



12



H  
R  
I

Beam 30' long / 20' high  
Side 20' high

**Please call 874-8703 or 874-8693 to schedule your inspections as agreed upon**

Permits expire in 6 months, if the project is not started or ceases for 6 months,

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice, Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

A Pre-construction Meeting will take place upon receipt of your building permit,

- Call Footing/Building Location Inspection: Prior to pouring concrete
- N/A Re-Bar Schedule Inspection: Prior to pouring concrete
- Call Foundation Inspection: Prior to placing ANY backfill
- Call Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling
- Call Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. NOTE: There is a \$75.00 fee per inspection at this point,

Certificate of Occupancy is not required for certain projects, *Your* inspector **can** advise you if **your** project requires a Certificate of Occupancy. All projects DO require a final inspection

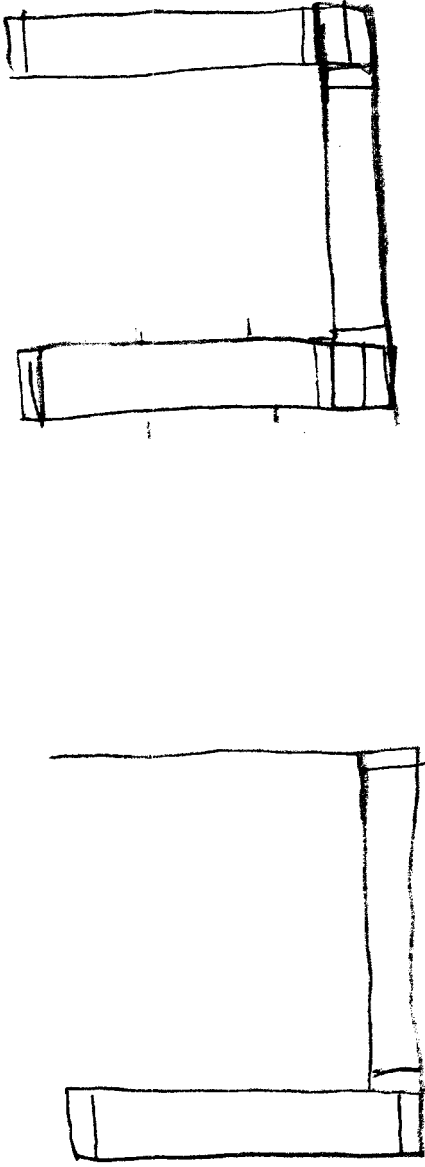
**\_\_\_\_\_ If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES,**

**\_\_\_\_\_ CERTIFICATE OF OCCUPANCIES MUST BE ISSUED AND PAID FOR; BEFORE THE SPACE MAY BE OCCUPIED**

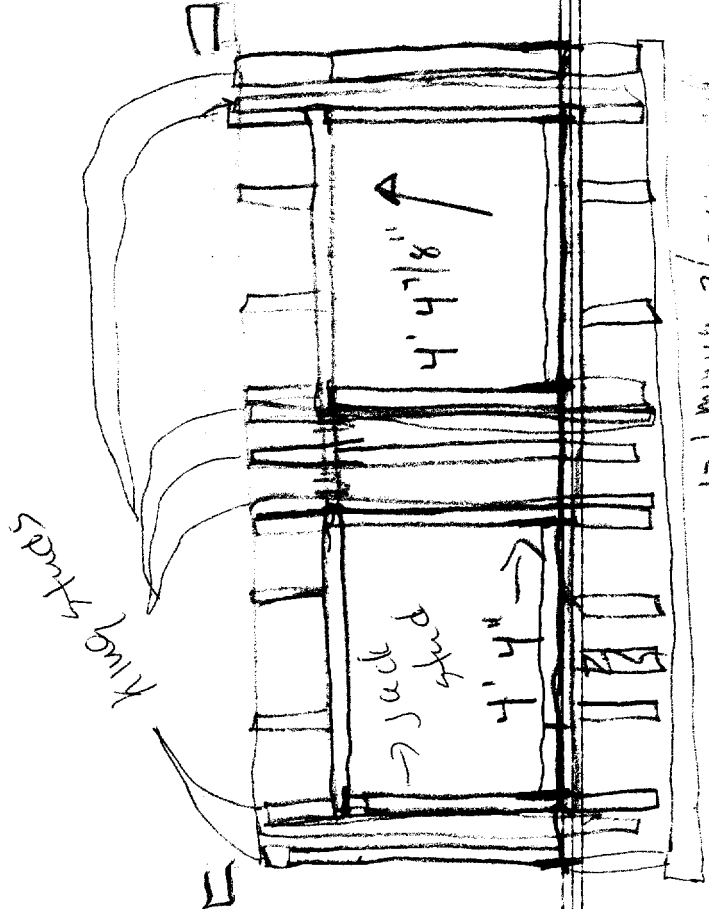
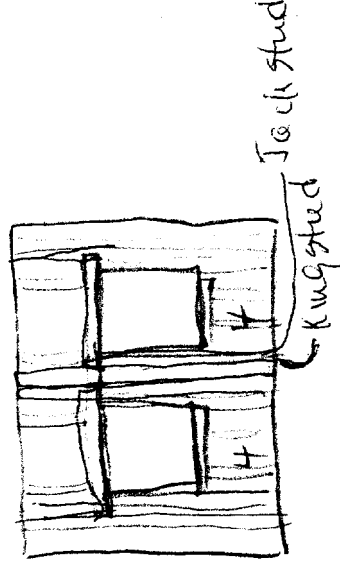
\_\_\_\_\_  
Signature of Applicant/Designee \_\_\_\_\_ Date \_\_\_\_\_  
\_\_\_\_\_  
Signature of Inspections Official \_\_\_\_\_ Date \_\_\_\_\_  
CBL 089 II 034 Building Permit #: 051607

Carol Young

beam plate = 12'  
" = 12"  
1st top " = 4"  
2nd top " = width of 2x6



RO 4'4" w x 4'4 7/8 #



12' minus 2 / 2x6 w. plates

King studs



BC CALC® 2003 DESIGN REPORT - US

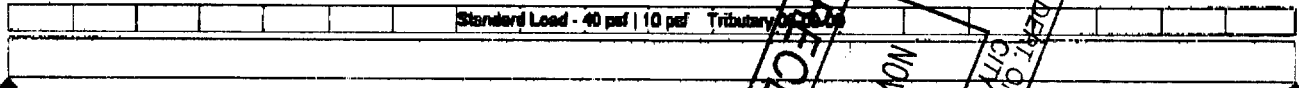
Monday, November 07, 2005 07:23

Single 1 3/4" x 11 7/8" VERSA-LAM® 3100 SP

Job Name:
Address:
City, State, Zip:
Customer:
Code reports: IGB0 5512, NER 629

File Name: BC CALC Project: RB01
Description:
Specifier:
Designer: CS
Company: Hancock Lumber
Misc:

87 II 34



B0
1440 lbs LL
395 lbs DL

B1
1440 lbs LL
395 lbs DL

Total Horizontal Length - 12'-00"

RECEIVED
NOV - 7 2005
DEPT. OF BUILDING INSPECTION
CITY OF PORTLAND, OREGON

General Data

Version: US Imperial
Member Type: Roof Beam
Number of Spans: 1
Left Cantilever: No
Right Cantilever: No
Slope: w2
Tributary: 06-00-00

Live Load: 40 psf
Dead Load: 10 psf
Partition Load: 0 psf
Duration: 115

Disclosure

The completeness and accuracy of the input must be verified by anyone who would rely on the output as evidence of suitability for a particular application...

BC CALC®, BC FRAMER®, BCH®, BC RIM BOARD™, BC OSB RIM BOARD™, BOISE GLULAM™, VERSA-LAM®, VERSA-RIM®, VERSA-RIM PLUS®, VERSA-STRAND™, VERSA-STUDS, ALLJOIST® and AJS™ are trademarks of Boise Cascade Corporation.

Load Summary

Table with columns: ID, Description, Load Type, Ref., Start, End, Value, Trib., Dur. Row 6: Standard Load, Unf. Area, Left, 06-00-00, 12-00-00, 40 psf, 06-00-00, 115%

Controls Summary

Table with columns: Control Type, Value, % Allowable, Duration, Load Case, Span Location. Rows include Moment (5505 ft-lbs, 45.0%, 115%), Neg. Moment (0 ft-lbs, n/a, 100%), End Shear (1632 lbs, 33.2%, 115%), Total Load Defl. (L/493 (0.292'), 36.5%, 2, 1), Live Load Defl. (L/626 (0.228'), 38.2%, 2, 1), Max Defl. (0.292', 14.6%, 2, 1)

Notes

Design meets Code minimum (L/180) Total load deflection criteria.
Design meets Code minimum (L/240) Live load deflection criteria.
Design meets arbitrary (2") Maximum load deflection criteria.
Minimum bearing length for B0 is 1-1/2".
Minimum bearing length for B1 is 1-1/2".
Member Slope = 0, consider drainage.
Entered/Displayed Horizontal Span Length(s) = Clear Span + 1/2 min. end bearing + 1/2 intermediate bearing

Carol Young
81 Upper A st
Peaks Island
cell- 450-8984
home- 766-2795
office - 871-9272

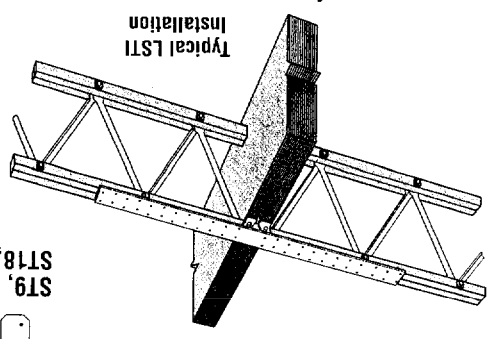
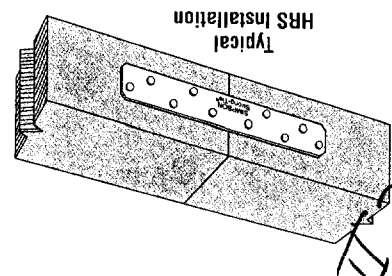
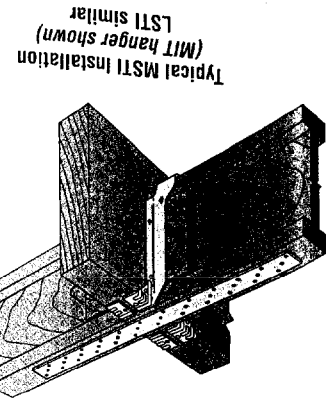
Specs on the Boise engineered ridge beam.

Hancock engineering says this is adequate for this structure. :-)



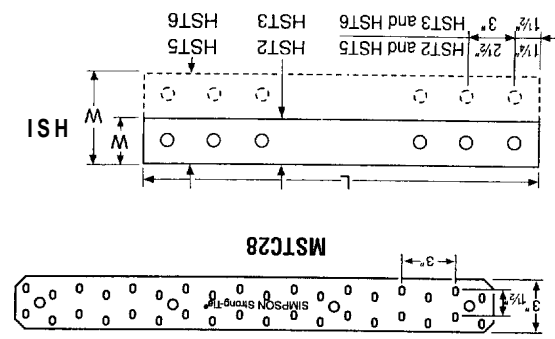
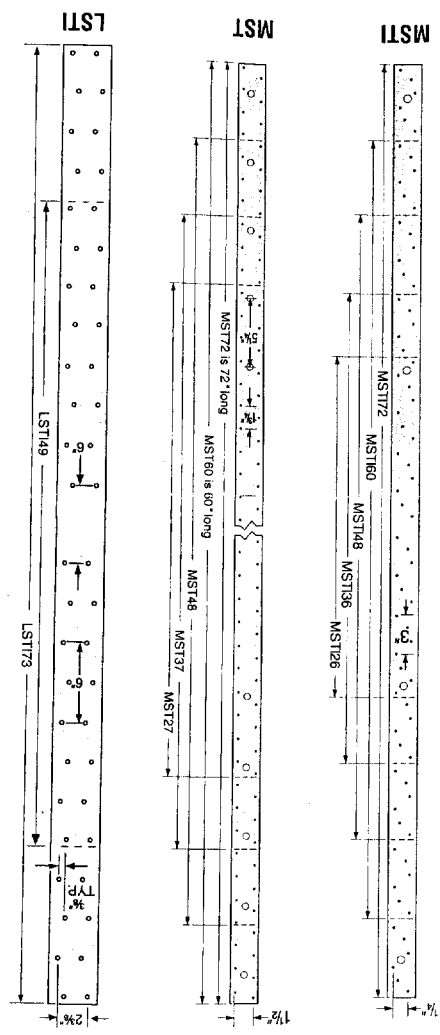
CAROL Young - 81 Upper A st Peaks IS

134

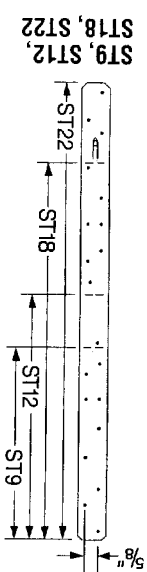
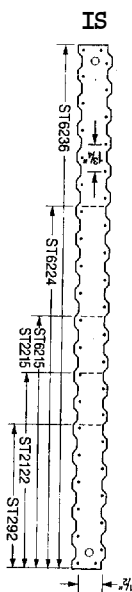
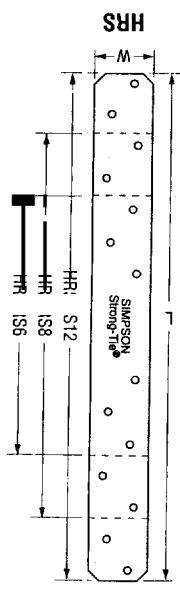
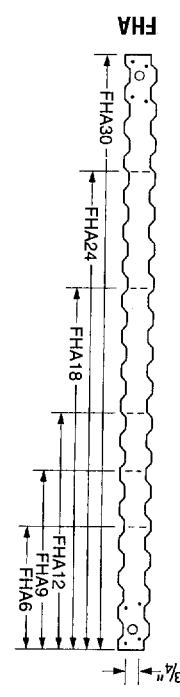
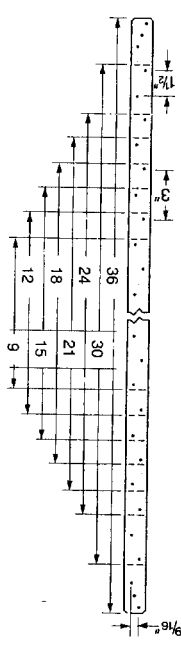


HCST

Straps & Ties



LSTA and MSTA (Pilot holes not shown)



The HRS, a heavy 12 gauge strap tie, provides greater support in construction and repair of home projects. Straight lines and chamfered edges for better appearance. Easy nailing pattern for connecting the sides of 2x members.

The MSTC series has countersunk nail slots for a lower nailing profile. Coined edges ensure safer handling.

Install Strap Ties where plates or soles are cut, at wall intersections, and as ridge ties. LSTA and MSTA straps are engineered for use on 1 1/2" members. The 3" center-to-center nail spacing reduces the possibility of splitting. For the MST, this may be a problem on lumber narrower than 3 1/2", either fill every nail hole with 10d x 1 1/2" nails or fill every other nail hole with 16d commons. Reduce the allowable load based on the size and quantity of fasteners used. The LSTI light strap ties are suitable where gun-nailing is necessary through diaphragm decking and wood chord open web trusses.

FINISH: PS-HDG; all others-galvanized. Some products are available in stainless steel or Z-MAX; see Corrosion-Resistance, page 5.

INSTALLATION: Use all specified fasteners. See General Notes.

OPTIONS: Special sizes can be made to order. See also HCST.

CODES: See page 10 for Code Listing Key Chart.

MSTC and RPS meet code requirements for reinforcing cut members (16 gauge) at top plate and RPS at sill plate.

International Residential Code® - 2000/2003 R602.6.1  
International Building Code® - 2000/2003 2308.9.8

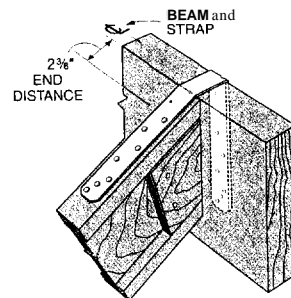
(For RPS, refer to page 152.)

Rafter Tie In

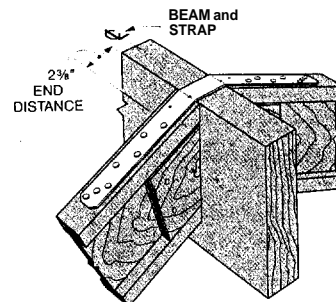
Catalog C-2005 © Copyright 2004 SIMPSON STRONG-TIE CO., INC.

Available with additional corrosion protection. Check with factory.

Model No.	Ga	Dimensions		Fasteners (Total) Nails	Allowable Tension Loads (DF/SP)		Allowable Tension Loads (SPF/HF)		Code Ref.	
		W	L		(133)	(160)	(133)	(160)		
LSTA9	20	1 1/4	9	8-10d	645	775	555	665	7, 62, 90, 128	
LSTA12		1 1/4	12	10-10d	805	970	695	830		
LSTA15		1 1/4	15	12-10d	970	1160	830	1000		
LSTA18		1 1/4	18	14-10d	1130	1235	970	1165		
LSTA21		1 1/4	21	16-10d	1235	1235	1110	1235		
LSTA24		1 1/4	24	18-10d	1235	1235	1235	1235		
ST292		2 1/16	9 3/16	12-16d	1120	1265	970	1160		
ST2122		2 1/16	12 13/16	16-16d	1505	1535	1290	1535		
ST2115		3/4	16 5/16	8-16d	665	665	665	665		
ST2215		2 1/16	16 5/16	20-16d	1880	1880	1625	1880		
LSTA30	18	1 1/4	30	22-10d	1640	1640	1555	1640	7, 62, 90, 128	
LSTA36		1 1/4	36	24-10d	1640	1640	1640	1640	9, 121, 128	
LSTI49		3 3/4	49	32-10dx1 1/2	2580	3100	2220	2660	9, 128	
LSTI73		3 3/4	73	48-10dx1 1/2	3870	4215	3330	3995		
MSTA9		1 1/4	9	8-10d	650	780	565	680	7, 62, 90, 123, 128	
MSTA12		1 1/4	12	10-10d	815	975	705	850		
MSTA15		1 1/4	15	12-10d	975	1170	850	1020		
MSTA18		1 1/4	18	14-10d	1140	1365	990	1185		
MSTA21		1 1/4	21	16-10d	1300	1560	1130	1355		
MSTA24		1 1/4	24	18-10d	1465	1640	1270	1525		
MSTA30	1 1/4	30	22-10d	1835	2050	1585	1900			
MSTA36	1 1/4	36	26-10d	2050	2050	1870	2050			
ST6215	2 1/16	16 5/16	20-16d	1895	2095	1640	1970	3, 39, 88, 104, 121, 128		
ST6224	2 1/16	23 5/16	28-16d	2540	2540	2315	2540			
ST9	16	1 1/4	9	8-16d	755	910	655	785	3, 39, 88, 121, 128	
ST12		1 1/4	11 5/8	10-16d	945	1135	820	985		
ST18		1 1/4	17 3/4	14-16d	1325	1420	1150	1380		
ST22		1 1/4	21 5/8	18-16d	1420	1420	1420	1420		
MSTC28		3	28 1/4	36-16d sinkers	3000	3600	2590	3110		9, 23, 121, 128
MSTC40		3	40 1/4	52-16d sinkers	4335	4585	3745	4495		3, 39, 88, 121, 128
MSTC52		3	52 1/4	62-16d sinkers	4585	4585	4465	4585		
MSTC66		3	65 3/4	76-16d sinkers	5660	5660	5660	5660		
MSTC78		3	77 3/4	76-16d sinkers	5660	5660	5660	5660		
ST6236		2 1/16	33 13/16	40-16d	3845	3845	3465	3845		
HRS6	12	1 3/8	6	6-10d	525	630	455	545	128	
HRS8		1 3/8	8	10-10d	875	1050	760	910		
HRS12		1 3/8	12	14-10d	1225	1465	1065	1275		
FHA6		1 7/16	6 3/8	8-16d	810	975	705	845		
FHA9		1 7/16	9	8-16d	810	975	705	845		
FHA12		1 7/16	11 5/8	8-16d	810	975	705	845		
FHA18		1 7/16	17 3/4	8-16d	810	975	705	845		
FHA24		1 7/16	23 3/8	8-16d	810	975	705	845		
FHA30		1 7/16	30	8-16d	810	975	705	845		
MSTI26		2 1/16	26	26-10dx1 1/2	2355	2830	2045	2455		3, 39, 88, 121, 128
MSTI36	2 1/16	36	36-10dx1 1/2	3265	3915	2830	3400			
MSTI48	2 1/16	48	48-10dx1 1/2	4350	5080	3775	4530			
MSTI60	2 1/16	60	60-10dx1 1/2	5080	5080	4720	5080			
MSTI72	2 1/16	72	64-10dx1 1/2	5080	5080	5080	5080			



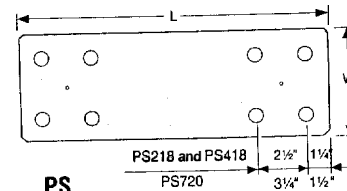
Typical LSTA Installation (hanger not shown)



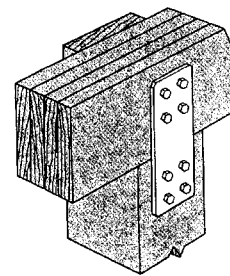
Typical LSTA Installation (hanger not shown)

**CODES:**  
See page 10 for Code Listing Key Chart.

Model No.	Ga	Dimensions	Bolts	Code Ref.
		W L Qty Dia		
PS218 <sup>5</sup>	7	2 18 4 5/8	180	
PS418 <sup>6</sup>		4 18 4 5/8		
PS720 <sup>6</sup>		6 3/4 20 8 1/2		



PS



Typical PS720 Installation

1. Loads include a 33% or 60% load duration increase on the fasteners for earthquake or wind loading, but DO NOT include a 33% stress increase on the steel capacity. Refer to page 12 for further explanation.
2. 10dx1 1/2" nails may be substituted where 16d sinkers are specified at 0.77 of the table loads.
3. 10d commons may be substituted where 16d sinkers are specified at 100% of table loads.
4. 16d sinkers (9 gauge x 3 3/4") or 10d commons may be substituted where 16d commons are specified at 0.85 of the table loads.
5. Use half of the nails in each member being connected to achieve the listed loads.
6. PS strap design loads must be determined by the building designer for each installation. Bolts are installed both perpendicular and parallel-to-grain. Hole diameter in the part may be oversized to accommodate the HDG. Designer must determine if the oversize creates an unacceptable installation.
7. For overlap splice details, refer to T-CMST.

Straps & Ties

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Peaks Island 135

871134