

Form # P 04

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

CITY OF PORTLAND

Please Read Application And Notes, if Any, Attached

BUILDING INSPECTION PERMIT

PERMIT ISSUED
Permit Number: 100410
MAY 13 2010
CITY OF PORTLAND

This is to certify that MACHLIN RICHARD D & PAMELA L MACHLIN JTS/Richard
has permission to Kitchen & Bath Remodel
AT 74 BRACKETT AVE PEAKS ISLAND CBL 087 H010001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is lathed or otherwise closed-in. 24 HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____
Health Dept. _____
Appeal Board _____
Other _____
Department Name _____

Sam Bank 5/12/10
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0410	Issue Date:	CBL: 087 II010001
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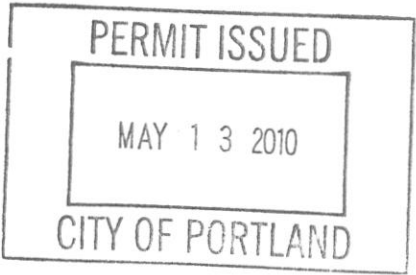
Location of Construction: 74 BRACKETT AVE PEAKS ISLA	Owner Name: MACHLIN RICHARD D & PAME	Owner Address: 74 BRACKETT AVE	Phone:
Business Name:	Contractor Name: Richard Machlin	Contractor Address: 74 Brackett Ave Peaks Island	Phone 2077660055
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: IR-2

Past Use: Single Family Home	Proposed Use: Single Family Home - Kitchen & Bath Remodel <i>3 permit existing 11'x12' duct</i>	Permit Fee: \$100.00	Cost of Work: \$8,000.00	CEO District: 1
Proposed Project Description: Kitchen & Bath Remodel <i>3 permit existing 11'x12' duct.</i>		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IR-2003</i> Signature: <i>JMB 5/12/10</i>	

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)	
Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied	Signature: _____ Date: _____

Permit Taken By: ldobson	Date Applied For: 04/26/2010	Zoning Approval		
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland <i>N/A</i></p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: _____</p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p><i>ABM</i></p> <p>Date: _____</p>
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 10-0410	Date Applied For: 04/26/2010	CBL: 087 II010001
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Location of Construction: 74 BRACKETT AVE PEAKS ISLA	Owner Name: MACHLIN RICHARD D & PAME	Owner Address: 74 BRACKETT AVE	Phone:
Business Name:	Contractor Name: Richard Machlin	Contractor Address: 74 Brackett Ave Peaks Island	Phone: (207) 766-0055
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Kitchen & Bath Remodel & permit existing 11' x 12' deck	Proposed Project Description: Kitchen & Bath Remodel & permit existing 11' x 12' deck
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Ann Machado	Approval Date: 04/26/2010
Note: Existing 11' x 12' deck on the rear of the structure was built without a permit. The owner brought in plans showing construction of the deck and added the deck to the project description. Ok to Issue: <input checked="" type="checkbox"/>			
<ol style="list-style-type: none"> 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval. 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work. 			
Dept: Building	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 05/12/2010
Note: Ok to Issue: <input checked="" type="checkbox"/>			
<ol style="list-style-type: none"> 1) Separate permits are required for any electrical, plumbing, sprinkler, fire alarm HVAC systems, heating appliances, commercial hood exhaust systems and fuel tanks. Separate plans may need to be submitted for approval as a part of this process. 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work. 3) Those renovating a dwelling shall install a CO detector in each area within or giving access to bedrooms. That detection must be powered by the electrical service in the building and battery. 			

Comments:

5/12/2010-jmb: Spoke with the Machlin's, confirmed deck information they think it's probably over 10 years old, the cantilever is a bit over the code recommended 34", but it looks like all other life safety codes are ok. They may enclose it at some point, will apply for permit additional supports will be required.

BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or 874-8693 (ONLY)

or email: buildinginspections@portlandmaine.gov

With the issuance of this permit, the owner, builder or their designee is required to provide adequate notice to the City of Portland Inspection Services for the following inspections. Appointments must be requested 48 to 72 hours in advance of the required inspection. The inspection date will need to be confirmed by this office.

- **Please read the conditions of approval that is attached to this permit!! Contact this office if you have any questions.**
- **Permits expire in 6 months, if the project is not started or ceases for 6 months.**
- **If the inspection requirements are not followed as stated below additional fees may be incurred due to the issuance of a "Stop Work Order" and subsequent release to continue with construction.**

Framing/Rough Plumbing/Electrical: Prior to Any Insulating or drywalling

Final inspection required at completion of work.

The project cannot move to the next phase prior to the required inspection and approval to continue, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

IF THE PERMIT REQUIRES A CERTIFICATE OF OCCUPANCY, IT MUST BE PAID FOR AND ISSUED TO THE OWNER OR DESIGNEE BEFORE THE SPACE MAY BE OCCUPIED.



CITY OF PORTLAND, MAINE

Department of Building Inspections

Original Receipt

4.26 20 10

Received from Richard MacKlin

Location of Work 24 Brackett AVE
PI

Cost of Construction \$ _____ Building Fee: _____

Permit Fee \$ _____ Site Fee: _____

Certificate of Occupancy Fee: _____

Total: 100

Building (IL) Plumbing (I5) Electrical (I2) Site Plan (U2)

Other _____

CBL: 871110

Check #: 152 Total Collected \$ 100

**No work is to be started until permit issued.
Please keep original receipt for your records.**

Taken by: [Signature]

WHITE - Applicant's Copy
YELLOW - Office Copy
PINK - Permit Copy



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>74 Brackett Ave Peaks Island Me</u>		
Total Square Footage of Proposed Structure/Area <u>2092</u>	Square Footage of Lot <u>18940</u>	Number of Stories <u>2</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>87 11 10</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Richard Machlin</u> Address <u>74 Brackett Ave</u> City, State & Zip <u>Peaks I, Me</u>	Telephone: <u>207</u> <u>766</u> <u>0055</u>
Lessee/DBA (If Applicable)	Owner (if different from Applicant) Name Address City, State & Zip	Cost Of Work: \$ <u>8,000</u> C of O Fee: \$ _____ Total Fee: \$ _____
Current legal use (i.e. single family) <u>Single family</u> Number of Residential Units <u>1</u>		
If vacant, what was the previous use? _____		
Proposed Specific use: _____		
Is property part of a subdivision? <u>No</u> If yes, please name _____		
Project description: <u>Bath + Kitchen Remodel + Permitting 11x12 Deck.</u>		
Contractor's name: <u>Richard Machlin</u>		
Address: <u>74 Brackett Ave</u>		
City, State & Zip <u>Peaks Island, ME 04108</u>		Telephone: <u>207 766-0055</u>
Who should we contact when the permit is ready: <u>Richard Machlin</u>		Telephone: <u>766-0055</u>
Mailing address: <u>As above</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

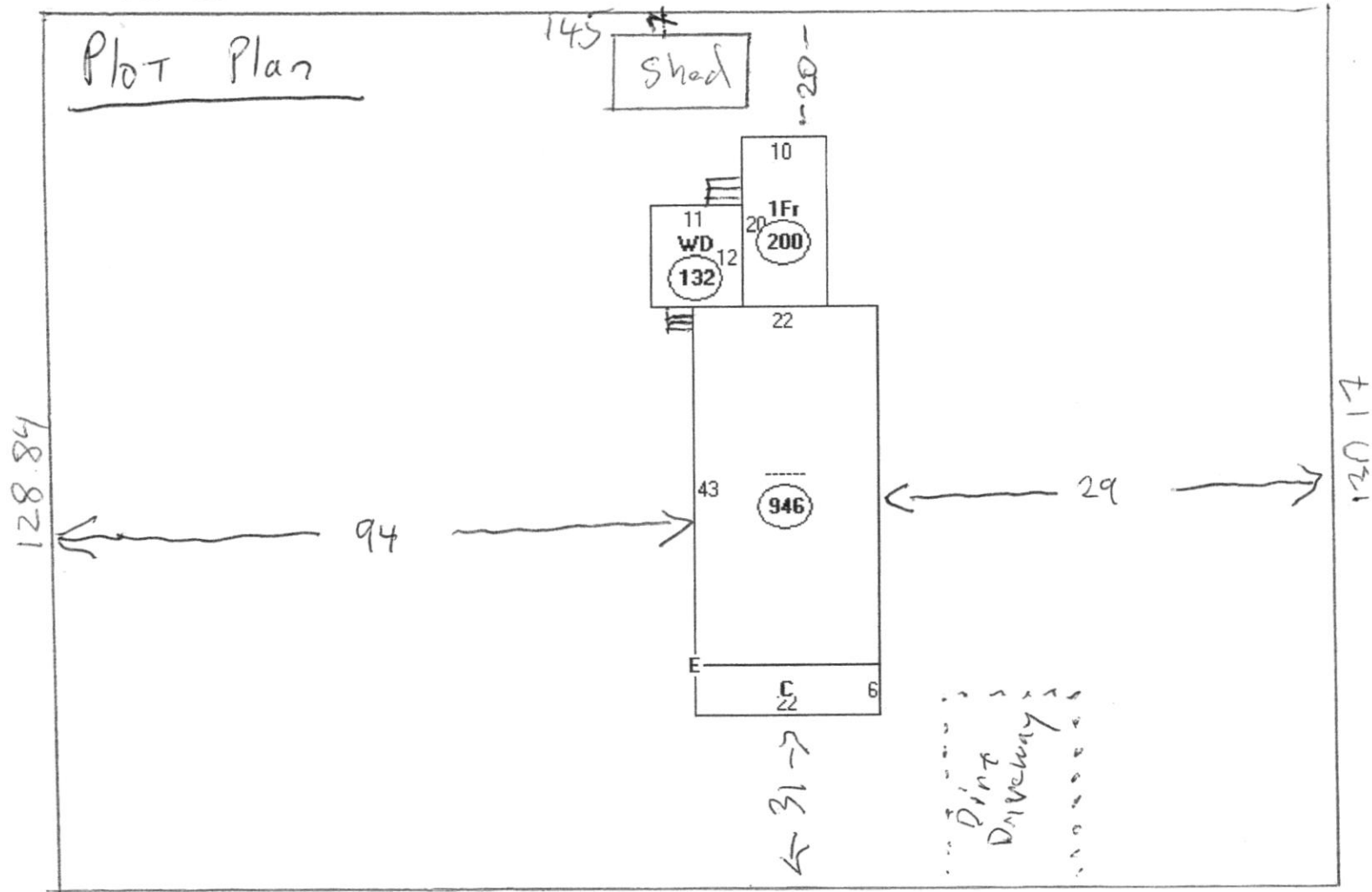
In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

RECEIVED
APR 26 2010
Dept. of Building Inspections
City of Portland Maine

Signature: [Signature] Date: 4/24/10

This is not a permit; you may not commence ANY work until the permit is issued



IR2
 Lot size - 18,940 sq ft
 shed 24x12

144.99
 Brackett Ave

lot coverage - 20% = 3788 sq ft

existing house - 200	(10x20)
946	(22x43)
132	(6x22)
<u>1278</u>	
shed	288 (12x24)
<u>1566</u>	

deck 11x12 = 132
 total = 1698 sq ft (OK)

for deck - 80' (OK)
 front setback - 35' (OK)
 rear setback - 25' - 25' (OK) shed closer to line
 side setback - 20' - ~88' (OK)

Parcel ID 08711010001
 Location 74 Brackett Ave. Peaks Island 04108
 Land use Single Family
 Legal Desc. 87-11-10-11
 Lot Area .435 Acre

Notes

Window #1 Breakfast Area

Add new window to match existing windows; wood, double hung, single pane, with storm window. Framing to meet IEEC 2003

Window #2 Kitchen Sink

New window to be shorter to allow for counters to match existing windows.

Wall

at new refrigerator location is a partition wall.

Bath Door

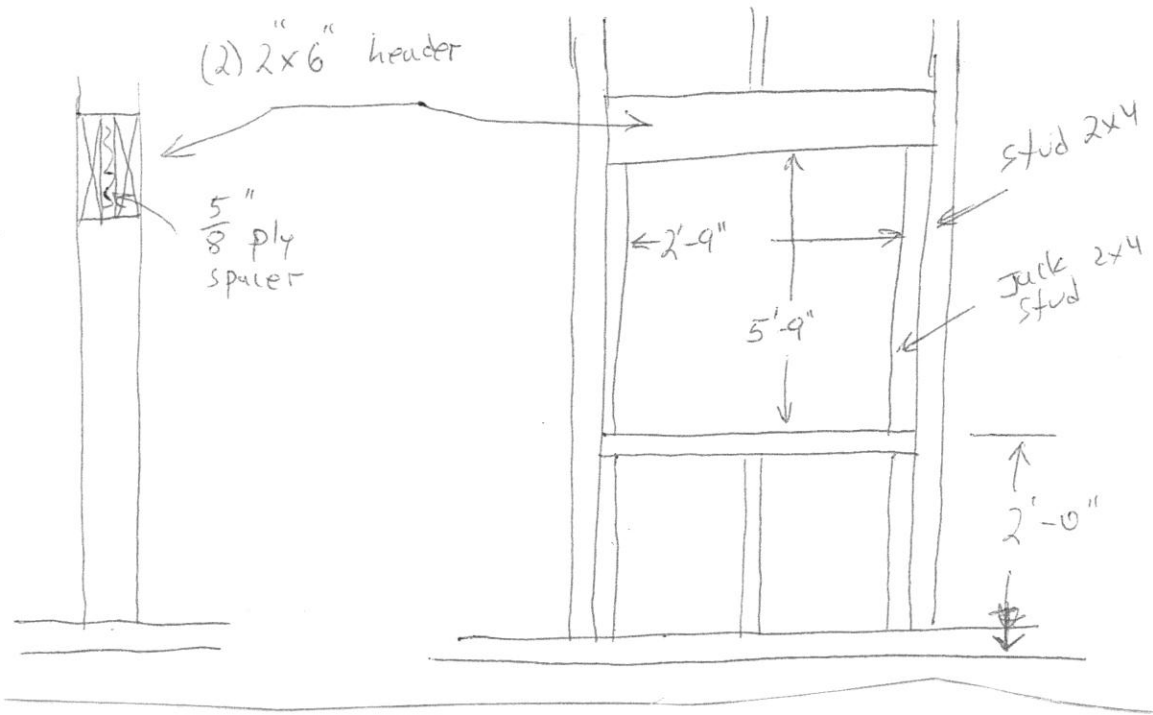
Relocate existing door 2'8" x 6'6" from partition wall into partition wall.

Kitchen Dining

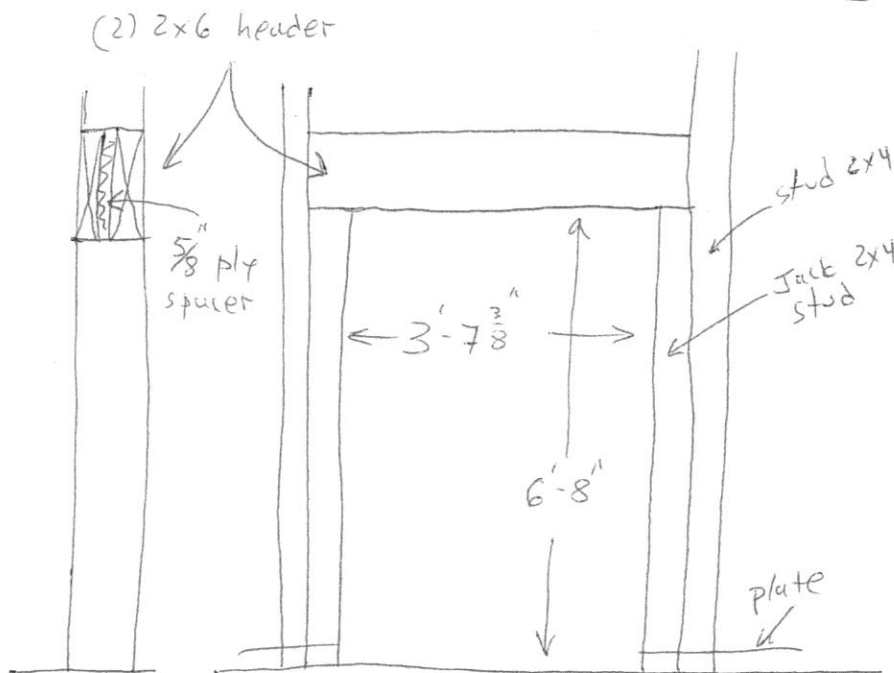
opening to be enlarged in existing partition wall.

Parcel ID 08711010001
Location 74 Brackett Ave. Peaks Island 04108
Land use Single Family
Legal Desc. 87-11-10-11
Lot Area .435 Acre

Typical Window Framing & Section

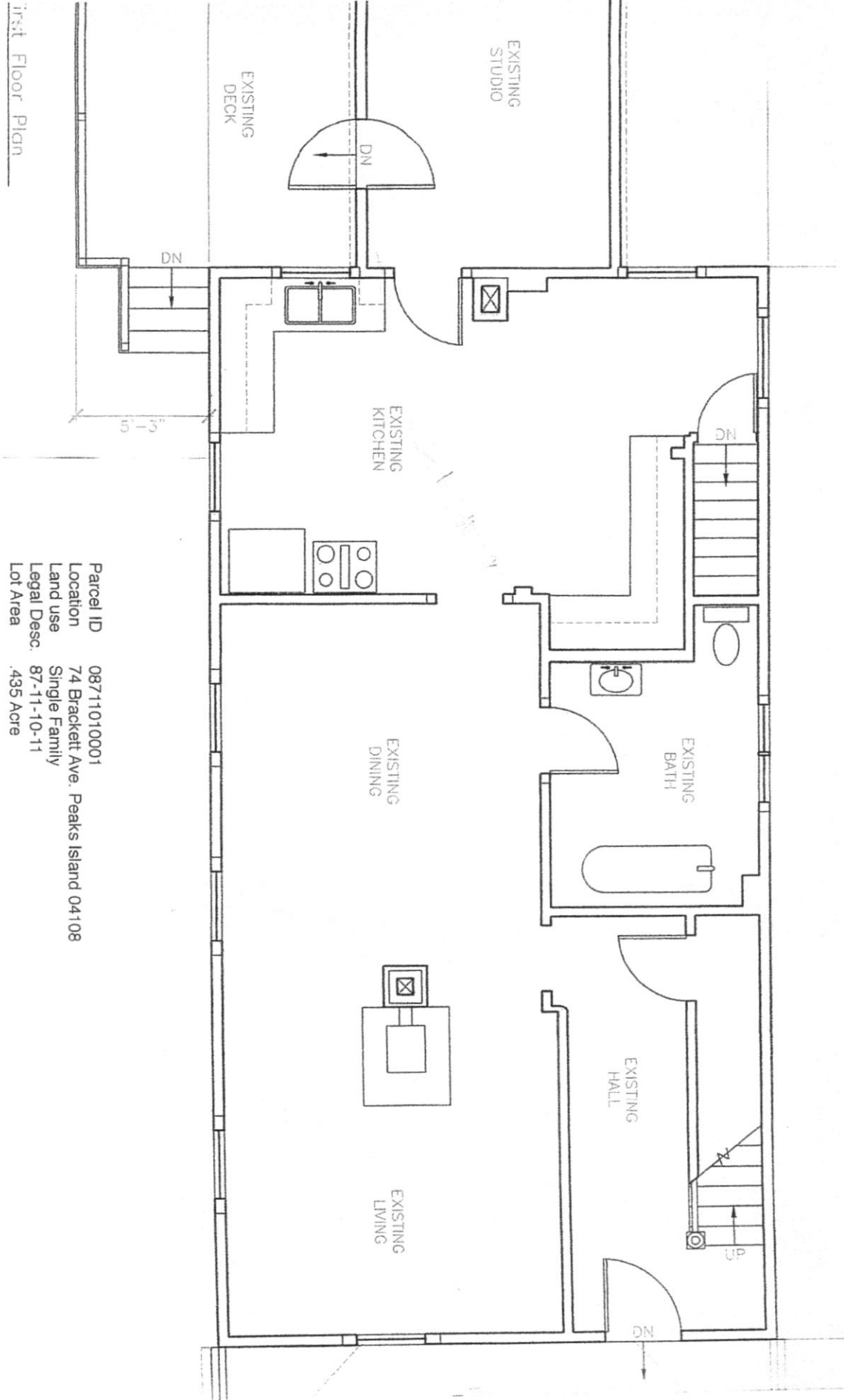


Framing & typical Door Section



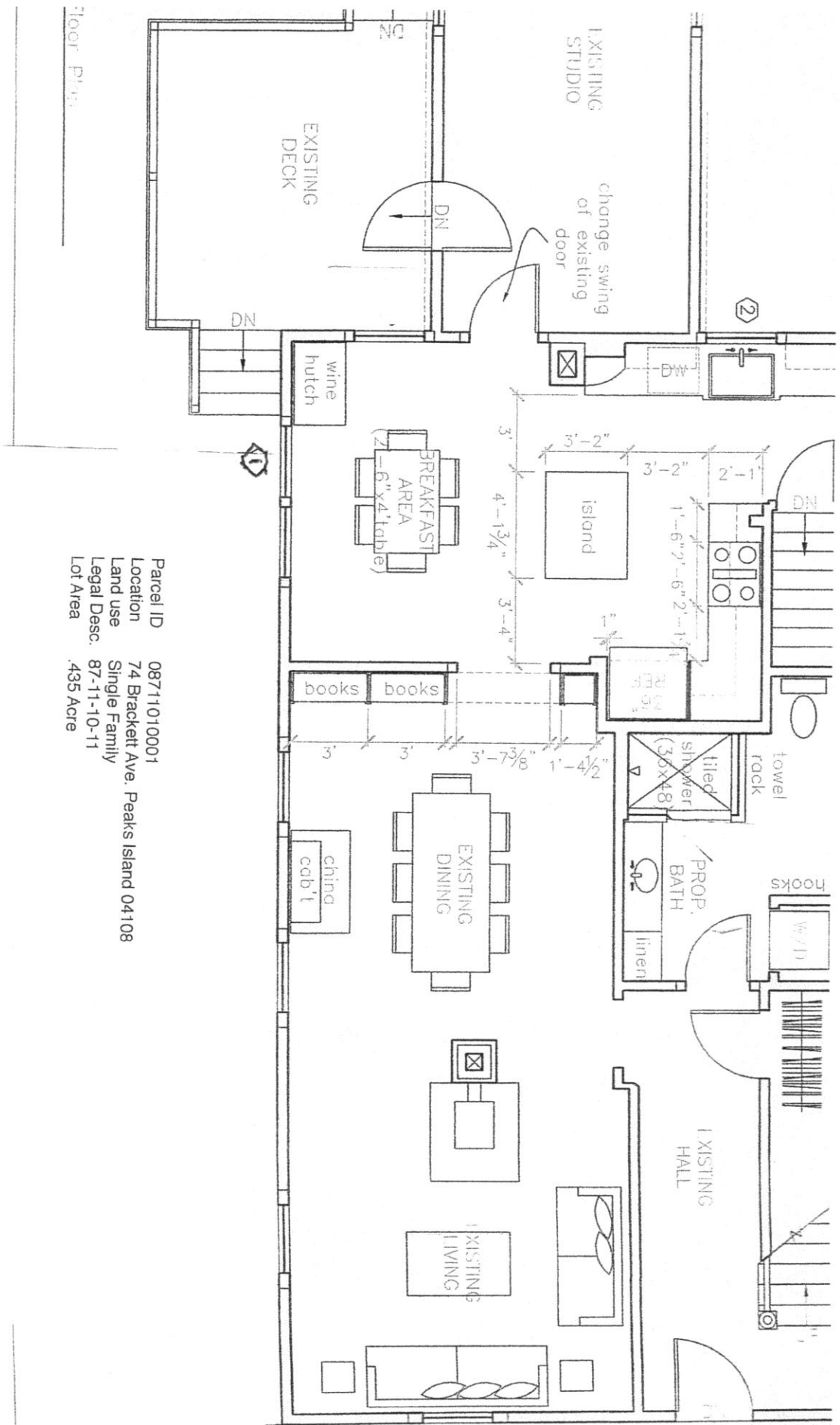
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Existing First Floor Plan



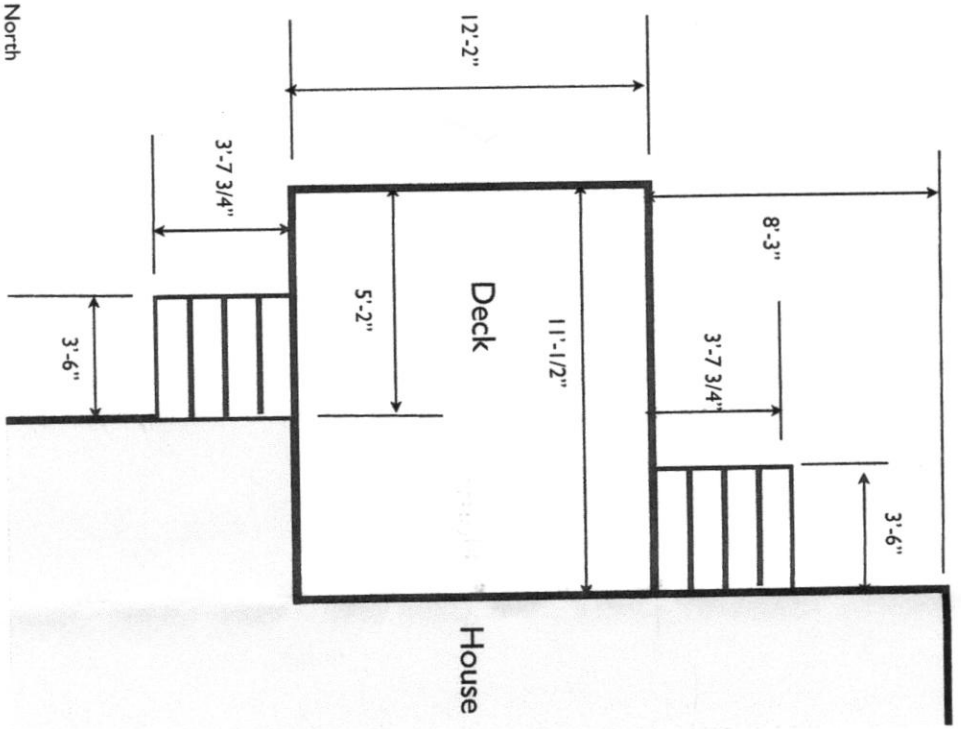
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Proposed First Floor Plan



Parcel ID 08711010001
 Location 74 Brackett Ave. Peaks Island 04108
 Land use Single Family
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Existing Deck Dimensions



NOT TO SCALE

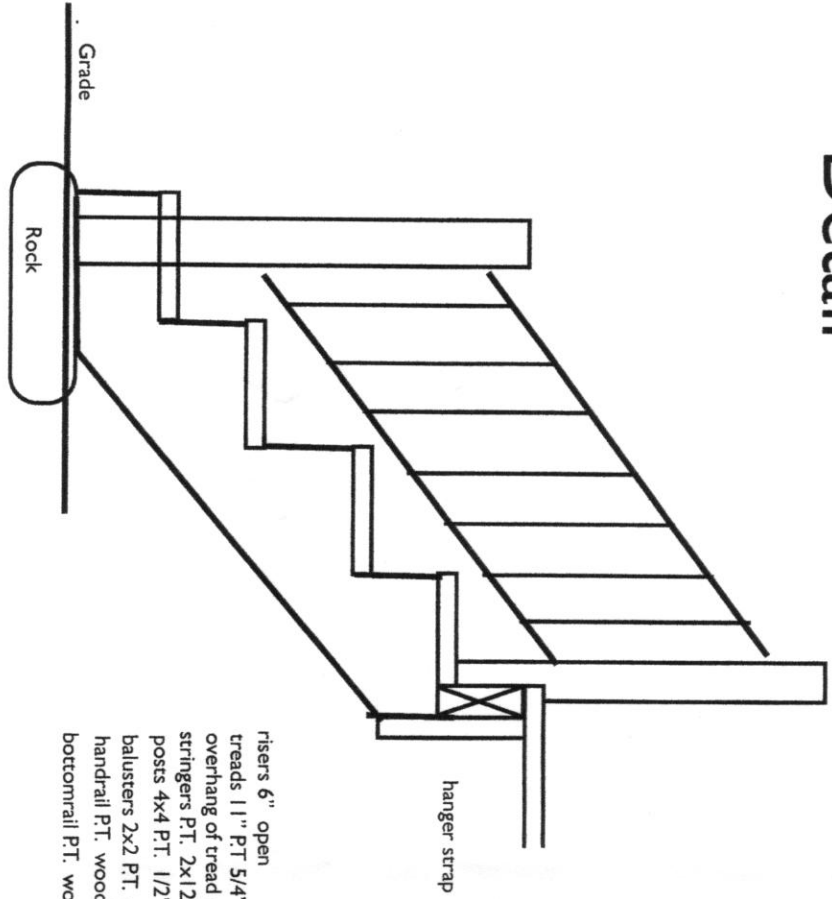
RECEIVED

MAY 10 2010

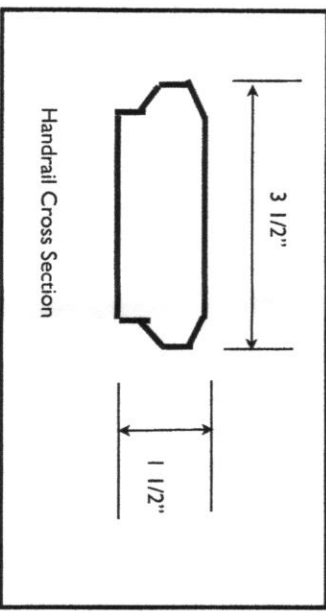
Dept. of Building Inspections
City of Portland Maine

Parcel ID 08711010001
 Location 74 Brackett Ave. Peaks Island 04108
 Land use Single Family
 Legal Desc. 87-11-10-11
 Lot Area .435 Acre

Typical Stair Detail



risers 6" open
 treads 1 1/2" P.T. 5/4"
 overhang of tread nose 0 - 1/2"
 stringers P.T. 2x12
 posts 4x4 P.T. 1/2" bolts
 balusters 2x2 P.T. wood 3 3/4" spacing
 handrail P.T. wood 3 1/2" up from tread
 bottomrail P.T. wood 2" up from tread



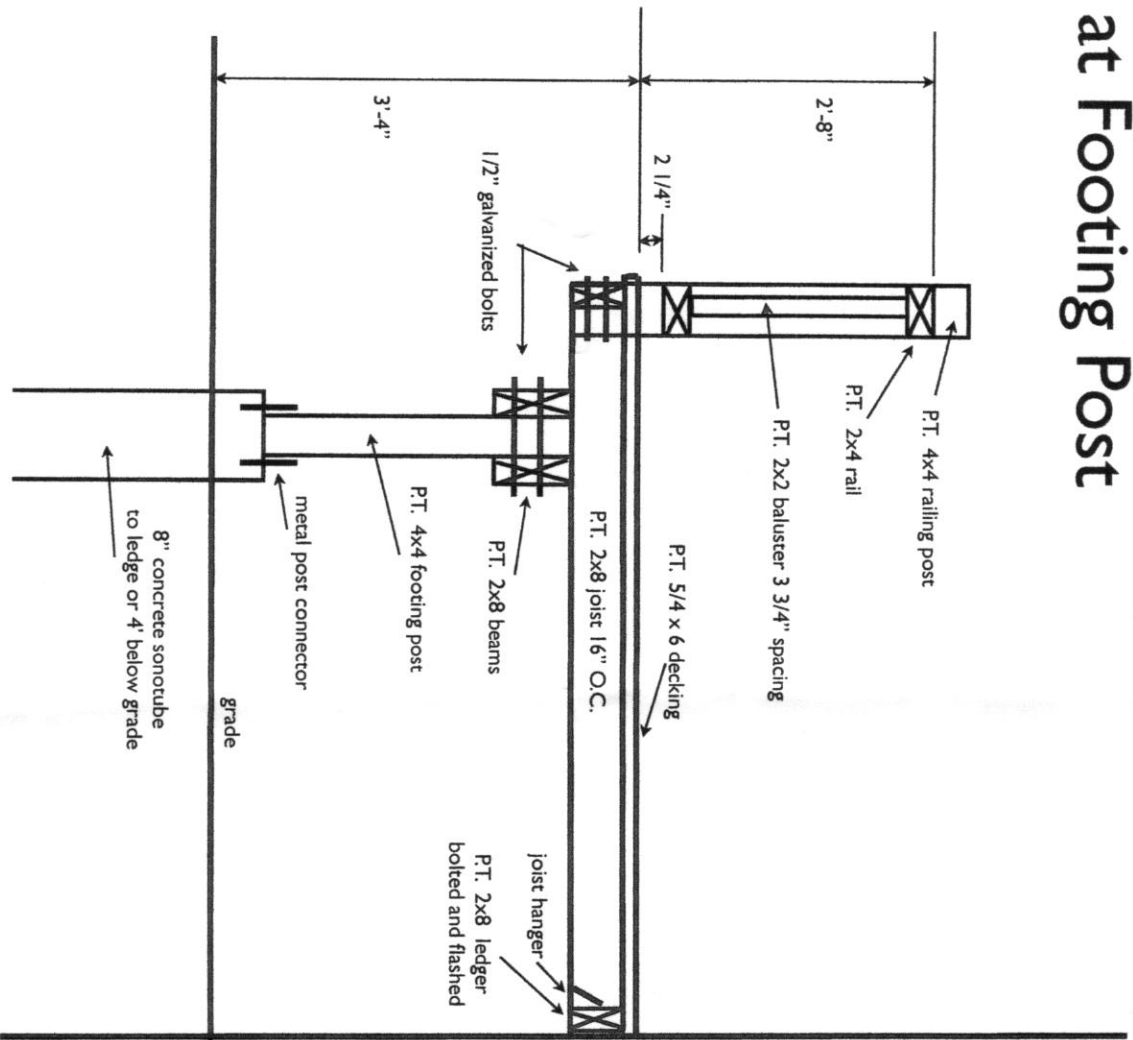
RECEIVED

MAY 10 2010

Dept. of Building Inspections
 City of Portland Maine

4 Not to scale

Typical Cross Section at Footing Post



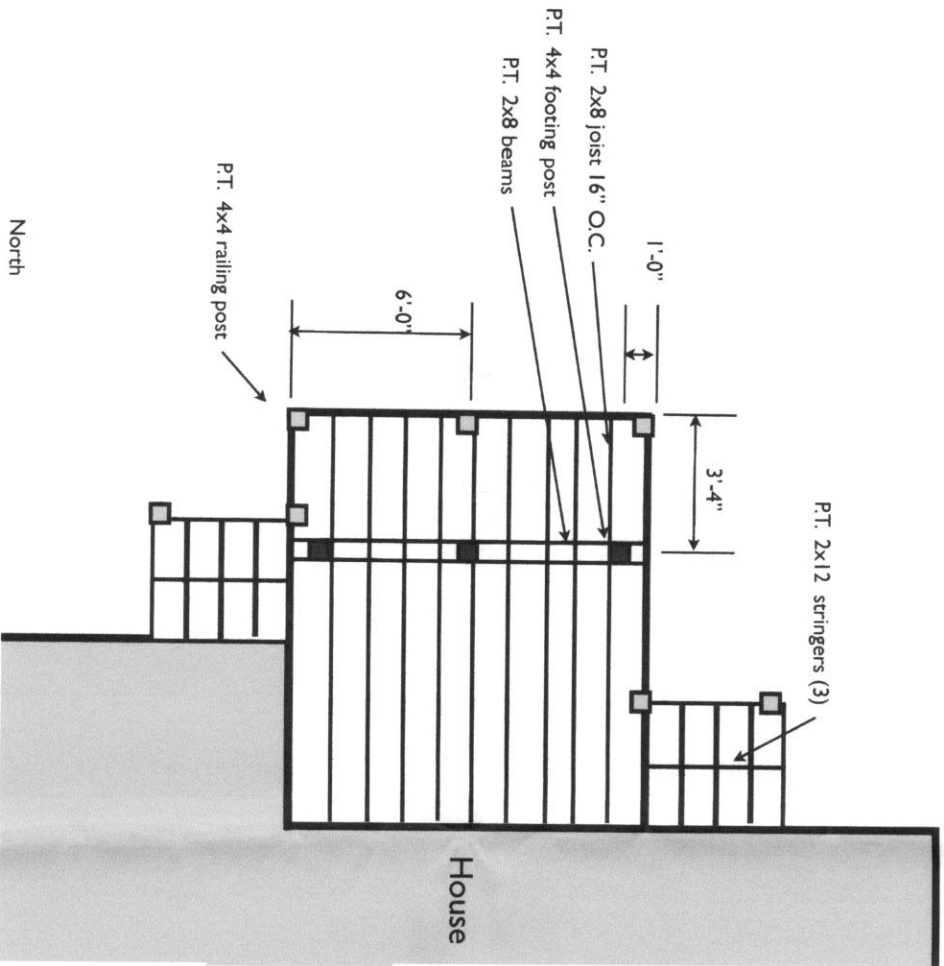
house

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MAY 10 2010

Dept. of Building Inspections
City of Portland Maine

Existing Deck Framing



2

Not to scale

RECEIVED

MAY 10 2010

Dept. of Building Inspections
City of Portland Maine

RECORD OF BUILDINGS
 GRADE DENOTES QUALITY OF CONSTRUCTION: A—EXCELLENT; B—GOOD; C—AVERAGE; D—CHEAP; E—VERY CHEAP

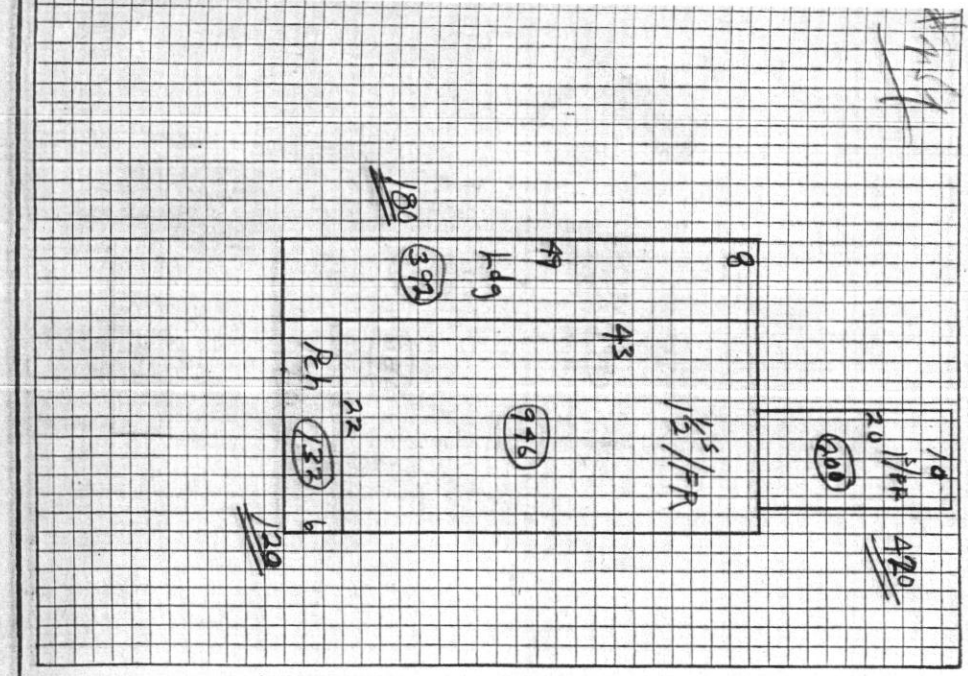
1951

CONSTRUCTION

FOUNDATION		FLOOR CONST.			PLUMBING		
CONCRETE		WOOD JOIST		BATHROOM			
CONCRETE BLOCK		STEEL JOIST		TOILET ROOM			
BRICK OR STONE		MILL TYPE		WATER CLOSET			
PIERS		REIN. CONCRETE		LAVATORY			
CELLAR AREA FULL		FLOOR FINISH		KITCHEN SINK	2		
1/4		B	1 2 3	STD. WAT. HEAT			
1/2		CEMENT		AUTO. WAT. HEAT			
%		EARTH		ELECT. WAT. SYST.			
EXTERIOR WALLS		PINE		LAUNDRY TUBS			
CLAPBOARDS		HARDWOOD		NO PLUMBING			
WIDE SIDING		TERRAZZO					
DROP SIDING		TILE					
NO SHEATHING							
WOOD SHINGLES		ATTIC FLR. & STAIRS					
ASBES. SHINGLES		INTERIOR FINISH					
STUCCO ON FRAME		B	1 2 3				
STUCCO ON TILE		PINE					
BRICK VENER		HARDWOOD					
BRICK ON TILE		PLASTER					
SOLID BRICK		UNFINISHED					
STONE VENEER		METAL CLG.					
CONC. OR CIND. BL.		RECREAT. ROOM					
TERRA GOTTA		FINISHED ATTIC					
VITROLITE		FIREPLACE					
PLATE GLASS		HEATING					
INSULATION		PIPELESS FURNACE					
WEATHERSTRIP		HOT AIR FURNACE					
		FORCED AIR FURN.					
		STEAM					
		HOT WAT. OR VAPOR					
		NO HEATING					
		GAS BURNER					
		OIL BURNER					
		STOKER					

SUMMARY OF BUILDINGS

OCC'Y	TYPE	GR.	AGE	REMOD.	COND.	REP. VAL.	P. D.	PHY. VAL.	F. D.	SOUND VAL.	TAX VAL.	YEAR	COMPUTATIONS				
													TAX VAL.	OLD VAL.	CHANGE		
NWLG	A	C	93		G-F	6370	591	3190	3190	2230	1350	1931	19	19	19	2290	7400
5/1ED	B		DID					60		60	50						
	C																
	D																
	E																
	F																
	G																
1931													1931 TOTAL BLDGS.				





Strengthening a Remarkable City, Building a Community for Life • www.portlandmaine.gov

Penny St. Louis Littlell - Director of Planning and Urban Development
Marge Schmuckal, Zoning Administrator

April 26, 2010

Richard & Pamela Machlin
74 Brackett Avenue
Peaks Island, ME 04108

Re: 74 Brackett Avenue, Peaks Island - 087 II010 - IR-2 - unpermitted deck

Dear Mr. & Ms. Machlin,

This letter is a follow up to the telephone conversation that I had with Pam earlier today.

In reviewing your permit application to remodel your bathroom and kitchen at your property at 74 Brackett Avenue, Peaks Island, I discovered that the eleven foot by twelve foot deck that exists on the rear of your building was never permitted. There is no record of a permit for the deck in our files and the deck did not exist on the pre-1957 assessor's card.

Your permit (#10-0410) to remodel the bathroom and kitchen is moving forward in the review process and the issuance of it will not be impacted by the fact that the deck was built without a permit, but you do need to bring your property into compliance.

You have thirty days from the date that the permit to remodel the kitchen and bathroom is issued to apply for a permit to legalize the deck or to remove the deck. Please feel free to call me at 874-8709 if you have any questions.

Yours truly,

Ann B. Machado
Zoning Specialist
(207) 874-8709

* Richard Machlin called plus
for deck to assess application #10-0410
on 5/10/10 permit if