

# PERMIT ISSUED

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0648	Issue Date: <b>JUN 09 2003</b>	CBL: <b>45</b> 087 H003001
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Location of Construction: 118 Pleasant Ave Pi	Owner Name: Adams Jane L & David L Jts	Owner Address: 61 Concord Hill <b>CITY OF PORTLAND</b>	Phone: 603-435-6545
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: 2077665219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <b>IR-2</b>

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: <sup>36</sup> \$755.00	Cost of Work: \$109,000.00	CEO District: 3
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R3</b> Type: <b>5B</b> <b>BOCA 1999</b>	

Proposed Project Description:  
Build 24x48 addition/garage, rebuild existing porches

Signature: \_\_\_\_\_ Signature: **JMB 6/9/03**

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: jmb	Date Applied For: 06/09/2003	<b>Zoning Approval</b>
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<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</p>	<p><b>Special Zone or Reviews</b></p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetland</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p>Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/></p> <p>Date: <b>JMB 6/9/03</b></p>	<p><b>Zoning Appeal</b></p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date: _____</p>	<p><b>Historic Preservation</b></p> <p><input checked="" type="checkbox"/> Not in District or Landmark</p> <p><input type="checkbox"/> Does Not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date: <b>6/9/03</b></p>
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### CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
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RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE	DATE	PHONE
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7/9/03 Footings, set backs OK. All

11/19/03 Elect, plumbing, framing OK. ~~Other~~

Egress window OK. tread and rise OK on  
right side porch. Not completed on left side

and rear (water side). A ~~line~~  
1/12/04 Spoke w/ Scott Thompson - about fire rating of  
garage/living space - He will submit Amendment to  
show AS built changes. JB

**City of Portland, Maine - Building or Use Permit**

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Permit No: 03-0648	Date Applied For: 06/09/2003	CBL: 087 H003001
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Location of Construction: 118 Pleasant Ave Pi	Owner Name: Adams Jane L & David L Jts	Owner Address: 61 Concord Hill Rd	Phone: 603-435-6545
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family	Proposed Project Description: Build 24x48 addition/garage, rebuild existing porches
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 06/09/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) The 2nd story sunroom dormer is not included in this permit, a separate application and approval must be submitted</li> <li>2) The existing porches are legally non-conforming as to setbacks, they may only be re-built in the existing footprint</li> <li>3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</li> <li>4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> </ol>			

Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 06/09/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) The total structure will maintain only 3 bedrooms per the updated septic system application stating design load capacity</li> <li>2) Separate permits are required for any electrical or plumbing work.</li> <li>3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol>			

087 H003001

87 -4-3-5

# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

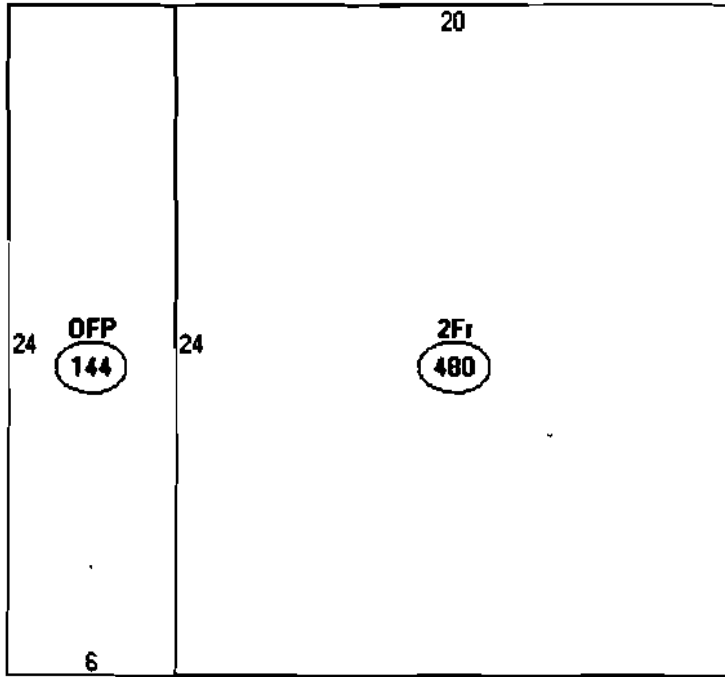
Location/Address of Construction: 118 Pleasant Ave, Peaks Island		
Total Square Footage of Proposed Structure Site Coverage: 1,668	Floor space: 2,278	Square Footage of Lot 20,691
Tax Assessor's Chart, Block & Lot Chart# 87 Block# H Lot# 3-5	Owner: David + Jane Adams	Telephone: 1(603)-435-6545
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Thompson Johnson Woodworks 9 Adams St., Peaks Island 766-5919	Cost Of Work: \$109,000 Fee: \$786.00
Current use: Residential		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: Same		
Project description: 24' x 48' Addition, Rebuild existing Porches, Convert current Bathroom to 1/2 bath, <del>expand over West Porch (phase II)</del>		
Contractor's name, address & telephone: Thompson Johnson Woodworks 9 Adams St., Peaks Island, ME 766-5919		
Who should we contact when the permit is ready: _____		
Mailing address: same as above		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 766-5919		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 06/10/03
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This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4<sup>th</sup> floor of City Hall



Descriptor/Area

A: 2Fr  
480 sqft

B: OFF  
144 sqft

>624

New ~~1775~~ 1775

~~2,379 SF~~  
1799

IR 2 zone

OK

17,702

x 20%

3540.4 SF

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	087 H003001
<b>Location</b>	116 PLEASANT AVE PI
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	ADAMS JANE L & DAVID L JTS 61 CONCORD HILL RD PITTSFIELD NH 03263
<b>Book/Page</b>	12205/20
<b>Legal</b>	87-H-3-5 R ISLAND AVE PEAKS ISLAND 17702 SF

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$51,350	\$33,600	\$84,950

**Property Information**

<b>Year Built</b> 1897	<b>Style</b> Old Style	<b>Story Height</b> 2	<b>Sq. Ft.</b> 760	<b>Total Area</b> 0.406		
<b>Bedrooms</b> 3	<b>Full Baths</b> 1	<b>Half Baths</b>	<b>Total Rooms</b> 5	<b>Attic</b> None	<b>Basement</b> Crawl	

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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**Sales Information**

<b>Date</b> 11/01/1995	<b>Type</b> LAND + BLDING	<b>Price</b> \$85,000	<b>Book/Page</b> 12205-020
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**Picture and Sketch**

[Picture](#)

[Sketch](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).





**CITY OF PORTLAND, MAINE**  
**Department of Building Inspections**

June 9 2003

Received from Thompson & Johnson

Location of Work 118 Pleasant Ave P.I.

Cost of Construction \$ 109,000

Permit Fee \$ 786.00

Building (I)  Plumbing (I5)  Electrical (I2)  Site Plan (U2)

Other

CBL: 81-43-5

Check #: 1280

Total Collected \$ 786.00

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy







**WSI QUOTE** Garage Trusses for 118 Pleasant Ave PI

**CUSTOMER:** MEWEDD  
**HILLSIDE LUMBER**  
 781 COUNTY ROAD  
 WESTBROOK, ME 04092

**JOS NAME:** PEAKS ISLAND  
**SHIP TO:**

**JOHN PURA**

**QUOTE #** 812881  
**QUOTE DATE:** 6/29/03  
 Page 1 of 1

<b>PREPARED BY:</b> MATTHEW	<b>CHECKED BY:</b>	<b>CUSTOMER POB</b>	764-5297
<b>DATE ORDERED:</b>	<b>ORDER TAKEN</b>	<b>DELIVERY DATE:</b> 06/08/2003	

**ROOF TRUSS**

PROFILE	LAMB	QTY	OVRALL LETH	NET SPAN	RITCH		TYPE	OVERHANG		CUT	LOADING	CANTILEVER		SFC	BRG SIZE		UNIT PRICE	TOTAL PRICE
					TOP	BOT		LEFT	RIGHT			LEFT	RIGHT		LEFT	RIGHT		
	001	20	24-00-00	24-00-00	12	0	ATTIC	01-00-00	01-00-00	P	42-10-0-10	00-00-00	00-00-00	24	00-00-00	00-00-00		

**ROOF TRUSS SUB-TOTAL:**

<b>JOB NOTES TO CUSTOMER:</b> PLOT APPROVAL REQUIRED QUOTE ONLY WSI TRUCKS NOT ABLE TO DELIVER TO PEAKS ISLAND MUST KNOW SIZE LIMITATIONS FOR ISLAND DELIVERY NO INFORMATION ON STAIRWELLS AT TIME OF QUOTE NO INFORMATION ON MATCHING EXISTING FRAMING AT TIME OF QUOTE 14' X 78' X 408 @ L380 LIVING	<b>INFO. FROM:</b> PLAN DATE: <b>SPECIAL INSTRUCTIONS FOR DESIGN:</b> 14' X 78' X 408 @ L380 LIVING	<b>SUB-TOTAL</b>
		<b>DISCOUNTS</b>
		<b>GRAND TOTAL</b> 5,348.46

\*\*\* QUANTITY CHANGES WILL EFFECT PRICES\* MAXIMUM UNLOADING TIME IS 1 HOUR\*  
 TRUSS SYMBOLS CONCEPTUAL ONLY NOT FOR DESIGN

LESS YOUR DISCOUNT

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initialzing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB Pre-construction Meeting: Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

Footing/Building Location Inspection: Prior to pouring concrete

NA Re-Bar Schedule Inspection: Prior to pouring concrete

NA Foundation Inspection: Prior to placing ANY backfill

Framing/Rough Plumbing/Electrical: Prior to any insulating or drywalling

Final/Certificate of Occupancy: Prior to any occupancy of the structure or use. ~~NOTE: There is a \$36.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.

NA **CERTIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of applicant/designee

J Anne Bourke  
Signature of Inspections Official

Date

6/9/03  
Date

CBL: 87-H3-5

Building Permit #:

03-0648

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK

## CITY OF PORTLAND

Please Read  
Application And  
Notes, If Any,  
Attached

BUILDING DEPARTMENT

PERMIT ISSUED

Permit Number: 030648

JUN 09 2003

This is to certify that Adams Jane L & David L Jts Thompson Woodwohas permission to Build 24x48 addition/garage build ext g port

CITY OF PORTLAND

AT 118 Pleasant Ave Pi 087 H003001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is occupied or closed-in. **HEAR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

## OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Daniel Bank* 6/9/03  
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

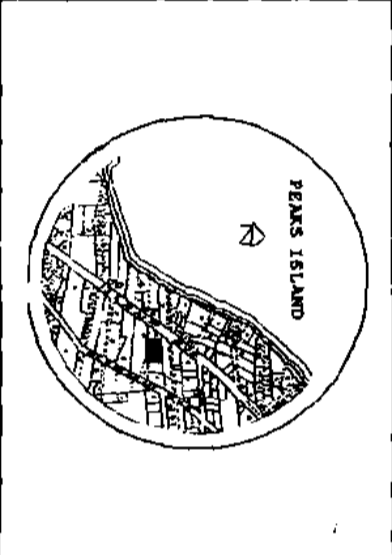
**GENERAL NOTES**

- 1) SCOPE: The project is comprised of the 1500 sq. ft. building and associated parking structure located at the intersection of Island Avenue and Pleasant Avenue, Pearl and Heron Islands, Guam. The project includes the construction of a new building and parking structure, and the demolition of an existing building. The project also includes the construction of a new parking structure and the relocation of existing parking spaces. The project shall be completed in accordance with the attached drawings and specifications.
- 2) CONTRACT DOCUMENTS: The contract documents shall include the attached drawings and specifications, the contract agreement, and the general conditions of contract. The contract documents shall be read in their entirety and shall be construed to be consistent with each other. In the event of any conflict, the contract agreement shall prevail over the drawings and specifications, and the general conditions of contract shall prevail over the contract agreement.
- 3) SITE CONDITIONS: The contractor shall be responsible for verifying the accuracy of the site conditions shown on the drawings and specifications. The contractor shall be responsible for obtaining all necessary permits and approvals from the appropriate authorities. The contractor shall be responsible for maintaining access to adjacent properties and for protecting existing utilities and structures. The contractor shall be responsible for the safety of all workers and the public during the construction process.
- 4) MATERIALS AND WORKMANSHIP: All materials and workmanship shall conform to the requirements of the attached drawings and specifications. The contractor shall be responsible for providing all materials and labor necessary for the completion of the project. The contractor shall be responsible for the quality control of all materials and workmanship. The contractor shall be responsible for the safety of all workers and the public during the construction process.
- 5) CONSTRUCTION SCHEDULE: The contractor shall be responsible for developing and submitting a construction schedule to the project manager. The construction schedule shall include the start and completion dates for all major activities. The contractor shall be responsible for updating the construction schedule as the project progresses. The contractor shall be responsible for the timely completion of the project.
- 6) COMMUNICATION: The contractor shall be responsible for maintaining open communication with the project manager and the other stakeholders. The contractor shall be responsible for providing regular progress reports and for addressing any issues that arise during the construction process. The contractor shall be responsible for the safety of all workers and the public during the construction process.
- 7) DEMOLITION: The contractor shall be responsible for the safe and efficient demolition of the existing building. The contractor shall be responsible for the removal and disposal of all demolition debris. The contractor shall be responsible for the safety of all workers and the public during the demolition process.
- 8) FOUNDATION: The contractor shall be responsible for the construction of the foundation for the new building and parking structure. The contractor shall be responsible for the quality control of all foundation work. The contractor shall be responsible for the safety of all workers and the public during the foundation construction process.
- 9) STRUCTURE: The contractor shall be responsible for the construction of the structure for the new building and parking structure. The contractor shall be responsible for the quality control of all structure work. The contractor shall be responsible for the safety of all workers and the public during the structure construction process.
- 10) INTERIORS: The contractor shall be responsible for the construction of the interiors for the new building and parking structure. The contractor shall be responsible for the quality control of all interior work. The contractor shall be responsible for the safety of all workers and the public during the interior construction process.
- 11) FINISHES: The contractor shall be responsible for the construction of the finishes for the new building and parking structure. The contractor shall be responsible for the quality control of all finish work. The contractor shall be responsible for the safety of all workers and the public during the finish construction process.
- 12) UTILITIES: The contractor shall be responsible for the construction of the utilities for the new building and parking structure. The contractor shall be responsible for the quality control of all utility work. The contractor shall be responsible for the safety of all workers and the public during the utility construction process.
- 13) SITE WORK: The contractor shall be responsible for the construction of the site work for the new building and parking structure. The contractor shall be responsible for the quality control of all site work. The contractor shall be responsible for the safety of all workers and the public during the site work construction process.
- 14) COMPLETION: The contractor shall be responsible for the completion of the project in accordance with the attached drawings and specifications. The contractor shall be responsible for the safety of all workers and the public during the completion process.

**SITE PLAN NOTES**

1. EXISTING AND PROPOSED UTILITIES: The contractor shall be responsible for verifying the accuracy of the existing and proposed utilities shown on the drawings and specifications. The contractor shall be responsible for protecting existing utilities and for installing new utilities as required.
2. CONTRACT DOCUMENTS: The contract documents shall include the attached drawings and specifications, the contract agreement, and the general conditions of contract. The contract documents shall be read in their entirety and shall be construed to be consistent with each other. In the event of any conflict, the contract agreement shall prevail over the drawings and specifications, and the general conditions of contract shall prevail over the contract agreement.
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**VICINITY MAP**



**AREA CALCULATIONS**

**BUILDING FOOTPRINT**

Category	Area (sq. ft.)
Front	25' x 30' = 750
Rear	25' x 30' = 750
Side	20' x 30' = 600
<b>TOTAL</b>	<b>2100</b>

**EXISTING**

Category	Area (sq. ft.)
Existing Building	2100
Existing Parking	1500
<b>TOTAL</b>	<b>3600</b>

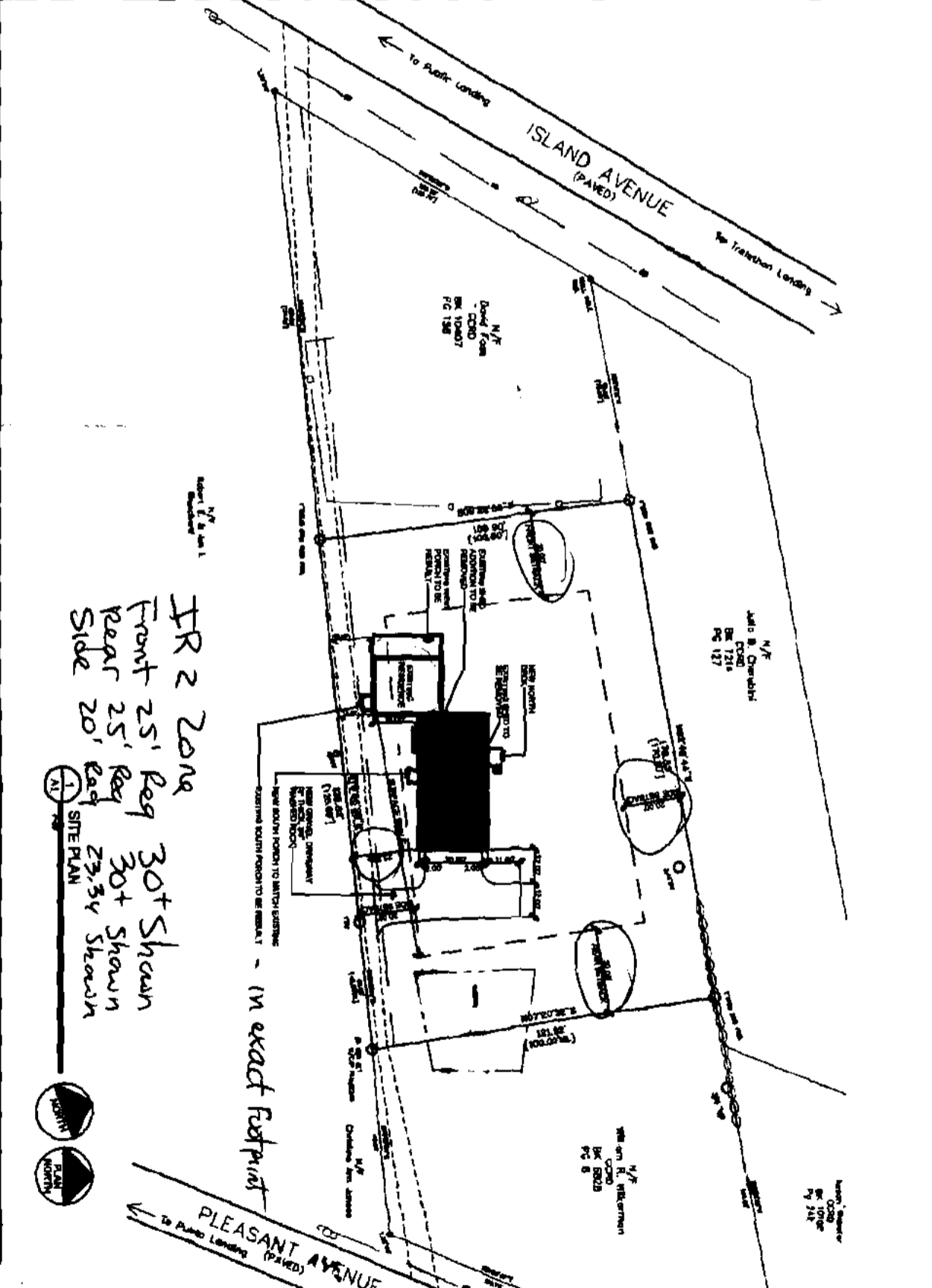
**PROPOSED**

Category	Area (sq. ft.)
Proposed Building	2100
Proposed Parking	1500
<b>TOTAL</b>	<b>3600</b>

- NOTES:**
1. SHADOWN AND ALTERNATE (A1) IS INCLUDED IN NEW AREA CALC.
  2. UNIMPROVED AREA INCLUDED GARAGE.
  3. ALTC AREAS NOT COUNTED IN AREA CALC.

**SHEET INDEX**

- A1 SITE PLAN AND NOTES
- A2 EXISTING / DEMOLITION PLANS
- A3 MAIN FLOOR CONSTRUCTION PLAN, SCHEDULES & NOTES
- A4 UPPER FLOOR CONSTRUCTION PLAN, ROOF PLAN & DETAILS
- A5 NORTH AND SOUTH ELEVATIONS, EAST & WEST ELEVATIONS, EXTERIOR MATERIALS SCHEDULE, NOTES & DETAILS
- A7 BUILDING SECTIONS
- A8 WALL SECTIONS & DETAILS
- F1 FRAMING



**PROJECT & SITE INFORMATION**

**PROJECT NAME:** [Blank]

**CLIENT:** [Blank]

**PROJECT NUMBER:** [Blank]

**DATE:** [Blank]

**SCALE:** [Blank]

**DESIGNER:** [Blank]

**CHECKER:** [Blank]

**APPROVED:** [Blank]

**DATE:** [Blank]

**PROJECT & SITE INFORMATION**

**PROJECT NAME:** [Blank]

**CLIENT:** [Blank]

**PROJECT NUMBER:** [Blank]

**DATE:** [Blank]

**SCALE:** [Blank]

**DESIGNER:** [Blank]

**CHECKER:** [Blank]

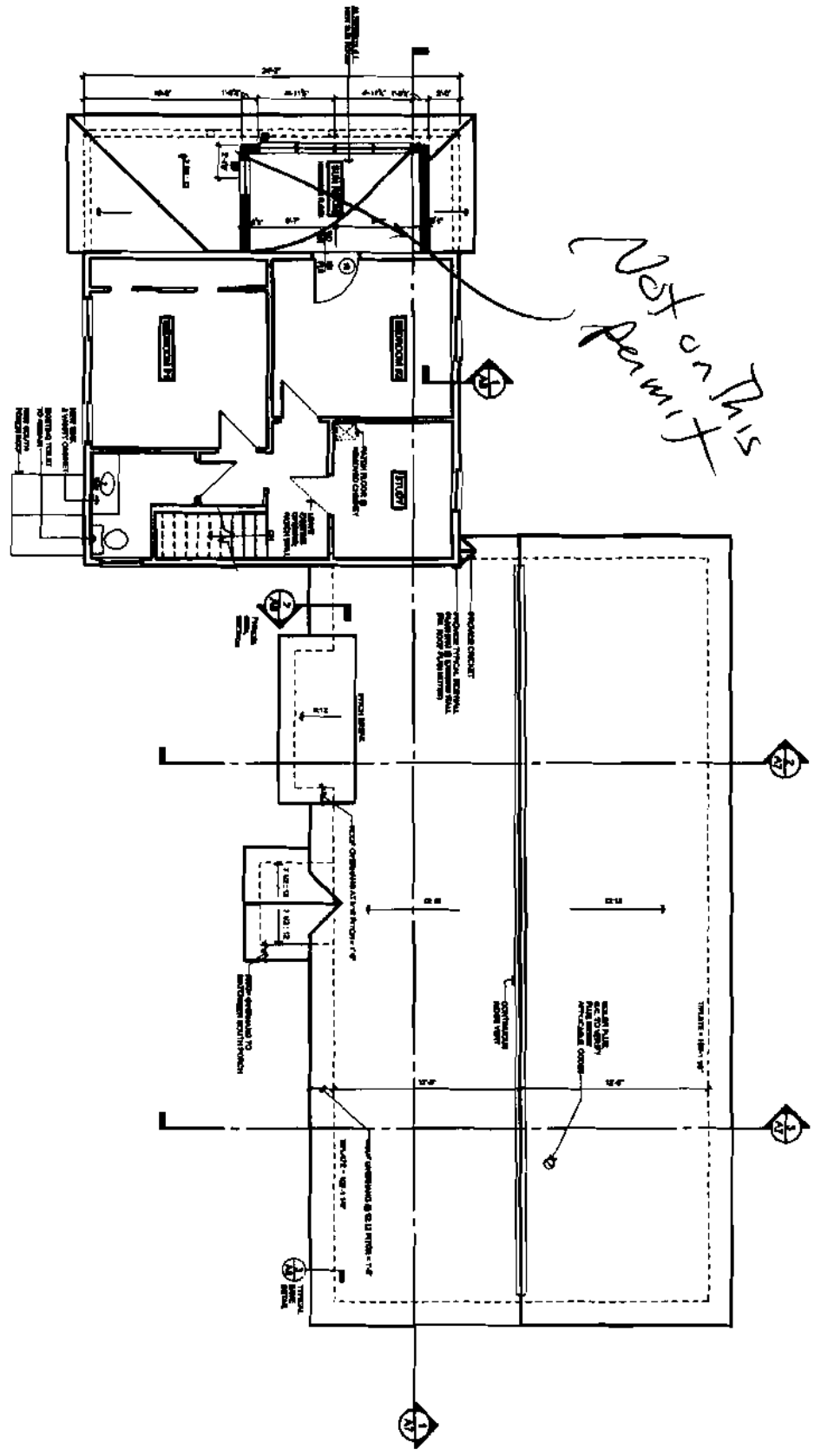
**APPROVED:** [Blank]

**DATE:** [Blank]

A1

**ARCHITECTURAL**  
 1000 S. GARDEN AVENUE  
 SUITE 200  
 ANAHEIM, CA 92805  
 PHONE: (714) 771-1111  
 FAX: (714) 771-1112  
 WWW: WWW.ARTISTARCHITECTS.COM

ANAHEIM RESOURCE  
 ARCHITECTS &  
 PLANNERS  
 1000 S. GARDEN AVENUE  
 SUITE 200  
 ANAHEIM, CA 92805



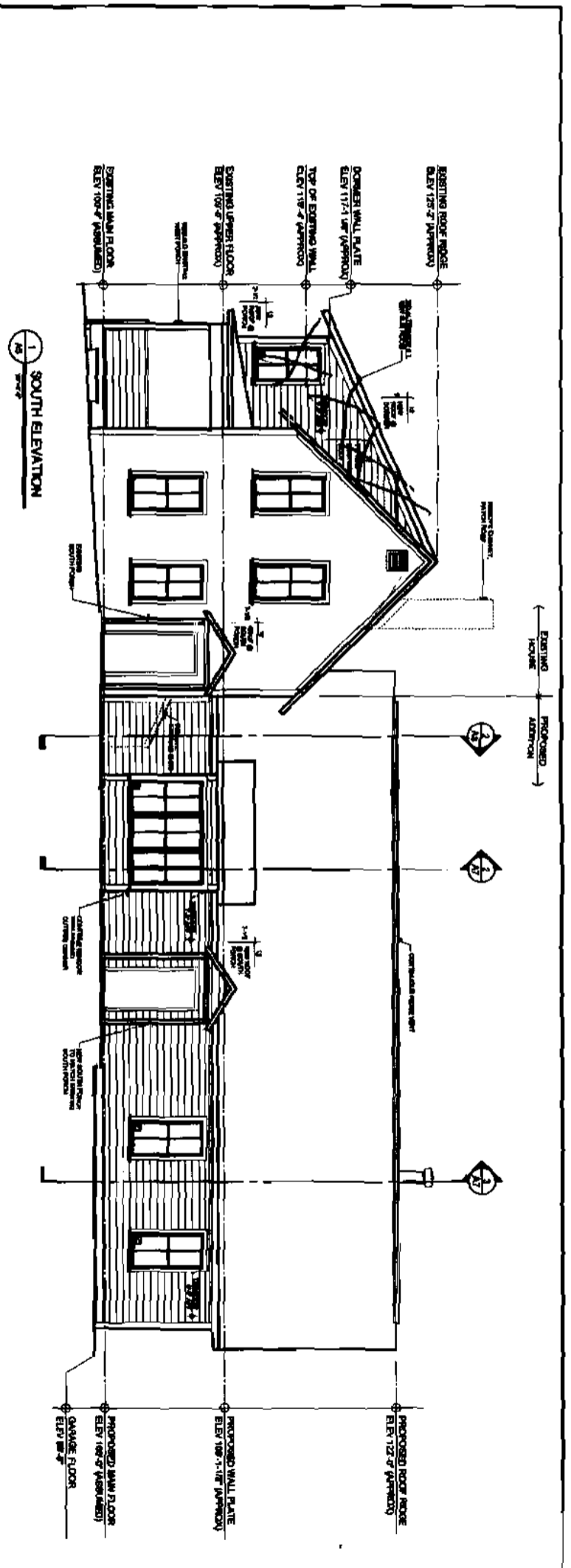
**1 UPPER FLOOR & ROOF CONSTRUCTION PLANS**  
 1/2" = 1'-0"

**ROOF PLAN NOTES**

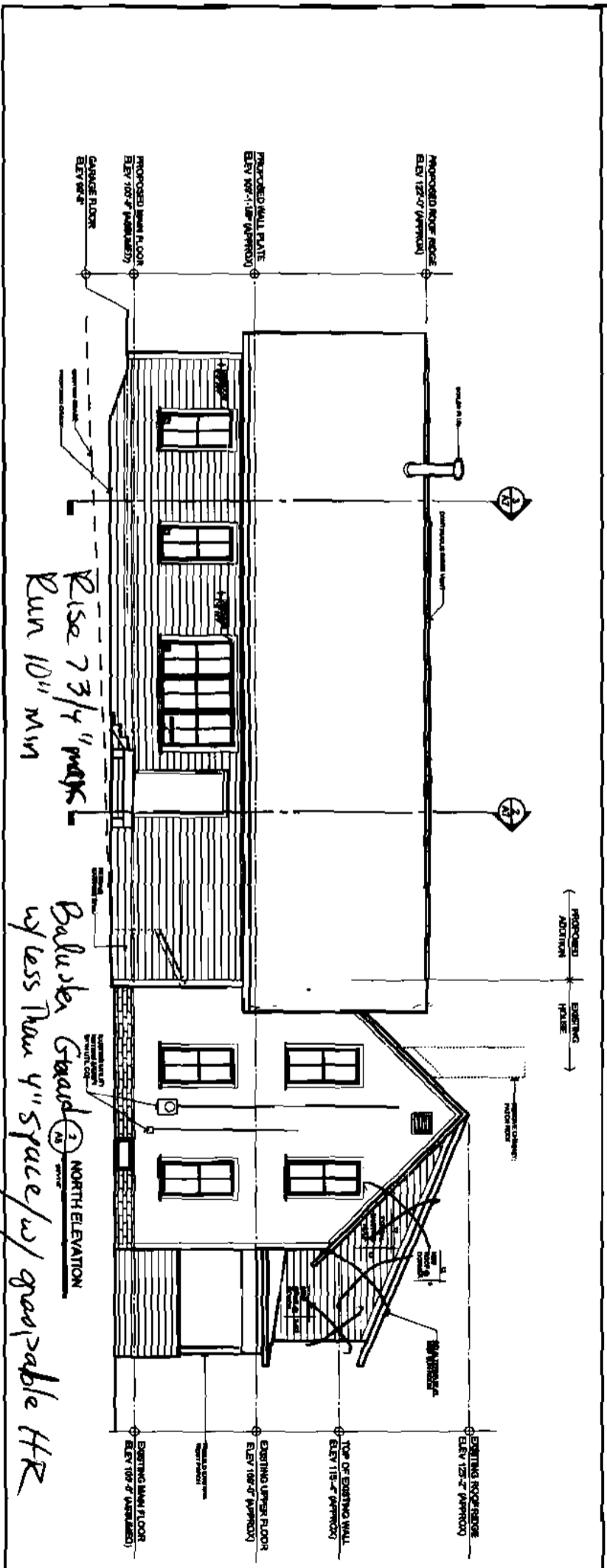
- 1) ROOF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- 2) ROOF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
- 3) ALL ROOFING SHALL BE INSTALLED OVER A 2" MINIMUM THICKNESS OF CONCRETE OR GYPSUM BOARD.
- 4) ROOF DRAINAGE SHALL BE INSTALLED TO EXISTING DRAINAGE SYSTEMS.
- 5) ROOF FLASHING SHALL BE INSTALLED TO EXISTING FLASHING SYSTEMS.
- 6) ROOF FLASHING SHALL BE INSTALLED TO EXISTING FLASHING SYSTEMS.
- 7) ROOF FLASHING SHALL BE INSTALLED TO EXISTING FLASHING SYSTEMS.
- 8) ROOF FLASHING SHALL BE INSTALLED TO EXISTING FLASHING SYSTEMS.
- 9) ROOF FLASHING SHALL BE INSTALLED TO EXISTING FLASHING SYSTEMS.
- 10) ROOF FLASHING SHALL BE INSTALLED TO EXISTING FLASHING SYSTEMS.

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DATE	4/20/2023
SCALE	1/2" = 1'-0"
REV. NO.	0
REV. DATE	4/20/2023
REV. DESCRIPTION	
DESIGNED BY	AJAY K. KUMAR
CHECKED BY	AJAY K. KUMAR
PROJECT	1000 S. GARDEN AVENUE
PROJECT #	1000 S. GARDEN AVENUE



1 SOUTH ELEVATION



2 NORTH ELEVATION

Rise 7 3/4" max  
Run 10" min

Baluster Guard  
unless than 4" space/w/ graspable HR

**ARCHITECT**  
 1234 Main Street  
 Anytown, CA 90210  
 (555) 555-1234  
 www.architect.com

**DATE:** 01/15/2024

**PROJECT:** 24-0001

**SCALE:** AS SHOWN

**NOTES:**  
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.  
 2. FINISHES TO BE DETERMINED BY THE CLIENT.  
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**ADDRESS:**  
 1234 Main Street  
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NO.	DATE	DESCRIPTION
1	01/15/2024	ISSUED FOR PERMIT
2	01/15/2024	ISSUED FOR PERMIT
3	01/15/2024	ISSUED FOR PERMIT
4	01/15/2024	ISSUED FOR PERMIT
5	01/15/2024	ISSUED FOR PERMIT
6	01/15/2024	ISSUED FOR PERMIT
7	01/15/2024	ISSUED FOR PERMIT
8	01/15/2024	ISSUED FOR PERMIT
9	01/15/2024	ISSUED FOR PERMIT
10	01/15/2024	ISSUED FOR PERMIT

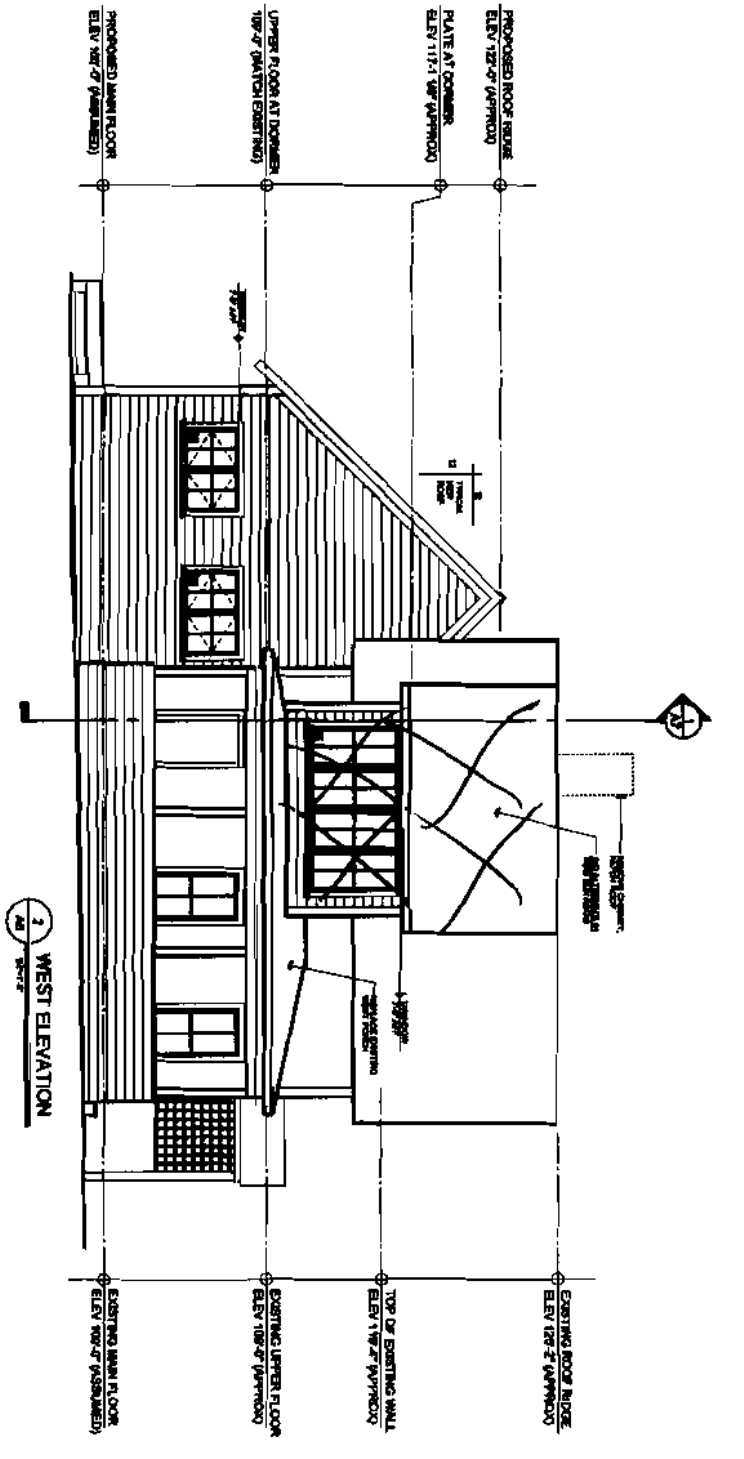
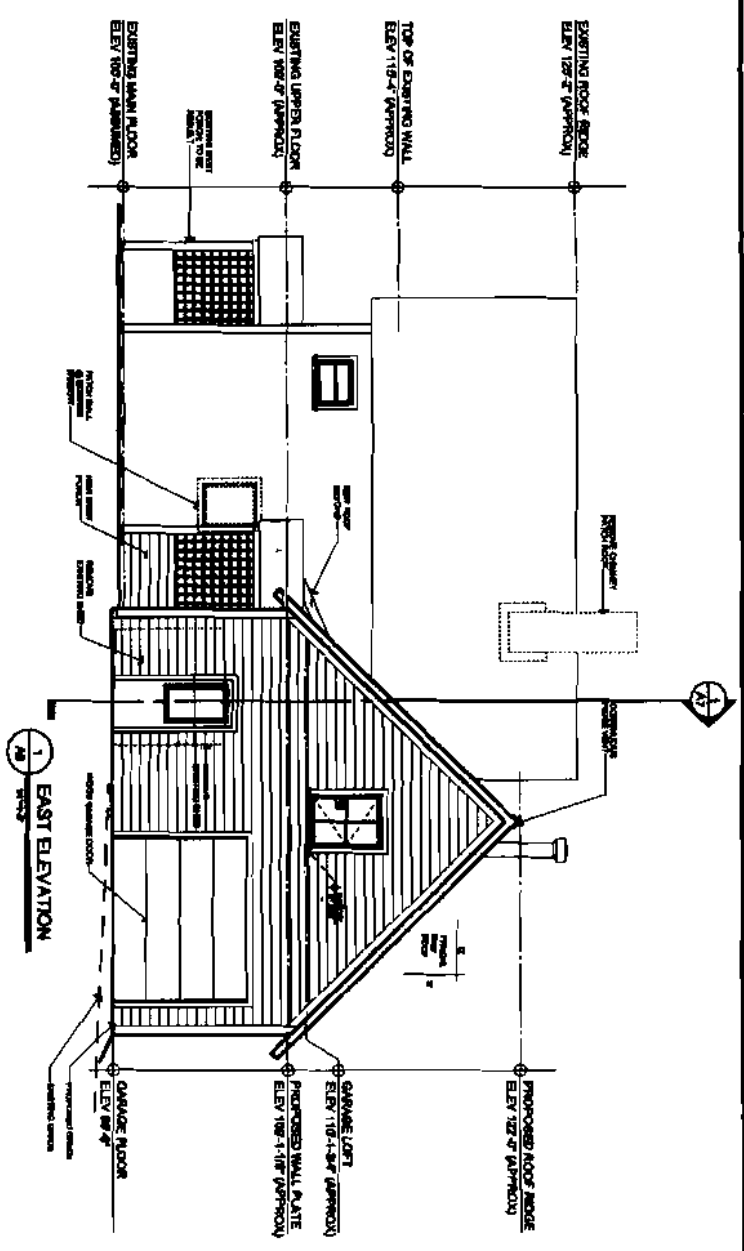
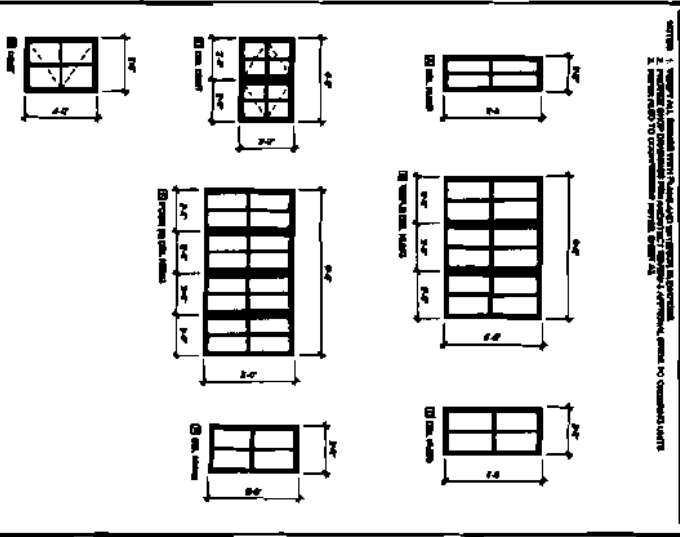
**PROJECT:** 24-0001  
**DATE:** 01/15/2024  
**SCALE:** AS SHOWN  
**NOTES:**  
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**EXTERIOR MATERIALS SCHEDULE**

TAG	ITEM	MATERIAL	COLOR
01	BRICK	BRICK	BRICK
02	CONCRETE	CONCRETE	CONCRETE
03	WOOD	WOOD	WOOD
04	GLASS	GLASS	GLASS
05	ROOFING	ROOFING	ROOFING
06	PAINT	PAINT	PAINT
07	FINISH	FINISH	FINISH
08	LANDSCAPE	LANDSCAPE	LANDSCAPE
09	MECHANICAL	MECHANICAL	MECHANICAL
10	ELECTRICAL	ELECTRICAL	ELECTRICAL
11	PLUMBING	PLUMBING	PLUMBING
12	MECHANICAL	MECHANICAL	MECHANICAL
13	ELECTRICAL	ELECTRICAL	ELECTRICAL
14	PLUMBING	PLUMBING	PLUMBING
15	MECHANICAL	MECHANICAL	MECHANICAL
16	ELECTRICAL	ELECTRICAL	ELECTRICAL
17	PLUMBING	PLUMBING	PLUMBING
18	MECHANICAL	MECHANICAL	MECHANICAL
19	ELECTRICAL	ELECTRICAL	ELECTRICAL
20	PLUMBING	PLUMBING	PLUMBING
21	MECHANICAL	MECHANICAL	MECHANICAL
22	ELECTRICAL	ELECTRICAL	ELECTRICAL
23	PLUMBING	PLUMBING	PLUMBING
24	MECHANICAL	MECHANICAL	MECHANICAL
25	ELECTRICAL	ELECTRICAL	ELECTRICAL
26	PLUMBING	PLUMBING	PLUMBING
27	MECHANICAL	MECHANICAL	MECHANICAL
28	ELECTRICAL	ELECTRICAL	ELECTRICAL
29	PLUMBING	PLUMBING	PLUMBING
30	MECHANICAL	MECHANICAL	MECHANICAL
31	ELECTRICAL	ELECTRICAL	ELECTRICAL
32	PLUMBING	PLUMBING	PLUMBING
33	MECHANICAL	MECHANICAL	MECHANICAL
34	ELECTRICAL	ELECTRICAL	ELECTRICAL
35	PLUMBING	PLUMBING	PLUMBING
36	MECHANICAL	MECHANICAL	MECHANICAL
37	ELECTRICAL	ELECTRICAL	ELECTRICAL
38	PLUMBING	PLUMBING	PLUMBING
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44	PLUMBING	PLUMBING	PLUMBING
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46	ELECTRICAL	ELECTRICAL	ELECTRICAL
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49	ELECTRICAL	ELECTRICAL	ELECTRICAL
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53	PLUMBING	PLUMBING	PLUMBING
54	MECHANICAL	MECHANICAL	MECHANICAL
55	ELECTRICAL	ELECTRICAL	ELECTRICAL
56	PLUMBING	PLUMBING	PLUMBING
57	MECHANICAL	MECHANICAL	MECHANICAL
58	ELECTRICAL	ELECTRICAL	ELECTRICAL
59	PLUMBING	PLUMBING	PLUMBING
60	MECHANICAL	MECHANICAL	MECHANICAL
61	ELECTRICAL	ELECTRICAL	ELECTRICAL
62	PLUMBING	PLUMBING	PLUMBING
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95	PLUMBING	PLUMBING	PLUMBING
96	MECHANICAL	MECHANICAL	MECHANICAL
97	ELECTRICAL	ELECTRICAL	ELECTRICAL
98	PLUMBING	PLUMBING	PLUMBING
99	MECHANICAL	MECHANICAL	MECHANICAL
100	ELECTRICAL	ELECTRICAL	ELECTRICAL

**NOTES:**  
 1. ALL MATERIALS TO BE USED IN THIS PROJECT SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.  
 2. ALL MATERIALS TO BE USED IN THIS PROJECT SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.  
 3. ALL MATERIALS TO BE USED IN THIS PROJECT SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

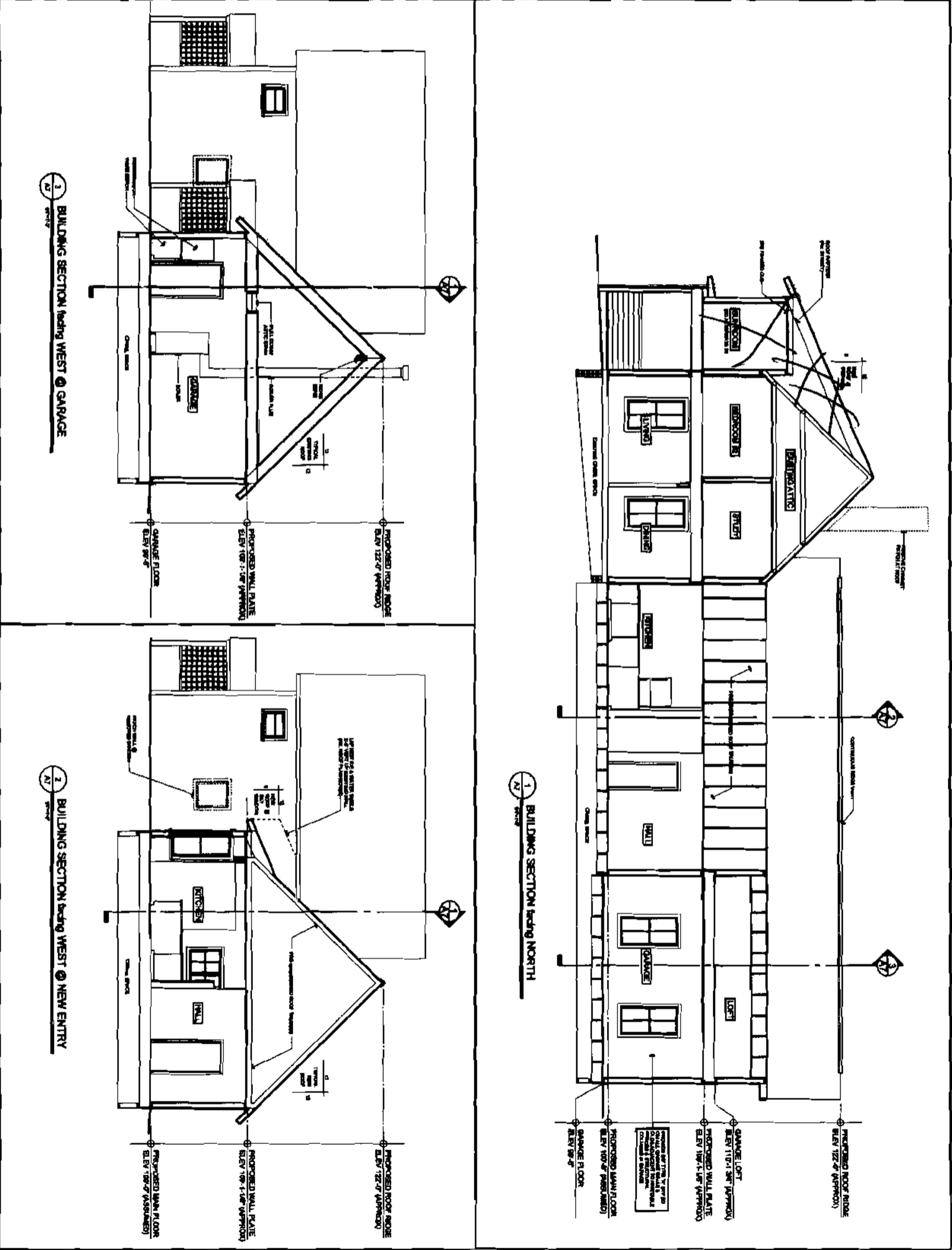
**WINDOW TYPES**



**ARCHITECT'S OFFICE**  
 1234 MAIN STREET  
 ANYTOWN, CA 90210  
 TEL: (555) 123-4567  
 FAX: (555) 987-6543  
 WWW: WWW.ARCHITECT.COM

**ADDITIONAL NOTES:**  
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 3. ALL MATERIALS TO BE USED IN THIS PROJECT SHALL BE OF THE HIGHEST QUALITY AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE ARCHITECT.

**PROJECT & SITE**  
 PROJECT NO. 12345  
 SITE NO. 67890  
 DATE: 12/15/2023  
 DRAWN BY: J. SMITH  
 CHECKED BY: A. JONES  
 APPROVED BY: B. BROWN



**ARCHITECT**  
 ARCHITECT FIRM  
 ADDRESS  
 PHONE  
 WEBSITE

**PROJECT**  
 ADDRESS  
 CITY  
 STATE  
 ZIP

DATE	1/15/2024
SCALE	1/8" = 1'-0"
PROJECT	1/15/2024
NO. CD	1/15/2024
DATE	1/15/2024
NO. CD	1/15/2024
DATE	1/15/2024
NO. CD	1/15/2024
DATE	1/15/2024
NO. CD	1/15/2024
DATE	1/15/2024
NO. CD	1/15/2024



WILLIAM  
WHITED, INC.

ARCHITECTURE  
ENGINEERING  
INTERIORS

William E. Whited, PE, RA

137 Burlington Avenue  
Portland, Maine 04103  
Tel: 207.638.4530  
Fax: 207.638.4533

ADAMS RESIDENCE  
ADDITIONS &  
ALTERATIONS

PLEASANT STREET  
PLEASANT ISLAND  
MAINE



CONSTRUCTION FROM THIS DRAWING IS  
AUTHORIZED ONLY WHEN "SEAL" AND "SIGNATURE"  
BY THE ENGINEER OR ARCHITECT ARE  
RESPONSIBLE FOR ITS PREPARATION

DATE	DESCRIPTION

PROJECT NO.

DATE

PLAT SCALE 1/4" = 1'-0"

CAD FILE

BY

CHECKED BY

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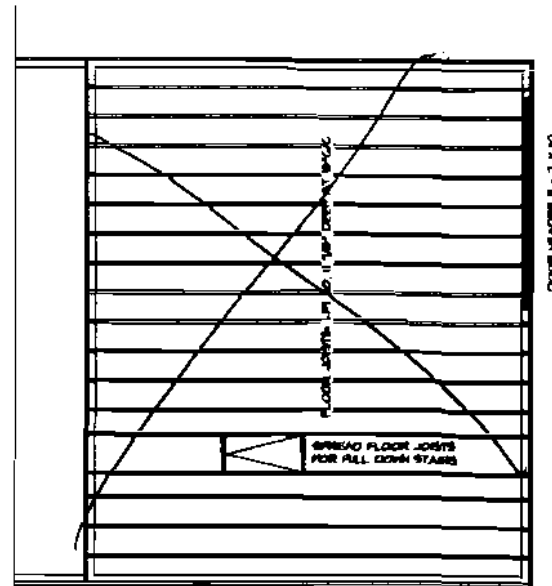
SHEET TITLE

FRAMING

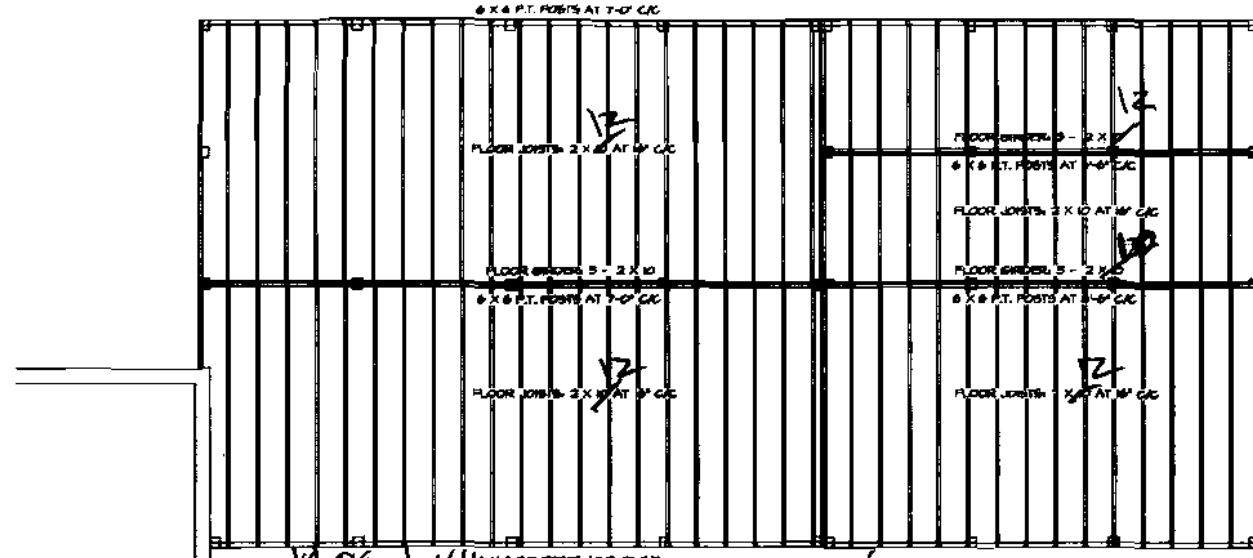
FI

SHEET OF

REVISION NO.

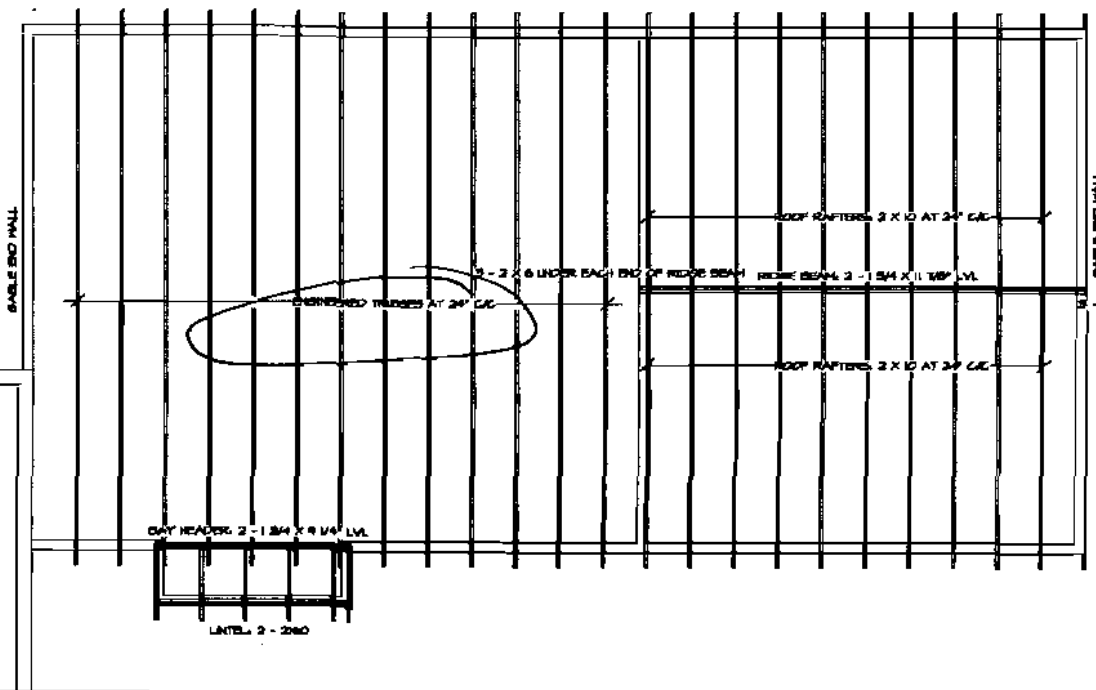


See Roof Truss design  
GARAGE LOFT FRAMING - 1/4" = 1'-0"

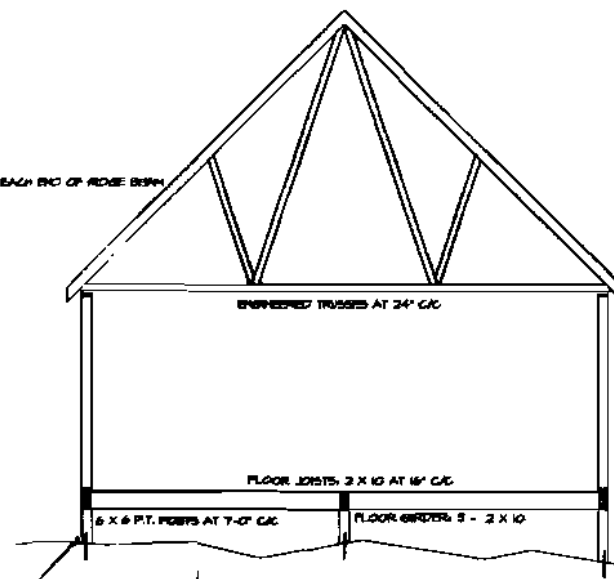


Foundation  
Plan

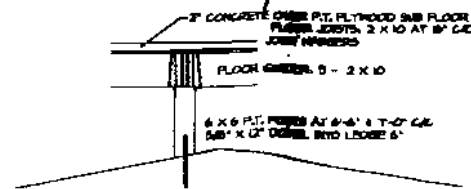
FLOOR FRAMING - 1/4" = 1'-0"  
2-2x10 sills all around @ 7' span ok  
Girders/sills PT  
Post Anchored to piers  
w/ 1/2" Lagged 4" into post  
and epoxy into precast  
pier



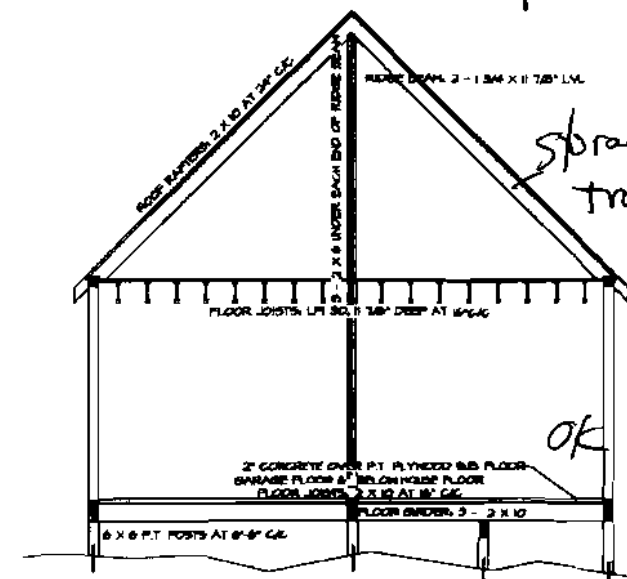
ROOF FRAMING - 1/4" = 1'-0"



HOUSE SECTION - 1/4" = 1'-0"  
pre cast w/ footer



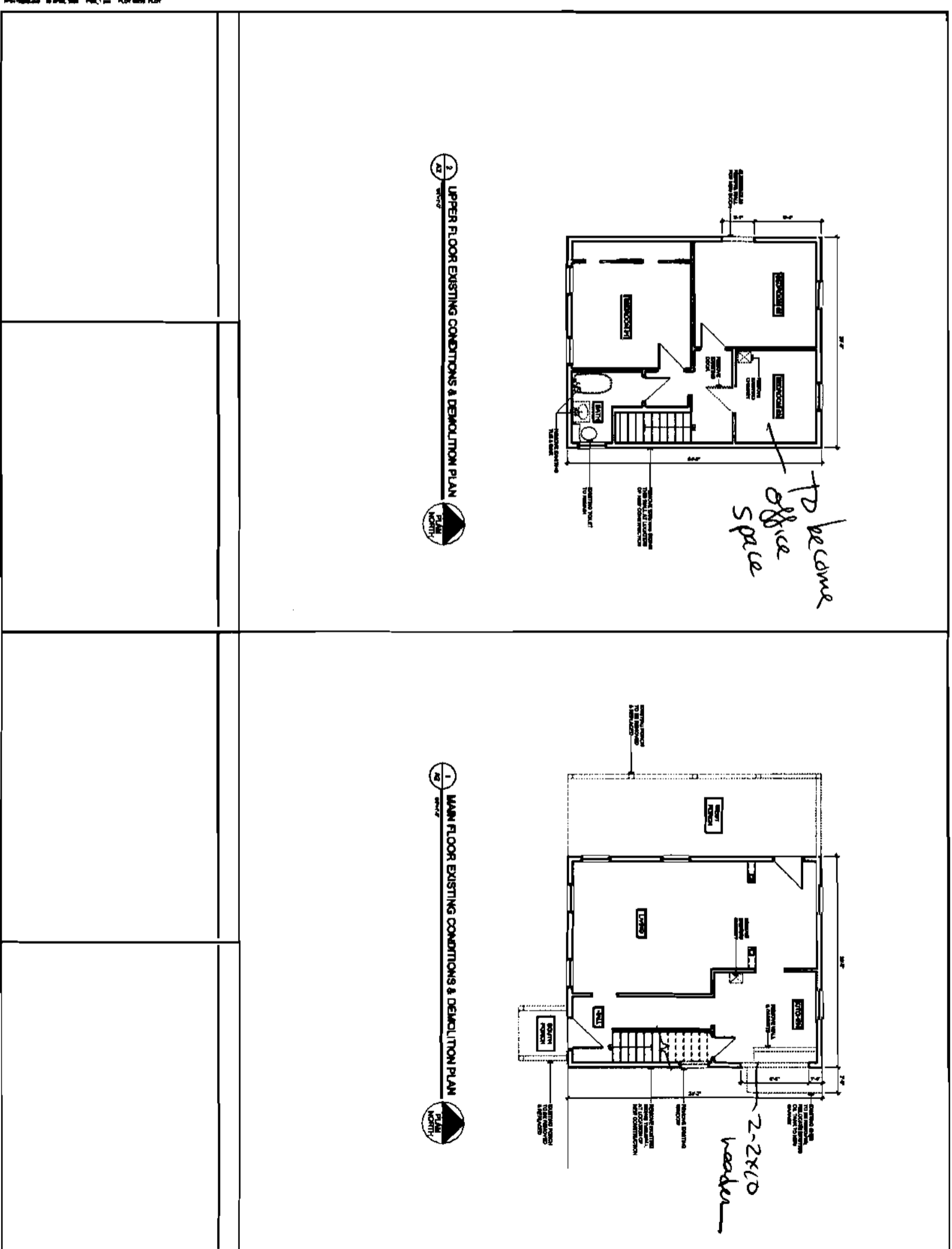
POST DETAIL - 1/2" = 1'-0"



GARAGE SECTION - 1/4" = 1'-0"

NOTES:  
SNOW BRIND FORCE: 50 POUNDS PER SQUARE FOOT.  
WIND FORCE: 140 MPH. 22.8 POUNDS PER SQUARE FOOT.  
SEPARATE GARAGE FROM HOUSE WITH 5/8" TYPE PR GYPSUM BOARD  
AND SOLID CORE HOOD DOOR.





2 UPPER FLOOR EXISTING CONDITIONS & DEMOLITION PLAN

1 MAIN FLOOR EXISTING CONDITIONS & DEMOLITION PLAN

PROJECT: [Illegible]

**ATTENTION ARCHITECTS**  
 NEW ARCHITECTURAL PLAN  
 400 - 400 - 0000  
 THE ARCHITECT AND ENGINEER  
 PROJECT NO. [Illegible]  
 SHEET NO. [Illegible]  
 DATE: [Illegible]

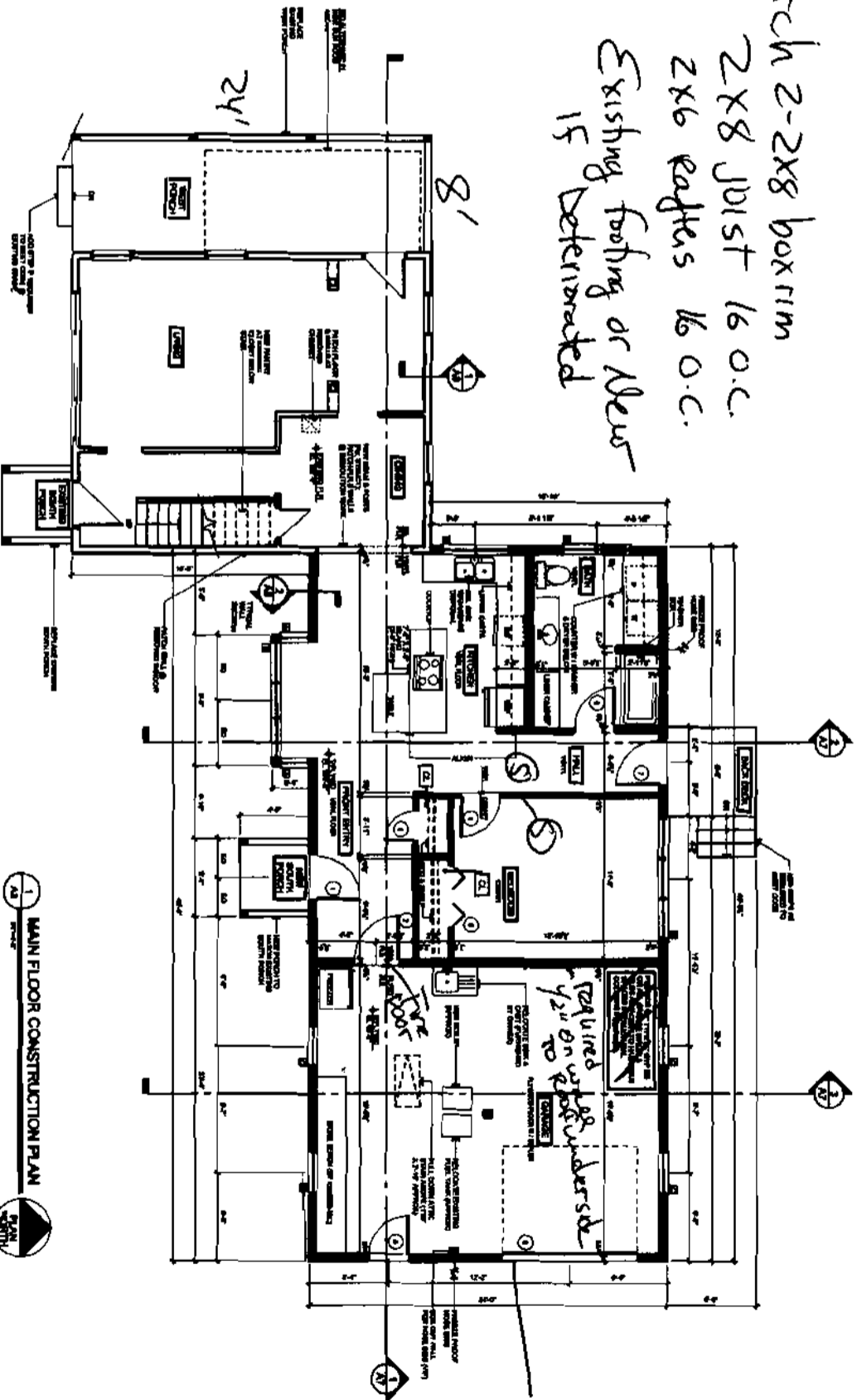
ADRIAN ROSENBERG  
 ARCHITECT &  
 ALYSSA TAYLOR

NO.	REVISION	DATE
1	ISSUE FOR PERMIT	12/20/2023
2	ISSUE FOR PERMIT	12/20/2023
3	ISSUE FOR PERMIT	12/20/2023
4	ISSUE FOR PERMIT	12/20/2023
5	ISSUE FOR PERMIT	12/20/2023
6	ISSUE FOR PERMIT	12/20/2023
7	ISSUE FOR PERMIT	12/20/2023
8	ISSUE FOR PERMIT	12/20/2023
9	ISSUE FOR PERMIT	12/20/2023
10	ISSUE FOR PERMIT	12/20/2023

PROJECT NO. [Illegible]  
 SHEET NO. [Illegible]  
 DATE: [Illegible]

Porch 2-2x8 box rim  
2x8 joist 16 o.c.  
2x6 rafters 16 o.c.

Existing flooring or floor  
is deteriorated



2-2x12 header

INTERIOR FINISH NOTES

- 1) FLOORING: All interior rooms shall be finished with 3/4" thick solid core laminate flooring over 1/2" thick plywood subfloor. In all rooms, laminate flooring shall be installed in the same direction as the wall studs. Laminate flooring shall be installed with a 1/8" expansion gap between pieces and a 1/4" expansion gap between the flooring and the walls.
- 2) WALLS: All interior walls shall be finished with 5/8" thick gypsum board. In all rooms, gypsum board shall be installed with a 1/8" expansion gap between pieces and a 1/4" expansion gap between the gypsum board and the walls.
- 3) CEILING: All interior ceilings shall be finished with 5/8" thick gypsum board. In all rooms, gypsum board shall be installed with a 1/8" expansion gap between pieces and a 1/4" expansion gap between the gypsum board and the walls.
- 4) PAINT: All interior walls and ceilings shall be finished with a two-coat system of primer and finish paint. The primer shall be applied to all surfaces and the finish paint shall be applied in two coats. The finish paint shall be a light neutral color.
- 5) DOORS: All interior doors shall be finished with a two-coat system of primer and finish paint. The primer shall be applied to all surfaces and the finish paint shall be applied in two coats. The finish paint shall be a light neutral color.
- 6) WINDOWS: All interior windows shall be finished with a two-coat system of primer and finish paint. The primer shall be applied to all surfaces and the finish paint shall be applied in two coats. The finish paint shall be a light neutral color.
- 7) TRIM: All interior trim shall be finished with a two-coat system of primer and finish paint. The primer shall be applied to all surfaces and the finish paint shall be applied in two coats. The finish paint shall be a light neutral color.
- 8) LIGHTING: All interior lighting shall be installed in accordance with the National Electrical Code. All lighting shall be installed in a safe and secure manner.
- 9) VENTILATION: All interior ventilation shall be installed in accordance with the National Mechanical Code. All ventilation shall be installed in a safe and secure manner.
- 10) PLUMBING: All interior plumbing shall be installed in accordance with the National Plumbing Code. All plumbing shall be installed in a safe and secure manner.
- 11) ELECTRICAL: All interior electrical shall be installed in accordance with the National Electrical Code. All electrical shall be installed in a safe and secure manner.
- 12) FINISH: All interior finish shall be installed in accordance with the applicable codes and standards. All finish shall be installed in a safe and secure manner.

DOOR & WINDOW NOTES

- 1) All doors and windows shall be installed in accordance with the applicable codes and standards. All doors and windows shall be installed in a safe and secure manner.
- 2) All doors shall be finished with a two-coat system of primer and finish paint. The primer shall be applied to all surfaces and the finish paint shall be applied in two coats. The finish paint shall be a light neutral color.
- 3) All windows shall be finished with a two-coat system of primer and finish paint. The primer shall be applied to all surfaces and the finish paint shall be applied in two coats. The finish paint shall be a light neutral color.
- 4) All doors and windows shall be installed in accordance with the applicable codes and standards. All doors and windows shall be installed in a safe and secure manner.
- 5) All doors shall be finished with a two-coat system of primer and finish paint. The primer shall be applied to all surfaces and the finish paint shall be applied in two coats. The finish paint shall be a light neutral color.
- 6) All windows shall be finished with a two-coat system of primer and finish paint. The primer shall be applied to all surfaces and the finish paint shall be applied in two coats. The finish paint shall be a light neutral color.

DOOR SCHEDULE

NO.	TYPE	SIZE	SWING	FINISH	REMARKS
1	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Living Room
2	DOOR	3'0" x 7'0"	LH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
3	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
4	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
5	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
6	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
7	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
8	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
9	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
10	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
11	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
12	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
13	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
14	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
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16	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
17	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
18	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
19	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom
20	DOOR	3'0" x 7'0"	RH	6-1/2" x 2-1/2" x 1-1/2"	Bedroom

1 MAIN FLOOR CONSTRUCTION PLAN



ARCHITECTURAL FIRM  
12345 Main Street  
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