

**PERMIT ISSUED**

**City of Portland, Maine - Building or Use Permit Application**  
389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0648	Issue Date: <b>JUN 09 2003</b>	CBL: 45 087 H003001
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Location of Construction: 118 Pleasant Ave Pi	Owner Name: Adams Jane L & David L Jts	Owner Address: 61 Concord Hill Rd <b>CITY OF PORTLAND</b>	Phone: 603-435-6545
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: 2077665219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <b>IR-2</b>

Past Use: Single Family	Proposed Use: Single Family	Permit Fee: <sup>36</sup> \$765.00	Cost of Work: \$109,000.00	CEO District: 3
Proposed Project Description: Build 24x48 addition/garage, rebuild existing porches		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <b>R3</b> Type: <b>5B</b> <b>BOCA 1999</b> Signature: <b>JMB 6/9/03</b>	
		PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.) Action: <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Signature: _____ Date: _____		

Permit Taken By: jmb	Date Applied For: 06/09/2003	<b>Zoning Approval</b>	
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<ol style="list-style-type: none"> <li>This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</li> <li>Building permits do not include plumbing, septic or electrical work.</li> <li>Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..</li> </ol>	<b>Special Zone or Reviews</b> <input type="checkbox"/> Shoreland <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> Date: <b>JMB 6/9/03</b>	<b>Zoning Appeal</b> <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<b>Historic Preservation</b> <input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: <b>6/9/03</b>
	<i>Approved w/conditions</i>		

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 03-0648	Date Applied For: 06/09/2003	CBL: 087 H003001
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Location of Construction: 118 Pleasant Ave Pi	Owner Name: Adams Jane L & David L Jts	Owner Address: 61 Concord Hill Rd	Phone: 603-435-6545
Business Name:	Contractor Name: Thompson & Johnson Woodworkers	Contractor Address: 344 Seashore Ave Peaks Island	Phone: (207) 766-5219
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family	Proposed Project Description: Build 24x48 addition/garage, rebuild existing porches
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Dept: Zoning	Status: Approved with Conditions	Reviewer: Jeanine Bourke	Approval Date: 06/09/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) The 2nd story sunroom dormer is not included in this permit, a separate application and approval must be submitted</li> <li>2) The existing porches are legally non-conforming as to setbacks, they may only be re-built in the existing footprint</li> <li>3) This is NOT an approval for an additional dwelling unit. You SHALL NOT add any additional kitchen equipment including, but not limited to items such as stoves, microwaves, refrigerators, or kitchen sinks, etc. Without special approvals.</li> <li>4) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.</li> </ol>			

Dept: Building	Status: Approved	Reviewer: Jeanine Bourke	Approval Date: 06/09/2003
Note:	Ok to Issue: <input checked="" type="checkbox"/>		
<ol style="list-style-type: none"> <li>1) The total structure will maintain only 3 bedrooms per the updated septic system application stating design load capacity</li> <li>2) Separate permits are required for any electrical or plumbing work.</li> <li>3) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.</li> </ol>			

087 H003001

87 -4-3-5

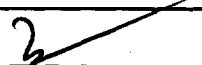
# All Purpose Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

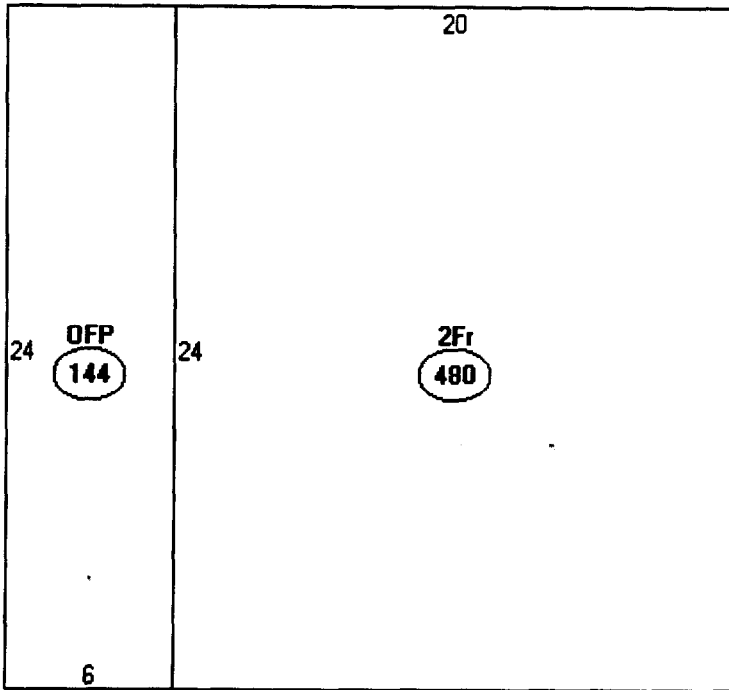
Location/Address of Construction: 118 Pleasant Ave, Peaks Island		
Total Square Footage of Proposed Structure Site Coverage: 1,668   Floor space: 2,278		Square Footage of Lot 20,691
Tax Assessor's Chart, Block & Lot Chart# 87 Block# H Lot# 3-5	Owner: David + Jane Adams	Telephone: 1 (603)-435-6545
Lessee/Buyer's Name (If Applicable)	Applicant name, address & telephone: Thompson Johnson Woodworks 9 Adams St., Peaks Island 766-5919	Cost Of Work: \$109,000 Fee: \$786.00
Current use: Residential		
If the location is currently vacant, what was prior use: _____		
Approximately how long has it been vacant: _____		
Proposed use: Same		
Project description: 24' x 48' Addition, Rebuild existing Porches, Convert current Bathroom to 1/2 bath, <del>expand on West Port (Phase II)</del>		
Contractor's name, address & telephone: Thompson Johnson Woodworks 9 Adams St., Peaks Island, ME 766-5919		
Who should we contact when the permit is ready: _____		
Mailing address: same as above		
We will contact you by phone when the permit is ready. You must come in and pick up the permit and review the requirements before starting any work, with a Plan Reviewer. A stop work order will be issued and a \$100.00 fee if any work starts before the permit is picked up. PHONE: 766-5919		

**IF THE REQUIRED INFORMATION IS NOT INCLUDED IN THE SUBMISSIONS THE PERMIT WILL BE AUTOMATICALLY DENIED AT THE DISCRETION OF THE BUILDING/PLANNING DEPARTMENT, WE MAY REQUIRE ADDITIONAL INFORMATION IN ORDER TO APPROVE THIS PERMIT.**

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: 	Date: 06/10/03
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**This is NOT a permit, you may not commence ANY work until the permit is issued. If you are in a Historic District you may be subject to additional permitting and fees with the Planning Department on the 4th floor of City Hall**



Descriptor/Area

A: 2Fr  
480 sqft

B: OFF  
144 sqft

>624

New ~~1448~~ 1775

~~2,399 SF~~  
1799

IR 2 zone

OK

17,702

x 20%

3540.4 SF

This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

<b>Card Number</b>	1 of 1
<b>Parcel ID</b>	087 H003001
<b>Location</b>	118 PLEASANT AVE PI
<b>Land Use</b>	SINGLE FAMILY
<b>Owner Address</b>	ADAMS JANE L & DAVID L JTS 61 CONCORD HILL RD PITTSFIELD NH 03263
<b>Book/Page</b>	12205/20
<b>Legal</b>	87-H-3-5 R ISLAND AVE PEAKS ISLAND 17702 SF

**Valuation Information**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$51,350	\$33,600	\$84,950

**Property Information**

<b>Year Built</b>	<b>Style</b>	<b>Story Height</b>	<b>Sq. Ft.</b>	<b>Total Acres</b>	
1890	Old Style	2	960	0.406	
<b>Bedrooms</b>	<b>Full Baths</b>	<b>Half Baths</b>	<b>Total Rooms</b>	<b>Attic</b>	<b>Basement</b>
3	1		5	None	Crawl

**Outbuildings**

<b>Type</b>	<b>Quantity</b>	<b>Year Built</b>	<b>Size</b>	<b>Grade</b>	<b>Condition</b>
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**Sales Information**

<b>Date</b>	<b>Type</b>	<b>Price</b>	<b>Book/Page</b>
11/01/1995	LAND + BLDING	\$85,000	12205-020

**Picture and Sketch**

[Picture](#)                      [Sketch](#)

[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed.](#)






Less your discount

QUANTITY CHANGES WILL EFFECT PRICES. MAXIMUM UNLOADING TIME IS 1 HOUR.  
TRUSS SYMBOLS CONCEPTUAL ONLY NOT FOR DESIGN

INFO. FROM: PLAN DATE: SPECIAL INSTRUCTIONS FOR DESIGN: 14' X 7.8' X 40# @ L/360 LIVING		JOB NOTES TO CUSTOMER: FLOT APPROVAL REQUIRED QUOTE ONLY WSI TRUCKS NOT ABLE TO DELIVER TO PEAKS ISLAND MUST KNOW SIZE LIMITATIONS FOR ISLAND DELIVERY NO INFORMATION ON STAIRWELLS AT TIME OF QUOTE NO INFORMATION ON MATCHING EXISTING FRAMING AT TIME OF QUOTE 14' X 7.8' X 40# @ L/360 LIVING
SUB-TOTAL	DISCOUNTS	
GRAND TOTAL	5,348.46	

ROOF TRUSS SUB-TOTAL:

PROFILE	QTY	OVERALL LGTH	NET SPAN	PITCH	TYPE	OVERHANG	LOADING	CANTILEVER	SPC	BRG SIZE	LEFT	RIGHT	UNIT PRICE	TOTAL PRICE
	20	24-00-00	24-00-00	12	0	01-00-00	01-00-00	01-00-00	P	42-10-0-10	00-00-00	00-00-00		
											LEFT	RIGHT		

ROOF TRUSS

DATE ORDERED:	ORDER TAKEN:	DELIVERY DATE:	08/09/2003
PREPARED BY: MATTHEW	CHECKED BY:	CUSTOMER PO#	764-5297

**WSI STRUCTURES INC.**  
 Box 367  
 Alfred Road Business Park  
 Biddeford, ME 04005  
 Tel: 207-282-7566  
 FAX: 207-282-7515  
 ME WATE: 000-339-8715  
 04-OF-BRM: 000-341-9513

CUSTOMER: MEWEDO	JOHN PURA
HILLSIDE LUMBER	WESTBROOK, ME 04092
781 COUNTY ROAD	
SHIP TO:	
JOB NAME: PEAKS ISLAND	

QUOTE # 212881  
 QUOTE DATE: 8/22/03  
 Page 1 of 1

WSI QUOTE Garage Trusses for 118 Pleasant Ave PJ

# BUILDING PERMIT INSPECTION PROCEDURES

Please call 874-8703 or ~~874-8693~~ to schedule your inspections as agreed upon

Permits expire in 6 months, if the project is not started or ceases for 6 months.

The Owner or their designee is required to notify the inspections office for the following inspections and provide adequate notice. Notice must be called in 48-72 hours in advance in order to schedule an inspection:

By initializing at each inspection time, you are agreeing that you understand the inspection procedure and additional fees from a "Stop Work Order" and "Stop Work Order Release" will be incurred if the procedure is not followed as stated below.

JB **Pre-construction Meeting:** Must be scheduled with your inspection team upon receipt of this permit. Jay Reynolds, Development Review Coordinator at 874-8632 must also be contacted at this time, before any site work begins on any project other than single family additions or alterations.

**Footing/Building Location Inspection:** Prior to pouring concrete

NA **Re-Bar Schedule Inspection:** Prior to pouring concrete

NA **Foundation Inspection:** Prior to placing ANY backfill

**Framing/Rough Plumbing/Electrical:** Prior to any insulating or drywalling

**Final/Certificate of Occupancy:** Prior to any occupancy of the structure or use. ~~NOTE: There is a \$35.00 fee per inspection at this point.~~

Certificate of Occupancy is not required for certain projects. Your inspector can advise you if your project requires a Certificate of Occupancy. All projects DO require a final inspection

**If any of the inspections do not occur, the project cannot go on to the next phase, REGARDLESS OF THE NOTICE OR CIRCUMSTANCES.**

NA **CERIFICATE OF OCCUPANICES MUST BE ISSUED AND PAID FOR, BEFORE THE SPACE MAY BE OCCUPIED**

Signature of applicant/designee

Jane Bonte  
Signature of Inspections Official

Date

6/9/03  
Date

CBL: 87-H3-5 Building Permit #: 03-0648



Notes, if Any,  
Attached

# CONSTRUCTION PERMIT

PERMIT ISSUED

Permit Number: 030648  
JUN 09 2003

This is to certify that Adams Jane L & David L Jts Compton Woodwo  
has permission to Build 24x48 addition/garage Build existing por  
AT 118 Pleasant Ave Pi 087 H003001

CITY OF PORTLAND

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and when permission is procured before this building or part thereof is started or closed-in. **48 HOUR NOTICE IS REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

**OTHER REQUIRED APPROVALS**

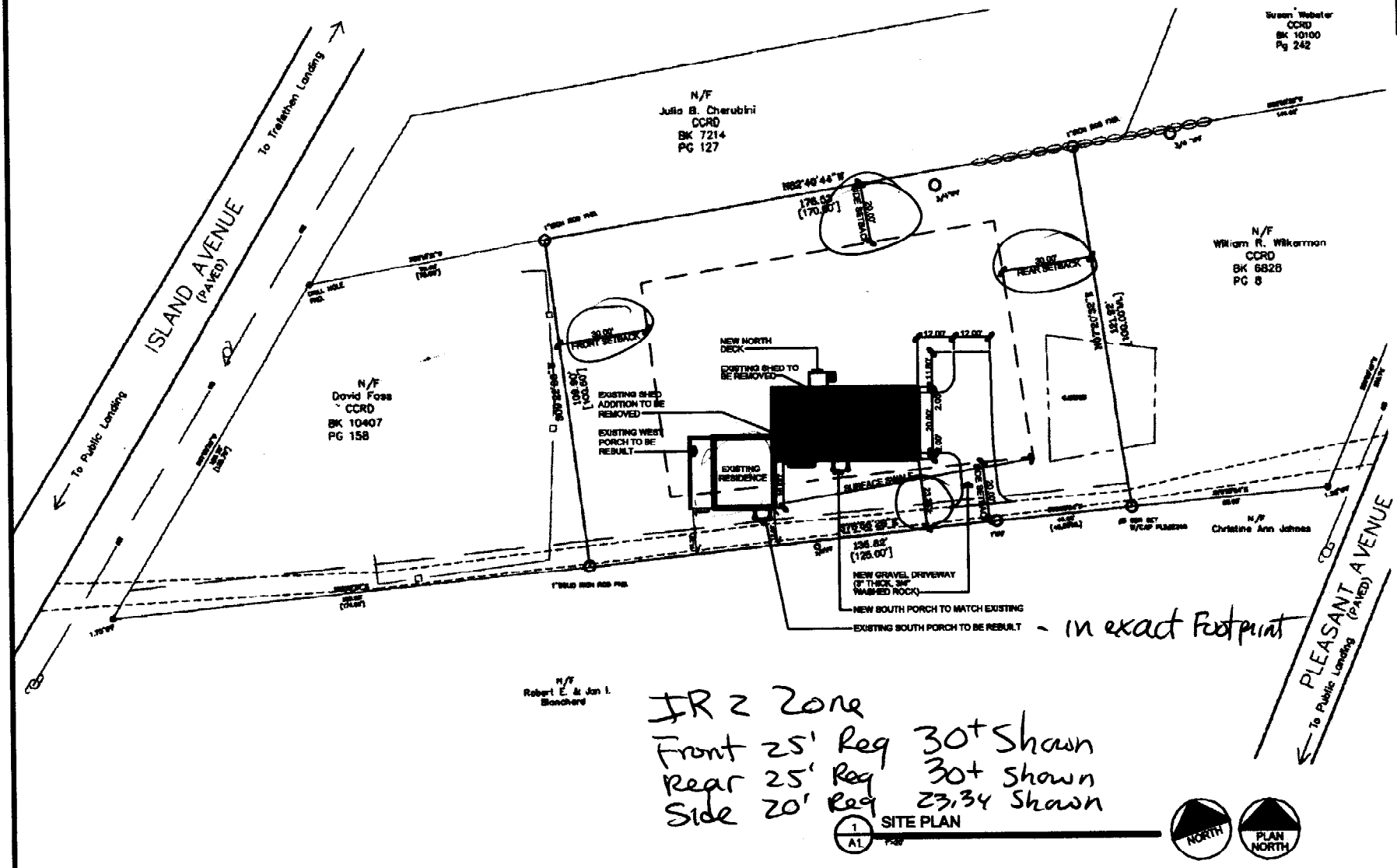
Fire Dept. \_\_\_\_\_  
Health Dept. \_\_\_\_\_  
Appeal Board \_\_\_\_\_  
Other \_\_\_\_\_  
Department Name

*Jeanie Bonke* 6/9/03  
Director - Building & Inspection Services

**PENALTY FOR REMOVING THIS CARD**

**GENERAL NOTES**

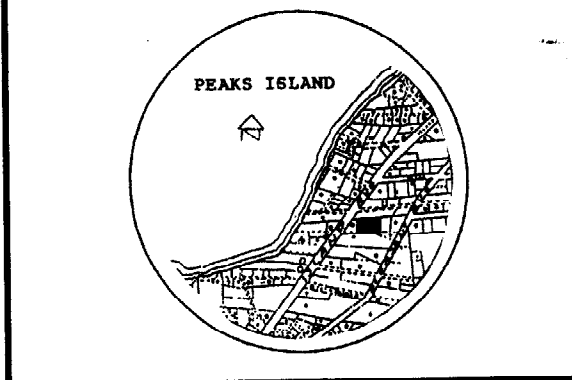
- 1) CODES:  
THIS PROJECT IS GOVERNED BY THE 1999 BOCA BUILDING CODE AS ADOPTED BY THE CITY OF PORTLAND, MAINE. ALL WORK INCLUDED IN THIS CONTRACT SHALL CONFORM TO ALL NATIONAL, STATE AND LOCAL CODES. LOCAL CODES, REGULATIONS, AND RESTRICTIONS WHICH APPLY TO THIS PROJECT. THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, LICENSES, INSPECTIONS AND APPROVALS. BUILDING AREAS ARE SHOWN FOR CODE PURPOSES ONLY AND SHALL BE RECALCULATED FOR ALL OTHER PURPOSES.
- 2) SCOPE OF CONTRACTOR'S WORK:  
ALL ITEMS AND WORK SHOWN IN THESE CONSTRUCTION DOCUMENTS SHALL BE PROVIDED AND INSTALLED BY THE GENERAL CONTRACTOR OR HIS/her SUBCONTRACTORS UNLESS NOTED AS "EXISTING", "BY OWNER", OR "NOT IN CONTRACT" (N.I.C.) IN THESE DOCUMENTS.  
IT IS THE INTENT AND MEANING OF THESE DRAWINGS THAT THE GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL PROVIDE ALL LABOR, MATERIALS, TRANSPORTATION, EQUIPMENT, AND THE LIKE TO PROVIDE A COMPLETE AND WORKMANLIKE JOB PER THE USUAL AND CUSTOMARY STANDARDS OF THE INDUSTRY, AND SHALL BE RESPONSIBLE FOR ADHERENCE TO ALL MANUFACTURER'S INSTALLATION REQUIREMENTS, INSTRUCTIONS AND RECOMMENDATIONS.  
THESE DRAWINGS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. THE GENERAL CONTRACTOR SHALL PROVIDE FOR THE JOBSITE SAFETY OF ALL PERSONNEL, WORK, MATERIALS, UTILITIES, AND ADJACENT PROPERTIES IN ACCORDANCE WITH ACCEPTED CODES, REGULATIONS AND INDUSTRY PRACTICES.
- 3) DUTY OF COOPERATION:  
ISSUANCE OF THESE PLANS PRESUPPOSES FURTHER COOPERATION AMONG THE OWNER, CONTRACTOR, AND ARCHITECT. BUILDING DESIGN AND CONSTRUCTION ARE COMPLEX, ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CAN NOT GUARANTEE PERFECTION. COMMUNICATION IS IMPERFECT, AND EVERY CONTINGENCY CAN NOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE DOCUMENTS SHALL BE REPORTED PROMPTLY TO THE ARCHITECT. FAILURE TO DO SO MAY COMPOUND MISHAPENESS AND INCREASE CONSTRUCTION COSTS, AND SUCH FAILURE SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR CONSEQUENCES WHICH MAY ARISE.
- 4) CHANGES TO THE WORK:  
SUBSTITUTION OF "OR EQUAL" PRODUCTS WILL BE ACCEPTABLE ONLY WITH THE WRITTEN APPROVAL OF THE OWNER OR ARCHITECT. IF THE CONTRACTOR DESIRES ANY CHANGES WHICH MAY SIGNIFICANTLY IMPACT THE PROJECT BUDGET OR SCHEDULE, HE SHALL SUBMIT A WRITTEN CHANGE ORDER REQUEST PRIOR TO COMMENCEMENT OF SUCH WORK. PERFORMANCE OF SUCH WORK WITHOUT APPROVAL BY CHANGE ORDER SHALL INDICATE THE CONTRACTOR'S ACCEPTANCE OF NO INCREASE IN CONTRACT SUM OR COMPLETION DATE DUE TO SUCH CHANGE. CHANGES FROM THE CONTRACT DOCUMENTS MADE WITHOUT THE ARCHITECT'S APPROVAL ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF ALL RESPONSIBILITY FOR CONSEQUENCES ARISING FROM SUCH CHANGES.
- 5) FIELD VERIFICATION:  
CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS (INCLUDING, BUT NOT LIMITED TO, PROPERTY BOUNDARIES, BUILDING SETBACKS, AND SITE SLOPES), AND UTILITY LOCATIONS ON SITE PRIOR TO COMMENCEMENT OF WORK. NOTIFY ARCHITECT FOR INTERPRETATION OR CLARIFICATION OF ANY CONFLICTS OR DISCREPANCIES PER NOTE #3 ABOVE.
- 6) DIMENSIONS:  
WRITTEN DIMENSIONS ALWAYS TAKE PRECEDENCE OVER SCALED DIMENSIONS. PLAN DIMENSIONS ARE TAKEN FROM FACE OF WOOD FRAMING, FACE OF CONCRETE WALLS, AND CENTERLINE OF STEEL FRAMING MEMBERS UNLESS OTHERWISE NOTED. SECTION AND ELEVATION DIMENSIONS ARE TO TOP OF CONCRETE, TOP OF PLYWOOD SUBFLOOR, TOP OF WALL PLATES, BEAMS UNLESS OTHERWISE NOTED.
- 7) EXCAVATION PROCEDURES:  
A SOIL REPORT IS NOT AVAILABLE FOR THIS PROJECT. UPON COMPLETION OF EXCAVATION, THE OWNER SHALL RETAIN A SOILS ENGINEER TO INSPECT THE SUBSURFACE CONDITIONS IN ORDER TO DETERMINE THE ADEQUACY OF THE FOUNDATION DESIGN. CONTRACTOR SHALL NOT POUR ANY CONCRETE UNTIL APPROVAL IS OBTAINED FROM THE SOILS ENGINEER.
- 8) FIELD CUTTING OF STRUCTURAL MEMBERS:  
WHEN NECESSARY TO BORE STRUCTURAL MEMBERS FOR ELECTRICAL/MECHANICAL RUNS, SUCH HOLES SHALL BE IN ACCORDANCE WITH UNIFORM BUILDING CODE REQUIREMENTS, MANUFACTURER'S INSTRUCTIONS, AND STRUCTURAL DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ARCHITECT/ENGINEER'S APPROVAL PRIOR TO ANY CUTTING, NOTCHING OR DRILLING WHICH MAY AFFECT THE INTEGRITY OF THE STRUCTURE.
- 9) DEFINITIONS OF WORK AS NOTED ON DRAWINGS:  
A) NEW: INDICATES ITEMS TO BE FURNISHED AND INSTALLED BY THIS CONTRACT. TYPICALLY USED TO ENSURE CLARITY AMONG VARIOUS COMPONENTS OF THE DRAWINGS. NOT ALL ITEMS ARE LABELED AS "NEW" WHEN IT IS OBVIOUS BY OTHER INDICATION. CONSULT ARCHITECT FOR CLARIFICATIONS. NEW WALLS ARE SHOWN AS SHADDED ON FLOOR PLANS.  
B) EXISTING: INDICATES COMPONENTS OF PRESENT STRUCTURE. NOT ALL ITEMS ARE CALLED OUT AS SUCH IF IT IS OBVIOUS THAT THEY ARE EXISTING. CONSULT ARCHITECT FOR CLARIFICATION.  
C) PATCH: TO RESTORE TO CONDITION SUITABLE FOR NEW WORK AND NEW FINISHES WITH APPROPRIATE MATERIALS. MATCH EXISTING ADJACENT CONSTRUCTION AND FINISHES UNLESS OTHERWISE NOTED.  
D) REPAIR: TO RESTORE TO PROPER OPERATING CONDITION AND APPEARANCE.  
E) RELOCATE: TO CAREFULLY DISMANTLE, STORE AND LATER REASSEMBLE EXISTING COMPONENTS AT DESIGNATED LOCATION. ITEMS TO BE RELOCATED ARE ASSUMED TO BE OF SUFFICIENT QUALITY TO PERMIT WORTHWHILE RELOCATION. REPORT ANY QUESTIONABLE CONDITIONS TO ARCHITECT PRIOR TO COMMENCEMENT OF WORK.  
F) REMOVE: DISMANTLE AND/OR EXTRACT FROM THE PREMISES ENTIRELY AND DISPOSE OF.  
G) REPLACE: TO REMOVE AND REINSTALL A NEW COMPONENT AS INDICATED AND BY METHODS SPECIFIED.  
H) SALVAGE: TO CAREFULLY DISMANTLE IN SUCH A MANNER THAT WILL ALLOW SUBSEQUENT REASSEMBLY BY OWNER AT LATER DATE. STORE COMPONENTS AT OWNER'S DIRECTION.



**SITE PLAN NOTES**

1. BOUNDARY AND TOPOGRAPHICAL INFORMATION OBTAINED FROM OWNER. VERIFY IN FIELD.
2. CONTACT APPROPRIATE AUTHORITIES TO FIELD LOCATE ALL UTILITIES PRIOR TO EXCAVATION.
3. REVEGETATE ALL DISTURBED AREAS PER OWNER. LANDSCAPING IS NOT SHOWN ON PLANS AND SHALL NOT BE INCLUDED IN CONTRACT.
4. FINISH GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING FOUNDATION @ ALL AREAS.

**VICINITY MAP**



**AREA CALCULATIONS**

**SITE CALCS:**

	EXISTING	PROPOSED CHANGE	PROPOSED TOTAL	% OF SITE
BUILDING FOOTPRINT	483	1,176	1,659	8%
PAVING	0	883	883	5%
OPEN SPACE	20,140	18,833	18,140	87%
<b>TOTAL (.475 ACRES)</b>	<b>20,623</b>	<b>20,623</b>	<b>20,623</b>	<b>100%</b>

BUILDING:	EXISTING TOTAL			PROPOSED CHANGE			PROPOSED TOTAL		
	FINISHED	UNFIN	TOTAL	FINISHED	UNFIN	TOTAL	FINISHED	UNFIN	TOTAL
MAIN FLOOR	483	0	483	725	453	1,218	483	1,701	
UPPER FLOOR	483	0	483	0	0	577	0	577	
<b>TOTAL</b>	<b>966</b>	<b>0</b>	<b>966</b>	<b>725</b>	<b>453</b>	<b>1,700</b>	<b>483</b>	<b>2,278</b>	

NOTES:  
 1. SUNROOM (BID ALTERNATE #1) IS INCLUDED IN NEW AREA CALCS.  
 2. UNFINISHED AREA INCLUDES GARAGE.  
 3. ATTIC AREAS NOT COUNTED IN AREA CALCS.

**SHEET INDEX**

- A1 SITE PLAN AND NOTES
- A2 EXISTING / DEMOLITION PLANS
- A3 MAIN FLOOR CONSTRUCTION PLAN, SCHEDULES & NOTES
- A4 UPPER FLOOR CONSTRUCTION PLAN, ROOF PLAN & DETAILS
- A5 NORTH AND SOUTH ELEVATIONS
- A6 EAST & WEST ELEVATIONS, EXTERIOR MATERIALS SCHEDULE, NOTES & DETAILS
- A7 BUILDING SECTIONS
- A8 WALL SECTIONS & DETAILS
- F1 FRAMING

**MATTHEW GROSS ARCHITECTS**  
 www.mgarchitects.com  
 603.488.0000  
 101 NORTH MAIN STREET  
 PORT OFFICE BOX 138  
 BRACKENBURG, COLORADO, 80404  
 COPYRIGHT AS AN UNPUBLISHED WORK, ANY REPRODUCTION OR REUSE WITHOUT WRITTEN CONSENT IS PROHIBITED.

ADAMS RESIDENCE  
 ADDITIONS &  
 ALTERATIONS

PLEASANT AVENUE  
 PEAKS ISLAND  
 MAINE

DATE:	DESCRIPTION:
PRELIM	5 NOV 2003
50% CD	6 NOV 2002
REVIEW	13 JAN 2003
REVIEW	31 MAR 2003
REVIEW	4 APRIL 2003
BACKGROUND	6 APRIL 2003
PERMIT	30 APRIL 2003

PROJECT # 0119

SITE PLAN & NOTES



MAIN FLOOR  
CONSTRUCTION PLAN  
SCHEDULES & NOTES

PROJECT # 0118

PERMIT 20 APRIL 2008

REVISION 13 JAN 2003

REVISION 01 NOV 2002

REVISION 08 NOV 2002

FIELD 05 NOV 2000

NO.	TYPE	FINISH	WIDTH	HEIGHT	THRESHOLD	NOTES
1	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
2	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
3	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
4	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
5	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
6	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
7	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
8	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
9	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
10	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
11	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
12	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
13	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
14	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
15	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
16	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
17	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
18	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
19	WOOD	FLUSH	3'-0"	8'-0"	1/2"	
20	WOOD	FLUSH	3'-0"	8'-0"	1/2"	

**DOOR & WINDOW NOTES**

1) ALL WINDOWS AND DOORS TO BE BUILT ACCORDING TO APPROVED LOCAL, STATE AND FEDERAL CODES. UNLESS NOTED ON CONTRACT.

2) WINDOW FINISHES AND MATERIALS TO BE DETERMINED BY ARCHITECT. WINDOW FINISHES TO BE MATCHED TO INTERIOR FINISHES.

3) WINDOW OPERATIONS TO BE DETERMINED BY ARCHITECT. WINDOW OPERATIONS TO BE MATCHED TO INTERIOR FINISHES.

4) ALL WINDOWS AND DOORS TO HAVE BUILDING LABELS PLACED ON EXTERIOR.

5) FIELD FINISHES FOR ALL WINDOW AND DOOR OPERATIONS TO BE DETERMINED BY ARCHITECT.

6) WINDOW HEADS, SILLINGS AND JAMBES TO BE FINISHED AT ALL EXTERIOR DOORS, WINDOWS AND PERPENDICULAR TO WINDOW HEADS AND SILLINGS.

7) MATCH TYPES AND ALL WINDOW AND DOOR OPERATIONS TO BE FINISHED TO MATCH INTERIOR FINISHES.

8) FINISH ALL WINDOW AND DOOR OPERATIONS TO MATCH INTERIOR FINISHES.

9) FINISH ALL WINDOW AND DOOR OPERATIONS TO MATCH INTERIOR FINISHES.

10) FINISH ALL WINDOW AND DOOR OPERATIONS TO MATCH INTERIOR FINISHES.

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20) FINISH ALL WINDOW AND DOOR OPERATIONS TO MATCH INTERIOR FINISHES.

**INTERIOR FINISH NOTES**

1) FOLLOW ALL MANUFACTURER'S RECOMMENDATIONS AND INSTALLATION INSTRUCTIONS FOR ALL FINISHES.

2) COMPENSATION OF FINISH WORK REQUIRES ACCEPTANCE OF FINISH WORK BY ARCHITECT. FINISH WORK TO BE MATCHED TO INTERIOR FINISHES.

3) ALL FINISHES TO BE MATCHED TO INTERIOR FINISHES.

4) FINISH ALL INTERIOR FINISHES TO MATCH INTERIOR FINISHES.

5) FINISH ALL INTERIOR FINISHES TO MATCH INTERIOR FINISHES.

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15) FINISH ALL INTERIOR FINISHES TO MATCH INTERIOR FINISHES.

16) FINISH ALL INTERIOR FINISHES TO MATCH INTERIOR FINISHES.

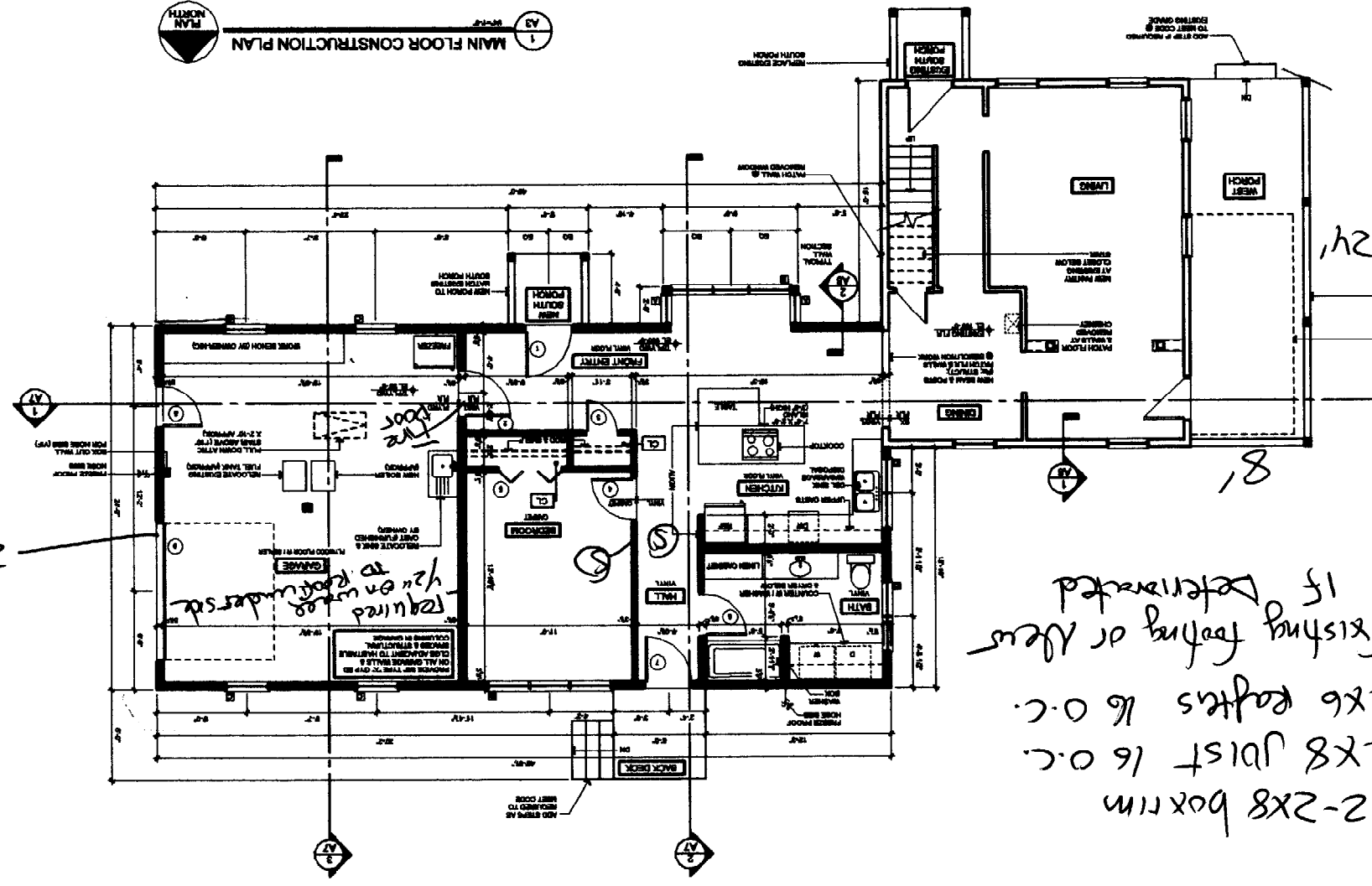
17) FINISH ALL INTERIOR FINISHES TO MATCH INTERIOR FINISHES.

18) FINISH ALL INTERIOR FINISHES TO MATCH INTERIOR FINISHES.

19) FINISH ALL INTERIOR FINISHES TO MATCH INTERIOR FINISHES.

20) FINISH ALL INTERIOR FINISHES TO MATCH INTERIOR FINISHES.

1 MAIN FLOOR CONSTRUCTION PLAN



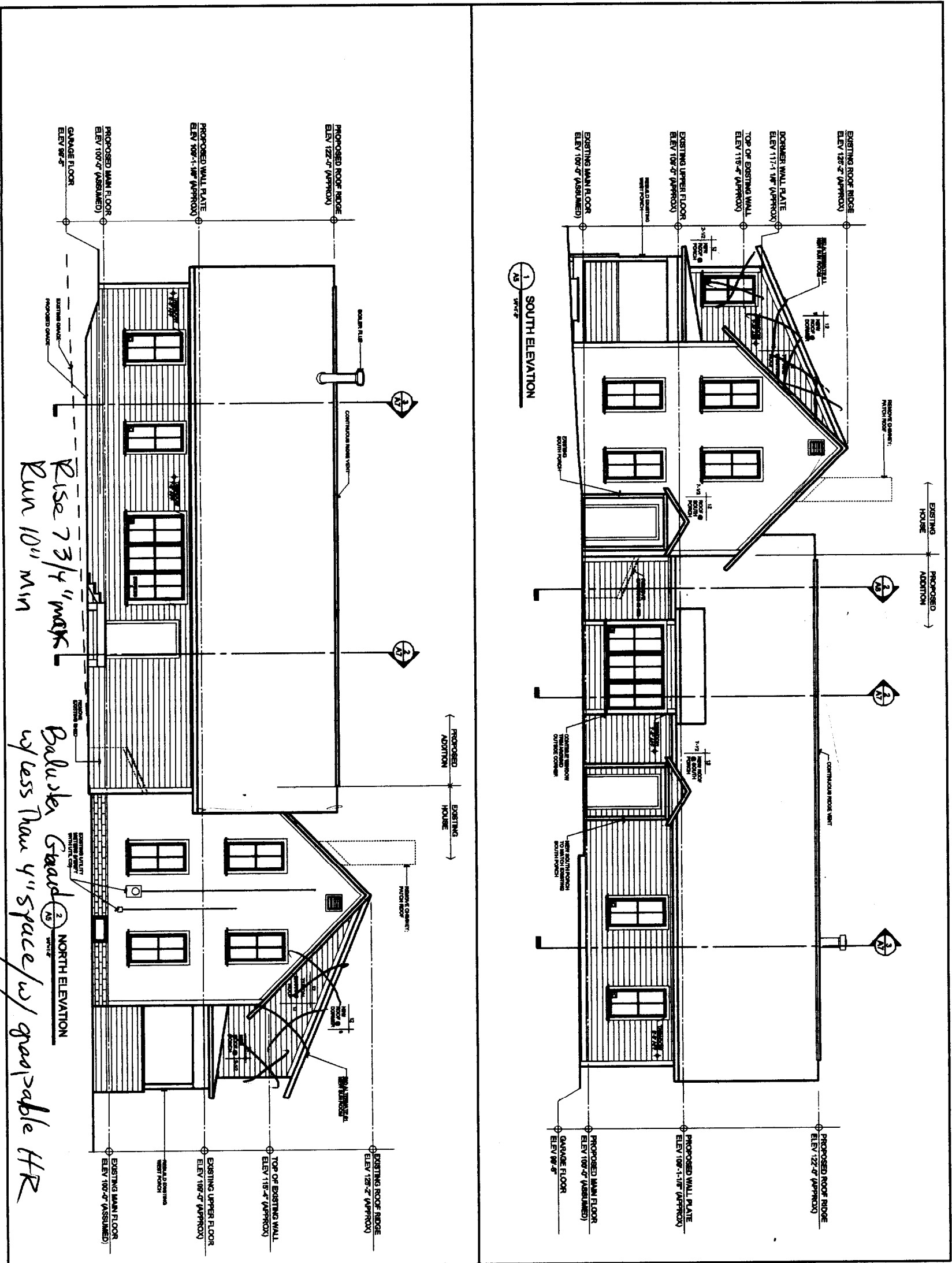
*Fork 2-2x8 box rim  
2x8 joist 16 o.c.  
2x6 rafters 16 o.c.  
Existing footing or slabs  
if deteriorated*

ADAMS RESIDENCE  
ADDITONS & ALTERATIONS  
PLEASANT AVENUE  
PEASANT BLAND

161 NORTH MAIN STREET  
PORT CHARLOTTE, FLORIDA 34684  
889 493 0444  
www.adamsblair.com







**MATTHEW EVANS ARCHITECTS**  
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 PORT OF SPAIN, GEORGETOWN, BARBADOES

CONTACT NAME: LINDSEY  
 PHONE: 011 488 8444  
 EMAIL: info@matthevans.com

ADAMS NEWMENCE  
 ADDITIONS &  
 ALTERATIONS

PLEASANT AVENUE  
 PENANG ISLAND  
 MALAYSIA

DATE	1 NOV 2008
PROJECT	ADDITIONS & ALTERATIONS
DATE	6 NOV 2008
REVISION	13 JAN 2009
REVISION	31 MAR 2009
REVISION	4 APRIL 2009
PROJECTIONS	1 APRIL 2009
PERMIT	20 APRIL 2009

PROJECT'S 0118

**NORTH & SOUTH ELEVATIONS**

A5



EXTERIOR MATERIALS SCHEDULE			
TAG	ITEM	MATERIAL	COLOR
E1	SHINGLE ROOF:	MATCH EXISTING	MATCH EXISTING
E2	METAL ROOF:	N/A	N/A
E3	DWP EDGE:	MATCH EXISTING	MATCH EXISTING
E4	FRASK:	MATCH EXISTING	MATCH EXISTING
E5	BOFFIT:	MATCH EXISTING	MATCH EXISTING
E6	VERTICAL SIDING:	N/A	N/A
E7	HORIZONTAL SIDING:	MATCH EXISTING	MATCH EXISTING
E8	DOORS/WINDOWS:	MATCH EXISTING	MATCH EXISTING
E9	DOOR/WINDOW TRIM:	MATCH EXISTING	MATCH EXISTING
E10	OUTSIDE CORNER TRIM:	MATCH EXISTING	MATCH EXISTING
E11	INSIDE CORNER TRIM:	MATCH EXISTING	MATCH EXISTING
E12	BARGE TRIM:	MATCH EXISTING	MATCH EXISTING
E13	WOOD DECKS:	MATCH EXISTING	MATCH EXISTING
E14	EXPOSED BEAMS, POSTS & LOGS:	MATCH EXISTING	MATCH EXISTING
E15	STONE VENEER:	N/A	N/A
E16	CAP @ STONE VENEER:	N/A	N/A

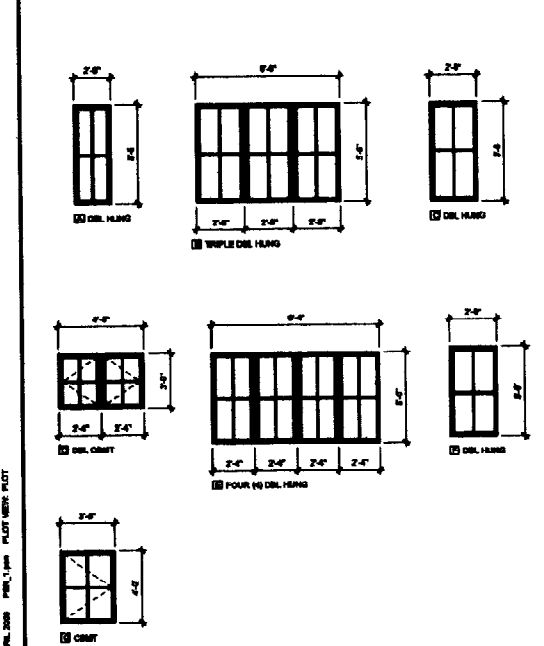
**NOTES:**

- IN THE CASE OF ANY DISCREPANCIES BETWEEN THIS SCHEDULE AND OTHER CONTRACT DOCUMENTS, THE INFORMATION ON THIS SCHEDULE SHALL TAKE PRECEDENCE.
- ALL FLASHING, VENTS, FLUES, ROOFTOP MECHANICAL EQUIPMENT, UTILITY BOXES, AND SIMILAR ITEMS SHALL BE PAINTED TO MATCH ADJACENT PORTION OF BUILDING UNLESS OTHERWISE NOTED.
- TYPICAL BRICK/FLASHING: ICE & WATER SHIELD 2'-0" VERT UP WALL; WRAP INTO OPENING; 2x4 FLASHING EXPOSED IF UP WALL; TYPICAL AT ALL WEATHER CONDITIONS.

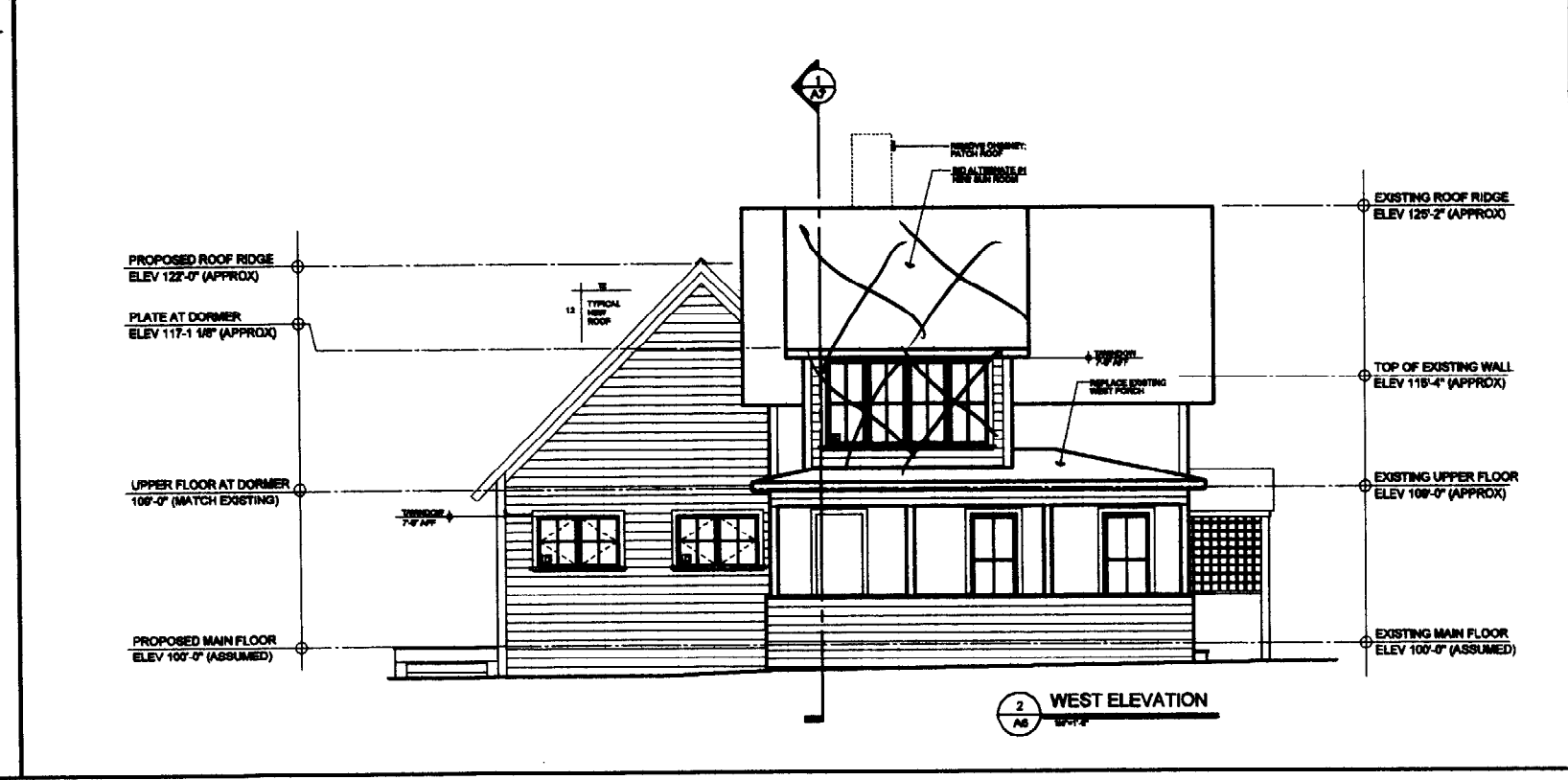
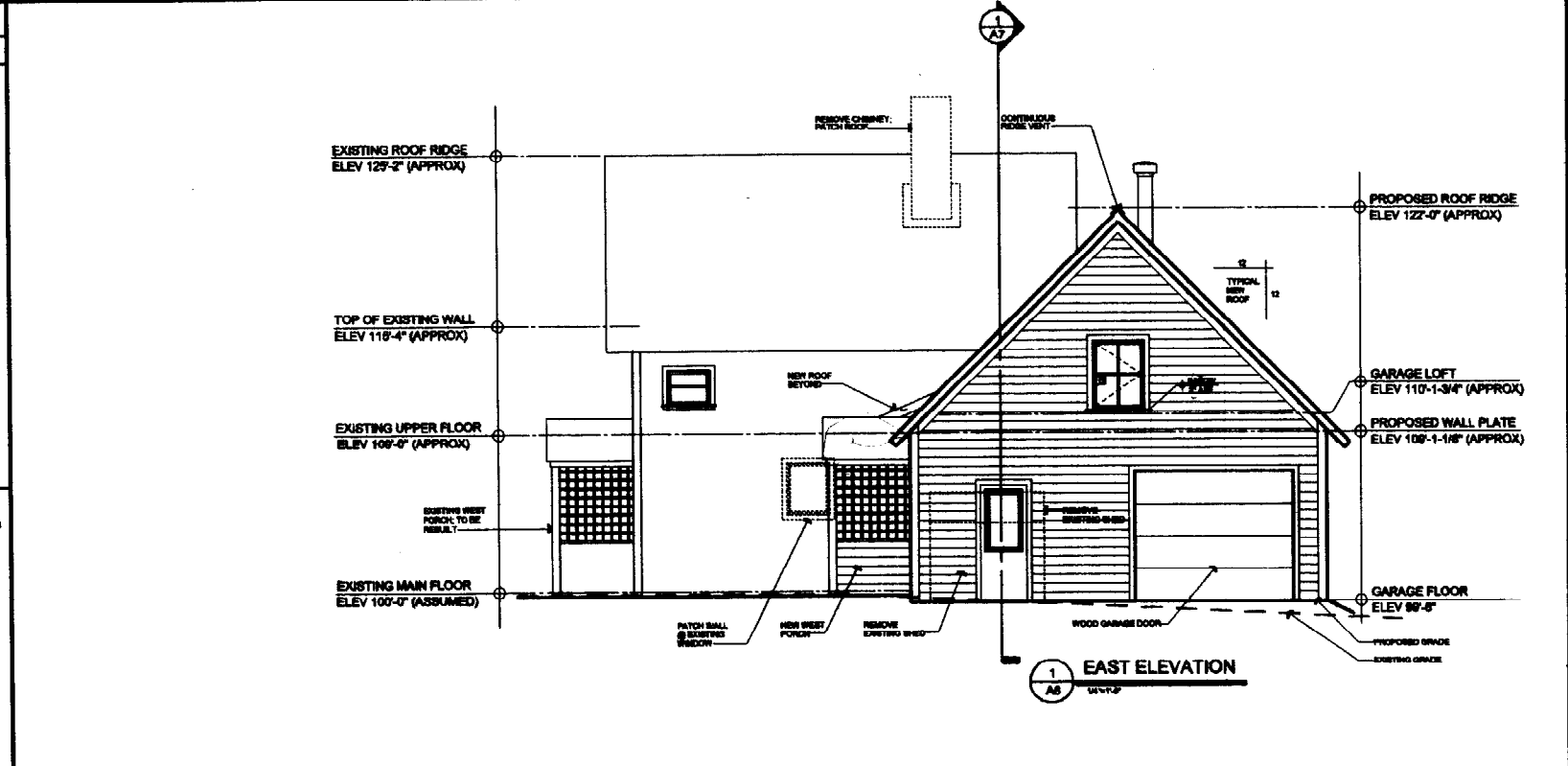
**WINDOW TYPES**

**NOTES:**

- VERIFY ALL SIZES WITH PLANS AND EXTERIOR ELEVATIONS.
- PROVIDE SHOP DRAWINGS FOR ARCHITECT REVIEW & APPROVAL PRIOR TO ORDERING UNITS.
- REFER ALSO TO WINDOW NOTE, 0-SET A3.



30 APRIL 2009 PERMITS PLAN SET - PLAT WEST ELEV. EAST ELEVATIONS EXTERIOR MATERIALS SCHEDULE NOTES & DETAILS



**MATTHEW STAS ARCHITECTS**  
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ADAMS RESIDENCE  
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PLEASANT AVENUE  
 PEAKS ISLAND  
 MAINE

DATE	DESCRIPTION
1 NOV 2008	PERMITS
8 NOV 2008	REVISED
13 JAN 2009	REVIEW
31 MAR 2009	REVIEW
4 APRIL 2009	REVIEW
5 APRIL 2009	SUBMITTED
30 APRIL 2009	PERMIT

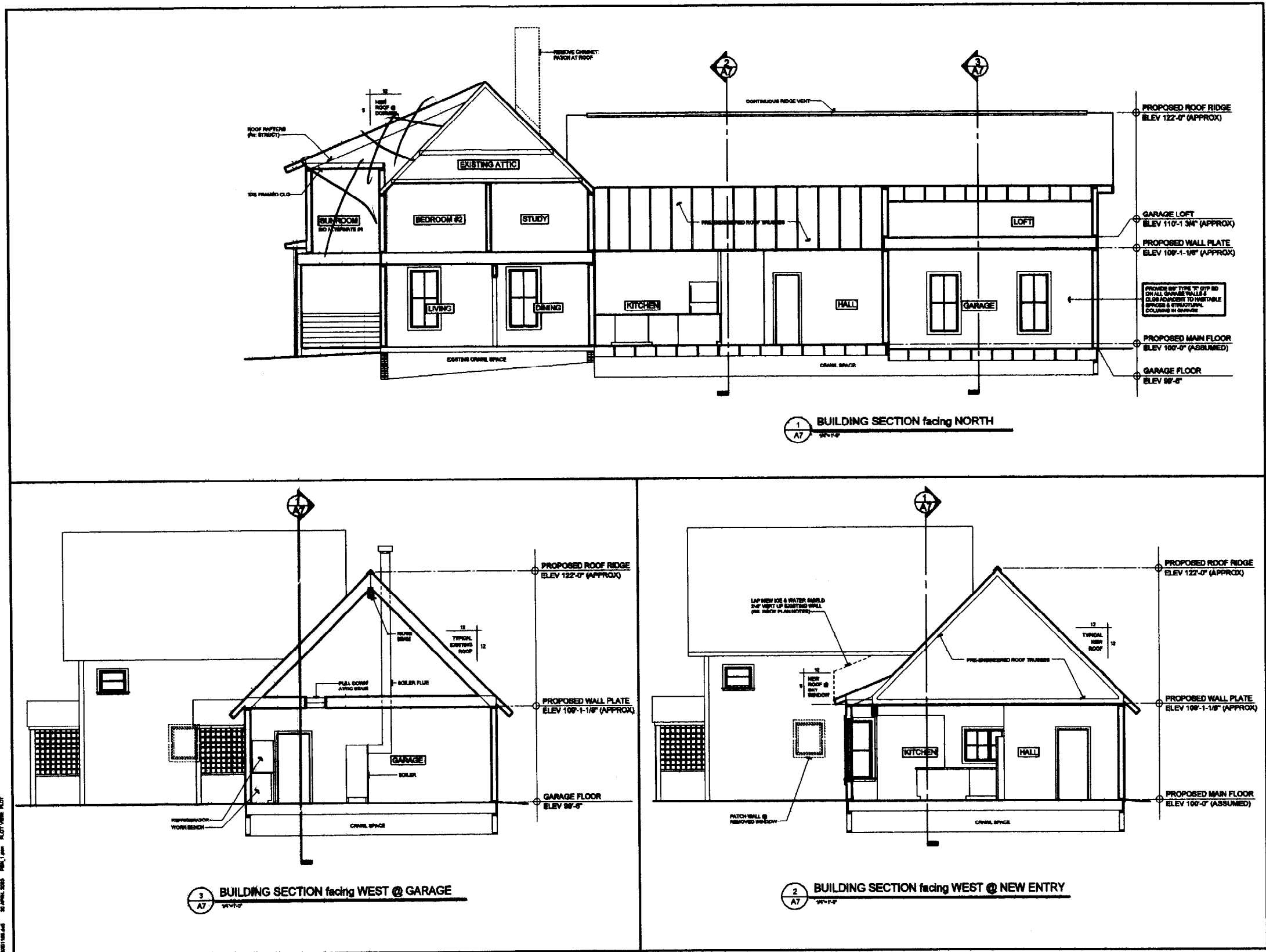
PROJECT # 0119

EAST & WEST ELEVATIONS  
 EXTERIOR MATERIALS SCHEDULE  
 NOTES & DETAILS





MATTHEW STANS ARCHITECTS  
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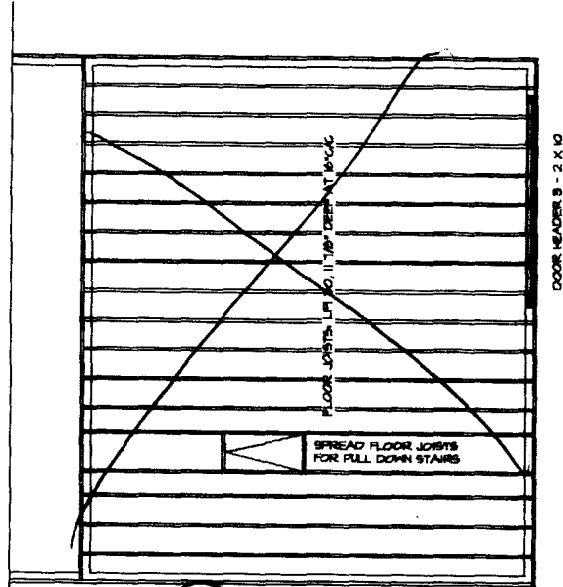
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 ADDITIONS &  
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PLEASANT AVENUE  
 PEAKS ISLAND  
 MAINE

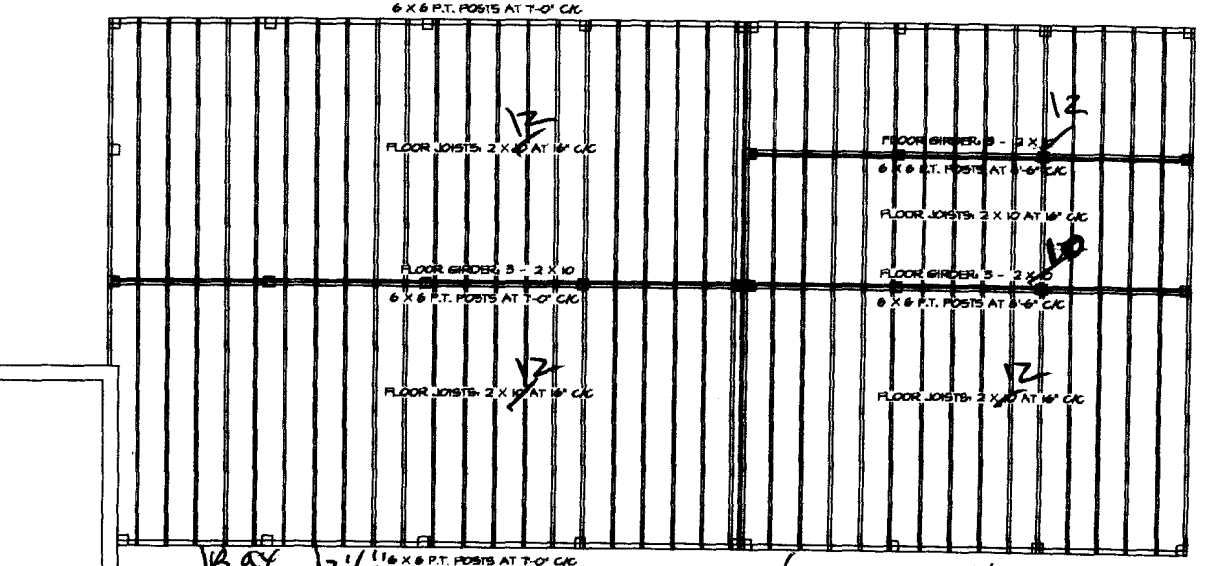
DATE	DESCRIPTION
PRELIM	9 NOV 2000
50% CD	8 NOV 2002
REVISION	12 JUN 2003
REVISION	31 MAR 2005
REVISION	4 APRIL 2006
BACKGROUND	8 APRIL 2006
PERMIT	20 APRIL 2006

PROJECT # 0110

BUILDING SECTIONS

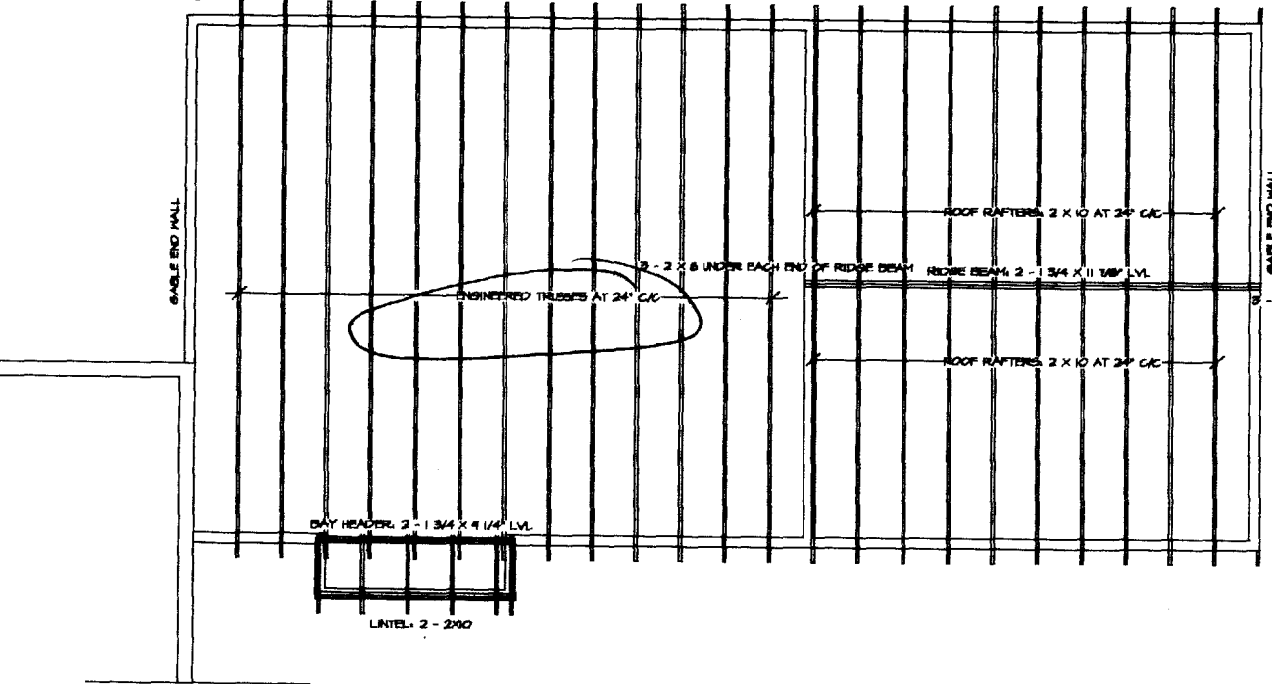


See Roof Truss design  
GARAGE LOFT FRAMING - 1/4" = 1'-0"

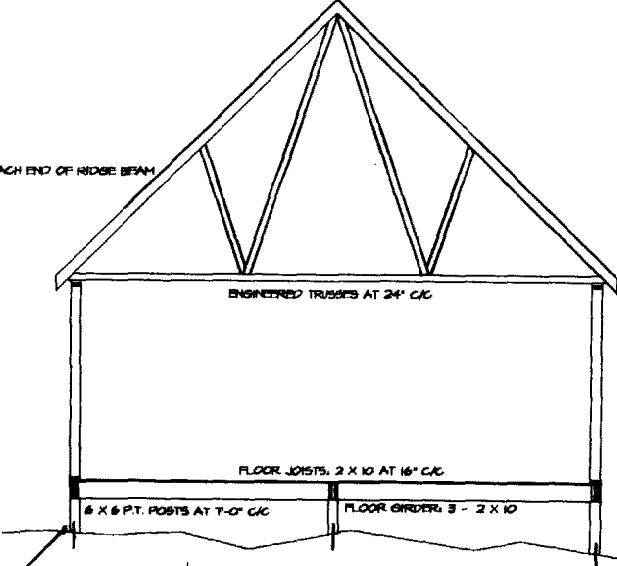


Foundation Plan

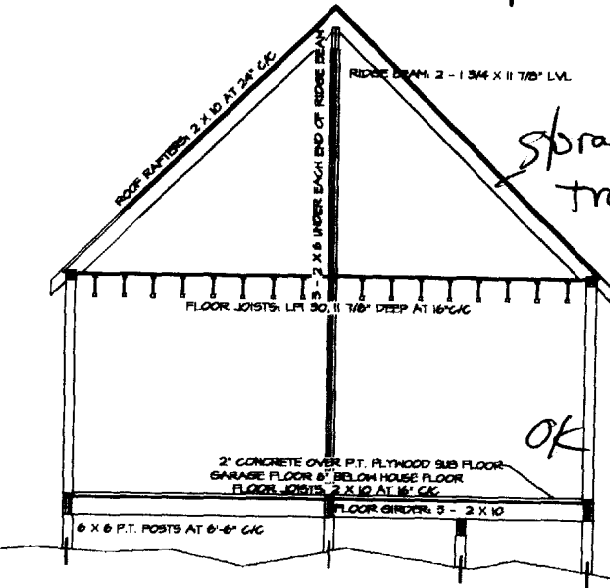
FLOOR FRAMING - 1/4" = 1'-0"



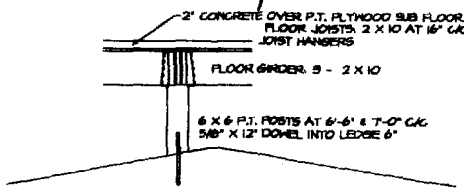
ROOF FRAMING - 1/4" = 1'-0"



pre cast w/ footer  
HOUSE SECTION - 1/4" = 1'-0"



GARAGE SECTION - 1/4" = 1'-0"



POST DETAIL - 1/2" = 1'-0"

NOTES:  
SHOW GROUND FORCE: 50 POUNDS PER SQUARE FOOT.  
FACTOR SHOW FORCE ON ROOF BY APPLICABLE REDUCTION FACTORS FOR SLOPE AND EXPOSURE TO 52 POUNDS PER SQUARE FOOT.  
TRUSS TOP AND BOTTOM CHORD DEAD LOAD: 10 POUNDS PER SQUARE FOOT EACH.  
WIND FORCE AT 10 MPH: 22.5 POUNDS PER SQUARE FOOT.  
SEPARATE GARAGE FROM HOUSE WITH 5/8" TYPE FR GYPSUM BOARD AND SOLID CORE WOOD DOOR.

WILLIAM WHITED, INC.

ARCHITECTURE ENGINEERING INTERIORS

William E. Whited, PE, RA

1321 Washington Avenue  
Portland, Maine 04103  
Tel 207.878.4533  
Fax 207.878.4531

ADAMS RESIDENCE ADDITIONS & ALTERATIONS

PLEASANT STREET PEAKS ISLAND MAINE



CONSTRUCTION FROM THIS DRAWING AUTHORIZED ONLY WHEN YET SIGNED BY THE ENGINEER OR ARCHITECT RESPONSIBLE FOR ITS PREPARATION

DATE	CONSTRUCTION	DESCRIPTION	REVISION

PROJECT NO.	
DATE	
PLAT SCALE	1/4" = 1'-0"
CAD FILE	
BY	HWB
CHECKED BY	
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SHEET TITLE  
FRAMING

FI

SHEET OF REVISION NO.