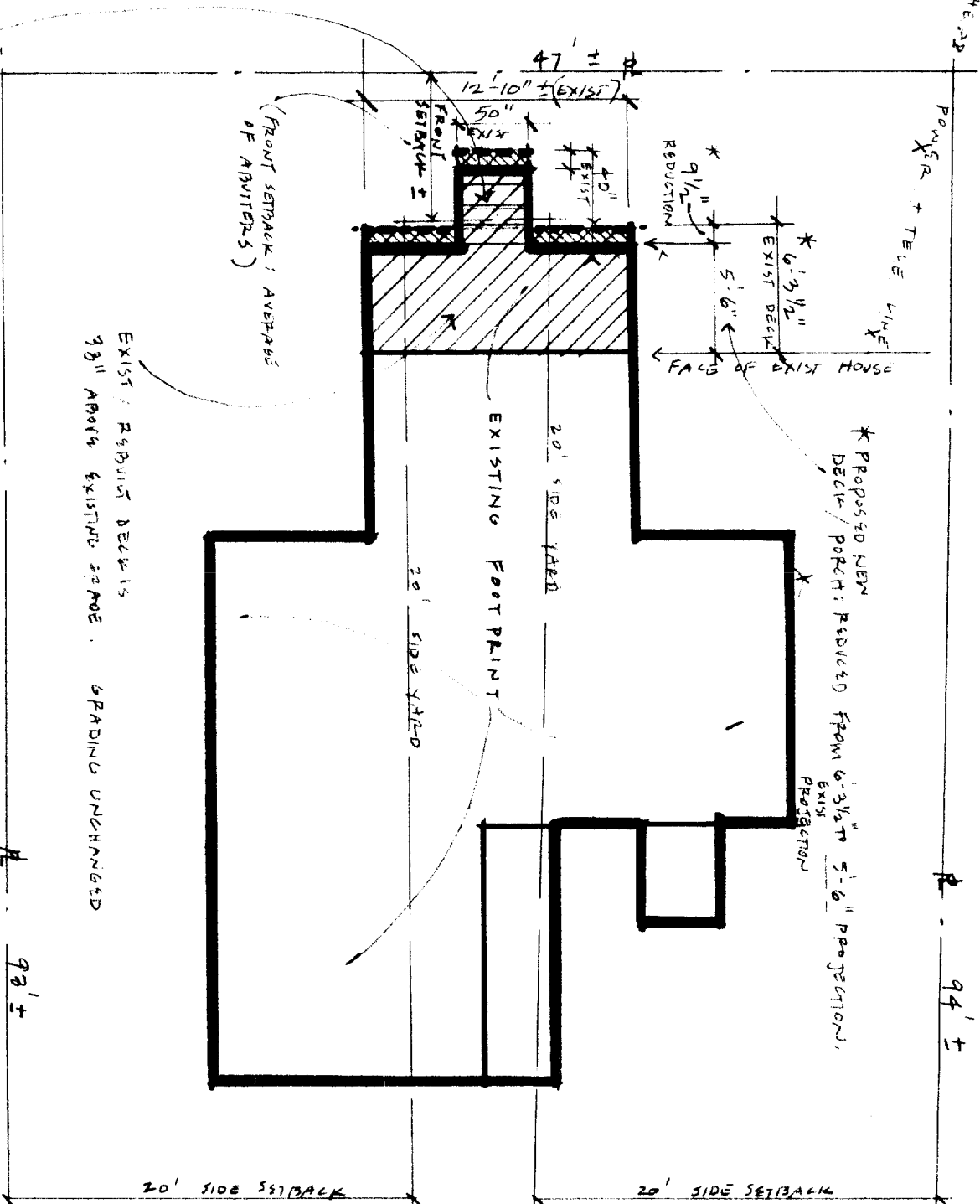


CENTRAL AVE



- \* EXIST STAIR: 5 RISERS @ 7 5/8" EA. (38" FROM GRADE TO DECKING) + TREADS @ 10" EA.
- \* REBUILD STAIR IN SAME CONFIG / DIM AS EXISTS, BUT SLID IN

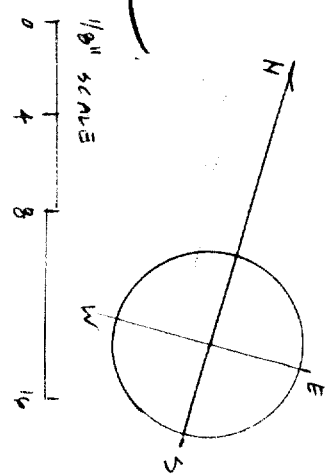
EXIST / REBUILD DETAILS  
38" ABOVE EXISTING 2ND FLOOR. SPACING UNCHANGED

\* PROPOSED NEW DECK / PORCH: REDUCED FROM 6'-3 1/2" TO 5'-6" PROJECTION, EXIST PROJECTION

Sec. 14-385 allows to rebuild in existing footprint

\* THIS PROJECT:  
- REBUILD EXISTING FRONT DECK + STAIR ~ AND ADD A PORCH ROOF OVER, AND INCLUDE A DECORATIVE 'PORCH' ROOF OVER 2ND FLOOR WINDOW.  
- THIS 2ND FLOOR ROOF FORM IS DECORATIVE ONLY: IN BOTH ITS INTENT (A BALCONY HERE, OUT THE WINDOW, WOULD NOT BE PRACTICAL) AND IN ITS CONSTRUCTION/DETAIL.  
- IN DISCUSSIONS W/ MARSH, BECAUSE THIS 2ND FLOOR FORM COULD BE CONSTRUCTED TO REPLACE A POTENTIAL 'FUTURE' FLOOR AREA EXPANSION (WHICH IS MAX'D OUT PER PREVIOUS ADDITION @ THE TIME OF THE NEWELL AMENDMENT) THE EXISTING 1ST FLOOR DECK / PORCH IS BEING REDUCED IN ITS SIZE BY 10 SF (9 1/2" PROJECTION X 12'-10" LENGTH) ~ THE SAME SF OF AREA THAT THE BALCONY COULD BE, IF CAPTURED @ 2'-10" X 3'-6" = 10.5 SF.  
- CONCLUSION: SITE COVERAGE IS REDUCED BY 10 SF TO: 883. SF

LOT: 87: 66-018  
ADDRESS: 31 CENTRAL AVE, PEAKS ISLAND 04108  
OWNERS: STANWOOD + KATHLEEN NEWELL  
LOT AREA: 4872 SF (PER ASSESSOR)  
ZONE: 1R-2  
LOT COVERAGE SUMMARY: \* MAX LOT COVERAGE ALLOWED: 15.20%  
4872 SF LOT X 20% = 974 SF MAX SITE COVERAGE ALLOWED  
\* EXISTING SITE COVERAGE = 893. SF



SITE PLAN:

NEWELL PORCH @ 31 CENTRAL AVE, PEAKS ISLAND, PH: 766.2491

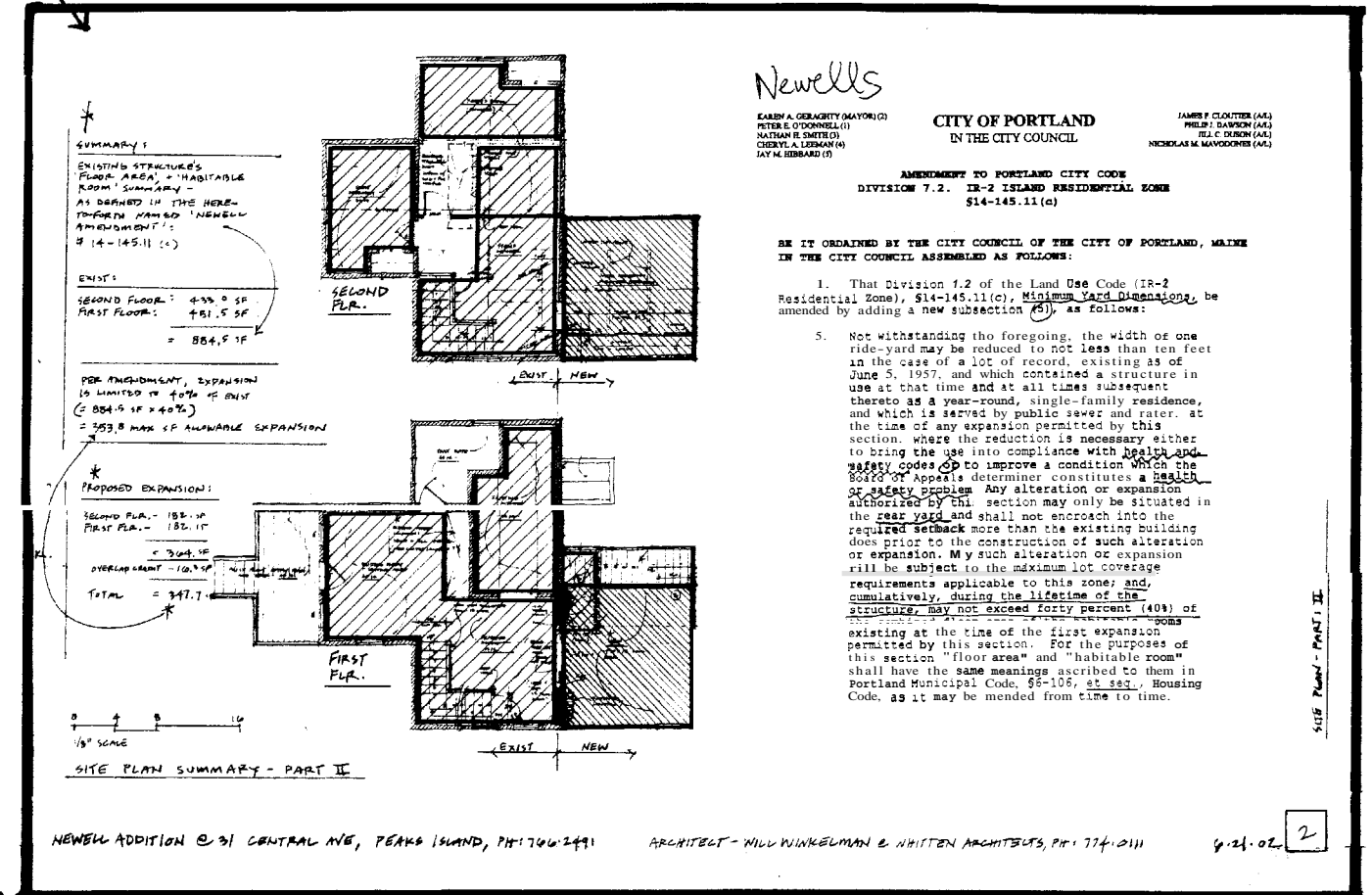
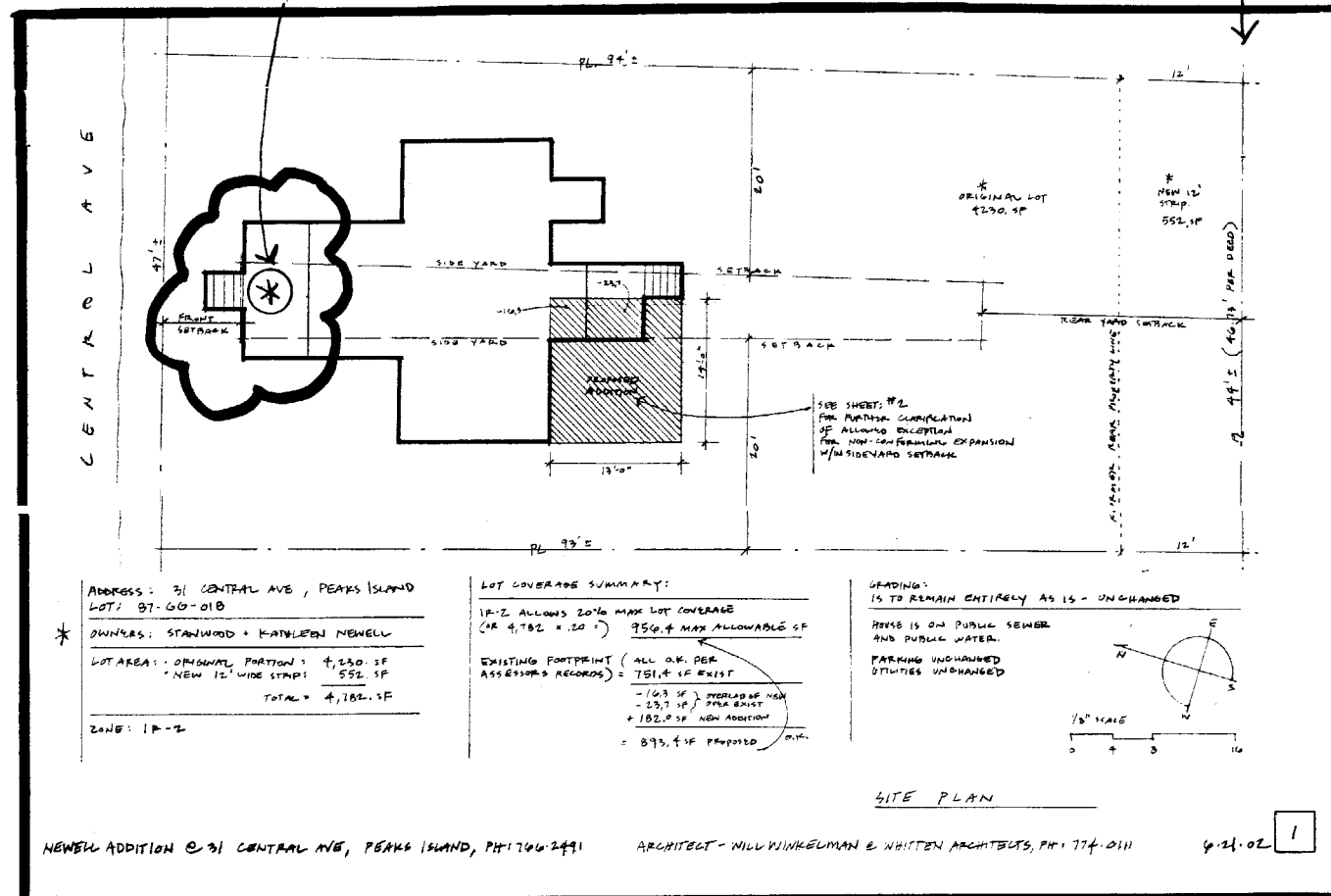
ARCHITECT - WILL WHITTEN & WHITTEN ARCHITECTS, PH: 774.0111 6.15.04

1. (SITE PLAN LOT 2)

\* BELOW IS THE SITE PLAN FROM THE PREVIOUS ADDITION, - IN 2002.

- IT IS INCLUDED HERE FOR THIS SUBMITTAL FOR GENERAL REFERENCE,  
AS WELL AS THAT THE NEW SITE PLAN (PG 1 OF THIS SET)  
REFERENCES TO THIS PREVIOUS SITE PLAN.

AREA OF WORK FOR THIS  
CURRENT SUBMITTAL: REBUILD  
EXIST FRONT DECK / STAIR  
AS PORCH ... SEE PG 1.



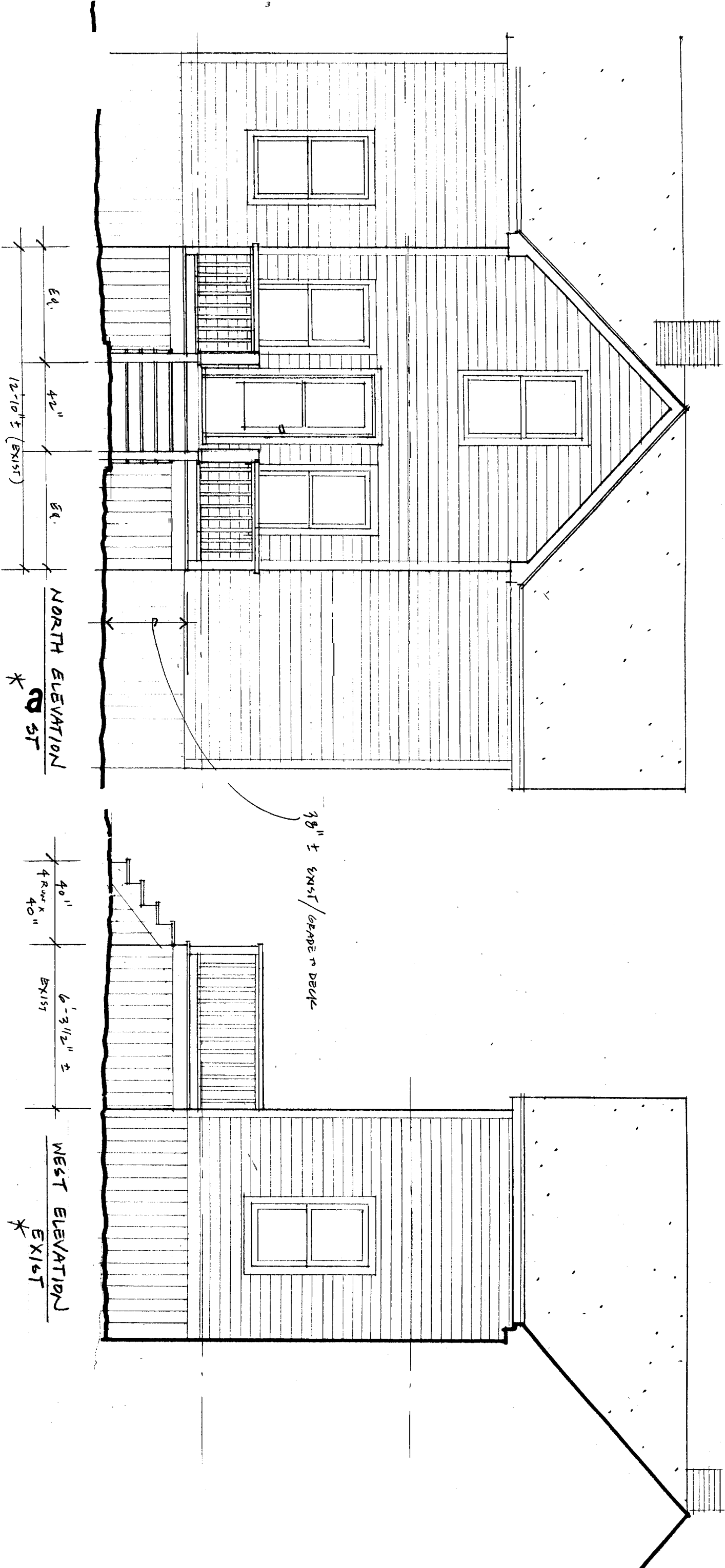
Newells  
CITY OF PORTLAND  
IN THE CITY COUNCIL

JAMES F. CLAUTER (AS)  
WELB. J. DAWSON (AS)  
ELI C. DIXON (AS)  
NICHOLAS M. MANDOCOSIS (AS)

AMENDMENT TO PORTLAND CITY CODE  
DIVISION 7.2. IR-2 ISLAND RESIDENTIAL ZONE  
§14-145.11 (c)

BE IT OBTAINED BY THE CITY COUNCIL OF THE CITY OF PORTLAND, MAJORITY IN THE CITY COUNCIL ASSEMBLED AS FOLLOWS:

- That Division 7.2 of the Land Use Code (IR-2 Residential Zone), §14-145.11(c), Minimum Yard Dimensions, be amended by adding a new subsection (d), as follows:
- Notwithstanding the foregoing, the width of one side-yard may be reduced to not less than ten feet in the case of a lot of record, existing as of June 5, 1957, and which contained a structure in use at that time and at all times subsequent thereto as a year-round, single-family residence, and which is served by public sewer and water, at the time of any expansion permitted by this section, where the reduction is necessary either to bring the use into compliance with health and safety codes or to improve a condition which the Board or Appeals determiner constitutes a health or safety problem. Any alteration or expansion authorized by this section may only be situated in the rear yard and shall not encroach into the required setback more than the existing building does prior to the construction of such alteration or expansion. If such alteration or expansion will be subject to the maximum lot coverage requirements applicable to this zone; and, cumulatively, during the lifetime of the structure, may not exceed forty percent (40%) of the lot area. For the purposes of this section, "floor area" and "habitable room" shall have the same meanings ascribed to them in Portland Municipal Code, §6-106, et seq., Housing Code, as it may be amended from time to time.



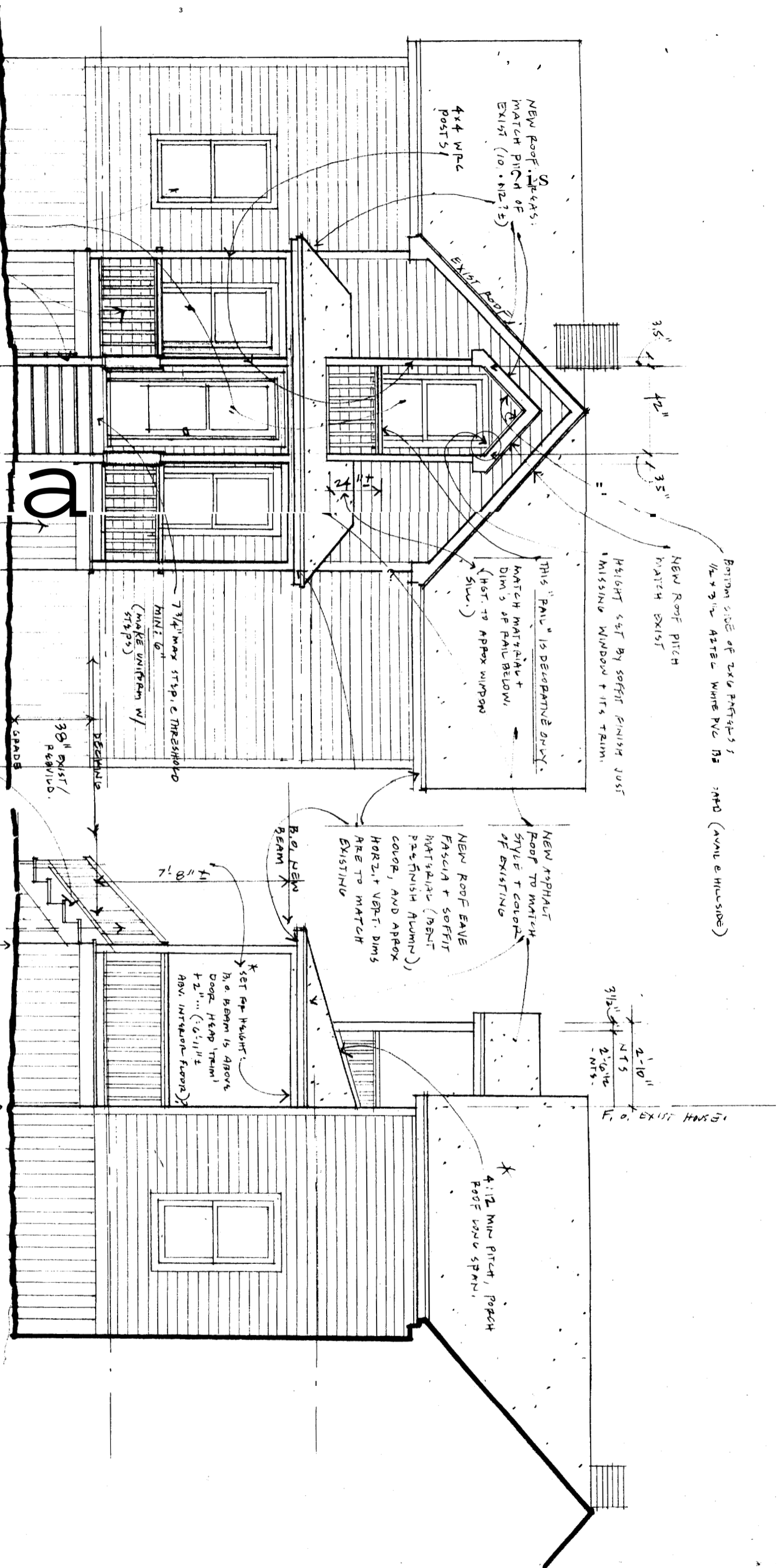
NEWELL PORCH @ 31 CENTRAL AVE, PEAKS ISLAND, PH: 766.2491

ARCHITECT - NILS WILKELMAN & WHITTEN ARCHITECTS, PH: 774.2111

6.15.04

EXISTING CONDITIONS :

3



**NORTH ELEVATION**

**WEST ELEVATION**

\* RAIL: 3/4" FINISH HEIGHT, 1 1/2" SQ. WPC BALUSTADS, 4" CLEAR SPACE BETWEEN (MUST PASS 4" BALL TEST; BOON 99) WPC 2x4 SUB RAIL + CAP.  
 @ STAIR: 3/4" FIN. HOT MEASURED RUNS @ TIP OF NOSING, TYP.

SKIRTINGS:  
 1x4 AZTEC BOARDS (SOLID WHITE PVC) SPACED 3/4" FIN. VENTILATING.  
 (OR OTHER AS APPROVED BY OWNER)

\* STAIR: 5 RISE, 33" O.A. = 7 5/8" RISERS 10" RUN V/1" NOSING  
 (EXIST SAME AS REVISED)

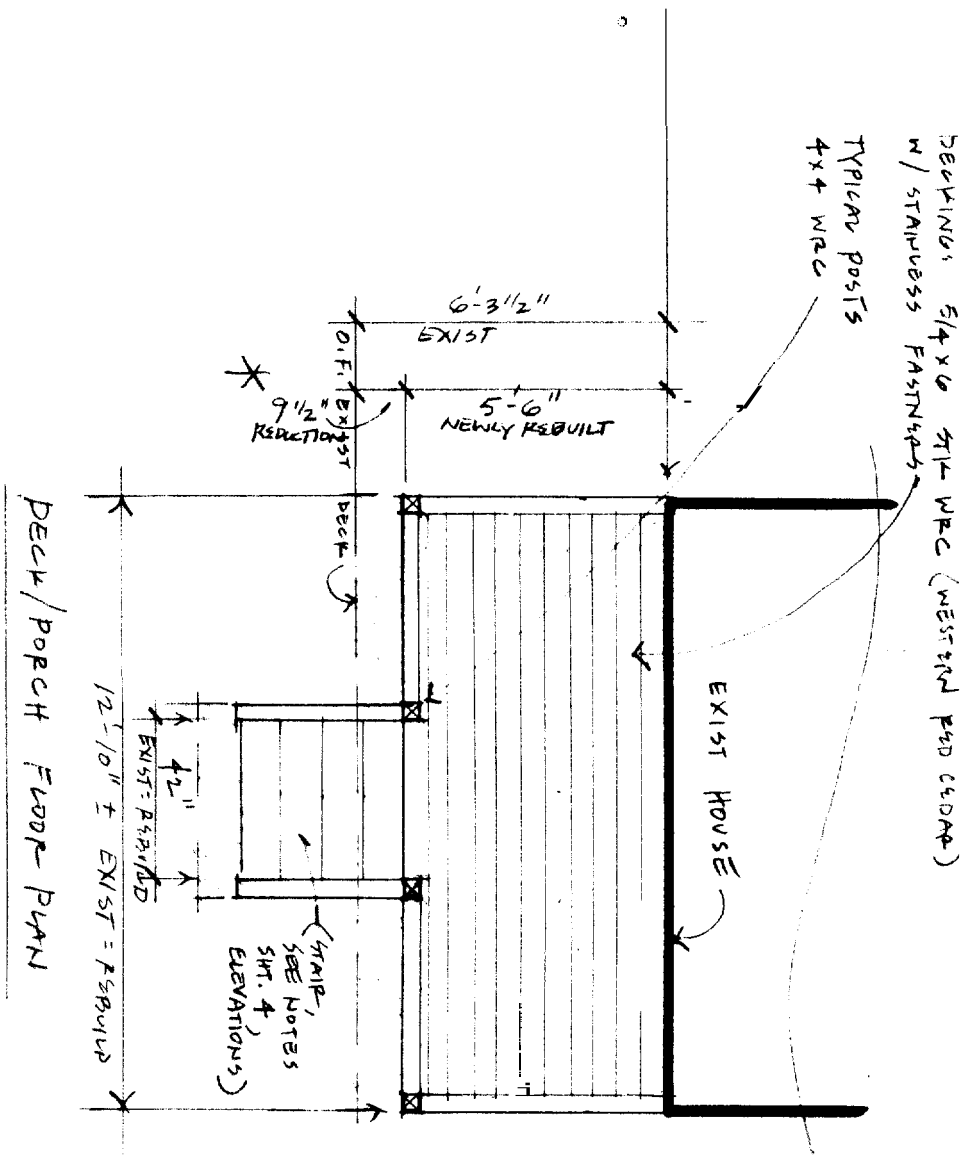
EXIST DECK (NEW RAIL BY 9 1/2" FROM EXIST) 4x8 @ 10" O.C.  
 6-3 1/2" EXISTING -NTS-  
 5'-6" REVISED -NTS-  
 4'-0" EXIST HOUSE  
 (O.A. = OVERALL)  
 (NTS = NOT TO SCALE)  
 (WPC: WESTERN RED CEDAR)

**ELEVATIONS:**

**NEWELL PORCH @ 31 CENTRAL AVE, PEAKS ISLAND, PH: 760.2491**

ARCHITECT - WILL WINKELMANN & WHITTEN ARCHITECTS, PH: 774.2111

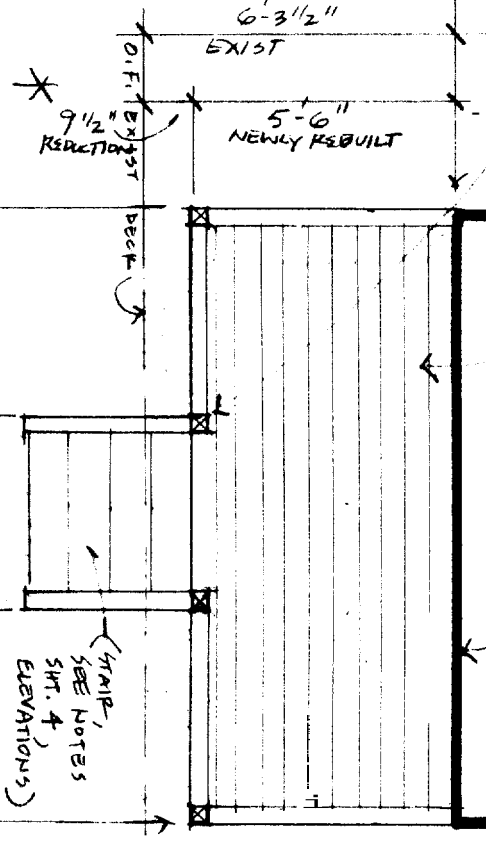
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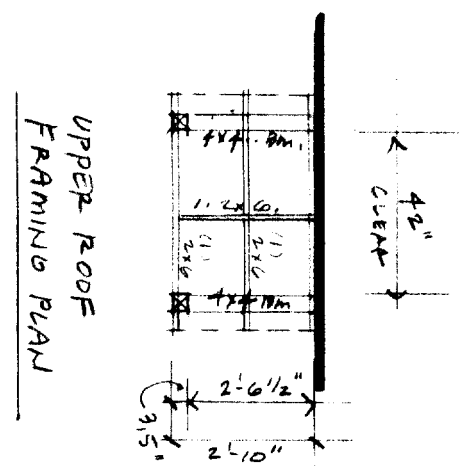
DECK/PORCH FLOOR PLAN

SECTIONS 5/4 x 6 STR WPC (WESTERN RED CEDAR)  
W/ STAINLESS FASTENERS

TYPICAL POSTS  
4x4 WPC

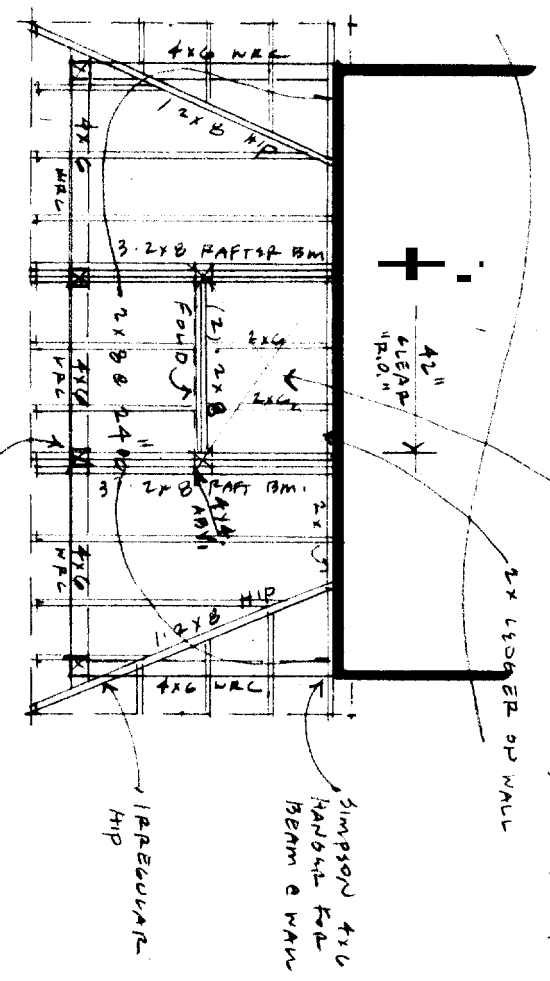


(STAIR, SEE NOTES SHEET 4) ELEVATIONS)



UPPER ROOF FRAMING PLAN

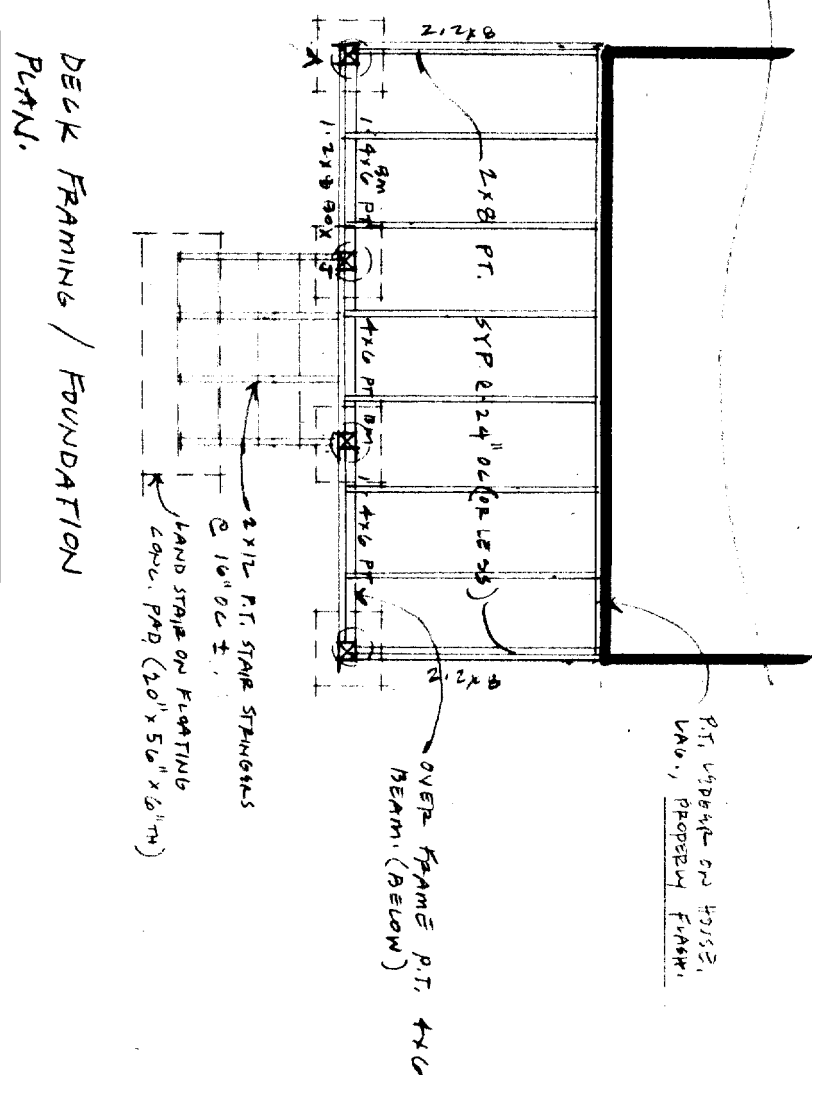
FOUNDATION WORK / PIPES:  
10" Ø SONOTUBE, CONC FILLED,  
2800 PSI 28 DAY CONC,  
W/ 1/2 VERT # 4 REBAR, BENT INTO  
FOOTING/TIE TO FOOTING.  
FOOTINGS: 16" SQ. X 10" TH,  
BO. FOOTING 4'-0" MIN. BELOW GRADE  
FOR FROST ~ OP. TO LSDBE.  
8" 1/2" Ø ANCHOR BOLT TO P.T.  
FRAMING.



ROOF FRAMING PLAN

FLAT-1/34 PITCHED PLAN  
1/2" 1/2" PITCH. (SHIST DRAIN)  
FLASH: RUBBER, or COPPER PAN?

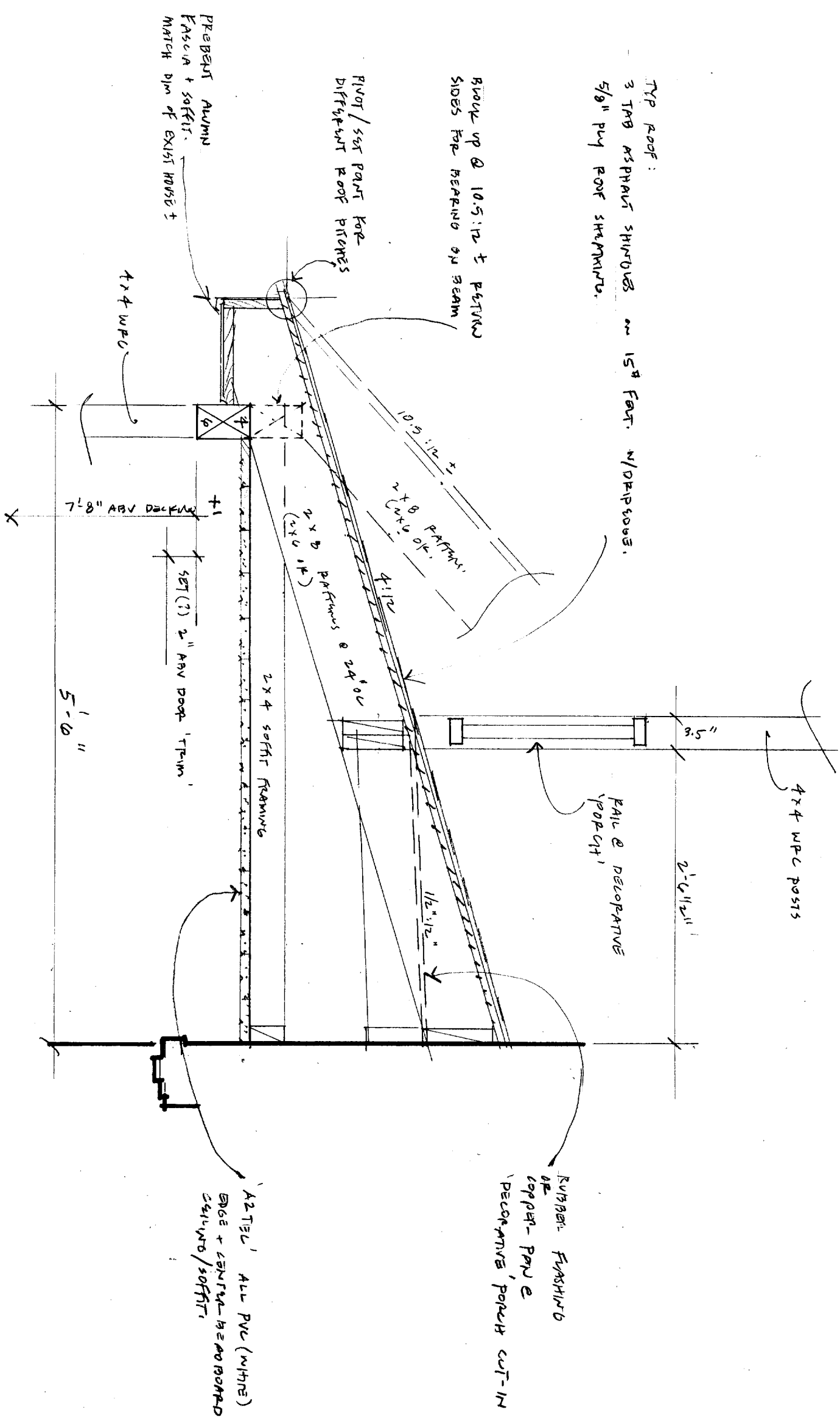
LAG BOLT BEAM TO POST  
FROM ABOVE N/  
10" L X 1/2" Ø LAG H. OR LAG.



DECK FRAMING / FOUNDATION PLAN.

PLAN + FOUNDATION + FRAMING :

SECTION / DETAIL  
 1" = 1'-0" SCALE



TYP ROOF:  
 3 TAB ASPHALT SHINGLES ON 15" FANT. N/O/P/S/O/S.  
 5/8" PLY ROOF SHEATHING.

RISE UP @ 10.5:12 ± RETURN  
 SIDES FOR BEARING ON BEAM

RIVET / SSX PAINT FOR  
 DIFFERENT ROOF PITCHES

PREBENT ALUMIN  
 FASCIA + SOFFIT.  
 MATCH DIM OF EXIST HOUSE ±

4x4 WPC

7'-8" ABV DECKING

5'-0"

SET (3) 2" ABV DOOR 'TRIM'

2x4 SOFFIT BEAMS

2x8 PATTENS @ 24" OC  
 (2x8 1P)

4x12

10.5:12 ±  
 2x8 PATTEN.  
 (2x8 OK)

PAIL & DECORATIVE  
 'PORCH'

4x4 WPC POSTS

2'-6 1/2"

RUBBER FLASHING  
 OR  
 COPPER-PAN &  
 'DECORATIVE' PORCH CUT-IN

A2 TEL, ALL PVC (WHITE)  
 EDGE + CORNER BEZEL ROUNDED  
 3/4" W/O / SOFFIT

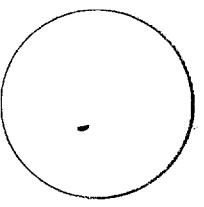
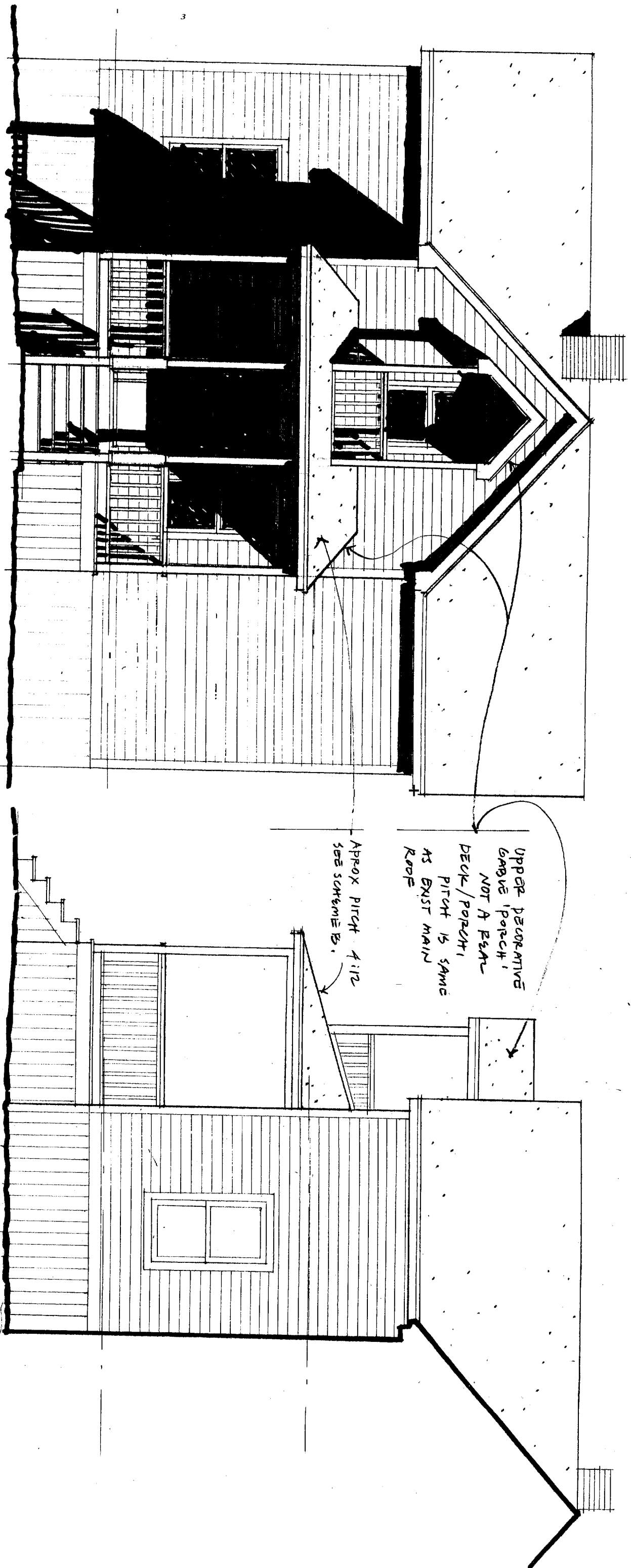
NEWELL PORCH @ 31 CENTRAL AVE, PEAKS ISLAND, PH: 760.2491

ARCHITECT - WILL WINKELMAN & WHITTEN ARCHITECTS, PH: 774.511

6.15.04

SECTION:

6



TRADITIONAL HIPPED ROOF W/ DECORATIVE 2<sup>ND</sup> FLOOR PORCH

1/4" SCALE

NEWELL PORCH @ 41 CENTRAL AVE, PEAKS ISLAND, PH: 706.2491

ARCHITECT - WILL WINKELMAN

ARCHITECTS, PH: 774.0111

6.15.04

RENDERED ELEVATION