



DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK



CITY OF PORTLAND

BUILDING PERMIT

This is to certify that **WEIDEMANN, ADAM**

Located At **34 STERLING**

has permission to **install 1/2 bath in existing space**

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statues of Maine and of the Ordinances of the City of Portland regulating the construction, maintenance and use of the buildings and structures, and of the application on file in the department.

Notification of inspection and written permission procured before this building or part thereof is lathed or otherwise closed-in. 48 HOUR NOTICE IS REQUIRED.

A final inspection must be completed by owner before this building or part thereof is occupied. If a certificate of occupancy is required, it must be procured prior to occupancy.

Fire Prevention Officer

Code Enforcement Officer / Plan Reviewer

THIS CARD MUST BE POSTED ON THE STREET SIDE OF THE PROPERTY.

PENALTY FOR REMOVING THIS CARD.

PERMIT ISSUED

FEB 10 2011

City of Portland

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, FAX: (207) 8716

Job No: 2011-01-297-ALTR	Date Applied: 1/18/2011	CBL: 087 - - E - 018 - 001 - - - - -	
Location of Construction: 34 STERLING, PEAKS IS	Owner Name: MAC L & MEDLEN	Owner Address: 2902 LAFAYETTE ST HOUSTON, TX - TEXAS 77005	Phone:
Business Name:	Contractor Name: WEIDEMANN, ADAM	Contractor Address: 74 Welch AVE PEAKS ISLANDMAINE04108	Phone: 3030
Lessee/Buyer's Name:	Phone:	Permit Type: BLDG - Building	Zone: IR-2
Past Use: Single Family	Proposed Use: Same: Single Family - Interior Renovations to add bathroom on 2 nd floor	Cost of Work: 4000.000000	CEO District:
		Fire Dept: <input type="checkbox"/> Approved <input type="checkbox"/> Denied <input checked="" type="checkbox"/> N/A	Inspection: Use Group: R3 Type: SB IRL2009
Proposed Project Description: 34 Sterling St Peaks Island Add Bathroom		Pedestrian Activities District (P.A.D.)	
Permit Taken By:		Zoning Approval	

<p>1. This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.</p> <p>2. Building Permits do not include plumbing, septic or electrical work.</p> <p>3. Building permits are void if work is not started within six (6) months of the date of issuance. False informatin may invalidate a building permit and stop all work.</p>	<p>Special Zone or Reviews</p> <p><input type="checkbox"/> Shoreland</p> <p><input type="checkbox"/> Wetlands</p> <p><input type="checkbox"/> Flood Zone</p> <p><input type="checkbox"/> Subdivision</p> <p><input type="checkbox"/> Site Plan</p> <p><input type="checkbox"/> Maj <input type="checkbox"/> Min <input type="checkbox"/> MM</p> <p>Date: <i>OK with conditions</i> <i>1/20/11</i></p>	<p>Zoning Appeal</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Miscellaneous</p> <p><input type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Interpretation</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>	<p>Historic Preservation</p> <p><input checked="" type="checkbox"/> Not in Dist or Landmark</p> <p><input type="checkbox"/> Does not Require Review</p> <p><input type="checkbox"/> Requires Review</p> <p><input type="checkbox"/> Approved</p> <p><input type="checkbox"/> Approved w/Conditions</p> <p><input type="checkbox"/> Denied</p> <p>Date:</p>
	<p>CERTIFICATION</p>		

PERMIT ISSUED
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 City of Portland

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHON



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>34 Sterling St., Peaks Island, ME 04108</u>		
Total Square Footage of Proposed Structure/Area <u>± 30 sq ft</u>		Square Footage of Lot <u>5,350</u>
Tax Assessor's Chart, Block & Lot Chart# Block# Lot# <u>87-E-18-19</u> <u>087 E018001</u>	Applicant * must be owner, Lessee or Buyer* Name <u>Mac Medlen</u> Address <u>2902 Lafayette St.</u> City, State & Zip <u>Houston, TX 77005</u>	Telephone: <u>832-620-6488</u>
Lessee/DBA (If Applicable) <u>NA</u>	Owner (if different from Applicant) Name Address City, State & Zip <u>NA</u>	Cost Of Work: \$ <u>3,500</u> C of O Fee: \$ _____ Total Fee: \$ <u>60⁰⁰</u>
Current legal use (i.e. single family) <u>Single Family</u> If vacant, what was the previous use? <u>NA</u> Proposed Specific use: <u>Single Family</u> Is property part of a subdivision? <u>NA</u> If yes, please name _____ Project description: <u>Partition off part of 1 of the 3 bedrooms upstairs and install a sink and toilet with no change to window of existing structure</u>		
Contractor's name: <u>Adam Weidemann</u> Address: <u>74 Welch St</u> City, State & Zip <u>Peaks Island, ME 04108</u> Telephone: <u>766-3030</u> Who should we contact when the permit is ready: <u>Adam Weidemann</u> Telephone: <u>207-650-4589</u> Mailing address: <u>74 Welch St, Peaks Island, ME 04108</u>		

Please submit all of the information outlined on the applicable Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information or to download copies of this form and other applications visit the Inspections Division on-line at www.portlandmaine.gov, or stop by the Inspections Division office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature: Adam Weidemann Date: 18 Jan 11

This is not a permit; you may not commence ANY work until the permit is issue

Job Summary Report
Job ID: 2011-01-297-ALTR

Report generated on Jan 20, 2011 10:21:24 AM

Job Type:	Alterations Residential SF	Job Description:	34 Sterling St Peaks Island Add Bathroom	Job Year:	2011
Building Job Status Code:	Initiate Plan Review	Pin Value:	484	Tenant Name:	
Job Application Date:		Public Building Flag:	N	Tenant Number:	
Estimated Value:	4,000	Square Footage:			
Related Parties:		MAC L MEDLEN		<i>Property Owner</i>	
		Adam Weidemann		<i>GENERAL CONTRACTOR</i>	

Job Charges

Fee Code Description	Charge Amount	Permit Charge Adjustment	Net Charge Amount	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Net Payment Amount	Outstanding Balance
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Location ID: 13416

Location Details

Alternate Id	Parcel Number	Census Tract	GIS X	GIS Y	GIS Z	GIS Reference	Longitude	Latitude	
M32990	087 E 018 001 <i>419</i>		M				-70.197032	43.658647	
			Location Type	Subdivision Code	Subdivision Sub Code	Related Persons	Address(es)		
			1				34 STERLING STREET WEST		
Location Use Code	Variance Code	Use Zone Code	Fire Zone Code	Inside	Outside	District Code	General Location Code	Inspection Area Code	Jurisdiction Code
SINGLE FAMILY		NOT APPLICABLE <i>IR-2</i>						DISTRICT 1	PEAKS ISLAND

Structure Details

Structure: Single Family Home

Occupancy Type Code:

Structure Type Code	Structure Status Type	Square Footage	Estimated Value	Address
Single Family	0			34 STERLING STREET WEST

Longitude	Latitude	GIS X	GIS Y	GIS Z	GIS Reference	User Defined Property	Value
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Permit #: BLDG-846

Permit Data

Location Id	Structure Description	Permit Status	Permit Description	Issue Date	Reissue Date	Expiration Date
13416	Single Family Home	Initialized	Install 1/2 bath in existing space			

5350 \$

Job Summary Report
Job ID: 2011-01-297-ALTR

Report generated on Jan 20, 2011 10:21:24 AM

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Inspection Details

Inspection Id	Inspection Type	Inspection Result Status	Inspection Status Date	Scheduled Start Timestamp	Result Status Date	Final Inspection Flag
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Fees Details

Fee Code Description	Charge Amount	Permit Charge Adjustment	Permit Charge Adj Remark	Payment Date	Receipt Number	Payment Amount	Payment Adjustment Amount	Payment Adj Comment
Job Valuation Fees	\$60.00							

27 Jan 11

Revised Plan for bathroom to allow
for 6'-8" headroom clearance at fixtures.

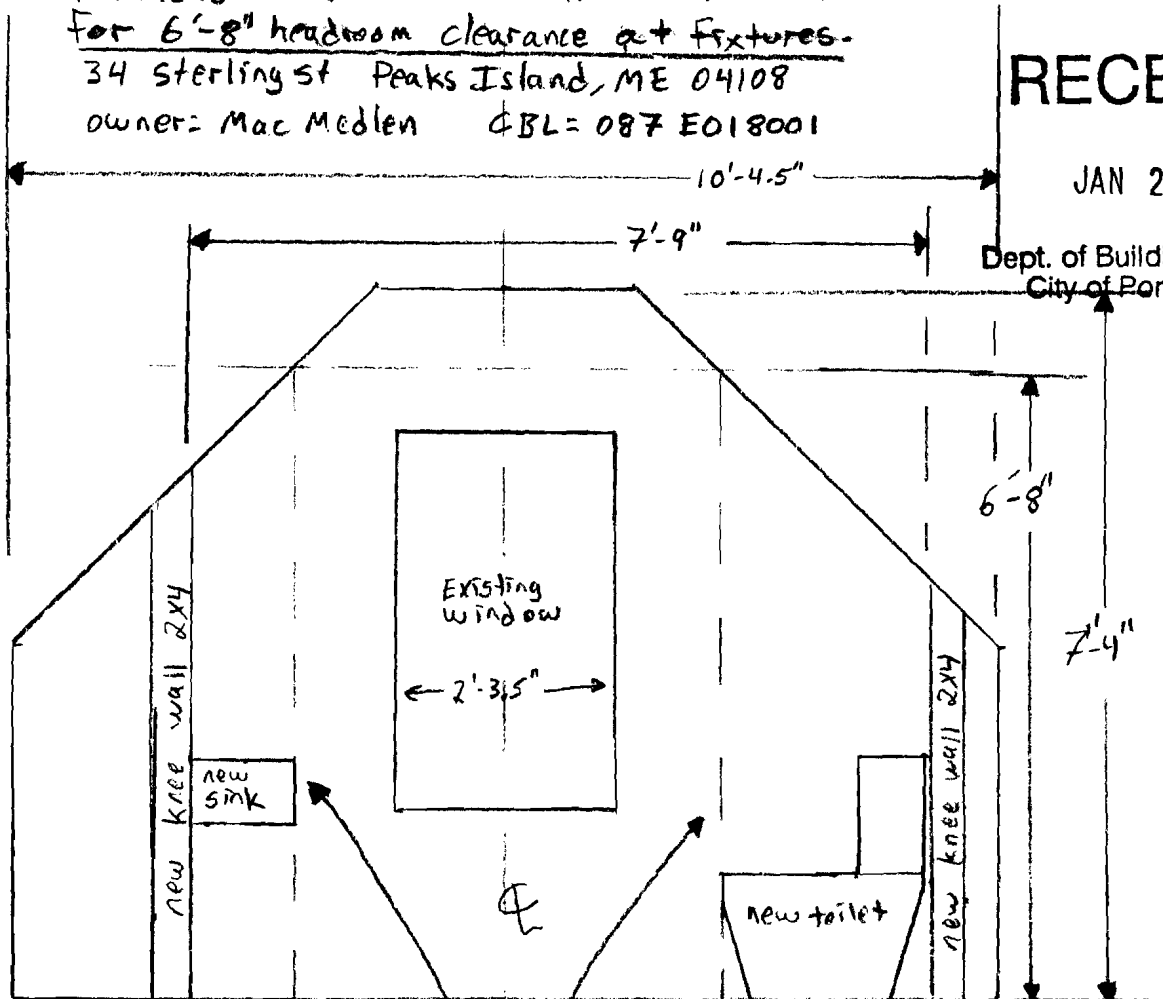
34 Sterling St Peaks Island, ME 04108

owner: Mac Medlen ⓄBL = 087 E018001

RECEIVED

JAN 28 2011

Dept. of Building Inspections
City of Portland Maine

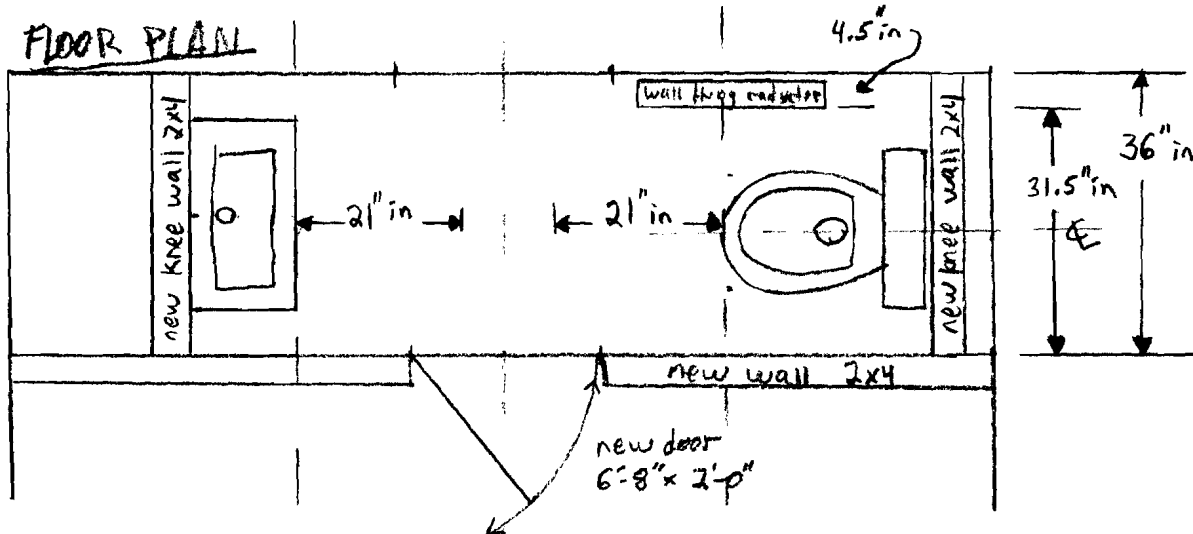


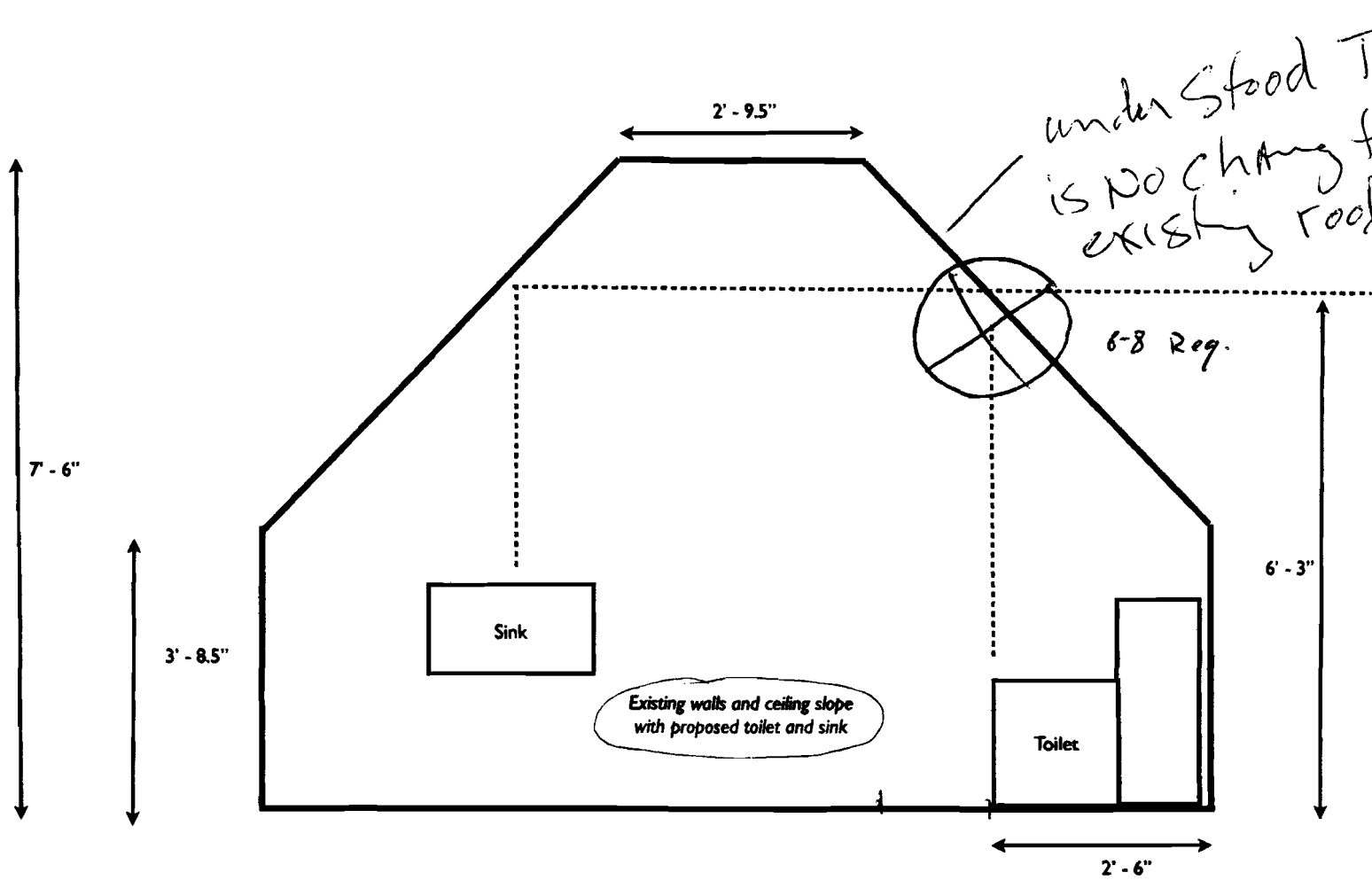
ELEVATION

6'-8" Headroom as per
2009 Intl. Res. code
Pg. 54 Section R305.1
Exceptions: part 2

drawn at
1/2" = 1' scale

FLOOR PLAN





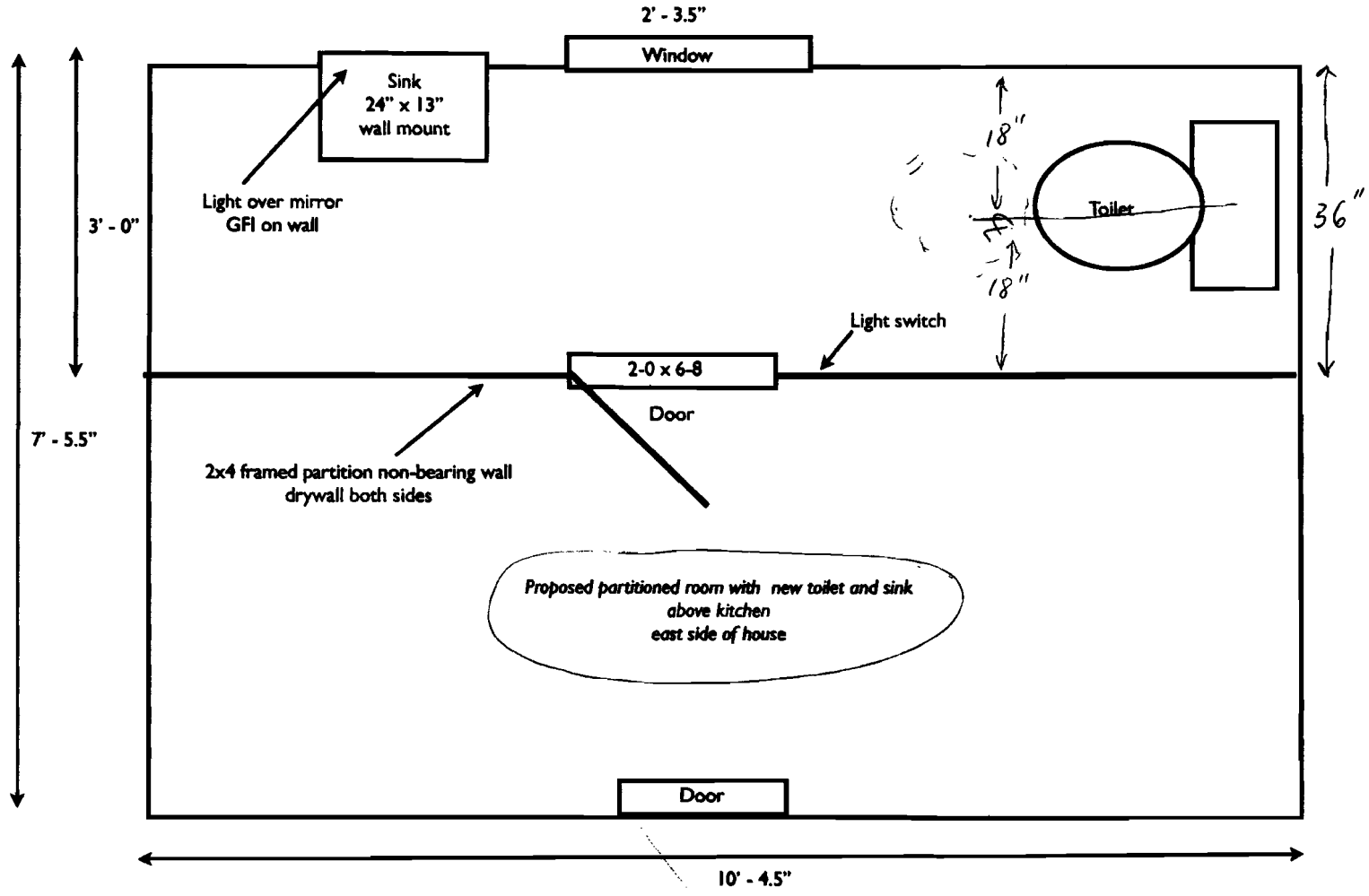
under stood that there is no change to the existing roof (part of cond. of)

6-8 Reg.

Existing walls and ceiling slope with proposed toilet and sink

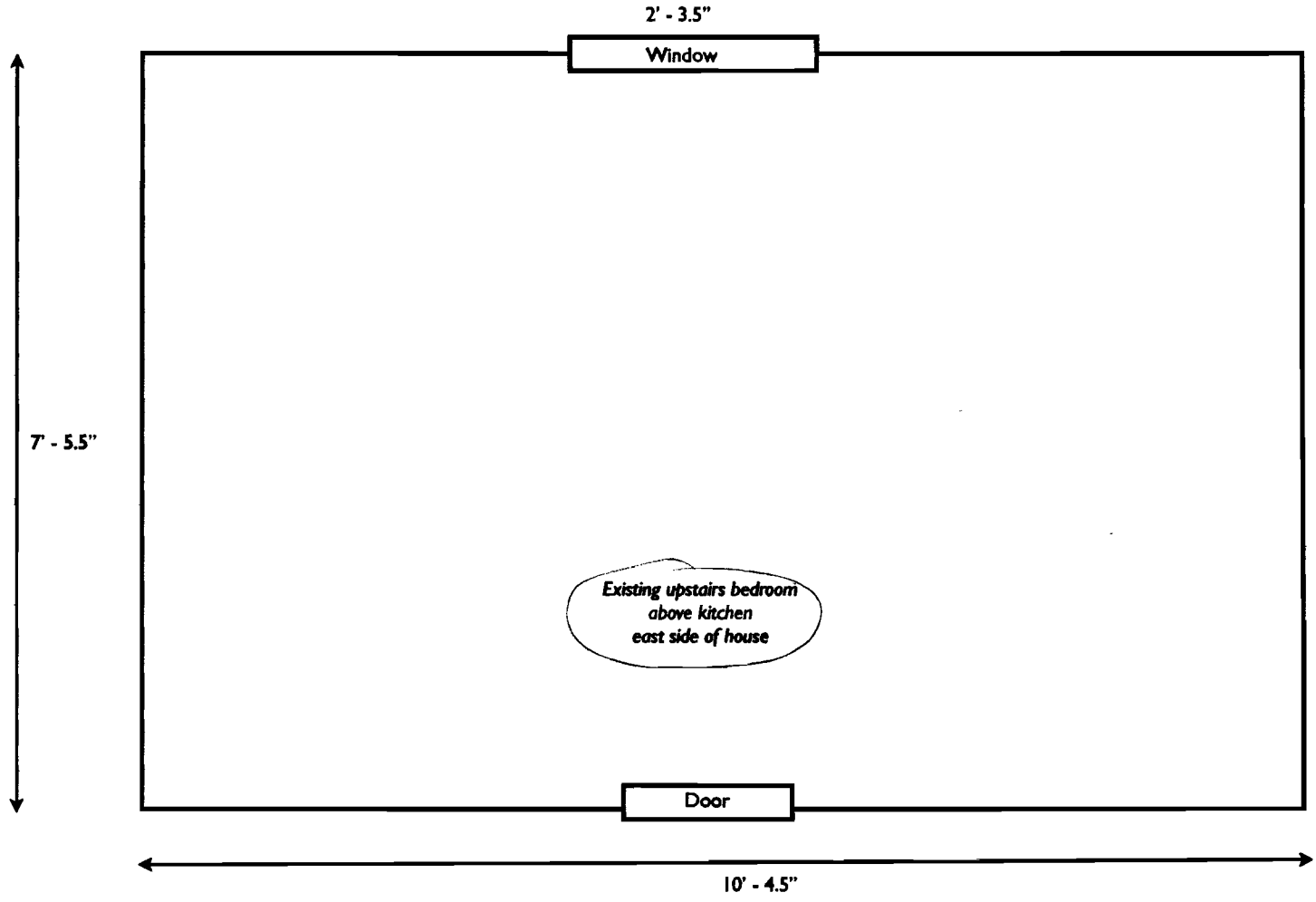
Not to scale

18 Jan 11
 34 Sterling St, Peaks Island, ME 04108
 Mac Medlen owner
 CBL: 087 E018001
 Half bath



Not to scale

18 Jan 11
34 Sterling St., Peaks Island, ME 04108
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Not to scale

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