

DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

BUILDING DEPARTMENT

PERMIT

Permit Number: 070817

PERMIT ISSUED
JUL 30 2007
CITY OF PORTLAND

This is to certify that MEDLEN MAC L & M KAY MEDLEN Orme

has permission to Repair and replace front & rear stairs, addition of over front entry

AT 32 STERLING ST PEAKS ISLAND

087 E018001

provided that the person or persons, firm or corporation accepting this permit shall comply with all of the provisions of the Statutes of Maine and of the ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Notification of inspection must be given and written permission procured before this building or part thereof is altered or closed-in. HOUR NOTICE IS REQUIRED.

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

OTHER REQUIRED APPROVALS

Fire Dept. _____

Health Dept. _____

Appeal Board _____

Other _____
Department Name

Thomas M. Moulaly 7/26/07
Director - Building & Inspection Services

PENALTY FOR REMOVING THIS CARD

City of Portland, Maine - Building or Use Permit Application

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0817	Issue Date:	CBL: 087 E018001
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Location of Construction: 32 STERLING ST PEAKS ISLAN	Owner Name: MEDLEN MAC L & M KAY MED	Owner Address: 3712 ALBANS RD	Phone:
Business Name:	Contractor Name: Marcey Orme	Contractor Address: P.O. Box 143 Peaks Island	Phone 2074087100
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	Zone: IR-2

Past Use: Single Family Home	Proposed Use: Single Family Home - Repair and replace front & rear stairs, add roof over front entry, replac rear stairs w/ landing & stairs	Permit Fee: \$50.00	Cost of Work: \$3,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: R3 Type: SB IRC 2003	

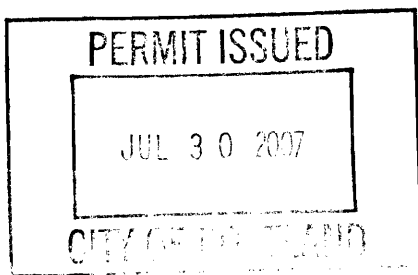
Proposed Project Description:
Repair and replace front ~~& rear~~ stairs, add roof over front entry, replac rear stairs w/ landing and stairs.

Signature: _____
Signature: *Jo 7/26/07*
PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)
Action: Approved Approved w/Conditions Denied
Signature: _____ Date: _____

Permit Taken By: ldobson	Date Applied For: 07/06/2007	Zoning Approval	
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work..

Special Zone or Reviews <input type="checkbox"/> Shoreland <i>N/A</i> <input type="checkbox"/> Wetland <i>rear entry using section 14-405</i> <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>OK w/ conditions</i> Date: <i>7/13/07</i> <i>AKH</i>	Zoning Appeal <input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	Historic Preservation <input type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied Date: _____
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CERTIFICATION

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

SIGNATURE OF APPLICANT	ADDRESS	DATE	PHONE
RESPONSIBLE PERSON IN CHARGE OF WORK, TITLE		DATE	PHONE

City of Portland, Maine - Building or Use Permit

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 07-0817	Date Applied For: 07/06/2007	CBL: 087 E018001
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Location of Construction: 32 STERLING ST PEAKS ISLAND	Owner Name: MEDLEN MAC L & M KAY MED	Owner Address: 3712 ALBANS RD	Phone:
Business Name:	Contractor Name: Marcey Orme	Contractor Address: P.O. Box 143 Peaks Island	Phone (207) 408-7100
Lessee/Buyer's Name	Phone:	Permit Type: Alterations - Dwellings	

Proposed Use: Single Family Home - Replace front stairs, replace rear stairs with landing & stairs, add small roof over front entry	Proposed Project Description: Replace front stairs, replace rear stairs with landing & stairs, add small roof over front entry
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Dept: Zoning **Status:** Approved with Conditions **Reviewer:** Ann Machado **Approval Date:** 07/13/2007

Note: new rear entry OK per section 14-425

Ok to Issue:

- 1) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.
- 2) The front stairs must be replaced within the existing footprint.
- 3) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.

Dept: Building **Status:** Approved with Conditions **Reviewer:** Tom Markley **Approval Date:** 07/26/2007

Note:

Ok to Issue:

- 1) Permit approved based on the plans submitted and reviewed w/owner/contractor, with additional information as agreed on and as noted on plans.

Comments:

7/26/2007-tm: Called and left message for Macey Orme requesting more info.



General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>37 Sterling -</u>		
Total Square Footage of Proposed Structure 30	Square Footage of Lot 5350	
Tax Assessor's Chart, Block & Lot Chart# 87 Block# E Lot# 18	Owner: Mac Medlen 3712 Albans Rd. Houston TX 77005	Telephone: 713. 666. 4266
Lessee/Buyer's Name (If Applicable)	Applicant name address & telephone: Mac Medlen 34 Sterling St. Peaks Island ME 04108	Cost Of Work: \$ 3000.- Fee: \$ _____ C of O Fee: \$ _____
Current legal use (i.e. single family) <u>single family</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>same</u> Is property part of a subdivision? <u>no</u> If yes, please name _____ Project description: <u>Add small entry roof above front stairs.</u> <u>Replace front stairs, Add landing and replace</u> <u>back stairs.</u>		
Contractor's name, address & telephone: Macey Orme 766-5909 CP-408-7100 PO Box 143, PI ME 04108 Who should we contact when the permit is ready: <u>Macey Orme</u> Mailing address: PO Box 143 Phone: <u>766-5909, 408-7100</u> Peaks Island ME 04108		

Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at www.portlandmaine.gov, stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: <u>[Signature]</u>	Date: <u>07/06/07</u>
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This is not a permit; you may not commence ANY work until the permit is issued.

N/F
 JOEL & JANE
 VINCENT
 BOOK 8755, PAGE 104

PLANNINGS
 PAGE 142

N/F
 JILL KEEFE
 CLAUDIA WHITMAN
 BOOK 21478, PAGE 155

LAND OF
 MAC L. M. KAY
 MEDLEN
 BOOK 23161, PAGE 29
 AREA = 5395 S.F.

N/F
 JOHN & CATHERINE
 HANNIGAN
 BOOK 2415, PAGE 373

EXISTING HOUSE

SHED

FLOWER BED

EXISTING HOUSE

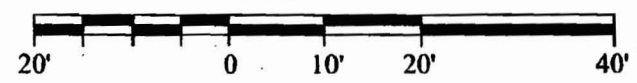
EXISTING PATH KNOWN AS "SNAKE ALLEY"

STERLING STREET
 31' PUBLIC R.O.W.

ISLAND AVENUE

IR-2
 front 25' ~~width~~ ~~or~~ ~~width~~
 side - 20'
 lot coverage 20% = 1079 / 838 ^{of}

Scale: 1" = 20'



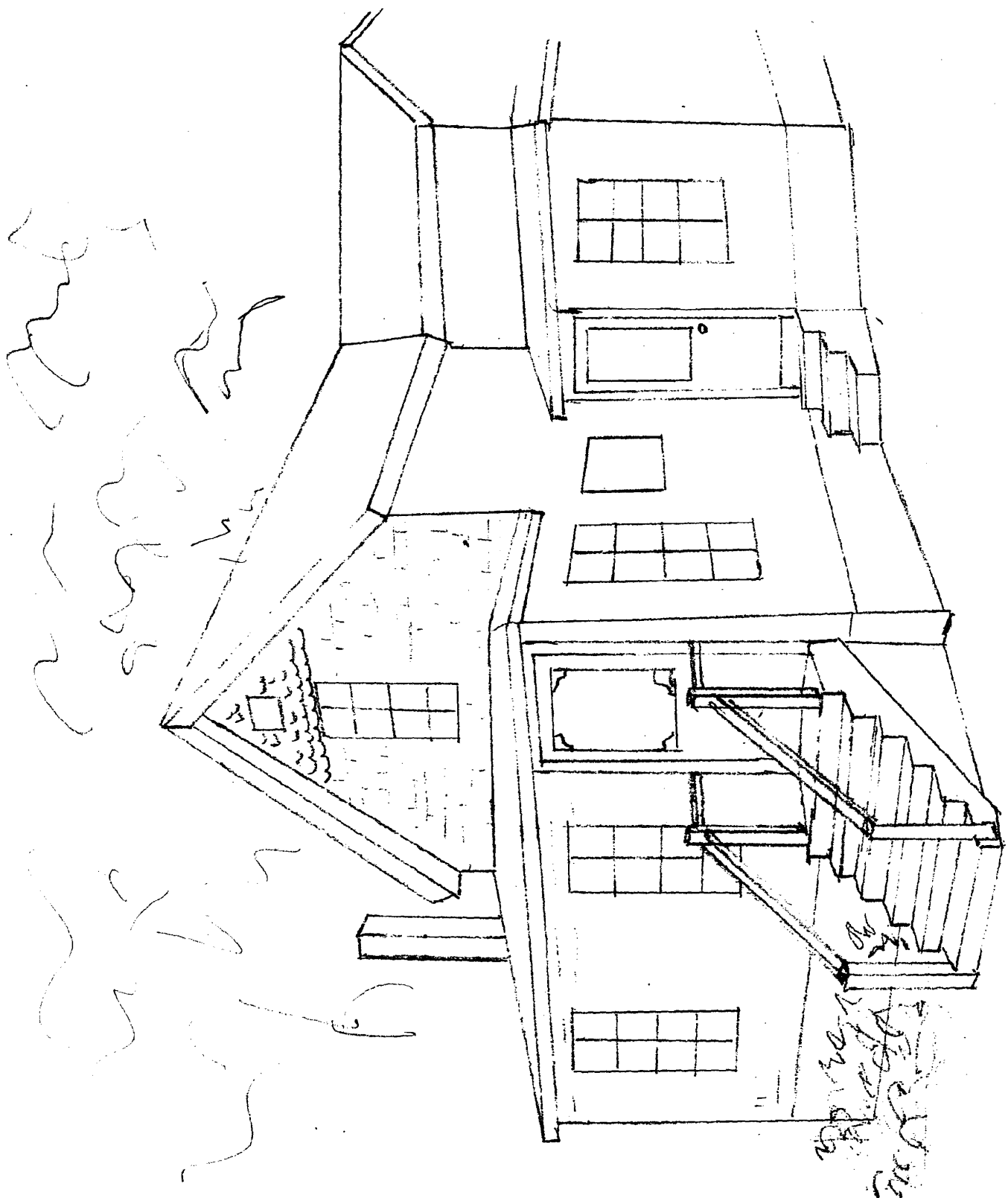
28 x 16 = 448
 12 x 20 = 240
 1.5 x 2 = 3
 8 x 8 = 64
 7 x 5 = 35
 8 x 4 = 32
 4 x 4 = 16
 838

SYMBOL	DESCRIPTION
○ (with dot)	IRON PIPE/ROD FOUND
● (with dot)	5/8" IRON ROD W/ CAP TO BE SET
⊕	UTILITY POLE
—○—	WOOD FENCE
○	DECIDUOUS TREE
---	EDGE OF PAVEMENT
A.G.	ABOVE GROUND
N/F	NOW OR FORMERLY

Handwritten signature

PLOT PLAN
 LAND OF
 MAC L. & M. KAY
 MEDLEN
 STERLING STREET
 PEAKS ISLAND, PORTLAND, MAINE

BH2M
 Berry * Huff * McDonald * Milligan Inc.
 ENGINEERS * SURVEYORS * PLANNERS
 28 State Street, Gorham, Maine 04038, (207) 839-2771



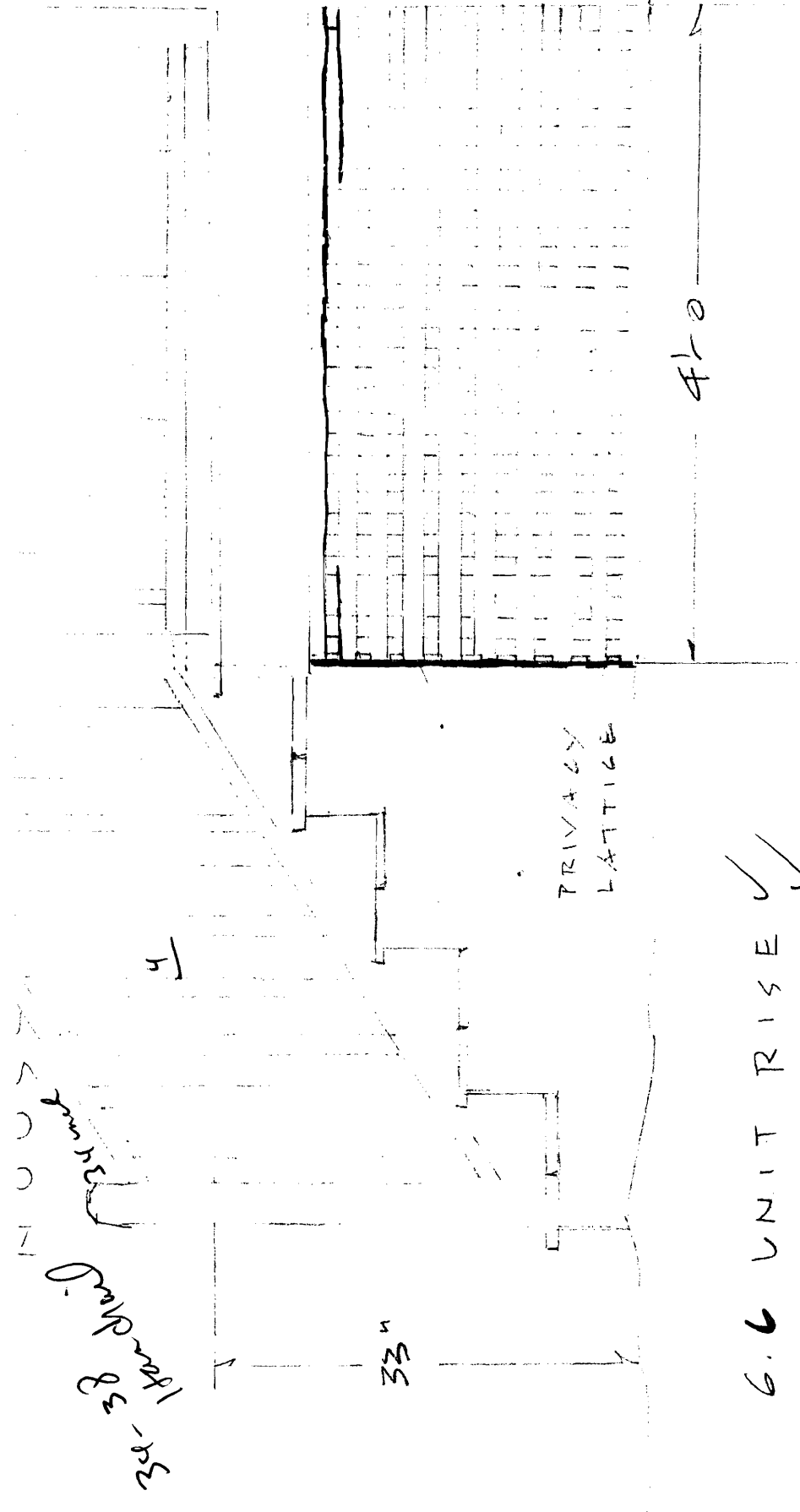
Medlen
34 Sterling St

EXISTING

Nov. - 07/05/07

36 Grand

H O U S E



PRIVACY
LATTICE

4'-0"

SCALE 1" = 1'0"

MEDLEN
BACK PORCH, STAIR
ELEVATION

07/05/07 WCO ✓

6.6 UNIT RISE ✓
11.25 UNIT RUN

- 4 X 4 POST
- 2 X 4 TRAIL
- 2 X 2 BALUSTRADE
- 5/4 X 6 PECKING
- 1 X 8 SKIRT TRIM

3'-0" - 3'-8" Handrail
3'-0" - 3'-8" Handrail

3'-0"

4'

EXISTING HOUSE

EXISTING STAIR TO DOOR

2x6 JOIST W/ HANGING

$8 \times 4 = 32$

$3.5 \times 35 = 122.5$

144.25

OK section

14-425

- not extend more than 6' from building

- square footage < 5000

• PRESSURIZED TREATED PRIVACY LATHING W/ 1x8 TRIM BOARD

• 4x4 POSTING

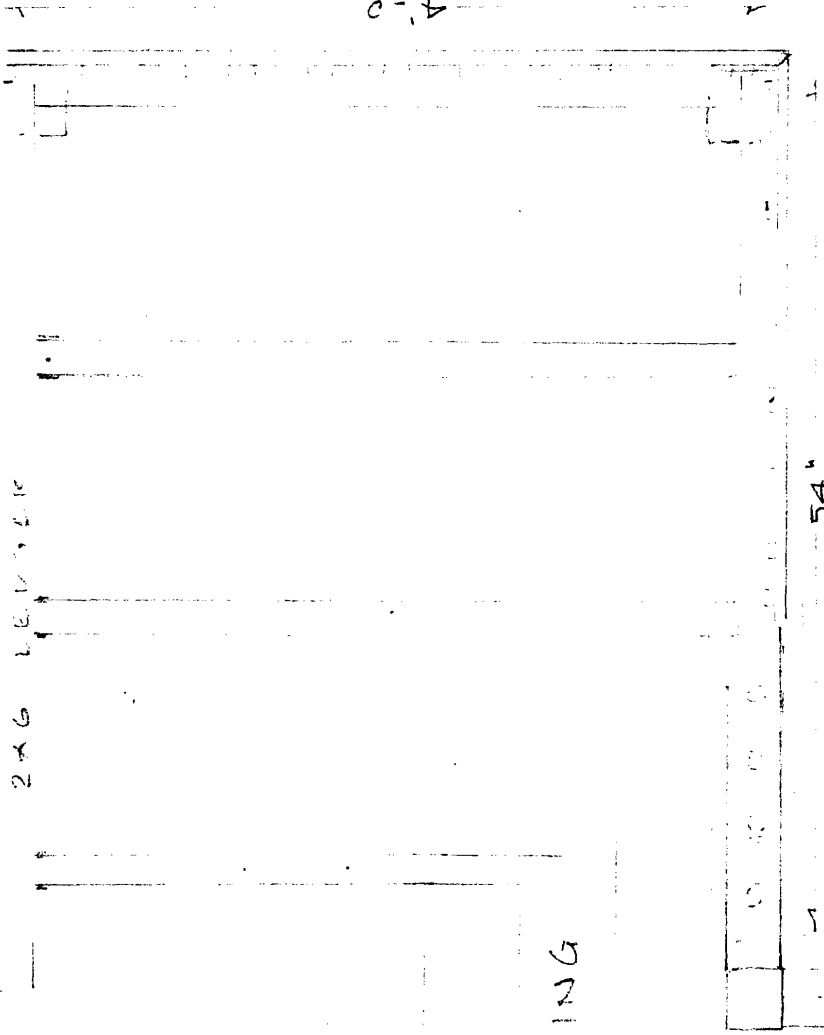
2x2 BALUSTRADE

MEDLEN

BACK STAIR, PORCH

PLAN SCALE 1" = 10'

02/05/07 I. MCGO.



5/4 x 6 PT DECKING

+ 33"

+ 26 3/8

+ 19 3/4

+ 13 3/16

42"

+ 6 5/8

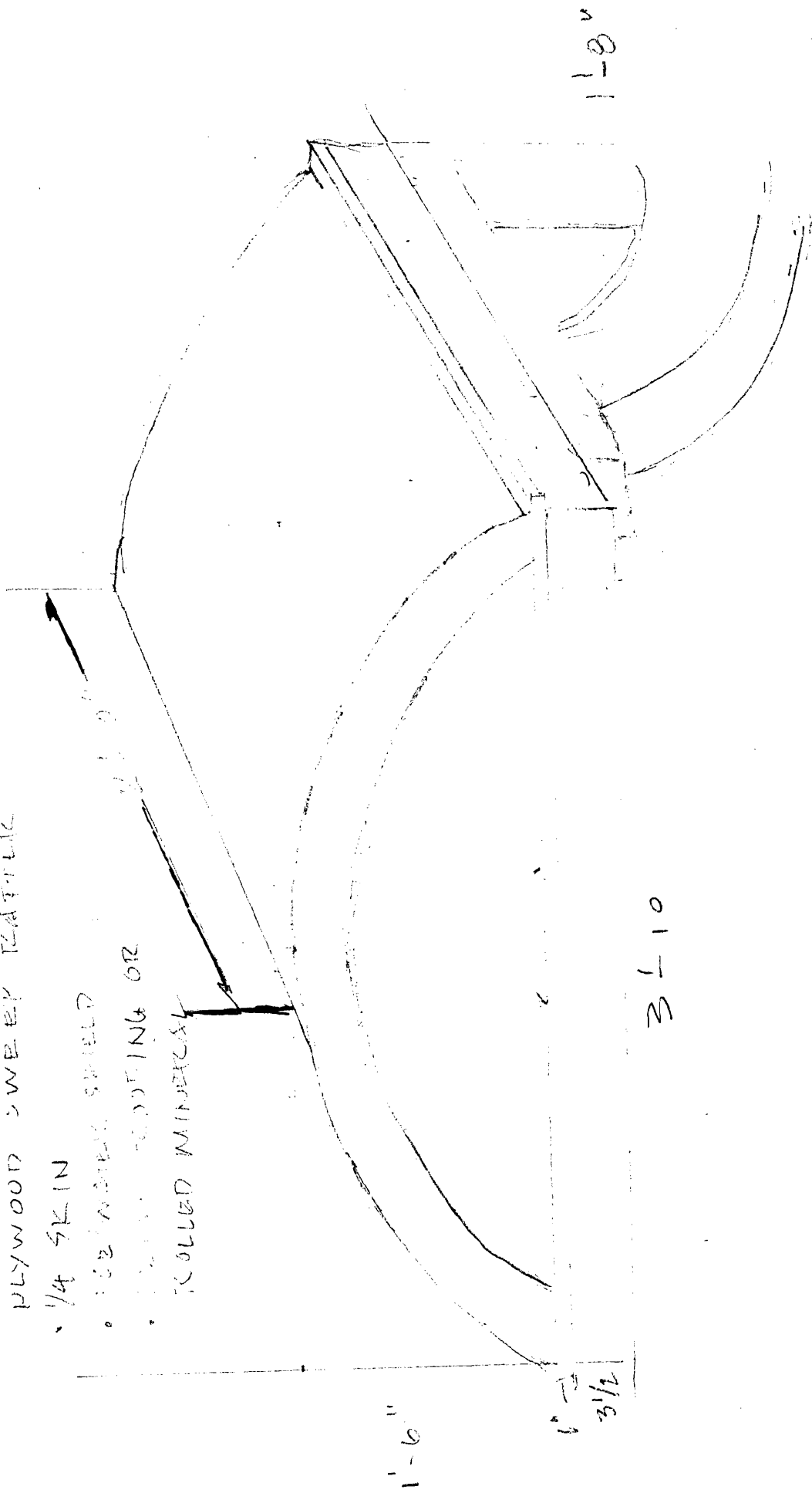
54"

310

2x6 LEDGER

EXISTING HOUSE

SCALE 1/2" = 1'-0"



- PLYWOOD SWEET PATTICK
- 1/4 SK IN
- 1/2" MINERAL SHEET
- 1/2" MINERAL SHEET OR
- ROLLED MINERAL

3-10

1'-8"

1'-6"

1'-3 1/2"

- FRONT PORCH, STAIRS, RAILS
- SAME CONSTRUCTION

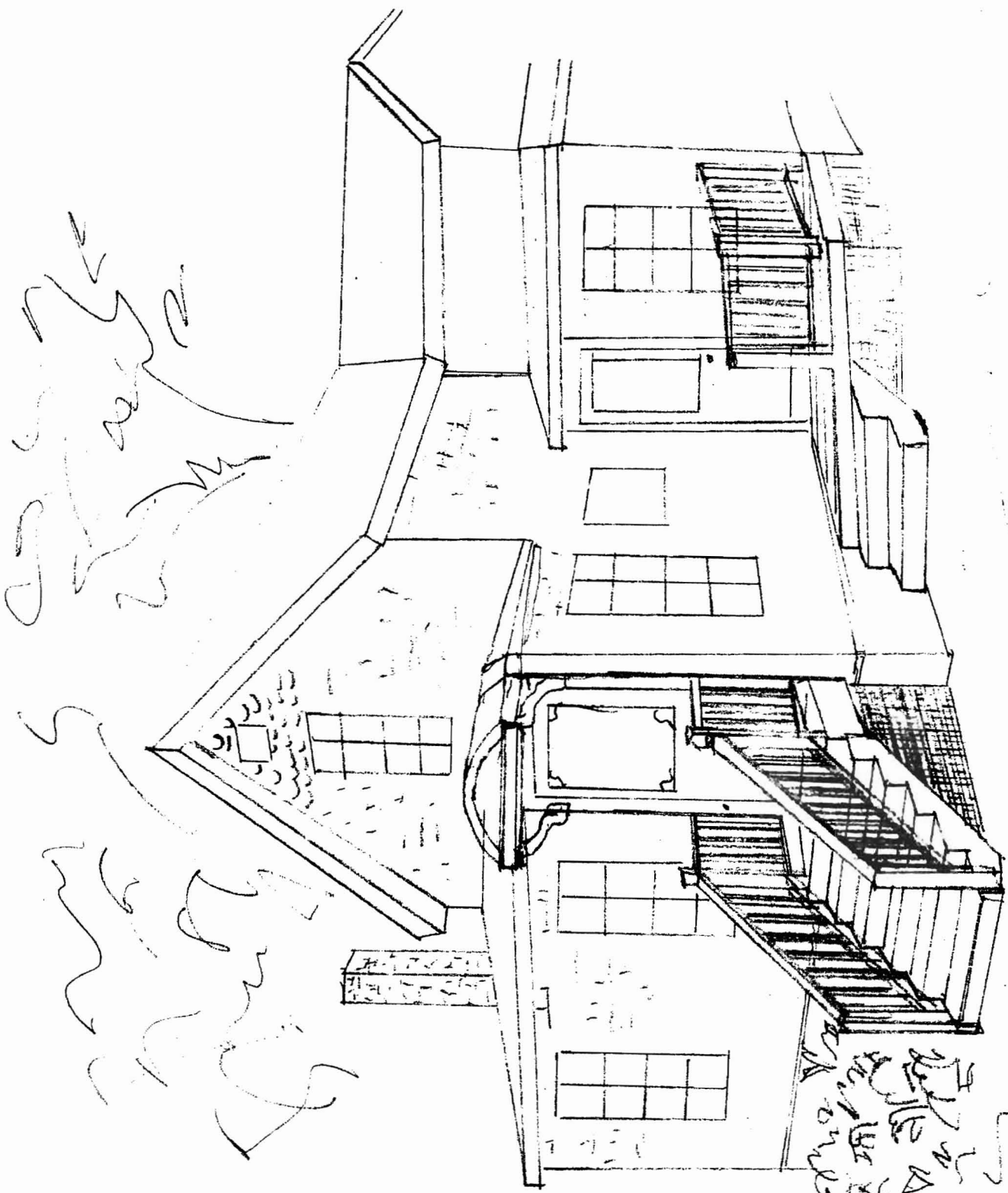
- AS BACK
- 4 X 4 POST
- 2 X 6 JOIST
- 5/4 X 6 DECK
- 2 X 4 RAILS
- 2 X 2 BALUSTRADE

WEDLEN

FRONT PORCH, STAIRS
ENTRY ROOF

07/05/07 W.C.O.





Medlen
34 Sterling St
PI 04108

PROPOSED

MCO. 07/05/07

Handwritten notes in the bottom right corner of the sketch, including the words "CALLE" and "WALK".



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

Current Owner Information

Card Number	1 of 1
Parcel ID	119 C001001
Location	182 LONGFELLOW ST
Land Use	SINGLE FAMILY
Owner Address	HARRIS MICHAEL A & EILEEN R JTS 184 LONGFELLOW ST PORTLAND ME 04103
Book/Page	
Legal	119-C-1 LONGFELLOW ST WEST 182-186 DEBLOIS ST 29-33 8339 SF

Current Assessed Valuation

Land	Building	Total
\$135,800	\$129,200	\$265,000

Property Information

Year Built 1926	Style Cape	Story Height 1	Sq. Ft. 1400	Total Acres 0.191		
Bedrooms 3	Full Baths 2	Half Baths	Total Rooms 8	Attic Unfin	Basement Full	

Outbuildings

Type	Quantity	Year Built	Size	Grade	Condition
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Sales Information

Date	Type	Price	Book/Page
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Picture and Sketch

<u>Picture</u>	<u>Sketch</u>	<u>Tax Map</u>
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[Click here to view Tax Roll Information.](#)

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or [e-mailed](#).

New Search!