

SOMERS GARAGE

PEAKS ISLAND, PORTLAND, MAINE



Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions

11/26/2018

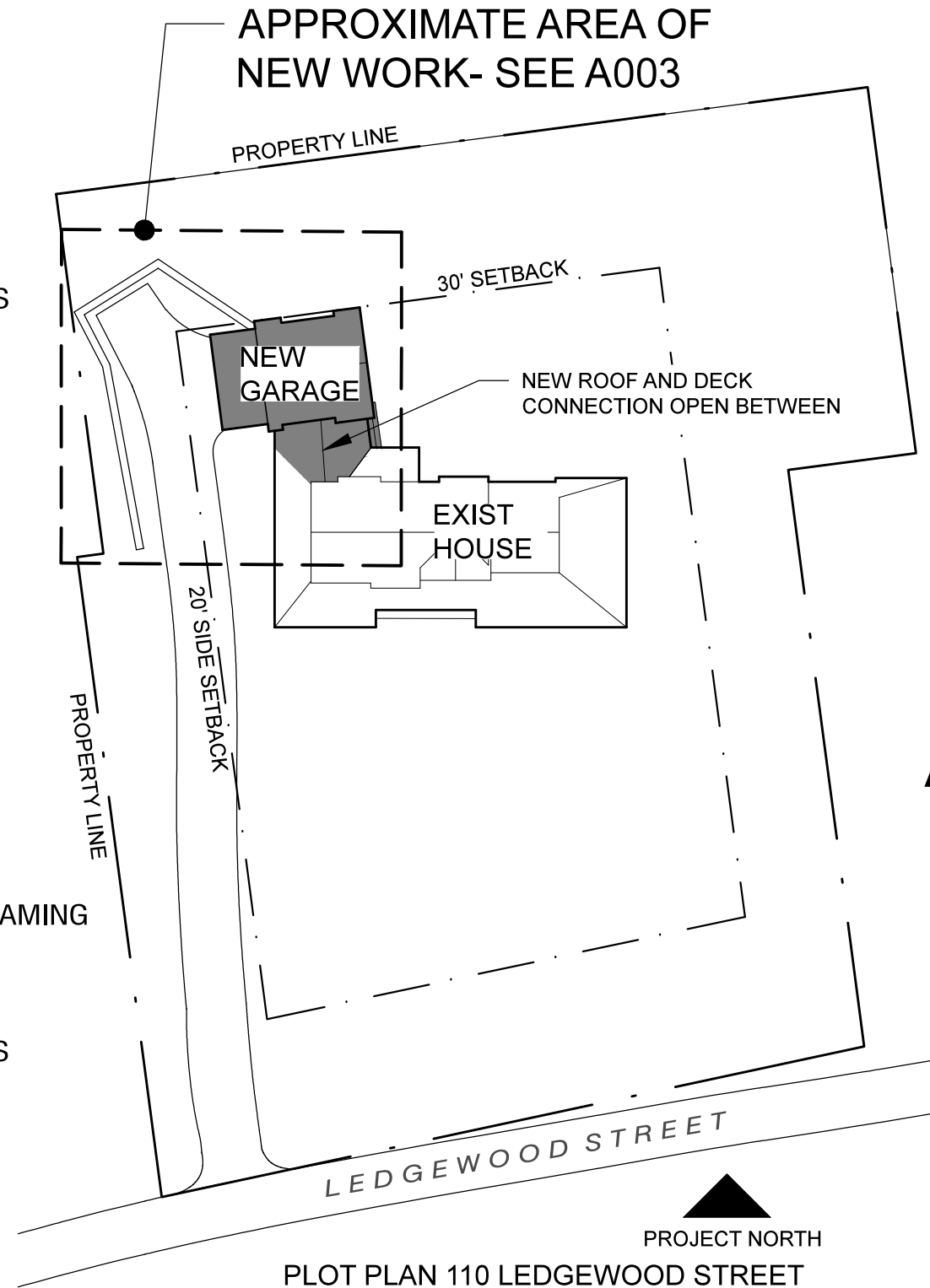
PERMIT SET 10/05/2018

CURRENT DRAWING LIST

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- A 003 SITE PLAN
- A 100 SCHEDULES
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WINKELMAN ARCHITECTURE
41 UNION WHARF
PORTLAND, ME 04101
207/699-2998

DOUG WILBER BUILDER
PEAKS ISLAND, ME 04108
207/272-8763

ALBERT PUTNAM ASSOCIATES LLC
183 PARK ROW
BRUNSWICK, ME 04011
207/729-6230



WINKELMAN ARCHITECTURE

64'

32'

0 8'

COVER SHEET

A 001

FRED AND JEANETTE SOMERS
110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME
SCALE: 1/32" = 1'-0" DATE: 10/05/2018

41 UNION WHARF, SUITE 4, PORTLAND ME 04101
PH: 207.699.2998



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PROJECT SCOPE:

NEW 18X26 2 STORY GARAGE/WORK ROOM WITH DECK AND ROOF CONNECTION FROM EXISTING HOUSE AND DECK.

LOCAL (PORTLAND) ZONING AND CODE:

ADDRESS: 110 LEDGEWOOD RD, PEAKS ISLAND, MAINE
LOT ID(S): 087 E002, 087 E003, 087 E004 AND 087 E048,087 E049
TAX MAP:

PORTLAND ADOPTED: CITY OF PORTLAND MUNICIPAL CODE (ESPECIALLY CH 4,6,10) MUBEC, 2009 NFPA 101, 2009 NFPA 1

CHAPTER 4 LAND USE:

ZONE: IR-1 (SPLITS ZONES 1R-1 & IR-2; IR-1 MORE RESTRICTIVE)
SHORELAND ZONE: NO
MIN LOT SIZE: EXISTING LOT AND HOUSE (CODE IS 60,000 SF WITHOUT PUBLIC WATER BUT EXCEPTION 14-433, (A), 3 ALLOWS 10,000 MIN IF LOT OF RECORD JULY 15, 1985)
LOT AREA: 28,745 SF (OR 28,737 BY CITY RECORDS: 02= 8,704SF; 03= 6,194SF; 04= 2,500SF; 48=5,629SF; 49=5,710SF)
COVERAGE LIMIT: 20% (28,737 X .2= 5,747.4 SF)
COVERAGE PROPOSED: 2,582SF (EXISTING ~1,950SF FOOTPRINT + NEW ~632SF)
SETBACKS: FRONT=30FT; REAR=30FT; SIDE=20FT(FOR 2 STORIES) OR MIN 12FT IF 2FT MORE THAN 14FT ON OTHER "SIDE".
MAX HEIGHT: 35FT
PARKING: PER DIVISION 20
SEPTIC: NO ADDITIONAL FIXTURES ADDED
WATER: EXISTING WELL & NO FIXTURES ADDED
ELECTRIC: NEW UNDER DECK FROM HOUSE

CHAPTER 6 BUILDING AND BUILDING REGULATIONS:

CHAPTER 10 FIRE PREVENTION AND PROTECTION, ARTICLE 1. LIFE SAFETY CODE:

AMMENDMENTS, SECTION 10-3 :

STAIRS: (H) RISERS CAN BE UP TO 7 3/4"H; TREADS CAN BE 10"D MIN; STAIR GUARDS CAN BE ONLY 36"H; NOSINGS CAN BE 3/4"- 1 1/4".
SMOKE ALARM: (I) HARD WIRED SMOKE DETECTORS REQUIRED IN PARKING STRUCTURES (GARAGE)
CO2 ALARM: (L) CARBON MONOXIDE DETECTORS REQUIRED IN PARKING STRUCTURES (GARAGE)

SPRINKLERS: NOT REQUIRED AS ROOM ABOVE GARAGE NOT A DWELLING UNIT PER PORTLAND ADOPTION OF NFPA 101 2009 EFFECTIVE SEPT 15, 2010

2009 IECC: INSULATION TABLE 402.1.1 FOR ZONE 6: FLOOR R-30 MIN., WALLS R-20 MIN., CEILING R-49 MIN.

THIS PROJECT HAS: FLOOR- 1.875" OF DENSE PACKED CELLULOSE AT R4= R47.5; WALL- 5.5" OF DENSE PACKED CELLULOSE AT R4= R22; CEILING (ROOF)- 7.75" (9.25"RAFTERS-1.5" VENT) OF CLOSED CELL URETHANE AT R6.5= R50.375

STATE (MAINE) ADOPTED CODES: MUBEC= 2015 IBC, 2015 IRC, 2015 IEBC, 2009 IPMC, 2009 IECC, 2013 ASHRAE 62.1, 62.2, 90.1, 2008 ASTM E-1465



CODE ANALYSIS

A
002

WINKELMAN ARCHITECTURE

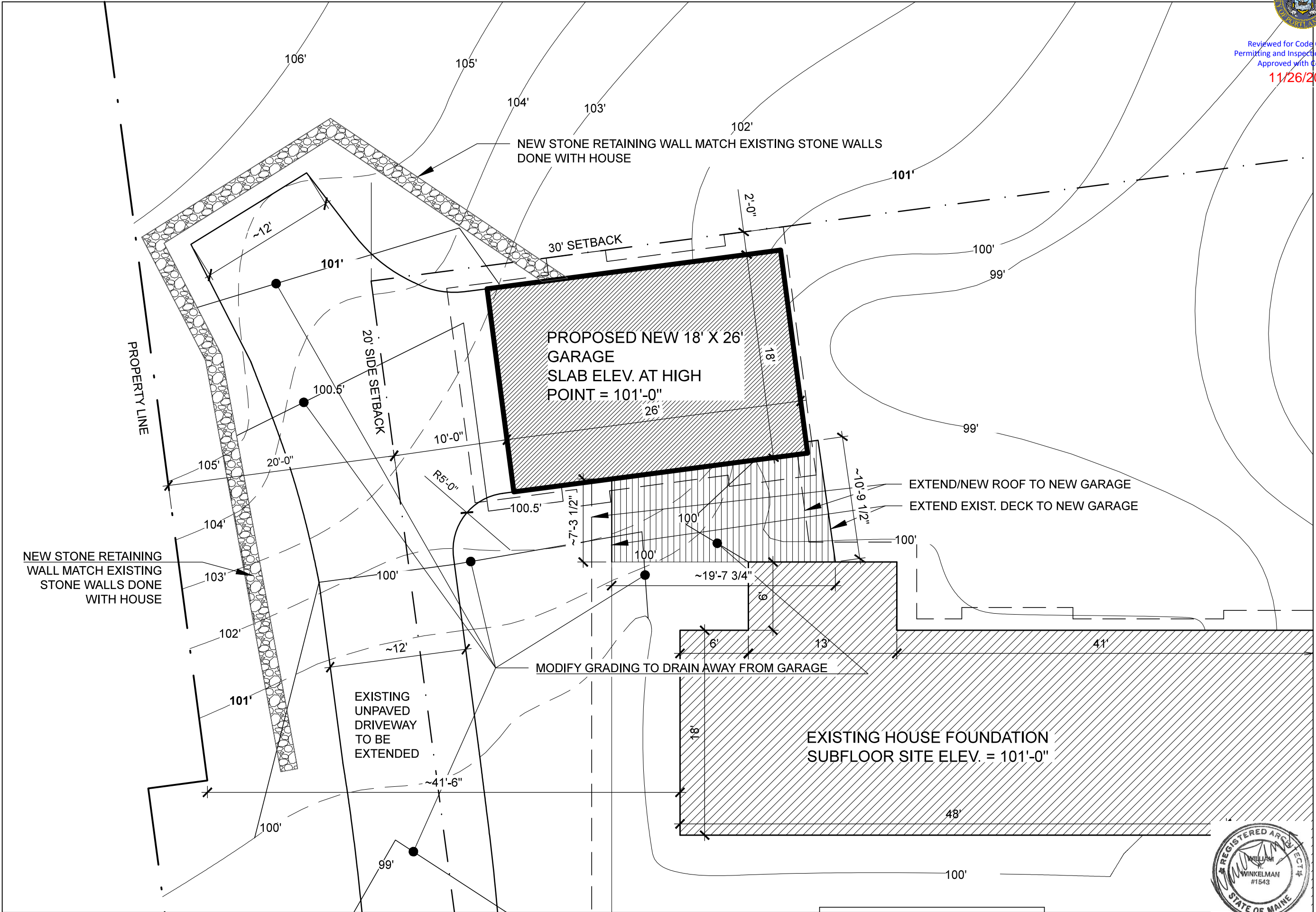
FRED AND JEANETTE SOMERS
110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME
SCALE: NONE
DATE: 10/05/2018

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SITE PLAN

WINKELMAN ARCHITECTURE

SCALE: 1/8"=1'-0"
DATE: 10/05/2018

A
003

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110 LEDGEWOOD STREET PEAKS ISLAND, PORTLAND, ME

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EXTERIOR DOOR AND WINDOW SCHEDULE

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UNIT ON PLAN	UNIT STYLE	MANUFACTURER NUMBER	UNIT ROUGH OPENING WIDTH	UNIT ROUGH OPENING HEIGHT	HEADER HEIGHT FROM SLAB OR SUBFLOOR	MULLING	LITE PATTERN	HINGE SIDE AS VIEWED FROM EXTERIOR	INTERIOR FINISH	JAMB DEPTH	REMARKS
FIRST FLOOR											
G-1	OVERHEAD GARAGE DOOR	TBD	14'-0"	7'-0"	7'-0" (FROM SLAB)	N/A	N/A	N/A	PRIMED	N/A	SIMPLE SLAB PANELS TO BE BOARDED OVER BY G.C.
G-2	CASEMENT	CUCA2432	2'-1"	2'-7 3/4"	6'-11" (FROM SLAB)	N/A	4 LITE	RIGHT	PRIMED	0'-6 9/16"	
G-3	CASEMENT	CUCA2432	2'-1"	2'-7 3/4"	6'-11" (FROM SLAB)	N/A	4 LITE	RIGHT	PRIMED	0'-7 9/16"	
G-4	ENTRY DOOR	SIMPSON FIR DOOR	3'-2 1/2"	6'-11"	6'-11" (FROM SLAB)	N/A	4 LITE (SEE ELEV.)	LEFT	FIR	0'-8 9/16"	TEMPERED
G-5	DOUBLE HUNG	CUDH-NG3024	3'-0 1/4"	4'-8"	7'-0" (FROM SLAB)	N/A	2 / 2	N/A	PRIMED	0'-9 9/16"	TEMPERED (STAIR LOCATION)
G-6	CASEMENT	CUCA2432	2'-1"	2'-7 3/4"	6'-11" (FROM SLAB)	N/A	4 LITE	RIGHT	PRIMED	0'-10 9/16"	
G-7	CASEMENT	CUCA2432	2'-1"	2'-7 3/4"	6'-11" (FROM SLAB)	N/A	4 LITE	RIGHT	PRIMED	0'-11 9/16"	
G-8	CASEMENT	CUCA2432	2'-1"	2'-7 3/4"	6'-11" (FROM SLAB)	N/A	4 LITE	LEFT	PRIMED	1'-0 9/16"	
SECONND FLOOR											
G-9	DOUBLE HUNG	CUDH-NG3056E	3'-0 1/4"	10'-0"	12'-0"	N/A		N/A	PRIMED		
G-10	(3)AWNING	CUCA4040	* 10'-5"	3'-3 3/4"	5'-3 1/4"	THREE UNITS W/ FACTORY POSTS		TOP	PRIMED		* 2" STRUCTURAL POST FACTORY MULLED- VERIFY R.O. WIDTH
G-11	DOUBLE HUNG / FIXED TRANSOM	CUDH-NG3024 / CUDHP-NG3086 TRANSOM	3'-0 1/4"	12'-8"	11'-0"	TWO UNITS MULLED		N/A	PRIMED		TEMPERED LOWER UNIT (STAIR LOCATION)
G-12	DOUBLE HUNG		3'-0 1/4"	4'-8"	7'-0"	N/A		N/A	PRIMED		TEMPERED (STAIR LOCATION)
G-13	(3)AWNING	CUCA4040	* 10'-5"	3'-3 3/4"	5'-3 1/4"	THREE UNITS W/ FACTORY POSTS		TOP	PRIMED		* 2" STRUCTURAL POST FACTORY MULLED- VERIFY R.O. WIDTH
ROOF											
G-14,15,16,17	SKYLIGHT- FIXED	VELUX FS M08	2'-6 9/16"	4'-6 15/16"		N/A	N/A	N/A			4 SEPARATE SKYLIGHTS MUST HAVE 0.55 U FACTOR MAX. PER IECC.

WINDOW NOTES:

1. ALL WINDOW UNITS TO BE MARVIN ULTIMATE SERIES. CLAD ULTIMATE DOUBLE-HUNG, CASEMENTS, AWNINGS, TRANSOMS.
2. DOUBLE-GLAZED, INSULATED, LOW-E II GLASS. SDL WITH SPACER BAR.
3. ALL UNITS TO BE PRIMED INTERIOR UNLESS NOTED OTHERWISE. CLAD EXTERIOR COLOR EVERGREEN
4. ALL SCREENS TO BE HIGH TRANSPARENCY, PRIMED WOOD FRAME.
5. EXTENSION JAMS AS NOTED.
6. SATIN NICKEL HARDWARE.

SKYLIGHT NOTES:

1. ALL SKYLIGHT UNITS TO BE VELUX DECK MOUNTED FIXED.
2. VERIFY OPTIONS WITH ARCHITECT.



SCHEDULES

A
100

WINKELMAN ARCHITECTURE

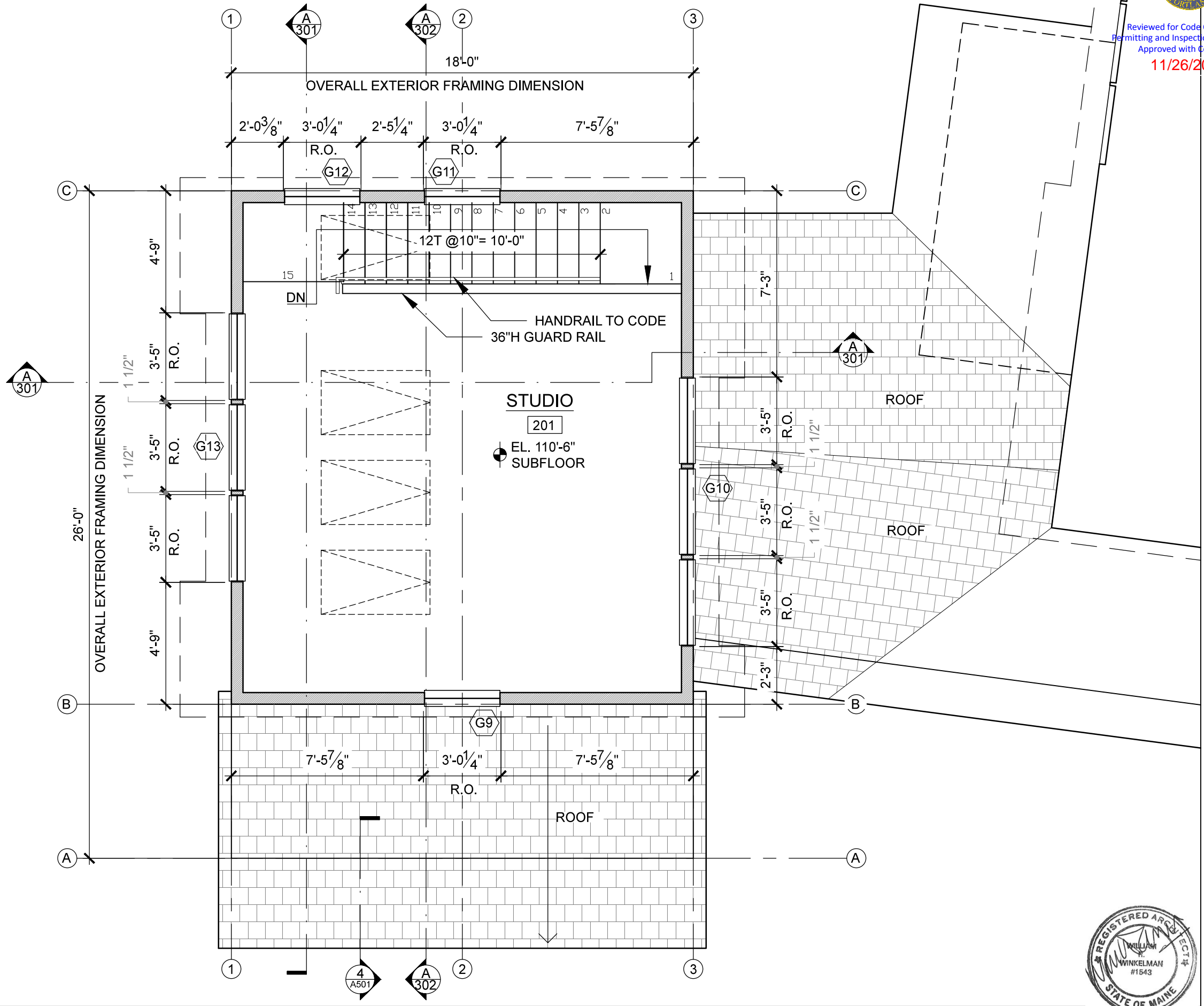
FRED AND JEANETTE SOMERS
110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME

SCALE: NONE
DATE: 10/05/2018

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SECOND FLOOR PLAN

WINKELMAN ARCHITECTURE

0 1' 4' 8'

A
102

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110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME

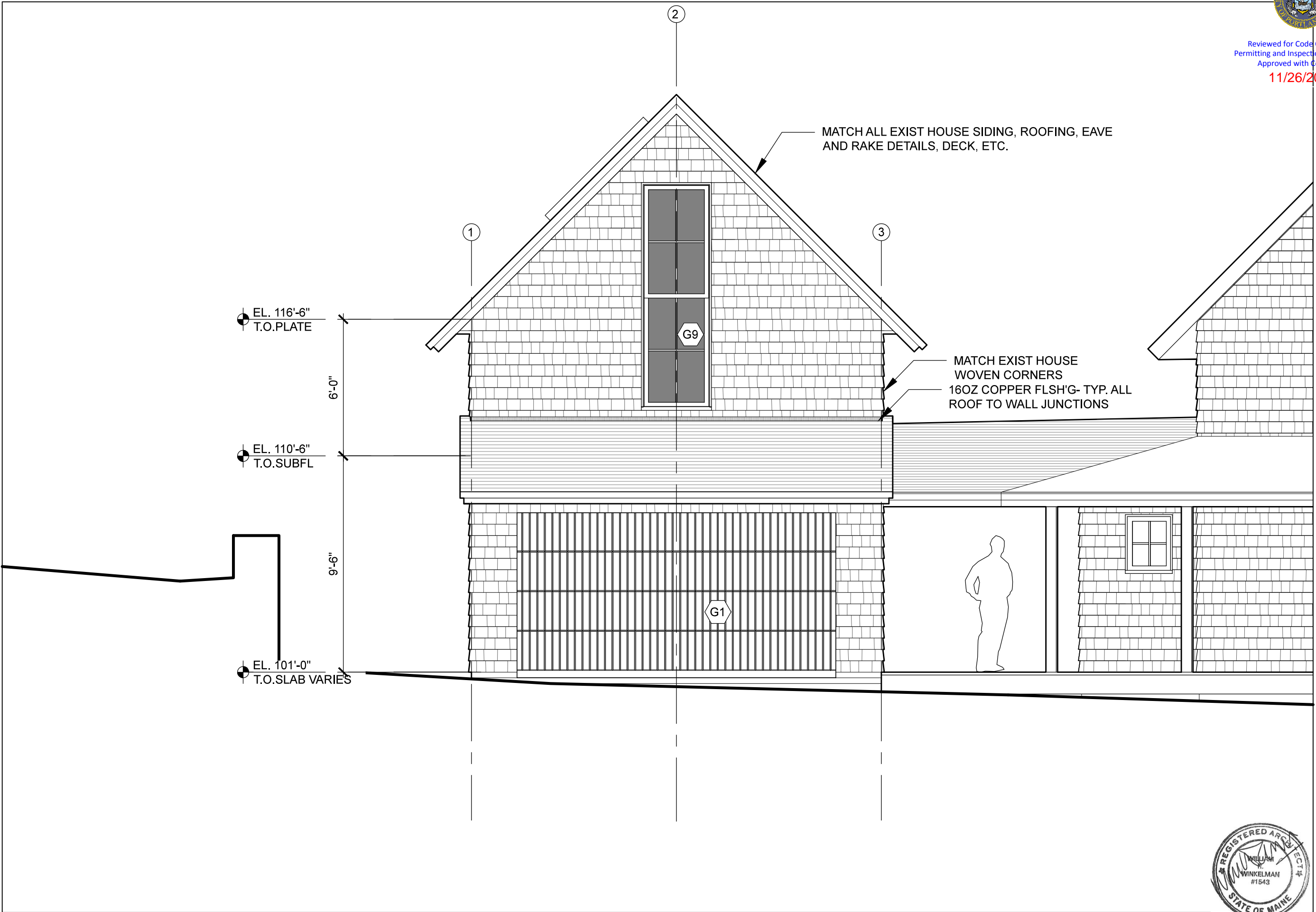
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DATE: 10/05/2018

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WEST ELEVATION

WINKELMAN ARCHITECTURE

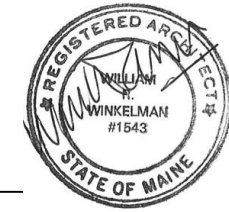
8'
4'
0' 1'

A
201

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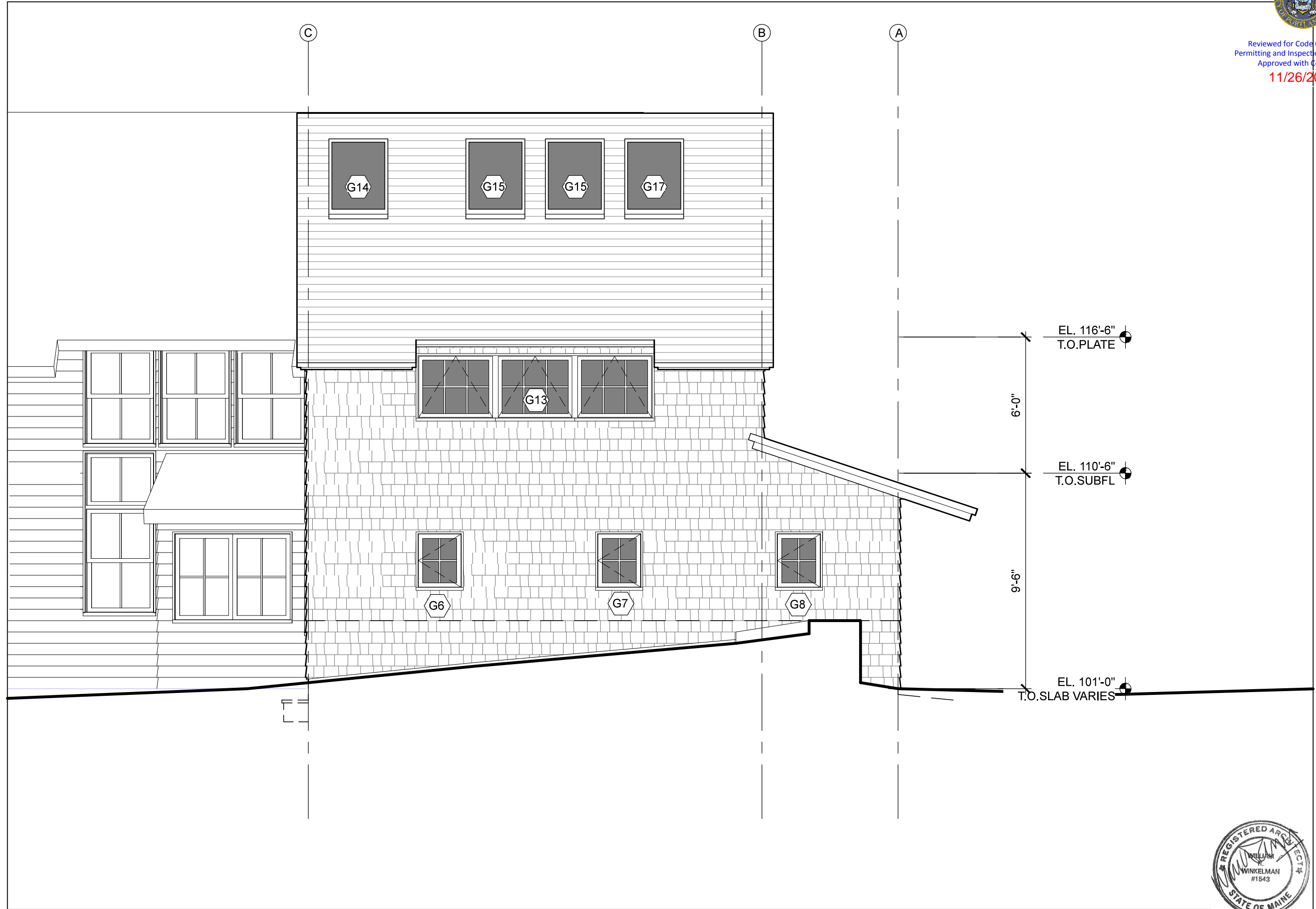
SCALE: 1/4"=1'-0"
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NORTH ELEVATION

WINKELMAN ARCHITECTURE

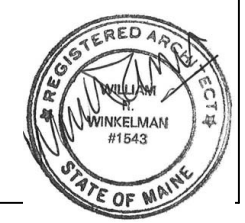
8'
4'
0' 1'

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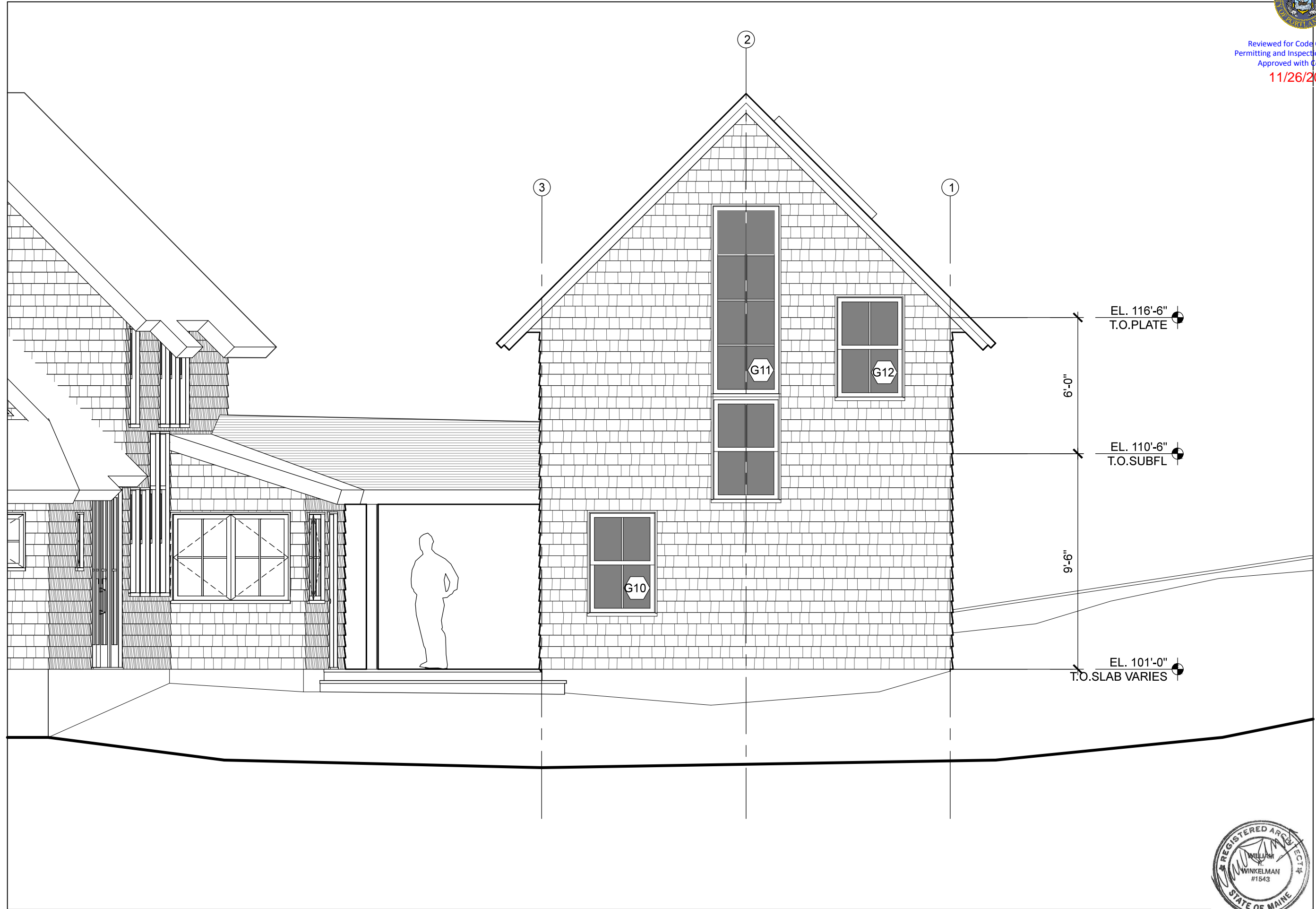
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A
202





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EAST ELEVATION

WINKELMAN ARCHITECTURE

0' 1' 4' 8'

A
203

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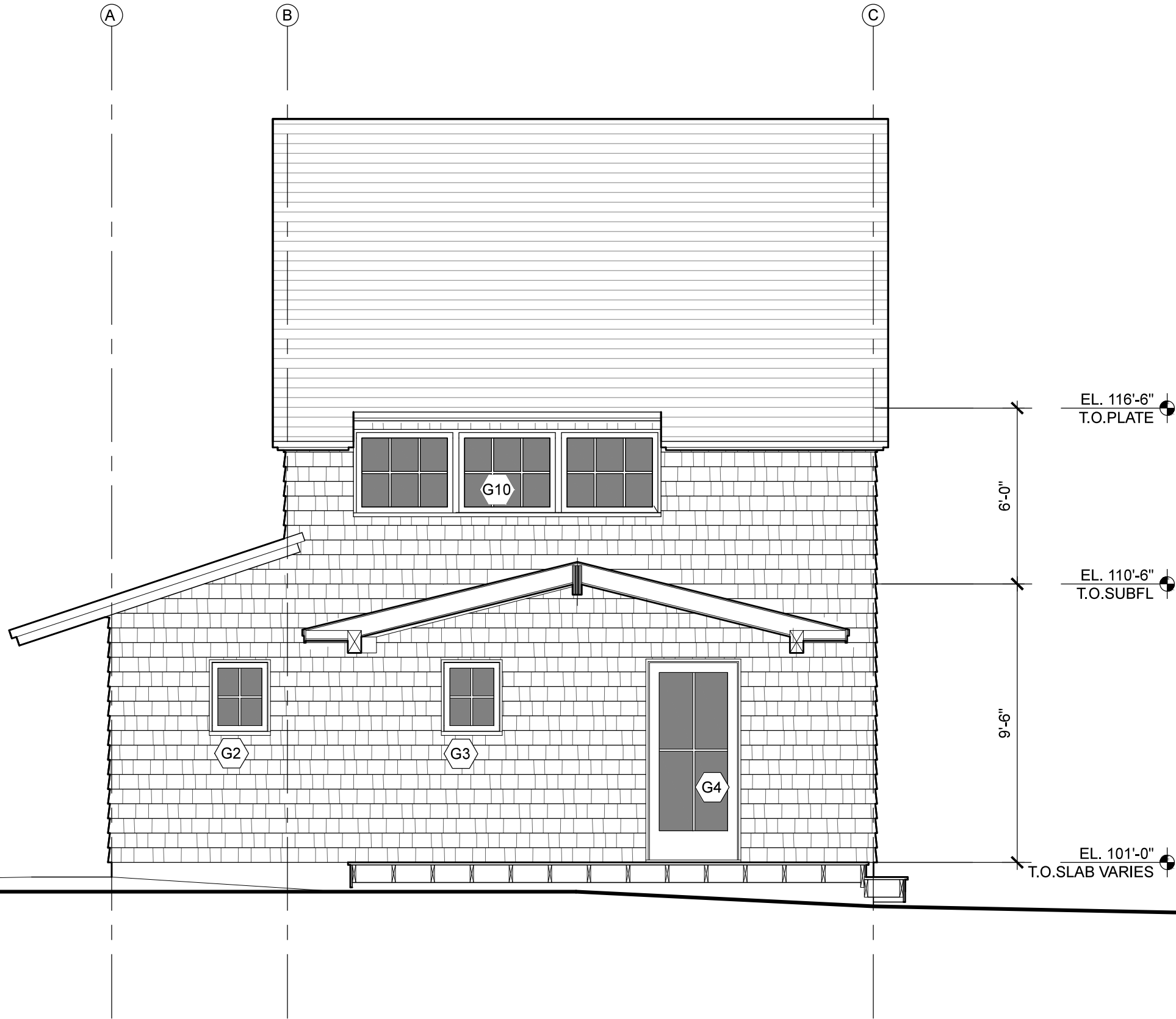
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SOUTH ELEVATION

WINKELMAN ARCHITECTURE

8'
4'
0' 1'

A
204

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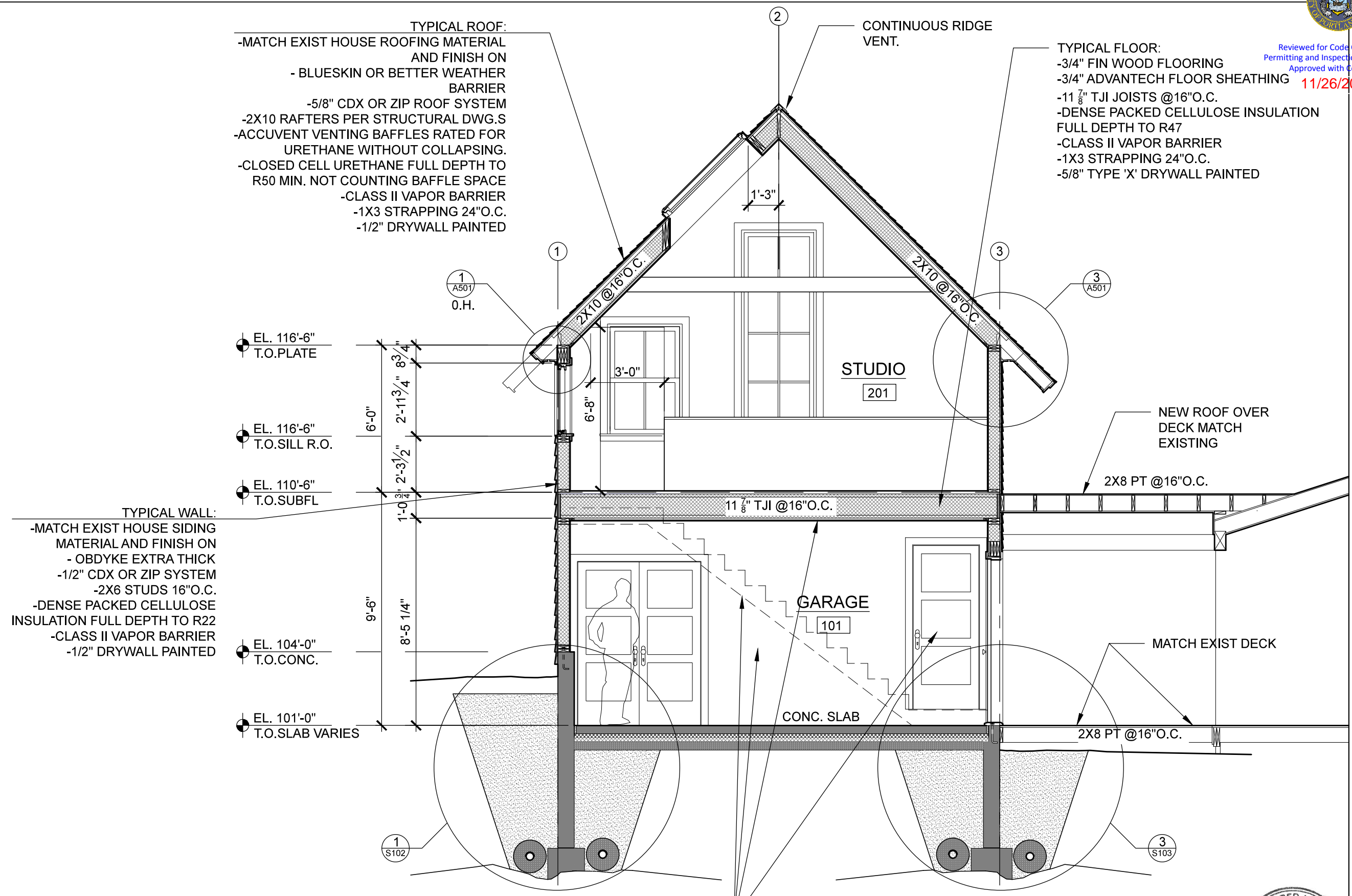


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TYPICAL ROOF:
 -MATCH EXIST HOUSE ROOFING MATERIAL AND FINISH ON
 - BLUESKIN OR BETTER WEATHER BARRIER
 -5/8" CDX OR ZIP ROOF SYSTEM
 -2X10 RAFTERS PER STRUCTURAL DWG.S
 -ACCUVENT VENTING BAFFLES RATED FOR URETHANE WITHOUT COLLAPSING.
 -CLOSED CELL URETHANE FULL DEPTH TO R50 MIN. NOT COUNTING BAFFLE SPACE
 -CLASS II VAPOR BARRIER
 -1X3 STRAPPING 24"O.C.
 -1/2" DRYWALL PAINTED

TYPICAL FLOOR:
 -3/4" FIN WOOD FLOORING
 -3/4" ADVANTECH FLOOR SHEATHING
 -11 7/8" TJI JOISTS @16"O.C.
 -DENSE PACKED CELLULOSE INSULATION FULL DEPTH TO R47
 -CLASS II VAPOR BARRIER
 -1X3 STRAPPING 24"O.C.
 -5/8" TYPE 'X' DRYWALL PAINTED

TYPICAL WALL:
 -MATCH EXIST HOUSE SIDING MATERIAL AND FINISH ON
 - OBDYKE EXTRA THICK
 -1/2" CDX OR ZIP SYSTEM
 -2X6 STUDS 16"O.C.
 -DENSE PACKED CELLULOSE INSULATION FULL DEPTH TO R22
 -CLASS II VAPOR BARRIER
 -1/2" DRYWALL PAINTED



ALL SURFACES BETWEEN INSIDE OF GARAGE AND FLOOR AND WALLS OF STUDIO ABOVE MUST BE FIRE RATED AND AIR SEALED PER CODE. THIS INCLUDES THE CEILING, WALL TO STAIR, DOOR TO STAIR, UNDERSIDE OF INSIDE CLOSET, ETC.



WINKELMAN ARCHITECTURE

BUILDING SECTION

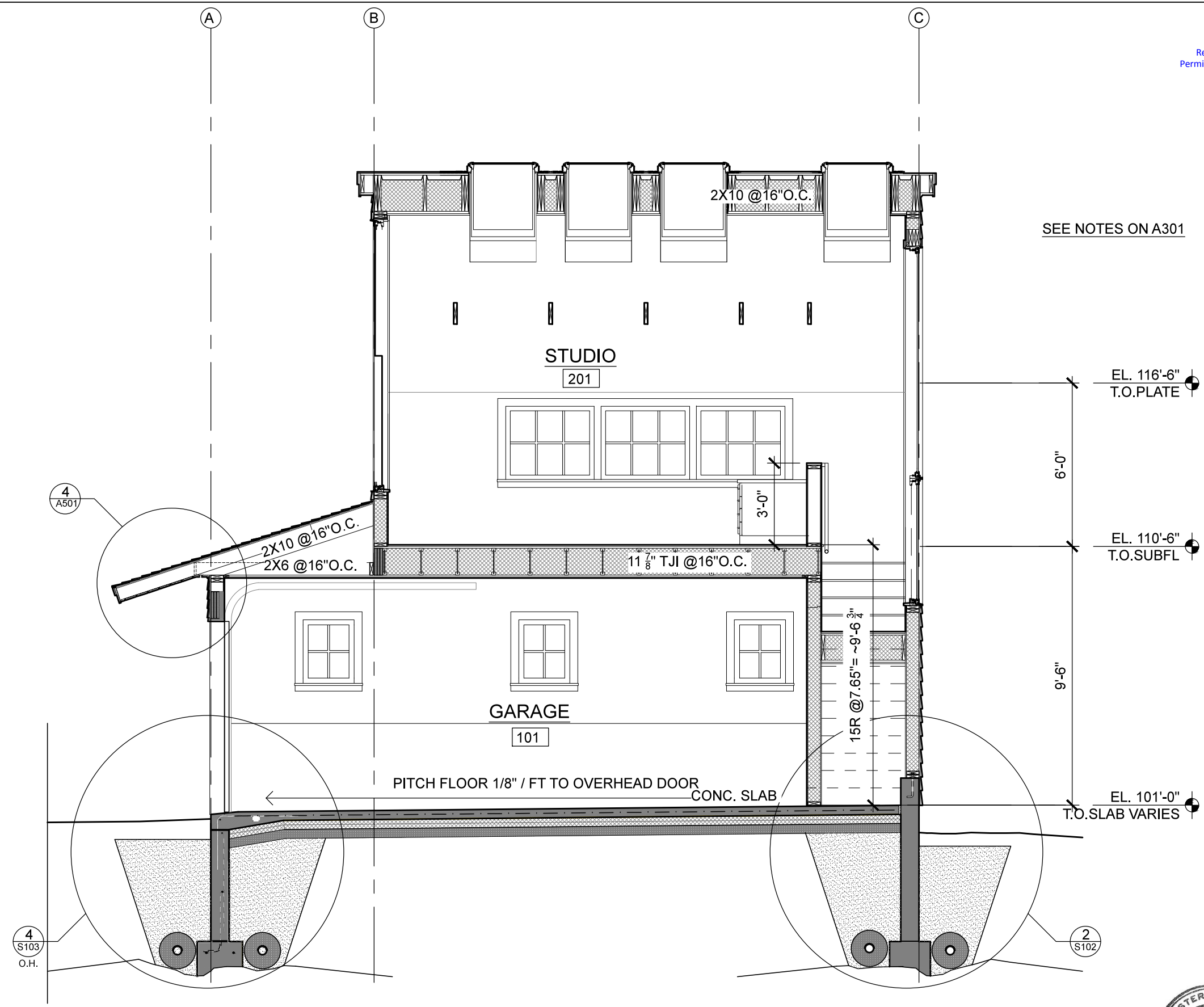
A 301

SCALE: 1/4"=1'-0"
 DATE: 9/26/2018

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SEE NOTES ON A301

BUILDING SECTION

WINKELMAN ARCHITECTURE

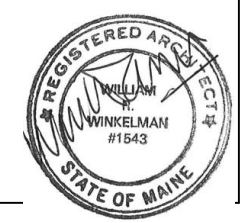
8'
4'
0' 1'

A
302

FRED AND JEANETTE SOMERS
 110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME

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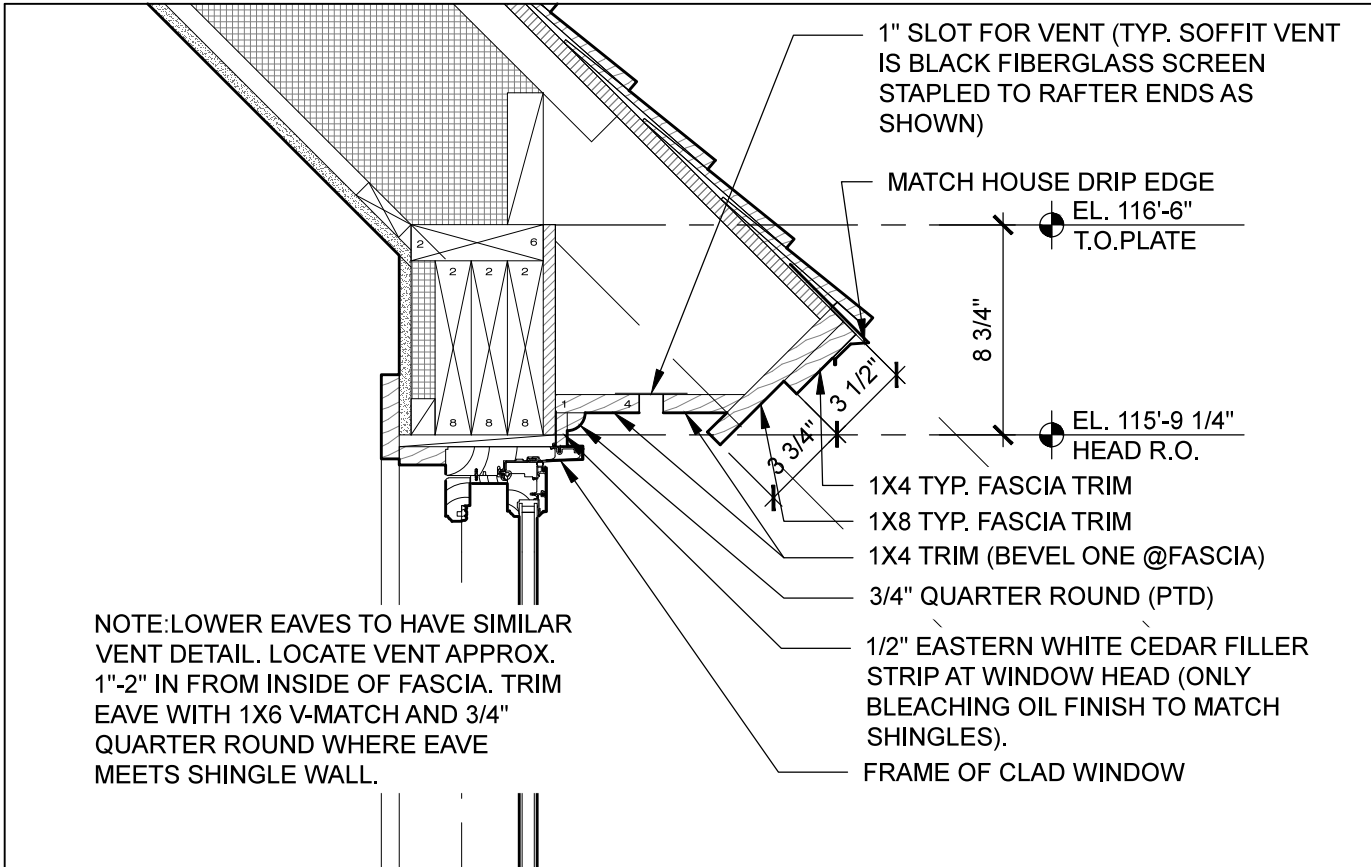




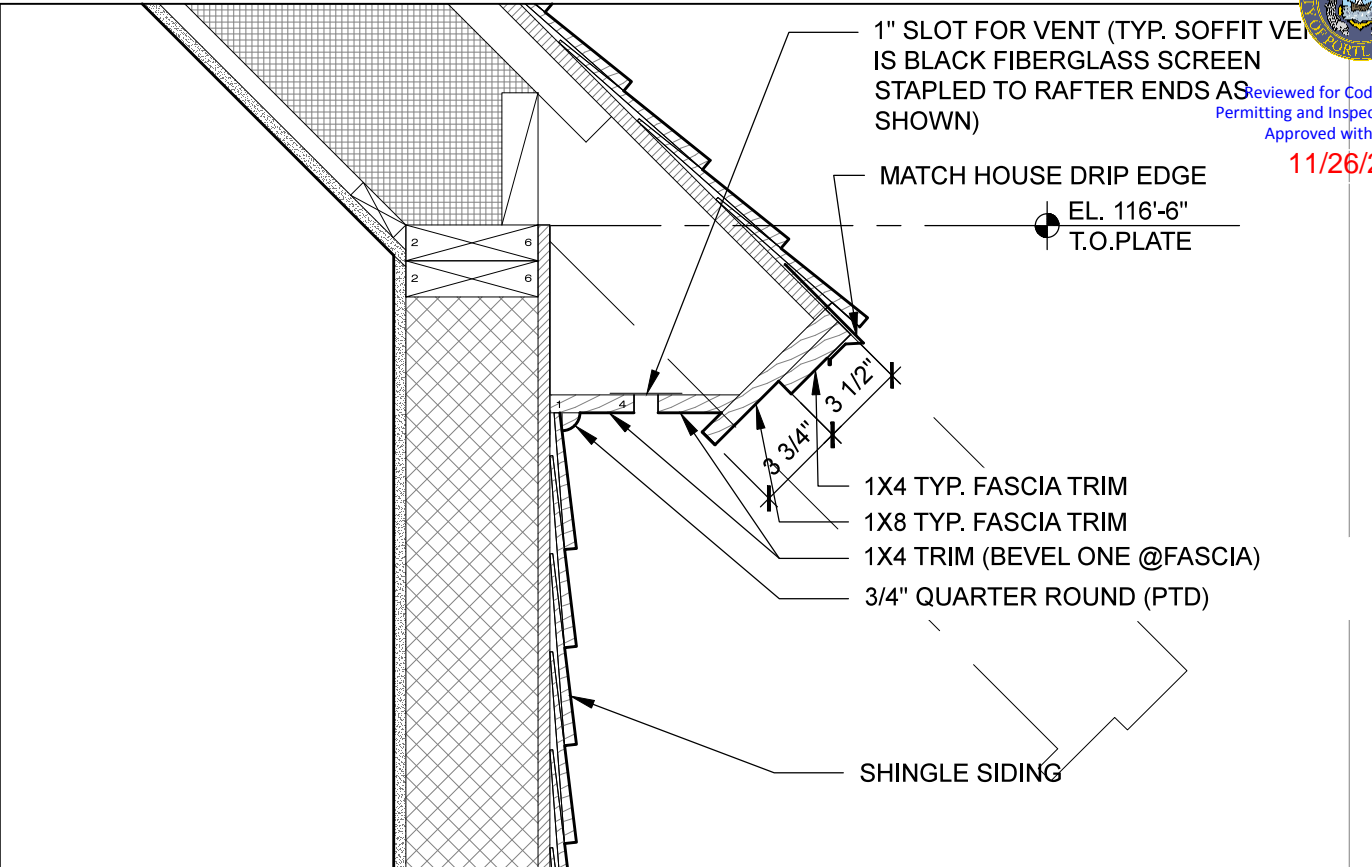
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WINKELMAN ARCHITECTURE

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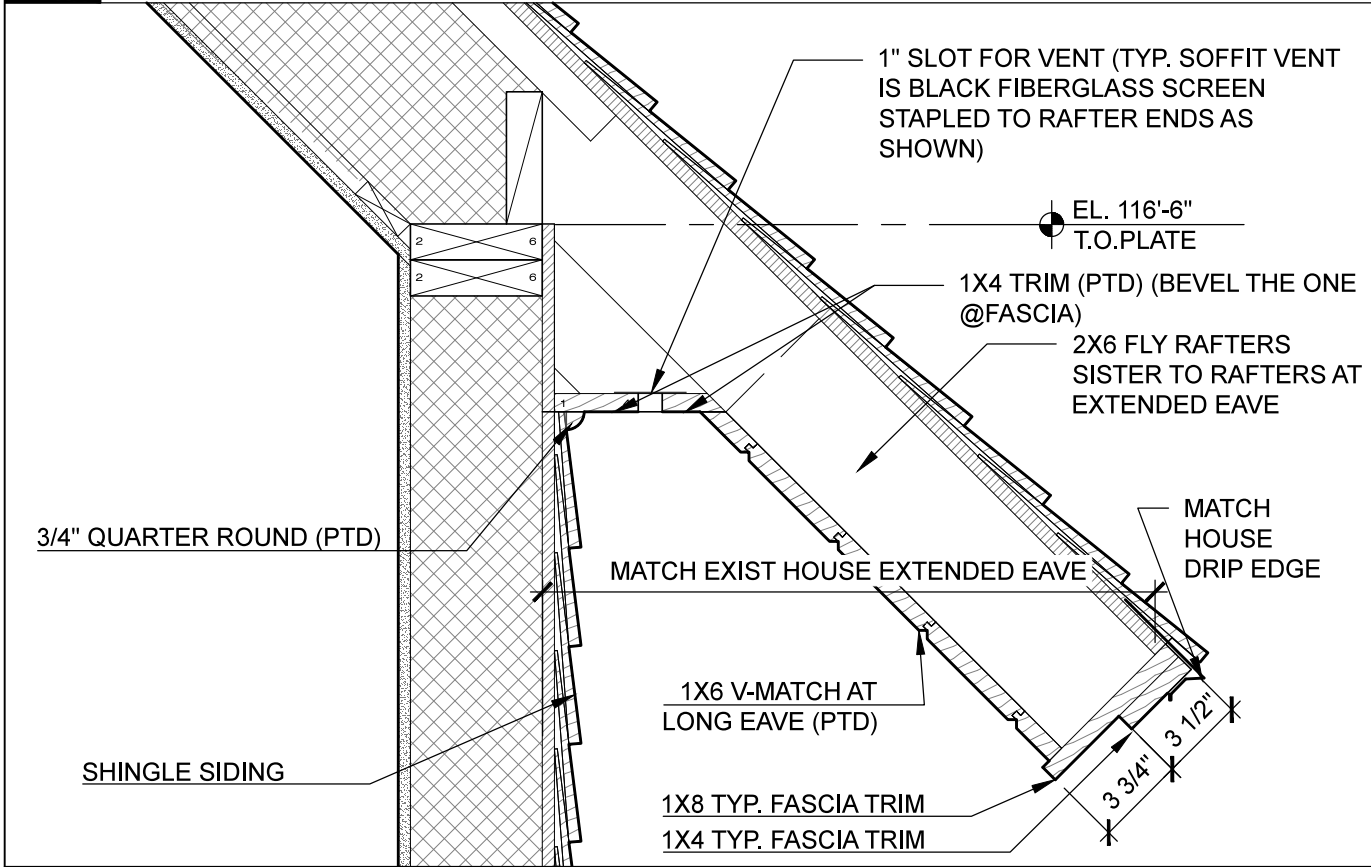


NOTE: LOWER EAVES TO HAVE SIMILAR VENT DETAIL. LOCATE VENT APPROX. 1'-2" IN FROM INSIDE OF FASCIA. TRIM EAVE WITH 1X6 V-MATCH AND 3/4" QUARTER ROUND WHERE EAVE MEETS SHINGLE WALL.

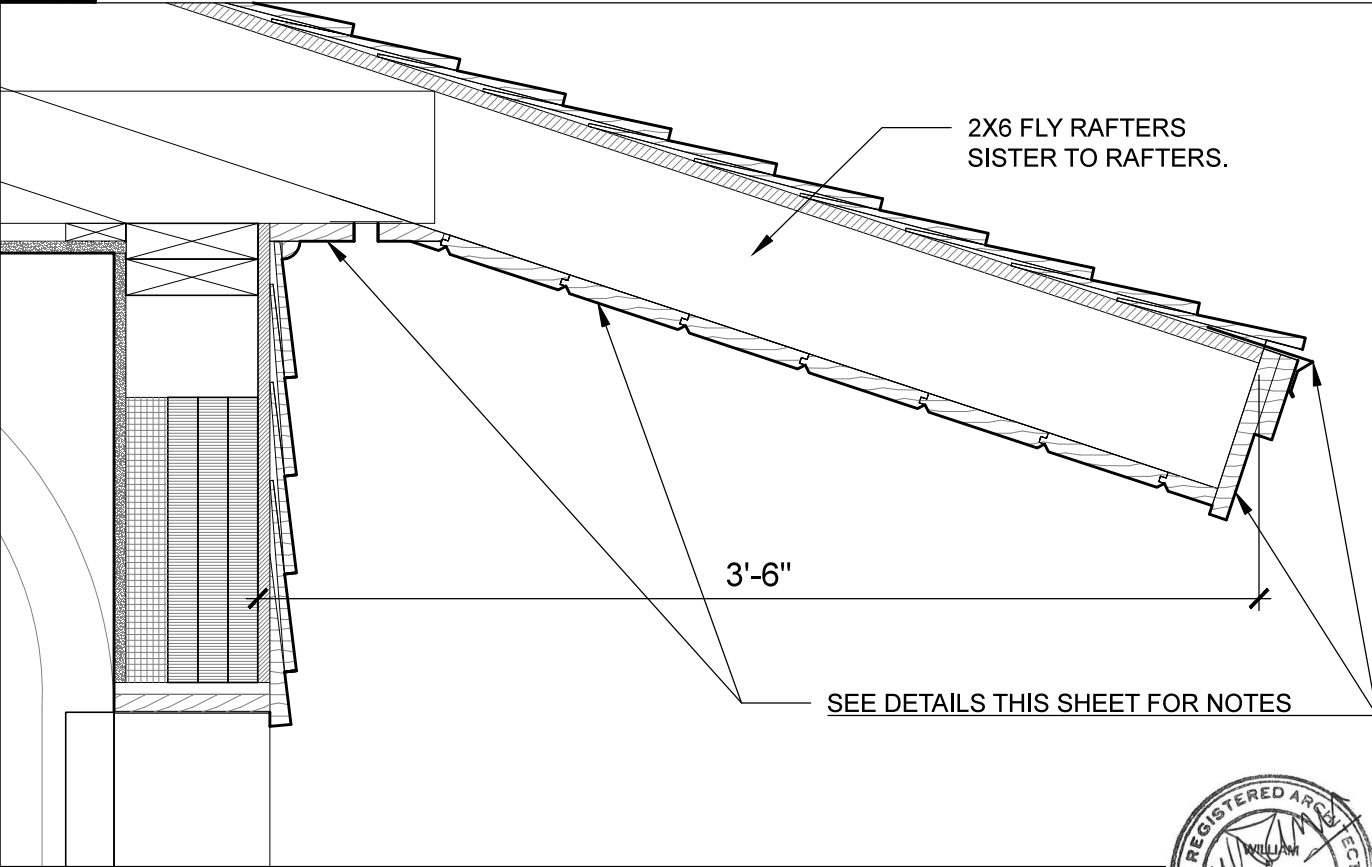


1 UPPER EAVE DETAIL (AT WINDOW)
SCALE: 1 1/2" = 1'-0"

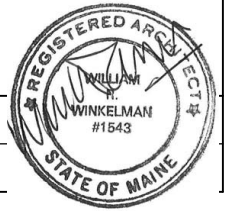
2 UPPER EAVE DETAIL (AT WALL)
SCALE: 1 1/2" = 1'-0"



3 UPPER EAVE DETAIL (AT WALL)
SCALE: 1 1/2" = 1'-0"



4 EAVE DETAIL AT GARAGE DOOR AREA LOWER ROOF
SCALE: 1 1/2" = 1'-0"



EXTERIOR DETAILS

12"
6"
0 1"

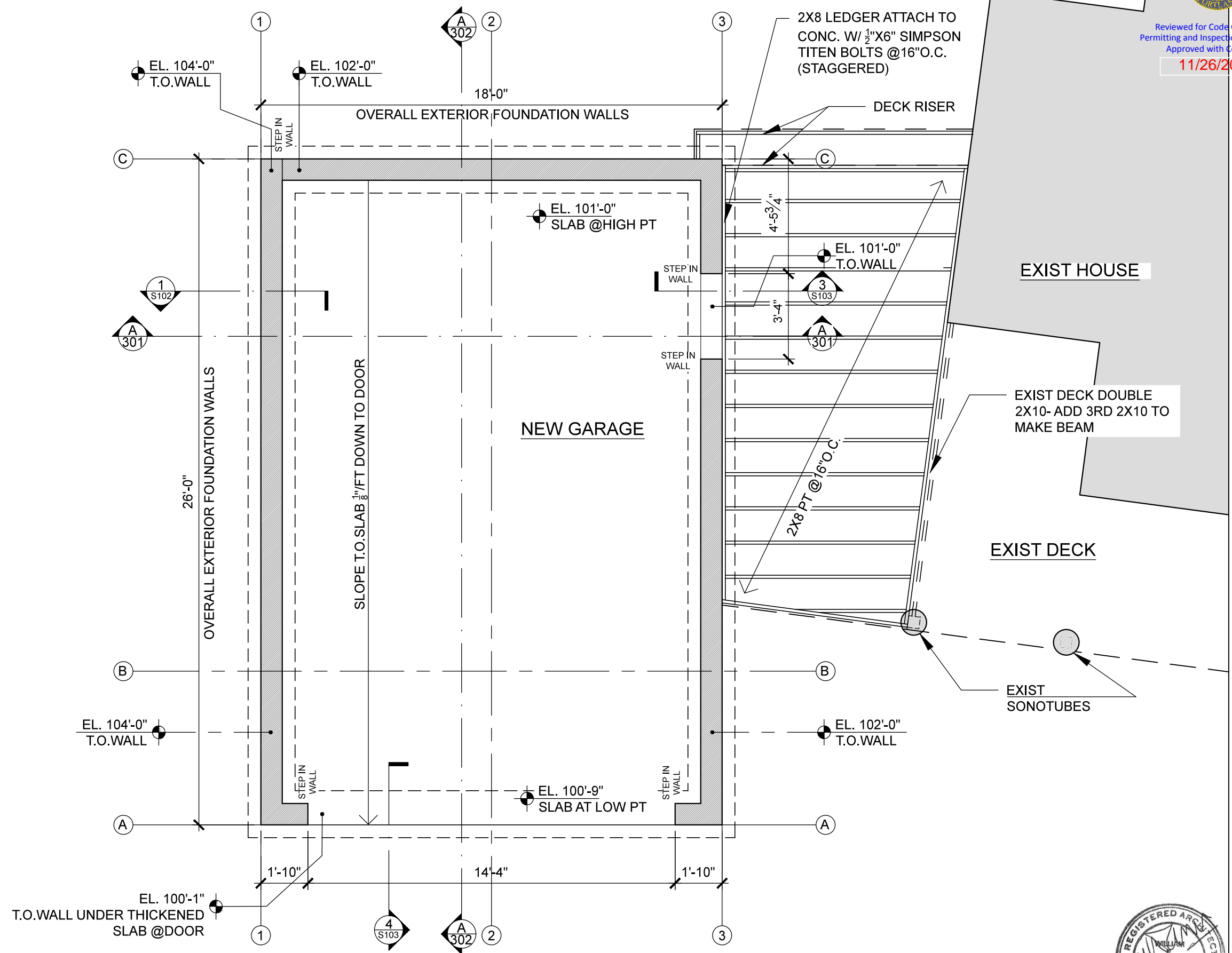
SCALE: 1 1/2" = 1'-0"
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FRED AND JEANETTE SOMERS
110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME

A
501



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FOUNDATION PLAN / DECK

WINKELMAN ARCHITECTURE

SCALE: 1/4" = 1'-0"
 DATE: 10/05/2018

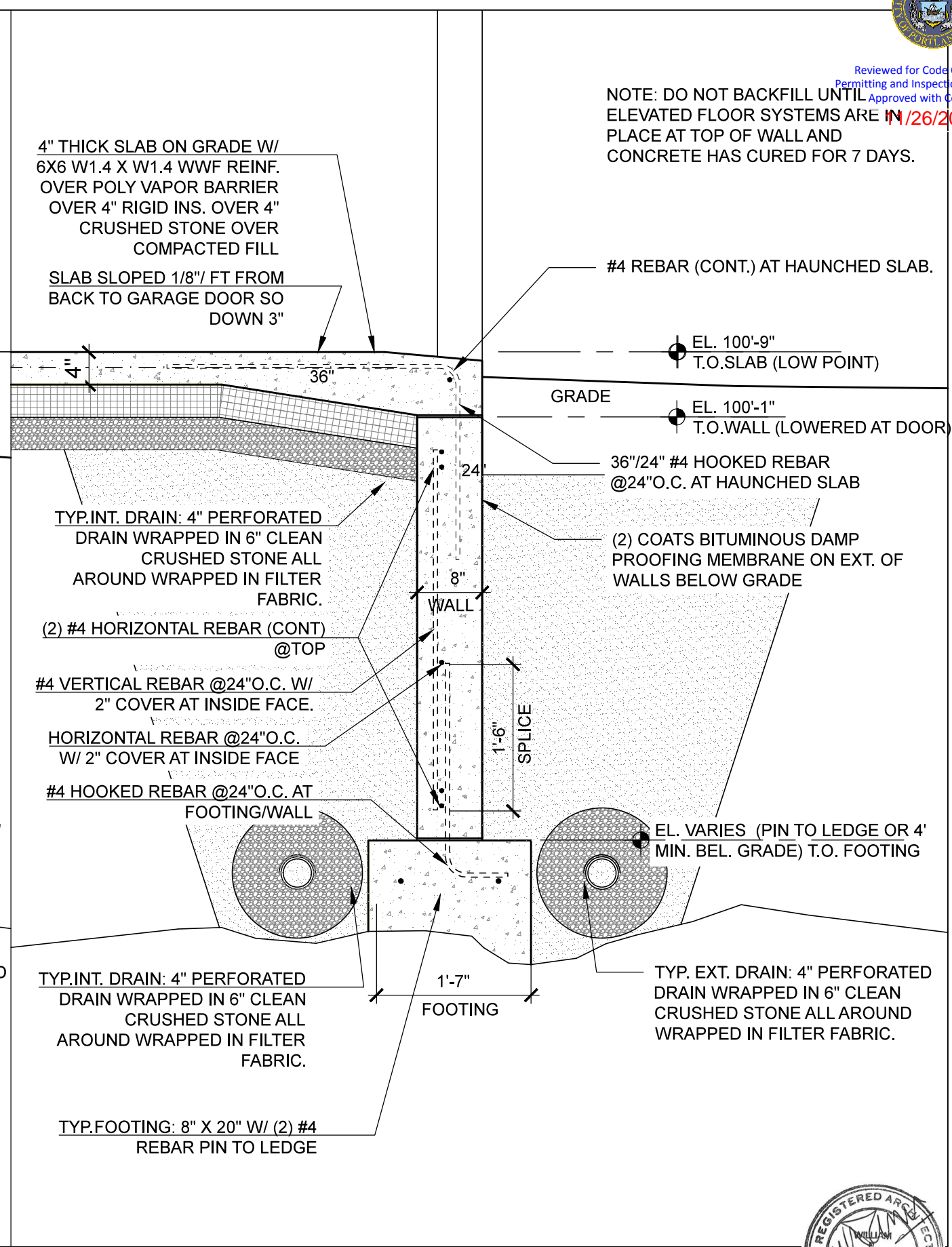
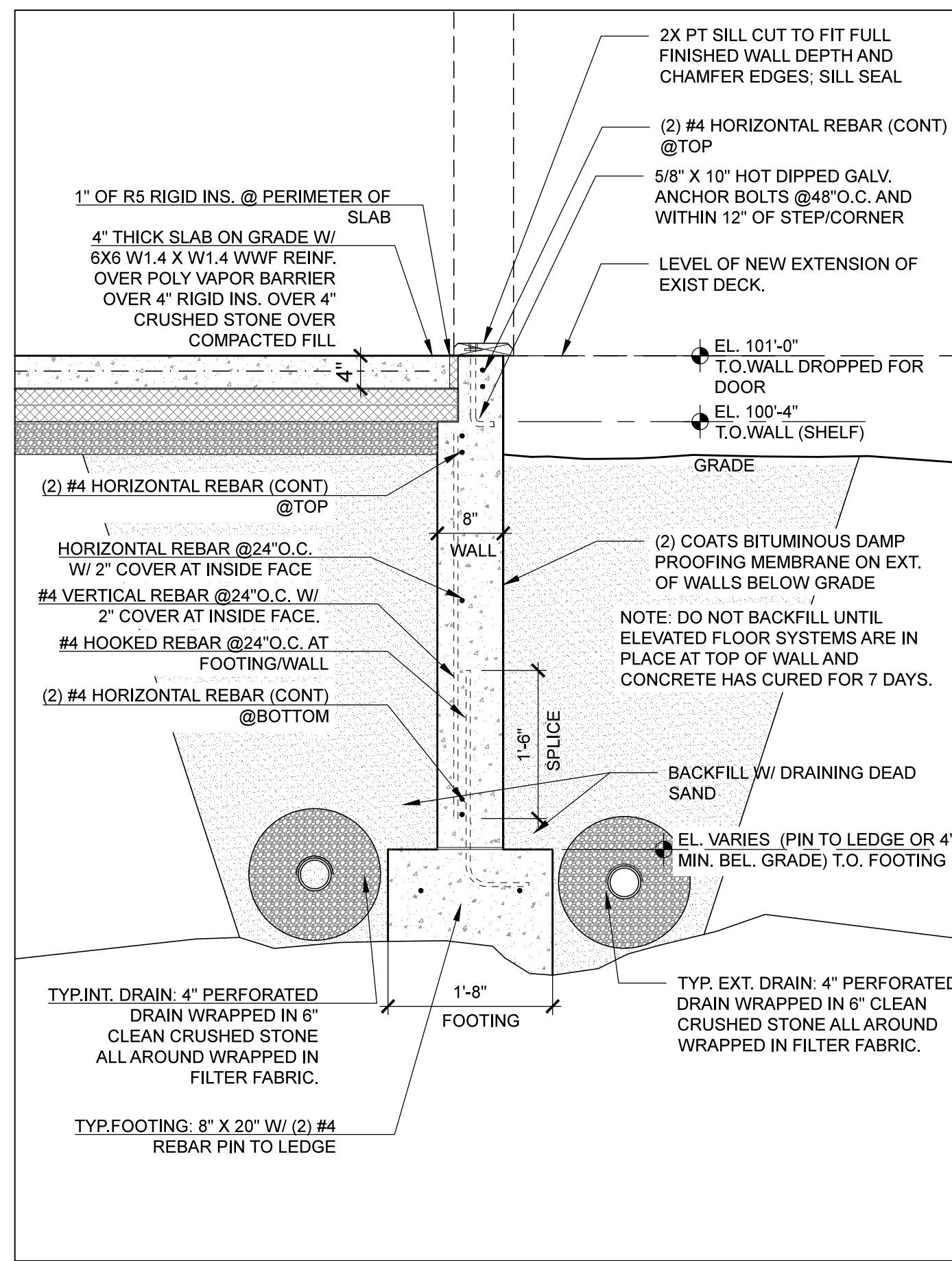
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S
101



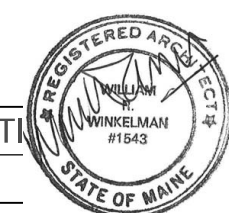
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NOTE: DO NOT BACKFILL UNTIL ELEVATED FLOOR SYSTEMS ARE IN PLACE AT TOP OF WALL AND CONCRETE HAS CURED FOR 7 DAYS.

3 FOUNDATION WALL SECTION- AT DOOR OPENING
SCALE: 3/4" = 1'-0"

4 FOUNDATION WALL SECTION- AT GARAGE DOOR APRON CONDITI
SCALE: 3/4" = 1'-0"



FOUNDATION DETAILS

WINKELMAN ARCHITECTURE

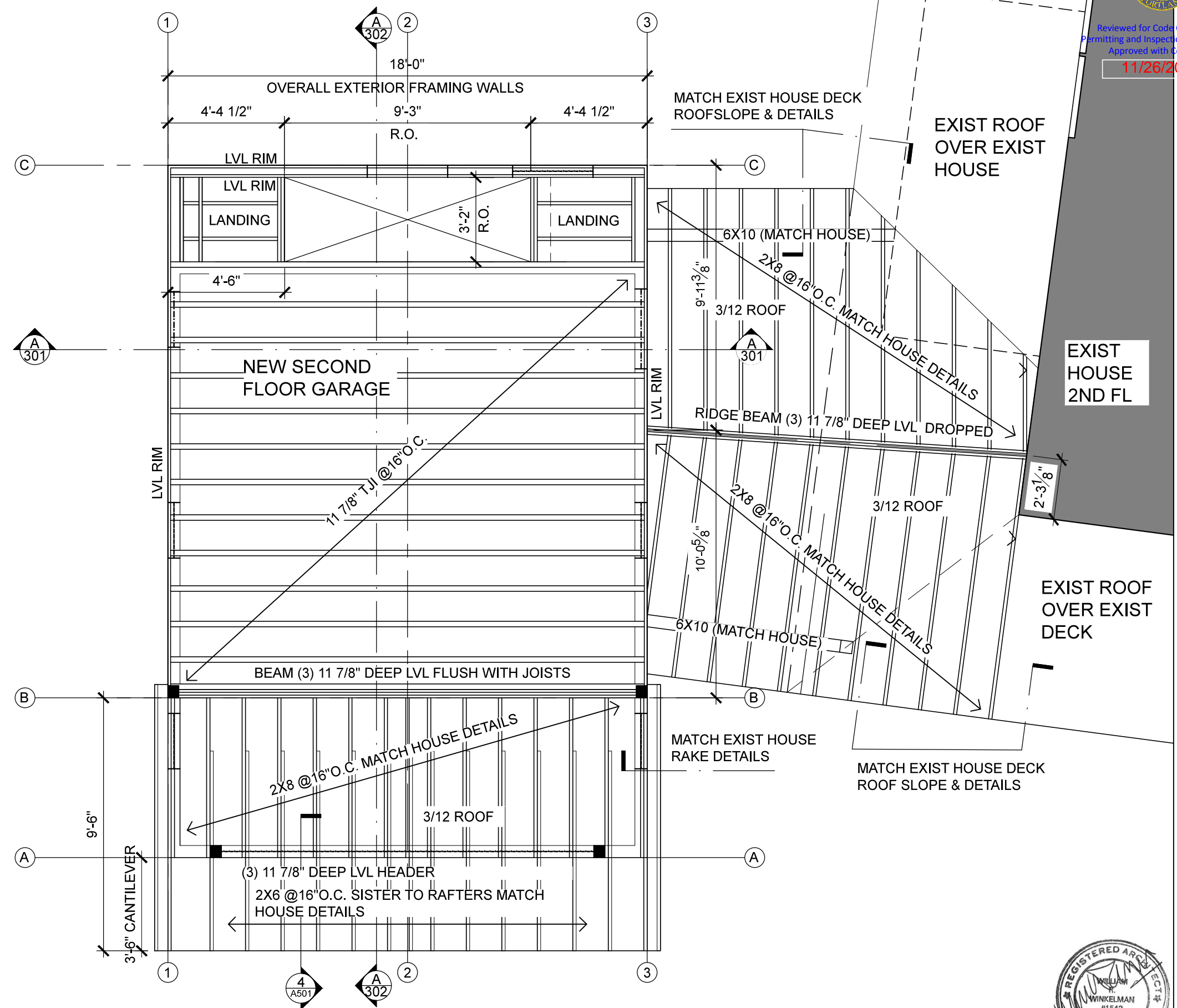
SCALE: 3/4" = 1'-0"
DATE: 10/05/2018

S
103

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WINKELMAN ARCHITECTURE

SECOND FLOOR/ LOWER ROOFS FRAMING

8'
4'
0' 1'

SCALE: 1/4"=1'-0"
 DATE: 10/05/2018

S
201

FRED AND JEANETTE SOMERS
 110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME

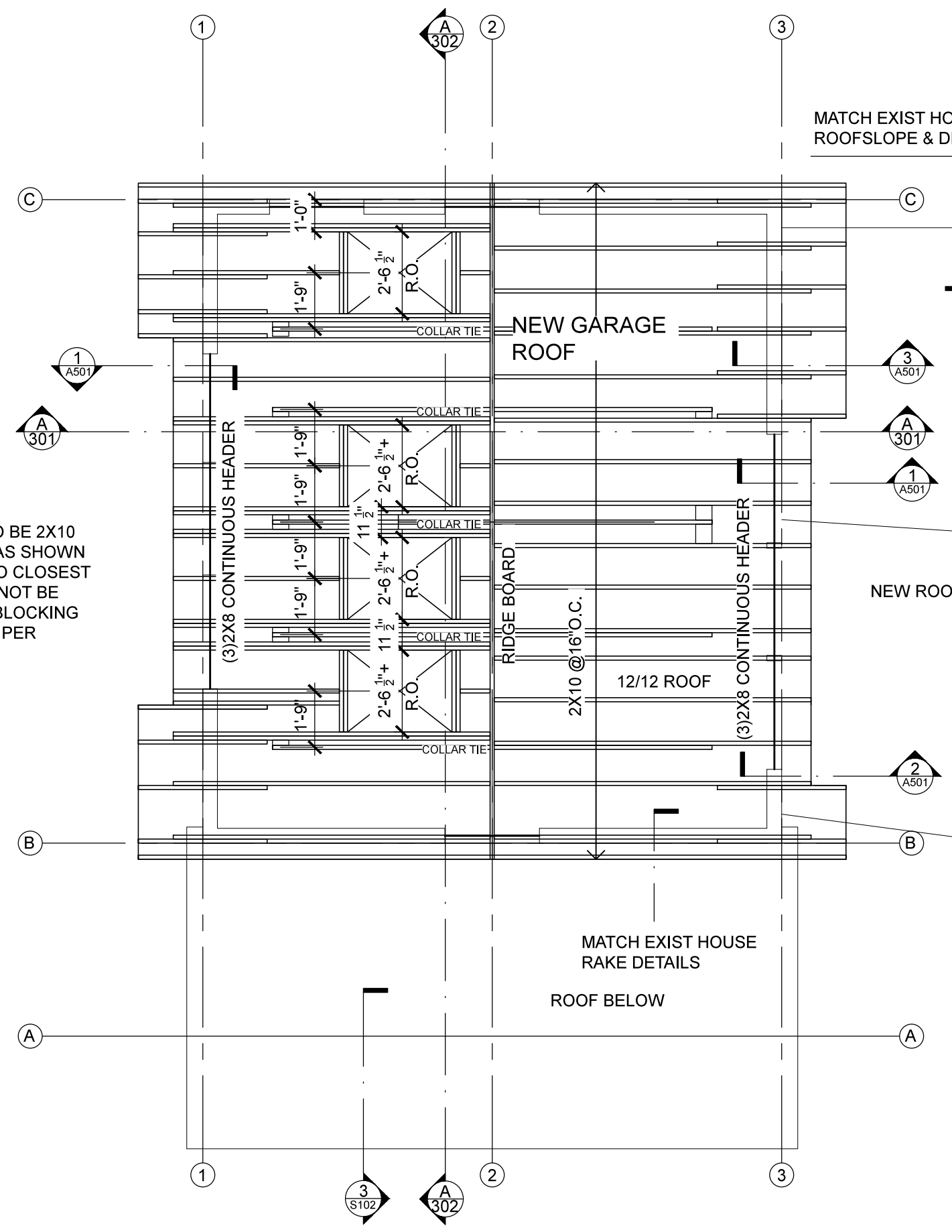
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NOTE: COLLAR TIES TO BE 2X10
 SELECT PNT. LOCATE AS SHOWN
 THIS PLAN- SECURE TO CLOSEST
 RAFTERS WHICH MAY NOT BE
 AGAINST THEM WITH BLOCKING
 AND THROUGH BOLTS PER
 STRUCT. ENG.



UPPER ROOF FRAMING

WINKELMAN ARCHITECTURE

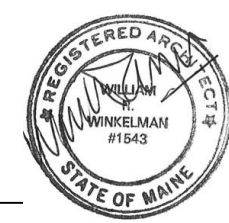
SCALE: 1/4"=1'-0"
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0' 1' 4' 8'

S 202

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ELECTRICAL LEGEND

	ELECTRICAL PANEL
	EXISTING RECEPTICAL TO REMAIN
	NEW RECEPTICAL LEGEND:
	GFI = GROUND FAULT CIRCUIT INTERRUPT
	WP = WEATHERPROOF CONSTRUCTION
	48 = 48 INCHES ABOVE FLOOR
	SSR = SURGE SUPPRESSED RECEPTICAL
	ISOG = ISOLATED GROUND RECEPTICAL
	NEW DUPLEX RECEPTICAL
	NEW QUAD RECEPTICAL
	NEW RECEPTICAL WITH ONE PLUG WIRED TO A SWITCH
	220 VOLT OUTLET
	DEDICATED REFRIGERATOR OUTLET
	DEDICATED STOVE OUTLET
	DEDICATED DISHWASHER OUTLET
	DEDICATED WASHER OUTLET
	DEDICATED DRYER OUTLET
	DEDICATED HOT WATER HEATER OUTLET
	DATA OUTLET
	TV CABLE OUTLET
	PHONE OUTLET

	EXISTING SWITCH TO REMAIN
	NEW SWITCH LEGEND:
	3 = 3 WAY SWITCH
	4 = 4 WAY SWITCH
	5 = 5 WAY SWITCH
	WP = WEATHERPROOF CONSTRUCTION
	D = DIMMER
	NEW SWITCH
	MOTION DETECTOR SWITCH WALL MOUNTED
	WEATHERPROOF MOTION DETECTOR SWITCH
	GARAGE DOOR OPERATOR WITH INTEGRATED OVERHEAD LIGHT
	DOOR BELL
	THERMOSTAT
	SMOKE/HEAT ALARM CEILING MOUNTED HARD WIRED
	CO2 ALARM CEILING MOUNTED HARD WIRED

DEMO (PULL WIRING OUT WHEN REMOVING)

	EXISTING RECEPTICAL TO BE REMOVED
	EXISTING SWITCH TO BE REMOVED
	EXISTING WALL MOUNTED LIGHT TO BE REMOVED
	EXISTING RECESSED MOUNTED LIGHT TO BE REMOVED

	RECESS MOUNTED CEILING LIGHT FIXTURE WITH LETTER KEY
	SURFACE MOUNTED LIGHT FIXTURE WITH LETTER KEY.
	WEATHERPROOF CONSTRUCTION SURFACE MOUNTED LIGHT FIXTURE WITH LETTER KEY
	WALL MOUNTED LIGHT FIXTURE WITH LETTER KEY
	WEATHERPROOF CONSTRUCTION WALL MOUNTED LIGHT FIXTURE WITH LETTER KEY
	FLOOR WASHER RECESSED LOW WALL LIGHT FIXTURE WITH LETTER KEY
	WEATHERPROOF FLOOR WASHER RECESSED LOW WALL LIGHT FIXTURE WITH LETTER KEY
	SURFACE MOUNTED FLUORESCENT TUBE
	UNDER CABINET DOWNLIGHT
	CLOSET MOTION SENSITIVE DOWNLIGHT
	TRACK LIGHTING
	THROUGH WALL FAN
	FAN CEILING MOUNTED
	STOVETOP FAN

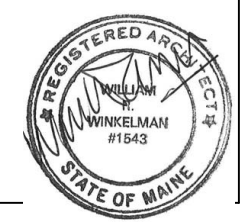
WINKELMAN ARCHITECTURE

ELECTRICAL SYMBOL LEGEND

41 UNION WHARF, SUITE 4, PORTLAND ME 04101
 PH: 207.699.2998

SCALE: NONE
 DATE: 10/05/2018

FRED AND JEANETTE SOMERS
 110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME



E
001



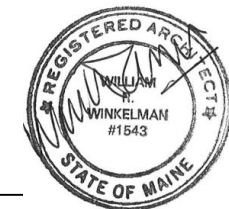
LIGHTING FIXTURE SCHEDULE

Reviewed for Code Compliance
Permitting and Inspections Department
Approved with Conditions
11/26/2018

SYMBOL	COUNT	MANUFACTURER	MODEL #	NAME	COLOR	HEIGHT	REMARKS
		TBD	TBD	TBD	TBD		
		TBD	TBD	TBD	TBD		
		TBD	TBD	TBD	TBD		
		TBD	TBD	TBD	TBD		
		TBD	TBD	TBD	TBD		
		TBD	TBD	TBD	TBD		
		TBD	TBD	TBD	TBD		
		TBD	TBD	TBD	TBD		

NOTES:

1. TURN OFF ALL ELECTRICAL NECESSARY PRIOR TO DEMOLITION AND PERFORM ALL NECESSARY WORK THEN TO ENSURE PROJECT GOALS.
2. FIELD VERIFY ALL EXISTING CONDITIONS.
3. ALL ELECTRICAL WORK TO CONFORM TO ALL LOCAL, STATE AND NATIONAL CODES.
4. ALL DIMMING AND CONTROLS TO BE LUTRON ROCKER TYPE SWITCHES 'DIVA', COLOR WHITE.
5. ALL WALLPLATES AND COORDINATING PLATES ETC FOR ALL OUTLETS, RECEPTICALS, SWITCHES, ETC. USED IN PROJECT TO BE LUTRON 'DIVA' COLOR WHITE AND MATCHING LUTRON PRODUCTS.
6. COORDINATE TRIMLESS LIGHTS WITH DRYWALL CONTRACTOR TO MAKE SURE MUDDING AROUND LIGHT IN CEILING HAPPENS WHEN MUDDING DRYWALL.



WINKELMAN ARCHITECTURE

LIGHT FIXTURE SCHED, NOTES

E 002

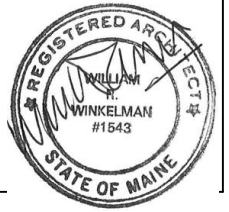
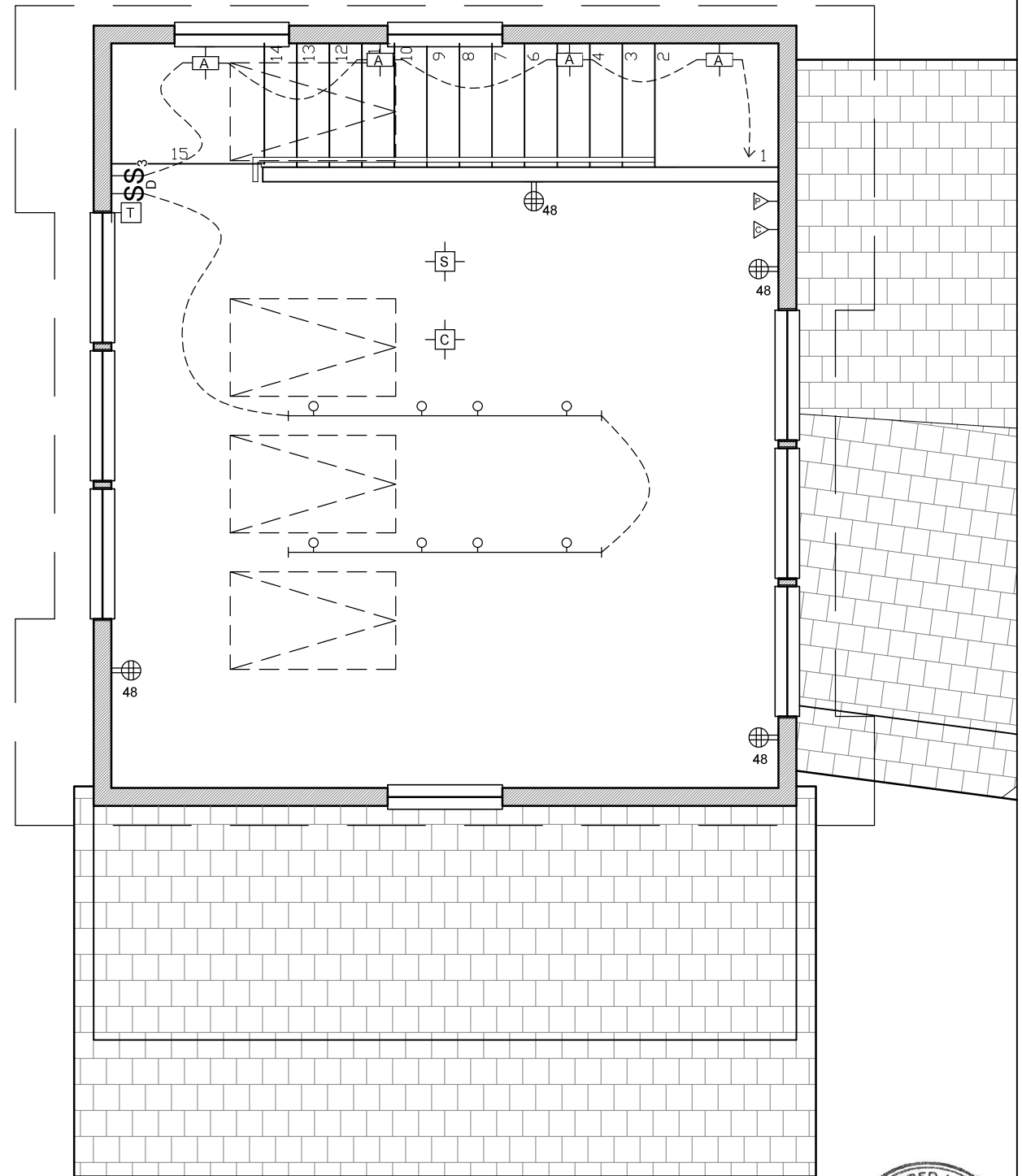
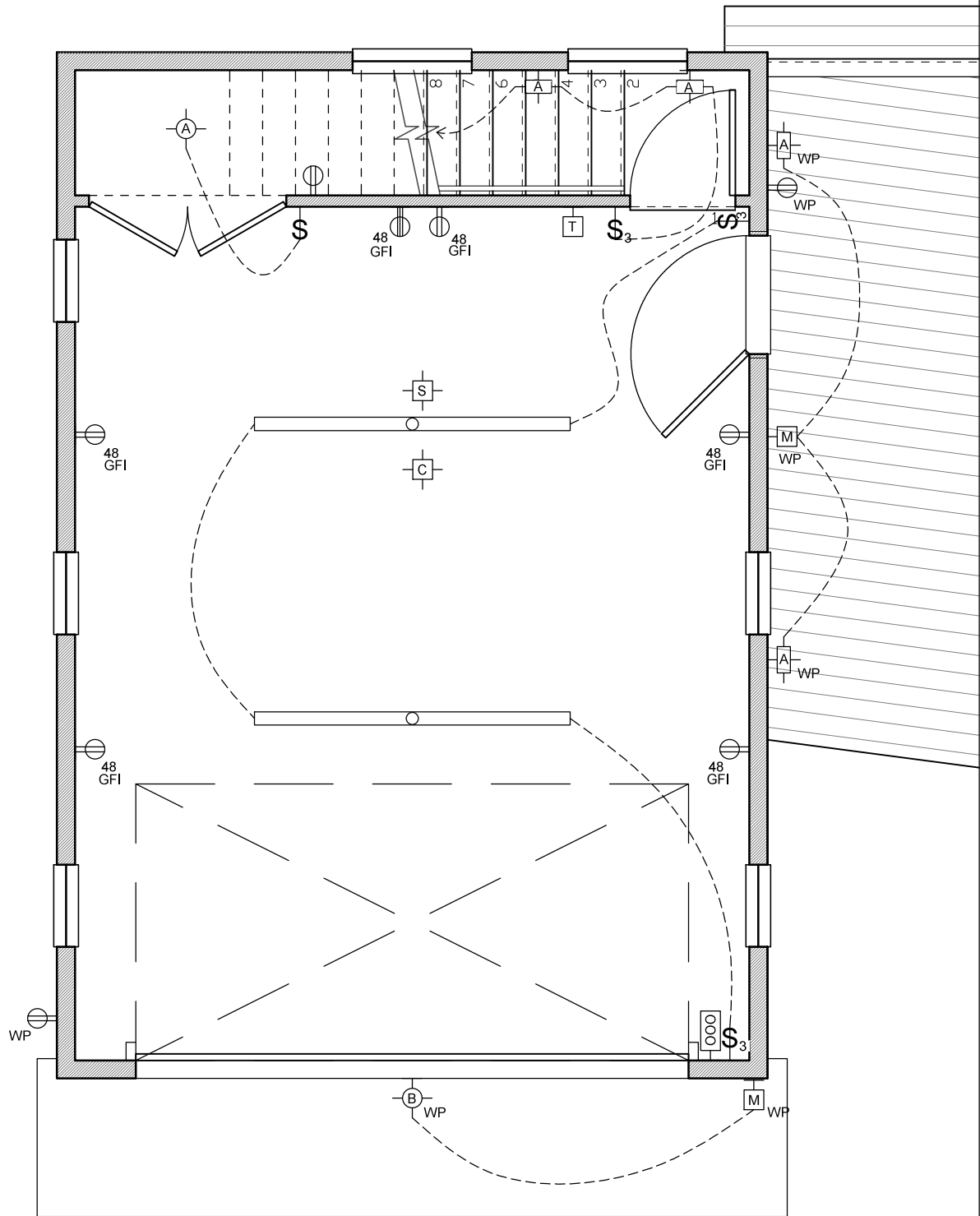
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PH: 207.699.2998

SCALE: NONE
DATE: 10/05/2018

FRED AND JEANETTE SOMERS
110 LEDGEWOOD STREET, PEAKS ISLAND, PORTLAND, ME



Reviewed for Code Compliance
 Permitting and Inspections Department
 Approved with Conditions
 11/26/2018



ELECTRICAL PLANS

WINKELMAN ARCHITECTURE

0' 1' 4' 8'

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101

FRED AND JEANETTE SOMERS
 110 LEDGEWOOD STREET PEAKS ISLAND, PORTLAND, ME

SCALE: 1/4"=1'-0"
 DATE: 10/05/2018

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