

# DISPLAY THIS CARD ON PRINCIPAL FRONTAGE OF WORK CITY OF PORTLAND

Please Read Application And Notes, If Any, Attached

## BUILDING INSPECTION

# PERMIT

Permit Number: 061197

This is to certify that MERROW SUSAN & JOHN CARROLL ITSMcTigue, Construct

has permission to build a first floor addition for bedroom & kitchen

AT 5 WILEY ST

087 D00600

PERMIT ISSUED

SEP - 5 2006

provided that the person or persons in charge of the work accepting this permit shall comply with all of the provisions of the Statutes of the State and of the Ordinances of the City of Portland regulating the construction, maintenance and use of buildings and structures, and of the application on file in this department.

Apply to Public Works for street line and grade if nature of work requires such information.

Classification of inspection must be given and when permission procured before this building or part thereof is occupied or again closed-in. **OUR NOTES ARE REQUIRED.**

A certificate of occupancy must be procured by owner before this building or part thereof is occupied.

### OTHER REQUIRED APPROVALS

Fire Dept. \_\_\_\_\_

Health Dept. \_\_\_\_\_

Appeal Board \_\_\_\_\_

Other \_\_\_\_\_

Department Name

*Thomas M. Markley* 9/08/06  
Director - Building & Inspection Services

### PENALTY FOR REMOVING THIS CARD

**City of Portland, Maine - Building or Use Permit Application**  
 389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1197	Issue Date:	CBL: 087 D006001
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Location of Construction: 5 WILEY ST, <i>Rocks Island</i>	Owner Name: MERROW SUSAN & JOHN H CA	Owner Address: 5 WYLIE AVE	Phone:
Business Name:	Contractor Name: McTigue, Construction	Contractor Address: 97 Brackett Ave, P.I. Portland	Phone: 2077662676
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	Zone: <b>IR1 IR2</b>

Past Use: Single Family Home	Proposed Use: Single Family Home/ build a first floor addition for mudroom, porch & Kitchen	Permit Fee: \$450.00	Cost of Work: \$43,000.00	CEO District: 2
		FIRE DEPT: <input type="checkbox"/> Approved <input type="checkbox"/> Denied	INSPECTION: Use Group: <i>R3</i> Type: <i>SB</i> <i>IRC 2003</i>	

Proposed Project Description:  
build a first floor addition for mudroom, porch & Kitchen

Signature: \_\_\_\_\_ Signature: *Jim 9/1/06*

PEDESTRIAN ACTIVITIES DISTRICT (P.A.D.)

Action:  Approved  Approved w/Conditions  Denied

Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Permit Taken By: Idobson	Date Applied For: 08/14/2006	<b>Zoning Approval</b>
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- This permit application does not preclude the Applicant(s) from meeting applicable State and Federal Rules.
- Building permits do not include plumbing, septic or electrical work.
- Building permits are void if work is not started within six (6) months of the date of issuance. False information may invalidate a building permit and stop all work.

Special Zone or Reviews	Zoning Appeal	Historic Preservation
<input type="checkbox"/> Shoreland <i>p/a</i> <input type="checkbox"/> Wetland <input type="checkbox"/> Flood Zone <input type="checkbox"/> Subdivision <input type="checkbox"/> Site Plan Maj <input type="checkbox"/> Minor <input type="checkbox"/> MM <input type="checkbox"/> <i>Or w/conditions</i> Date: <i>8/21/06</i> <i>AM</i>	<input type="checkbox"/> Variance <input type="checkbox"/> Miscellaneous <input type="checkbox"/> Conditional Use <input type="checkbox"/> Interpretation <input type="checkbox"/> Approved <input type="checkbox"/> Denied Date: _____	<input checked="" type="checkbox"/> Not in District or Landmark <input type="checkbox"/> Does Not Require Review <input type="checkbox"/> Requires Review <input type="checkbox"/> Approved <input type="checkbox"/> Approved w/Conditions <input type="checkbox"/> Denied <i>AM</i> Date: _____

**PERMIT ISSUED**  
 SEP - 5 2006  
**CITY OF PORTLAND**

**CERTIFICATION**

I hereby certify that I am the owner of record of the named property, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in the application is issued, I certify that the code official's authorized representative shall have the authority to enter all areas covered by such permit at any reasonable hour to enforce the provision of the code(s) applicable to such permit.

10/13/06 - Footings + Setback Insp. - Met w/ Bob

Setback O.K.

Footings O.K.

Q-Q.

Drainage will go to sump pump. (ledge)

12/14/06 Rough-In - Inspected.

1st Floor Kitchen + Entry

O.K. to Close.

\* Wall between Kitchen + expansion  
will be coming out after walls  
closed-in - (Header O.K.)  
3/2x8 rply.)

\* Need additional framing (posts + Beam  
in Basement. work)

Service Twp. underground - Need ground rod  
added - 6' apart

Chill.



# General Building Permit Application

If you or the property owner owes real estate or personal property taxes or user charges on any property within the City, payment arrangements must be made before permits of any kind are accepted.

Location/Address of Construction: <u>5 Wiley Avenue, Peaks Island</u>		
Total Square Footage of Proposed Structure <u>275 # +/- Addition</u>	Square Footage of Lot <u>14,629 #</u>	
Tax Assessor's Chart, Block & Lot Chart# <u>87</u> Block# <u>D</u> Lot# <u>8, 9, 16</u>	Owner: <u>John Carroll &amp; Susan Merrow</u>	Telephone: <u>0-629-1023</u> <u>E 766-2163</u>
Lessee/Buyer's Name (If Applicable) <u>N.A.</u>	Applicant name, address & telephone: <u>John Carroll</u> <u>5 Wiley Avenue</u> <u>Peaks Island, Maine</u> <u>04108</u>	Cost Of Work: \$ <u>43,000</u> Fee: \$ _____ C of O Fee: \$ _____
Current Specific use: <u>Single Residence</u> If vacant, what was the previous use? _____ Proposed Specific use: <u>Single Residence</u>		
Project description: <u>Addition @ first floor for mudroom, porch, &amp; kitchen</u>		
Contractor's name, address & telephone: <u>McTigue Construction, 97 Brackett Ave</u> <u>Peaks Island</u>		
Who should we contact when the permit is ready: <u>Robert McTigue</u> Mailing address: <u>see above</u> Phone: <u>766-2676</u>		

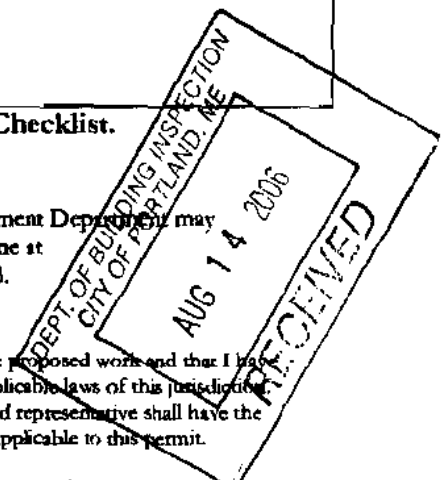
Please submit all of the information outlined in the Commercial Application Checklist. Failure to do so will result in the automatic denial of your permit.

In order to be sure the City fully understands the full scope of the project, the Planning and Development Department may request additional information prior to the issuance of a permit. For further information visit us on-line at [www.portlandmaine.gov](http://www.portlandmaine.gov), stop by the Building Inspections office, room 315 City Hall or call 874-8703.

I hereby certify that I am the Owner of record of the named property, or that the owner of record authorizes the proposed work and that I have been authorized by the owner to make this application as his/her authorized agent. I agree to conform to all applicable laws of this jurisdiction. In addition, if a permit for work described in this application is issued, I certify that the Code Official's authorized representative shall have the authority to enter all areas covered by this permit at any reasonable hour to enforce the provisions of the codes applicable to this permit.

Signature of applicant: J. A. Cell

Date: 8/10/06

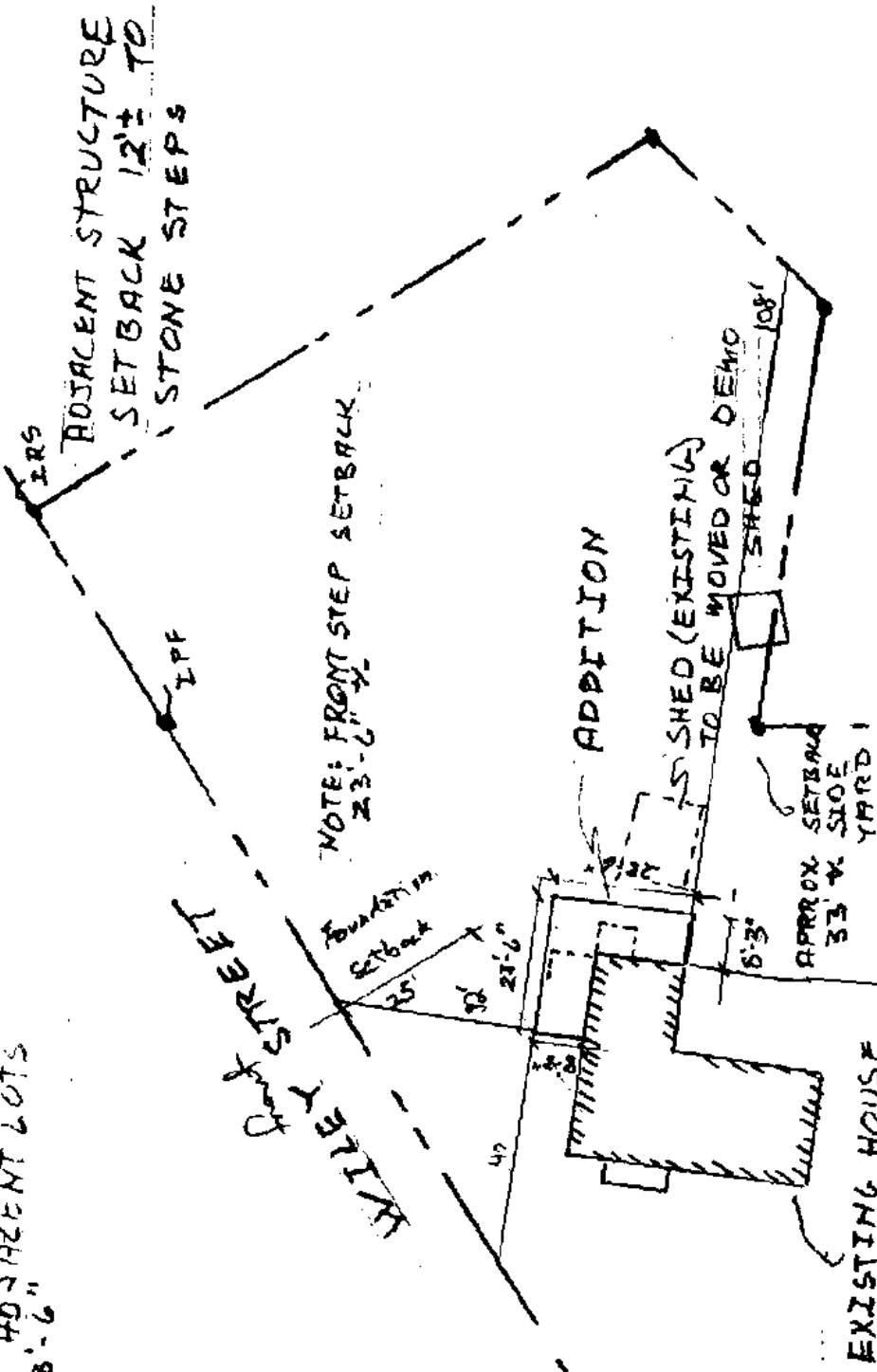


AVG. SETBACK ADJACENT LOTS  
 $12' + 25' = 37' / 2 = 18'-6''$

IR-2 lot area = 3877 sq ft

- front 25' / 4' - 32' scaled ok
- rear 25' / 4' - 17' scaled ok
- side 20' / 4' - 108' scaled ok
- lot coverage 20% = 775.5 sq ft
- height 35' max - 11.5' ok

40 x 11 = 710  
~~40 x 10 = 400~~  
 4 x 10 = 40  
 35 x 20 = 700  
 11 x 14 = 154  
 8 x 8 = 64  
 3 x 4 = 12  
 1119.5



ADJACENT STRUCTURE  
 SETBACK 12'± TO  
 STONE STEPS

NOTE: FRONT STEP SETBACK  
 23'-6"

ADDITION

SHED (EXISTING)  
 TO BE MOVED OR DEMO

APPROX SETBACK  
 33' ± SLOE  
 YARD

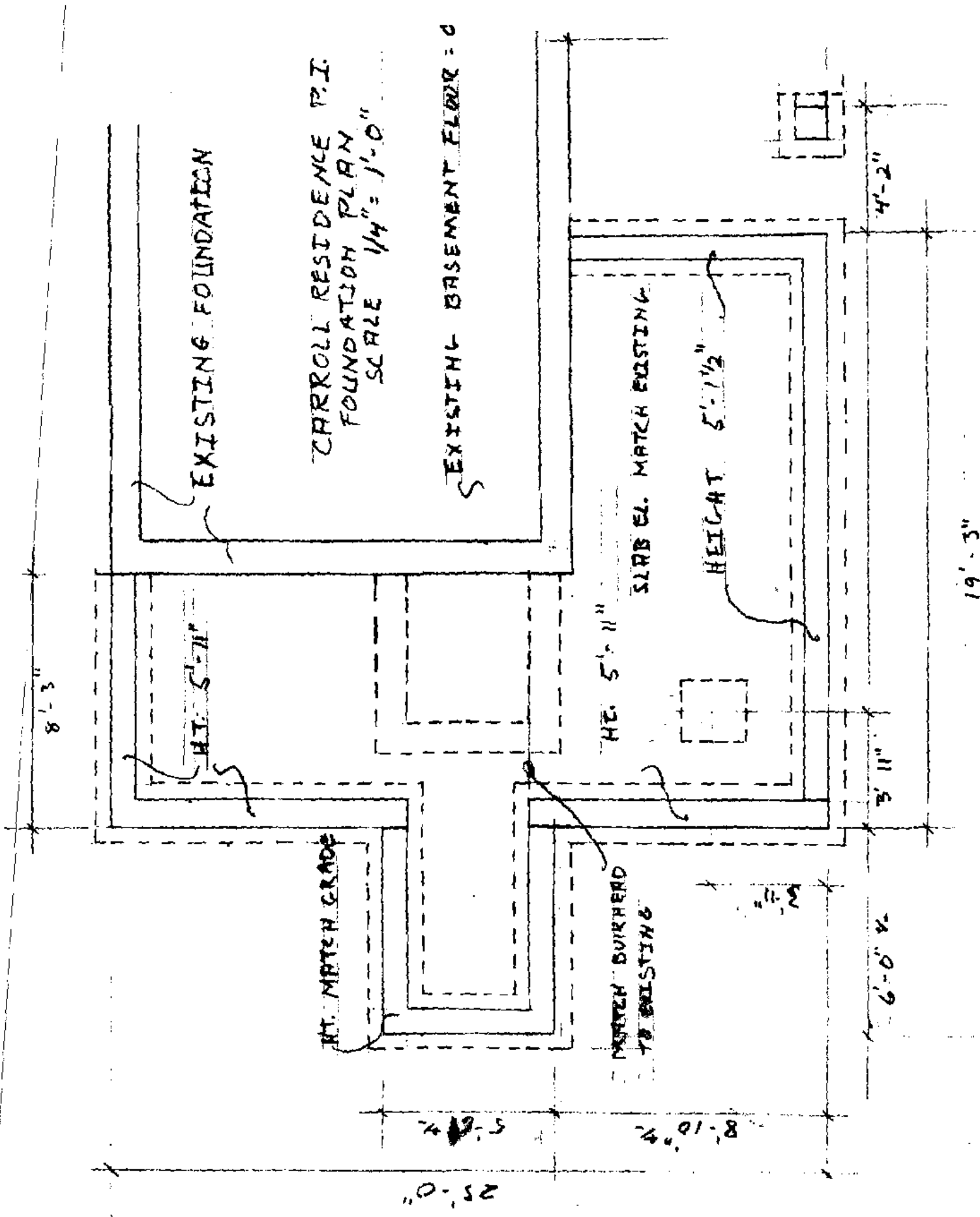
EXISTING HOUSE

NO STRUCTURE  
 ON ADJACENT LOT  
 SETBACK 25'

CARROLL RESIDENCE SITE PLAN  
 PEAKS ISLAND, MAINE  
 SCALE 1" = 30'

BASED ON SURVEY BY  
 BAHAM, ROBERT LIBBY, PLS  
 JUNE, 2005  
 2190  
 MAP 87, BLOCK D, LOTS 8, 9, 16

167  
 rear on lotter.



## **Carroll Residence Mudroom/Kitchen Addition**

### **Scope of Work and Specifications**

#### **Frame and make weather-tight.**

**Floor:** sill sealer, p.t. sill plates, 2 x 8 joists, (2 x 10 at mudroom), 3/4" CDX T&G plywood floor deck, glued and nailed (2 layers 3/4" CDX, T&G plywood deck at mudroom, screwed 6" o.c.), hangers, ledgers, as needed.

**Walls:** 2 x 6 kd studs, 16" on center, 1/2" CDX plywood sheathing, Typar wind barrier. Install windows and exterior door w/storm door. Exterior trim 5/4" pine at corners, windows, and doors to match existing (back-primed by owner). White cedar shingles, 5" reveal to match existing.

**Roof:** 2 x 8 kd rafters, 16" on center, 1/2" CDX plywood roof deck, Ice & Water Shield at eaves and roof/wall joint, roof felt, 8" aluminum drip edge, asphalt shingles (provided by owner), flashing, and repair siding shingles at top of roof to match existing. Fascia, soffit, and frieze trimmed with 3/4" pine (back-primed by owner).

**Interior partitions:** 2 x 4 kd studs, 16" on center. New sheetrock, 1/2" taped, mud, and sanded for finishing on both sides of all partitions (kitchen, closets, and stairwells).

**Ceilings:** Level with 1"x3" spruce strapping, 16" o.c., 1/2" drywall, taped, mud, and sanded for finishing.

**Demolition & framing at kitchen:** removing existing casement window (east wall), demolish existing wall (8' ±), install header (bolt/lag to existing rim joist), frame new wall opening

**Insulation:** Walls - R-19 Kraft-faced; fiberglass; Ceiling - 2 layers of 6" fiberglass batts (Prop-a-Vent) as needed at soffits.

**Cellar staircase:** 2 x 12 stringers, 2x or plank treads, 1/2" plywood risers. (rough finish); simple handrail. Landing - 2x framing and 3/4" plywood landing.

**Exterior porch:** post or lag to existing foundation & framing; 2x6 p.t. joists with galvanized hangers and fasteners; 2x12 p.t. stringers at exterior steps; 1" cedar decking for porch and steps; 3/4" pine trim around post (backprimed by owner), pine matchboard overhead.

**Windows & Doors:**

<b>Elevation</b>	<b>Type</b>	<b>R. O.</b>	<b>Spec.</b>
West	Ext. Door	3-0 x 6-8	Morgan, M113, Pine, 1-3.4" w/ 6 lights (match existing). Left-hand, inswing
North	Dbl.-hung window	2-10 x 6-1	Marvin, WUDH 2832, Insulated, Low-E glass, six-over-one 7/8" SDLS or ADL, interior screen. Primed, pine int. & ext. Extension jambs.
East	Casement windows (3)	1-9 x 2-8 ½	Marvin WCM 2032, Insulated, Low-E glass, 7/8" simulated, divided lights w/spacer bar, interior screen. Primed pine int. and ext. Extension jambs. Left-hand operation. Coastal hardware
South	French casement windows (1 set)	4-1 x 2-8 ½	Marvin WFCM 4823, French wood casemaster, insulated, Low-E glass, 7/8" SDLS, interior screen. Primed pine int. & ext., Extension jambs. Left & right hand operation. Coastal hardware
Cellar stairs	5/4 Pine, 4-panel, interior		Morgan, or equal
Interior, glass panel door			Morgan M-3912, tempered glass, 3W x 5H lights, door size 2'8" x 6'6". Left-hand, outswing.



This page contains a detailed description of the Parcel ID you selected. Press the **New Search** button at the bottom of the screen to submit a new query.

**Current Owner Information**

**Card Number** 1 of 1  
**Parcel ID** 087 D006001  
**Location** 5 WILEY ST  
**Land Use** SINGLE FAMILY

**Owner Address** MERROW SUSAN & JOHN H CARROLL JTS  
 5 WYLIE AVE  
 PEAKS ISLAND ME 04108

**Book/Page** 18446/344  
**Legal** 87-D-6 TO 9-16 87-N-1 TO 3  
 LUTHER ST  
 WILEY ST  
 PEAKS ISLAND 67549 SF

**Current Assessed Valuation**

<b>Land</b>	<b>Building</b>	<b>Total</b>
\$232,400	\$180,500	\$412,900

**Property Information**

<b>Year Built</b> 1900	<b>Style</b> Contemp	<b>Story Height</b> 2	<b>Sq. Ft.</b> 1970	<b>Total Acres</b> 1.551		
<b>Bedrooms</b> 3	<b>Full Baths</b> 1	<b>Half Baths</b> 1	<b>Total Rooms</b> 6	<b>Attic</b> Unfin	<b>Basement</b> Crawl	

**Outbuildings**

Type	Quantity	Year Built	Size	Grade	Condition
SHED-FRAME	91	1959	11X14	D	F
SHED-FRAME	1	1992	8X8	C	P

**Sales Information**

<b>Date</b> 11/01/2002	<b>Type</b> LAND + BLDING	<b>Price</b>	<b>Book/Page</b> 18446-344
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**Picture and Sketch**

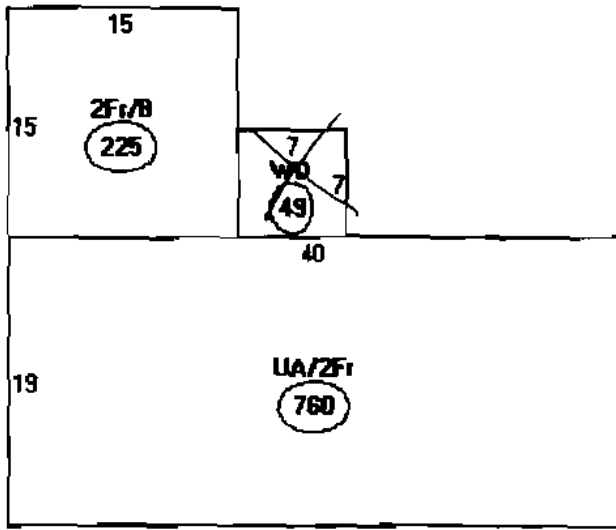
[Picture](#)      [Sketch](#)      [Tax Map](#)

[Click here](#) to view Tax Roll Information.

Any information concerning tax payments should be directed to the Treasury office at 874-8490 or e-mailed.







Descriptor/Area

A: UA/ZF1  
760 sqft

B: ZF1/B  
225 sqft

~~C: WD  
49 sqft~~

**City of Portland, Maine - Building or Use Permit**

389 Congress Street, 04101 Tel: (207) 874-8703, Fax: (207) 874-8716

Permit No: 06-1197	Date Applied For: 08/14/2006	CBL: 087 D006001
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Location of Construction: 5 WILEY ST	Owner Name: MERROW SUSAN & JOHN H CA	Owner Address: 5 WYLIE AVE	Phone:
Business Name:	Contractor Name: McTigue, Construction	Contractor Address: 97 Brackett Ave, P.I. Portland	Phone: (207) 766-2676
Lessee/Buyer's Name	Phone:	Permit Type: Additions - Dwellings	

Proposed Use: Single Family Home/ build a first floor addition for mudroom, porch & Kitchen	Proposed Project Description: build a first floor addition for mudroom, porch & Kitchen
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**Dept:** Zoning      **Status:** Approved with Conditions      **Reviewer:** Ann Machado      **Approval Date:** 08/28/2006

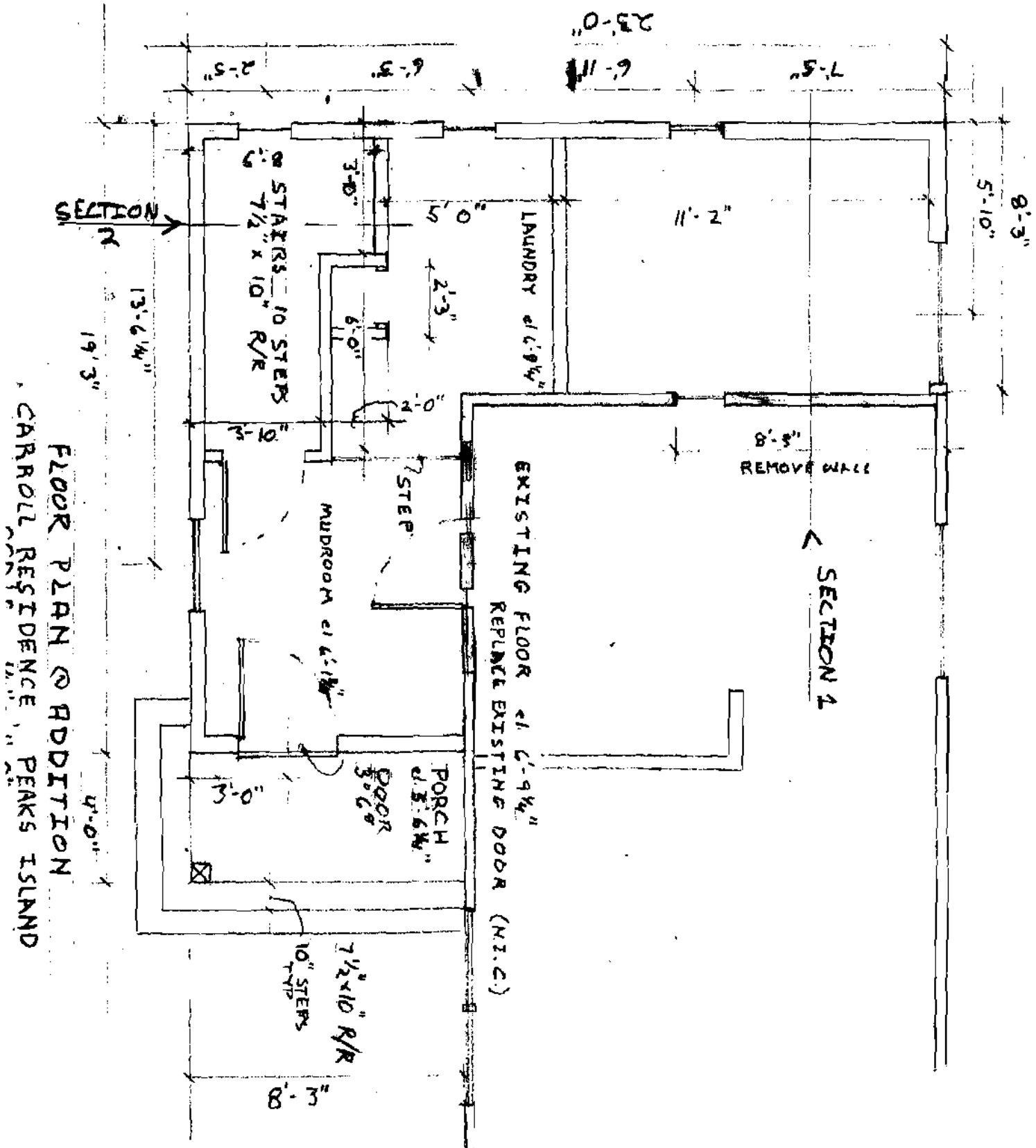
**Note:** **Ok to Issue:**

- 1) This property shall remain a single family dwelling. Any change of use shall require a separate permit application for review and approval.
- 2) This permit is being approved on the basis of plans submitted. Any deviations shall require a separate approval before starting that work.

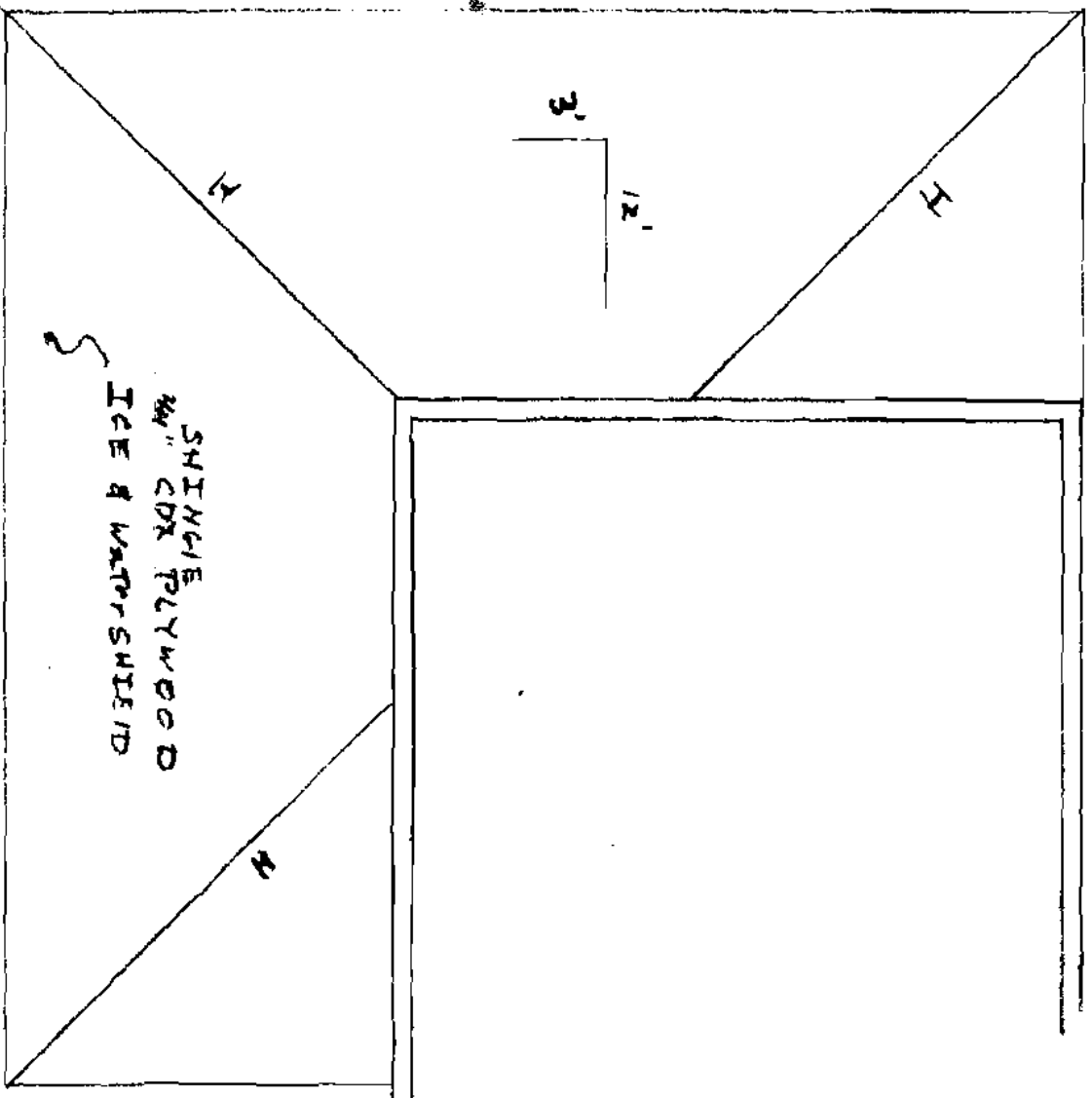
**Dept:** Building      **Status:** Approved      **Reviewer:** Tom Markley      **Approval Date:** 09/01/2006

**Note:** **Ok to Issue:**

- 1) Separate permits are required for any electrical, plumbing, or HVAC systems. Separate plans may need to be submitted for approval as a part of this process.
- 2) Application approval based upon information provided by applicant. Any deviation from approved plans requires separate review and approval prior to work.



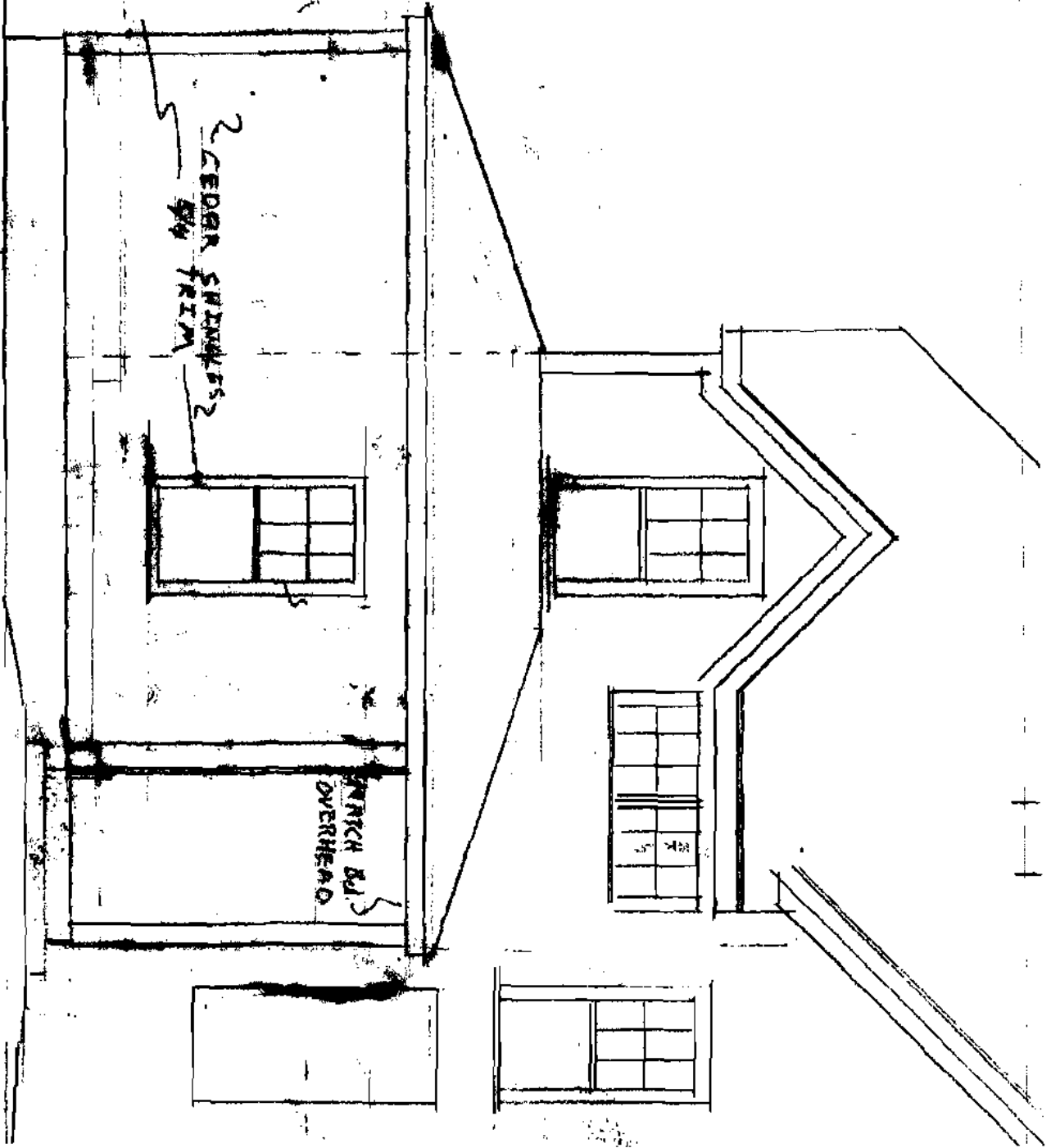
FLOOR PLAN @ ADDITION  
 CARROLL RESIDENCE, PEAKS ISLAND

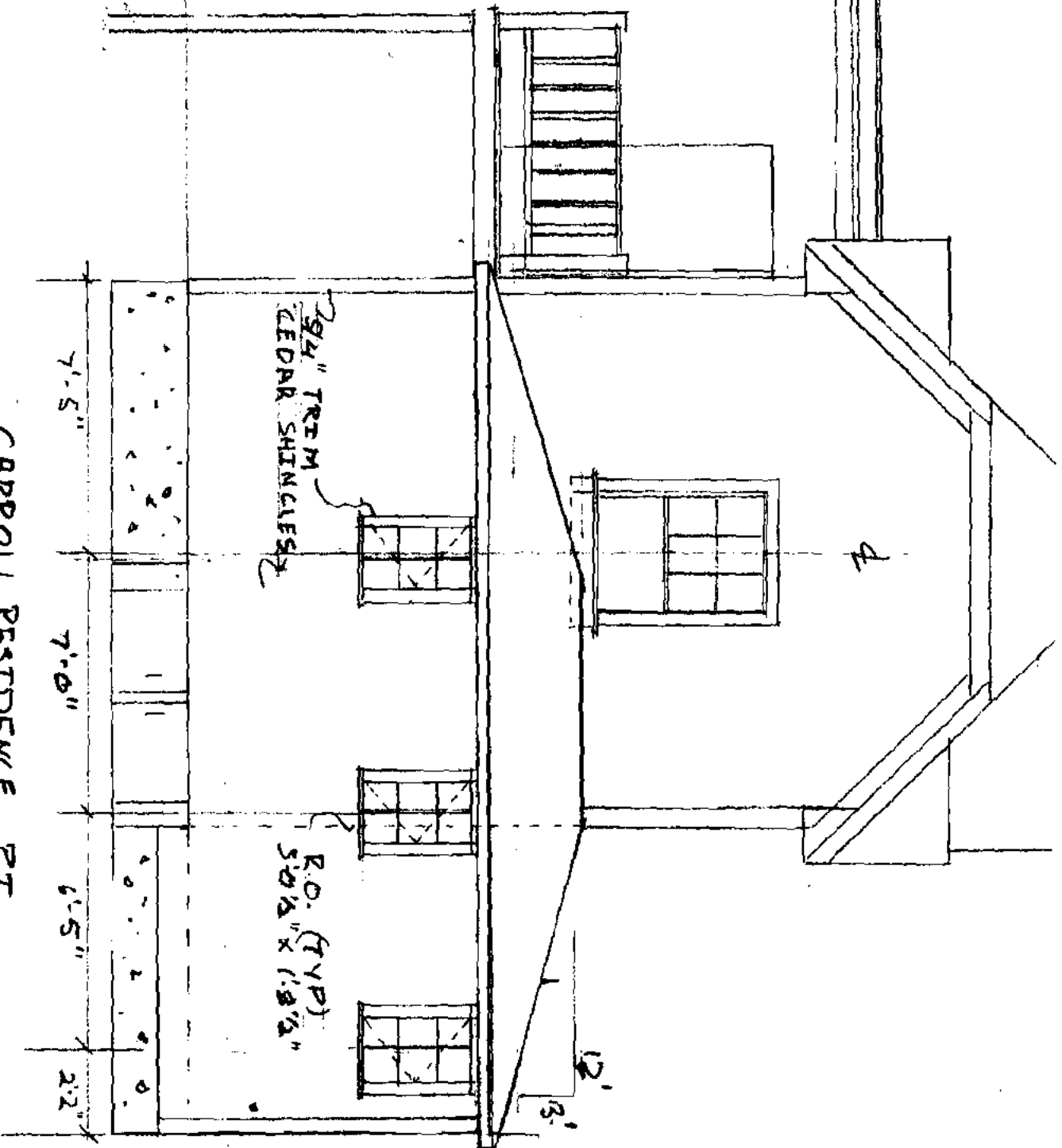


CARROLL RESIDENCE, P.I.

ROOF PLAN  
1/4" = 1'-0"

NO. 174 ELEVATION  
SCALE 1/4" = 1'-0"  
CARROLL RESIDENCE, P.I.



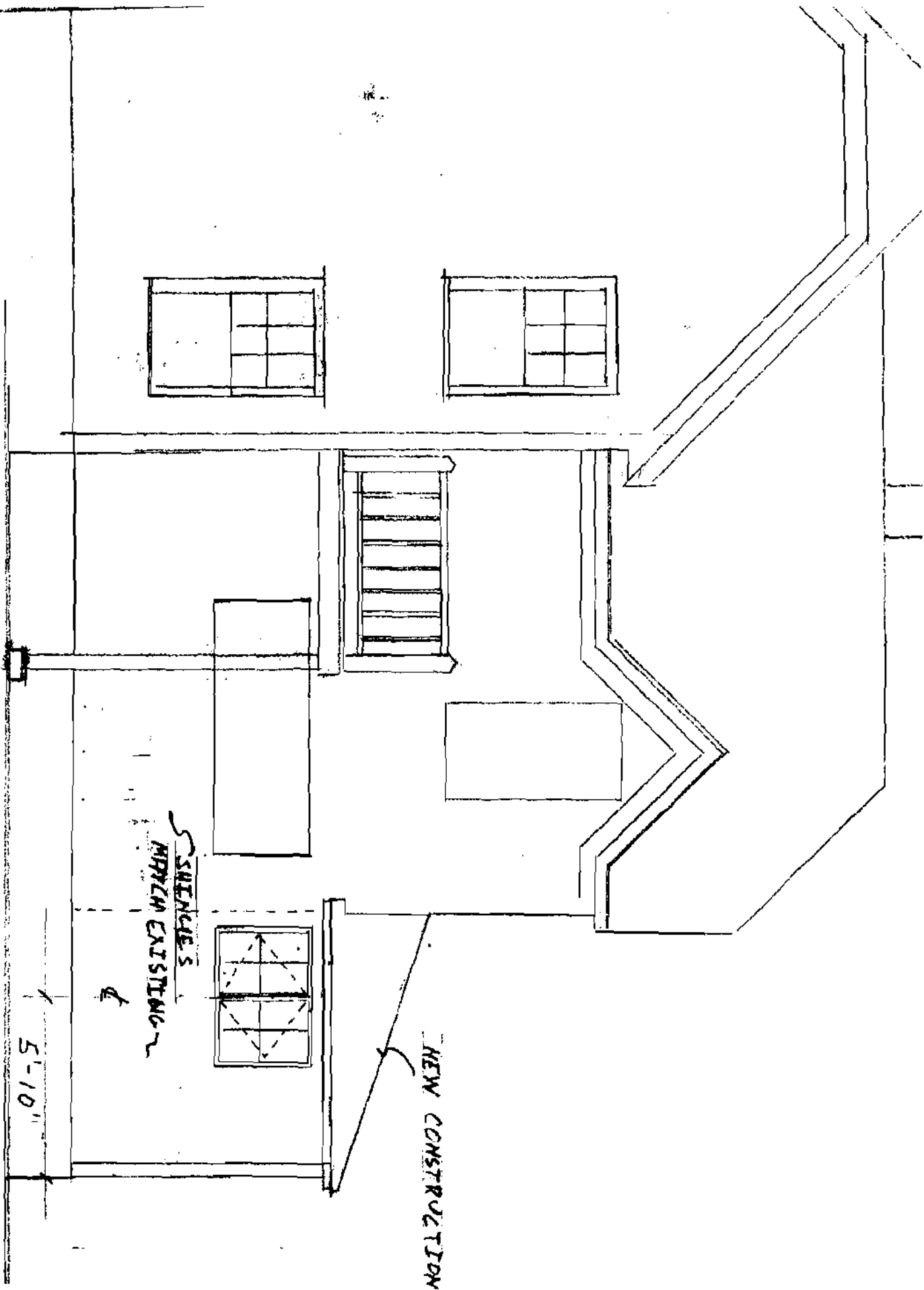


3/4" TRIM  
CEDAR SHINGLES

R.O. (GYP)  
5 1/2" x 1 1/2"

CARROLL RESIDENCE, P.I.  
FIRST ELEVATION  
SCALE 1/4" = 1'0"





CARROLL RESIDENCE, PEAKS ISLAND  
SOUTH ELEVATION  
1/4" = 1'-0"

NEW CONSTRUCTION

SINGLE SASH WINDOW EXISTING

5'-10"

30 YR ASPHALT SHINGLE  
(MATCH EXISTING)



ROOF PITCH 4/12

ROOF SYSTEM

2"X8" RAFTERS, 16" O.C.  
1/2" CDX PLY DECK  
8" ALUM. DRIP EDGE  
ROOF FELT

3/4" PINE SOFFIT &  
FASCIA w/ VENT

WIND BREAKER  
CEDAR SHINGLE (MATCH)

12" F.A. INS. R-30  
w/ PROP-A-V ENT @ EAVES

ALUM BRUSHING

EXISTING BUILDING

EXISTING 2"X10" CEILING JOIST  
2 NEW 2"X10" HEADER @ OPENING  
TO KITCHEN

2"X6 CEILING JOISTS, 16" O.C.  
1/3 SHEATHING, 16" O.C.  
1/2" SHEATHING

CEILING HEIGHT: MATCH EXISTING

2"X6" STUD 16" O.C.  
1/2" CDX PLY SHEATHING  
6" FIB. INSUL. R-19  
1/2" SHEATHING

TRIP FLOOR SYSTEM  
2"X8" JOISTS, 16" O.C.  
3/4" T. & PLY SUBFLOOR

1/2" ANCHOR BOLT, 6" FROM CORNER & 6" O.C. MIN.

SILL SEAL

FOUNDATION DEPTH  
MATCH EXISTING, 6' X

CONCRETE PDN.

4" CONCL. SLAB / CRUSHD ROCK

20"X10" MIN. FTS  
UNDISTURBED  
SOIL

PERF. DRAIN / CRUSHED STONE

CARROLL RESIDENCE ADDITION  
TYPE SECTION @ KITCHEN #1  
SCALE: 3/4" = 1'-0"

MATCH EXISTING HGT.

6'-0 3/4"

6'-8"

NEW FRAMING @ FIRST FLOOR

10" (TRP)

7 1/2" (RYS)

3"

11"

10"

3'-0"

3'-0" x 3'-0" LANDING

NOTE: 10R @ 7 1/2" RISE = 6'-2 1/2" RISE  
9T @ 11" DEPTH x 9 1/2" RUN

4" x 4" WOOD POST

8" FOM

SECTION #2  
STAIRS @ BASEMENT

SCALE 1/2" = 1'-0"

5'-8"

MIN



# CITY OF PORTLAND, MAINE

Department of Building Inspections

\_\_\_\_\_ 03/14 2016 \_\_\_\_\_

Registered Firm John Carroll

Location of Work 251-24th St

Cost of Construction \$ \_\_\_\_\_

Permit Fee \$ 150

Building (B) \_\_\_\_\_ Plumbing (L) \_\_\_\_\_ Electrical (E) \_\_\_\_\_ Site Plan (U) \_\_\_\_\_

Other \_\_\_\_\_

City ID 6

Case # 5538

Total Collected \$ 450<sup>00</sup>

## THIS IS NOT A PERMIT

No work is to be started until PERMIT CARD is actually posted upon the premises. Acceptance of fee is no guarantee that permit will be granted. PRESERVE THIS RECEIPT. In case permit cannot be granted the amount of the fee will be refunded upon return of the receipt less \$10.00 or 10% whichever is greater.

WHITE - Applicant's Copy  
YELLOW - Office Copy  
PINK - Permit Copy

# ELECTRICAL PERMIT

## City of Portland, Me.

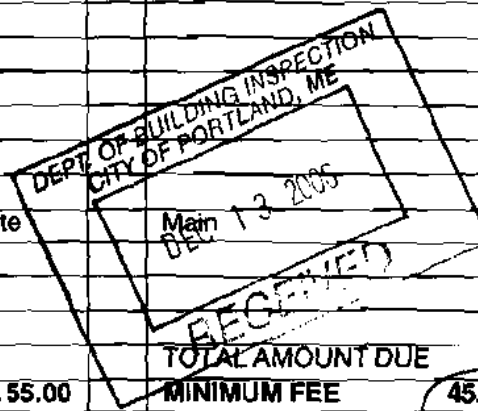


To the Chief Electrical Inspector, Portland Maine:  
 The undersigned hereby applies for a permit to make electrical installations  
 in accordance with the laws of Maine, the City of Portland Electrical Ordinance,  
 National Electrical Code and the following specifications:

Date 12/13/06  
 Permit # 2006-5119  
 CBL# 87-P-6709-16  
87-N-1703

LOCATION: 5 Wilex ST (P2) METER MAKE & # \_\_\_\_\_  
 CMP ACCOUNT # \_\_\_\_\_ OWNER JOHN CARROLL  
 TENANT \_\_\_\_\_ PHONE # \_\_\_\_\_

						TOTAL EACH FEE
OUTLETS	20	Receptacles	15	Switches	Smoke Detector	.20
FIXTURES	12	Incandescent		Fluorescent	Strips	.20
SERVICES		Overhead	1	Underground	TTL AMPS <800	15.00
		Overhead		Underground	>800	25.00
Temporary Service		Overhead		Underground	TTL AMPS	25.00
						25.00
METERS	1	(number of)				1.00
MOTORS		(number of)				2.00
RESID/COM		Electric units				1.00
HEATING		oil/gas units		Interior	Exterior	5.00
APPLIANCES		Ranges		Cook Tops	Wall Ovens	2.00
		Insta-Hot		Water heaters	Fans	2.00
		Dryers		Disposals	Dishwasher	2.00
		Compactors		Spa	Washing Machine	2.00
		Others (denote)				2.00
MISC. (number of)		Air Cond/win				3.00
		Air Cond/cent			Pools	10.00
		HVAC		EMS	Thermostat	5.00
		Signs				10.00
		Alarms/res				5.00
		Alarms/com				15.00
		Heavy Duty(CRKT)				2.00
		Circus/Carnv				25.00
		Alterations				5.00
		Fire Repairs				15.00
	E Lights				1.00	
	E Generators				20.00	
PANELS		Service		Remote		4.00
TRANSFORMER		0-25 Kva				5.00
		25-200 Kva				8.00
		Over 200 Kva				10.00
MINIMUM FEE/COMMERCIAL 55.00						MINIMUM FEE <u>45.00</u>



CONTRACTORS NAME William Flynn MASTER LIC. # 4548  
 ADDRESS 24 Centennial St Portland LIMITED LIC. # \_\_\_\_\_  
 TELEPHONE 766 2720 6536320

SIGNATURE OF CONTRACTOR [Signature]

